Development Control Committee

Main Schedule

Schedule of Applications for Planning Permission

27th January 2012

CARLISLE CITY COUNCIL

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Applications Entered on Development Control Committee Schedule

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Date of Committee: 27/01/2012

The Schedule of Applications

This schedule is set out in five parts:

SCHEDULE A - contains full reports on each application proposal and concludes with a recommendation to the Development Control Committee to assist in the formal determination of the proposal or, in certain cases, to assist Members to formulate the City Council's observations on particular kinds of planning submissions. In common with applications contained in Schedule B, where a verbal recommendation is made to the Committee, Officer recommendations are made, and the Committee's decisions must be based upon, the provisions of the Development Plan in accordance with S54A of the Town and Country Planning Act 1990 unless material considerations indicate otherwise. To assist in reaching a decision on each planning proposal the Committee has regard to:-

- relevant planning policy advice contained in Government Circulars, Planning Policy Guidance Notes, Development Control Policy Notes and other Statements of Ministerial Policy;
- the adopted provisions of the Cumbria and Lake District Joint Structure Plan;
- the City Council's own statement of approved local planning policies including the Carlisle District Local Plan;
- established case law and the decisions on comparable planning proposals
- including relevant Planning Appeals.

SCHEDULE B - comprises applications for which a full report and recommendation on the proposal is not able to be made when the Schedule is compiled due to the need for further details relating to the proposal or the absence of essential consultation responses or where revisions to the proposal are awaited from the applicant. As the outstanding information and/or amendment is expected to be received prior to the Committee meeting, Officers anticipate being able to make an additional verbal report and recommendations.

SCHEDULE C - provides details of the decisions taken by other authorities in respect of those applications determined by that Authority and upon which this Council has previously made observations.

SCHEDULE D - reports upon applications which have been previously deferred by the Development Control Committee with authority given to Officers to undertake specific action on the proposal, for example the attainment of a legal agreement or to await the completion of consultation responses prior to the issue of a Decision Notice. The Reports confirm these actions and formally record the decision taken by the City Council upon the relevant proposals. Copies of the Decision Notices follow reports, where applicable.

SCHEDULE E - is for information and provides details of those applications which have been determined under powers delegated by the City Council since the previous Committee meeting.

The officer recommendations made in respect of applications included in the Schedule are intended to focus debate and discussions on the planning issues engendered and to guide Members to a decision based on the relevant planning considerations. The recommendations should not therefore be interpreted as an intention to restrict the Committee's discretion to attach greater weight to any planning issue when formulating their decision or observations on a proposal.

If you are in doubt about any of the information or background material referred to in the Schedule you should contact the Development Control Section of the Department of Environment and Development.

This Schedule of Applications contains reports produced by the Department up to the 13/01/2012 and related supporting information or representations received up to the Schedule's printing and compilation prior to despatch to the Members of the Development Control Committee on the 18/01/2012.

Any relevant correspondence or further information received subsequent to the printing of this document will be incorporated in a Supplementary Schedule which will be distributed to Members of the Committee on the day of the meeting.

SCHEDULE A

SCHEDULE A

SCHEDULE A: Applications with Recommendation

11/0863

Item No: 01 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0863	Border Construction Limited	
Date of Receipt:	**Agent:**	**Ward:**
04/10/2011		Denton Holme

Location:
Land at Norfolk Street, Denton Holme, Carlisle, Cumbria

Proposal: Proposed Student Accommodation Comprising 492No. Bedrooms With Social Hub And Associated Parking, Access And Landscaping

REPORT

Case Officer: Sam Greig

1. Recommendation

1.1 It is recommended that this application is approved subject to the completion of a legal agreement and the imposition of planning conditions.

2. Main Issues

2.1 Principle of development;
2.2 Scale, layout and design of the development;
2.3 Highway issues;
2.4 Impact upon the living conditions of neighbouring residents;
2.5 Public open space provision/maintenance;
2.6 Retention of existing landscape features/ecological issues;
2.7 Contamination;
2.8 Foul and surface water drainage;
2.9 Flood risk;
2.10 Other matters;
2.11 Other material considerations.

3. Application Details

Introduction

3.1 Members will recall that this application was deferred at the December

meeting of the Development Control Committee to enable the applicant to consider amending the scheme to take account of the comments raised by the Committee, particularly in respect of the overall height of the buildings and the level of on-site car parking to be provided.

3.2 In summary, the amended plans that have been submitted by the applicant reduce the height of all the accommodation blocks to three storeys, with the exception of Block H and Block K which remain at four storeys in height. The available on-site parking provision has been increased from forty eight to seventy six spaces. This comprises twenty visitor spaces, four spaces for staff associated with the social hub and fifty two spaces for occupiers of the development.

The Site

3.3 This application, as amended, seeks “Full” planning permission for the erection of twelve three and four storey residential accommodation blocks to house 492 students. The application site, which is irregular in shape and covers 1.32 hectares, is bounded by Norfolk Street to the north; Westmorland Street, Westvale Court, Dale Court and Freer Court to the east; Constable Street to the south and Richardson Street to the west. The surrounding properties are predominantly nineteenth century two storey terraced properties, although larger commercial properties are located opposite the site on Norfolk Street.

3.4 The site, which is regarded as brownfield land, was formerly occupied by an industrial premises that manufactured motor vehicle safety accessories. The buildings associated with the industrial premises, which have since been demolished, were conventional in appearance, approximately two storeys in height and covered the majority of the site’s footprint.

3.5 The buildings have since been cleared although four large stockpiles of crushed brick/construction material and excavated soil are located on the site. The crushed brick/construction material is from the demolition and partial removal of the former buildings and the excavated soil has been brought on to the site to be used in connection with a scheme to remediate the site which was granted planning permission in 2008. The stockpiles are now vegetated with self seeded weeds and ruderals.

3.6 The perimeters to the site are demarcated by a variety of boundary fencing that range in height and style. The majority of the eastern boundary of the site is aligned by the Little Caldew, which is a mill race associated with Denton Holme’s industrial heritage. A number or trees and shrubs are located along the length of the Little Caldew, which divides the site at its northern extent.

The Proposal

3.7 The development is made up of twelve townhouse accommodation blocks. Under the amended scheme the majority of these blocks have been reduced to three storeys in height to reflect the comments made by Members of the Development Control Committee. Two blocks (K and H) have been retained at four storeys in height. Block K is located along the site's frontage with Norfolk Street, whereas Block H, which is also accessed from Norfolk Street, is located approximately 20m to the rear (south) of Block H adjacent to the Little Caldew. The three and four storey units would house nine and twelve students respectively.

3.8 The site would be served by two vehicular access points; one from Norfolk Street and one from Richardson Street. From these access points two internal roads would lead into the site and through access would be restricted by a pair of collapsible bollards located at the centre of the site, opposite the two storey social hub. The social hub, which has been reduced in size since being considered by Members would provide a reception/facilities management office, toilet facilities and a cycle store to the ground floor with a laundry and a common room/Wi-Fi area above for use by residents.

3.9 The amended scheme would provide seventy six parking spaces. Twenty six of these spaces would be located along the access road leading from Richardson Street with the remainder situated off the Norfolk Street access road. The applicant has advised that four of these spaces would be allocated to staff working at the social hub; twenty would be allocated to visitors, with the remaining fifty two spaces (including three disabled persons parking bays), being available to residents.

3.10 In recognising the residents concerns regarding a shortage of available on-street parking the applicant’s have indicated that a car parking management strategy would be put in place to oversee the allocation of resident parking spaces on-site. The applicant has also agreed to enter into a legal agreement that would ensure that a clause is written into the prospective lease agreement of future occupiers thereby rescinding their right to apply for a 'residents parking permit', which would prevent them from lawfully parking in the surrounding terraced streets. Members should note that limited parking would be permitted as part of the disc zone parking scheme.

3.11 The design of the buildings is based on a construction method created by “eco-res”. The “eco-res” concept adopts a construction process that uses panelised timber components that are manufactured off site and delivered with pre-installed windows doors and insulation. This enables a shorter build programme, minimising disturbance for nearby residents, but also allows for the efficient use of building materials thereby reducing the waste created through on-site manufacturing, which in turn has the less obvious benefit of reduced landfill requirements.

3.12 Each unit will incorporate high levels of insulation, ensuring that the buildings are thermally efficient, and incorporate renewable measures such as solar thermal panels to the roof to heat water, heat recovery systems and efficient lighting. This same build concept has been used elsewhere in the country to provide student accommodation in Lancaster, Bradford and Leeds. The Leeds and Lancaster schemes were awarded an ‘excellent’ BREEAM accreditation; however, the Bradford scheme was awarded one of only 18 'outstanding' accreditations issued worldwide, with a score of 95.05%, which included the highest design stage BREEAM assessment score in BREEAM history. This is a significant achievement when considered against the fact that over 1 million BREEAM assessments have been undertaken.

3.13 For those Members who are less familiar with the BREEAM accreditation scheme it is an internationally recognised measure of a building’s performance, which are set against established benchmarks, to evaluate a building’s specification, design, construction and use. The measures used represent a broad range of categories and criteria from energy to ecology. They include aspects related to energy and water use, the internal environment (health and well-being), pollution, transport, materials, waste, ecology and management processes. It sets the standard for best practice in sustainable building design, construction and operation and has become one of the most comprehensive and widely recognised measures of a building's environmental performance.

3.14 Whilst the construction of the building incorporates a variety of sustainable measures the exterior of the building is more conventional in appearance. It is proposed that outer skin of these buildings will be finished in red facing brick to complement that of the surrounding terraced houses. The roofs will be clad with fibre cement slates. The buildings do, however, incorporate more contemporary elements such as the fenestration detail, through the use of coloured bands to the door surrounds, and elements of timber cladding. The three storey units are of a similar design; however, the four storey units are individual in appearance and offer an opportunity to provide increased visual interest in the street scene.

3.15 It is proposed that the social hub, which is encapsulated within the site, provides an opportunity for a more contemporary approach to its appearance. It would be finished in brick work to the ground floor with the upper section clad in timber. The first floor also incorporates a cantilevered section that projects outwards over the public space located immediately in front of the building.

3.16 In order to accommodate the additional twenty eight parking spaces proposed by this amended application, the applicant has indicated that the areas to the east of Blocks M and L and the west of Blocks F and G are to be surfaced with "grasscrete", which is a cellular reinforced concrete system with voids that allows grass to grow through whilst providing sufficient structural support to accommodate vehicles. The rational behind the applicant's use of “grasscrete” was to provide the impression of a comparable area of soft landscaping to compensate for the loss landscaped areas in order to provide the additional parking.

3.17 The remaining land surrounding the accommodation blocks is to be landscaped to provide an attractive environment and amenity space for the residents. The existing landscaping strip that follows the route of the Little Caldew is to be enhanced through additional planting, although the removal of some trees is required for maintenance purposes.

3.18 The land requires remediation due to its previous industrial use and the internal site levels will be raised up by 1m in the centre of the site to accommodate a 'capping layer' that would gradually taper downwards in depth towards the existing site levels at the two entrances to the site at Norfolk Street and Richardson Street.

3.19 Where the perimeter of the site abuts rear lanes or the curtilage of domestic properties a 2.1m high brick boundary wall is to be erected. Four separate single storey buildings are to be erected to provide a bin and cycle stores, which would provide 56 secured cycle spaces.

3.20 It is proposed that foul drainage will discharge into the foul sewer, with surface water discharging into the Little Caldew via the existing surface water drainage system that exists on site.

3.21 The application is supported by a suite of drawings and a range of detailed specialist studies. These include a Design Statement, a Planning Statement, an Access Statement, a Transport Assessment and Travel Plan Framework, a Flood Risk Assessment, a Preliminary Environmental Risk Assessment, a Stage 2 Environmental Risk Assessment, an Environmental Risk Management Strategy, a Tree Survey and Arboricultural Method Statement and an Ecology Report.

4. Summary of Representations

4.1 This application has been advertised by means of site and press notices as well as notification letters sent to seventy eight neighbouring properties.

4.2 Prior to the application being considered by the Development Control Committee in December 2011 sixty six residents had objected to the scheme together with two separate petitions with a total of one hundred and twenty four signatories. In addition to the aforementioned letters of objection a 51 page document was submitted on behalf of three residents of Westmorland Street which provided a further detailed objection to the scheme. Members may recall that that document was copied in full as part of the Committee Schedule when the item was presented to Members in December. A further letter offering comments on the scheme had also been received. The grounds of objection are summarised as;

1. The height of the buildings is out of keeping with the two storey terraced houses;

2. The scale of the buildings will dominate the skyline;

3. The scale of the buildings and their position in relation to the existing dwellings will result in loss of light, loss of privacy and overdominance;

4. The height of the building should be restricted to two storeys around the perimeter of the site with three storey properties located only within the centre of the site;

5. The proposed fibre cement slates to be used on the roof are out of keeping the natural slate on the terraced houses;

6. There is insufficient parking to serve the development, which will exacerbate existing parking problems particularly at the start and finish of terms times;

7. The scheme is at odds with the policies within the Carlisle District Local Plan and the Denton Holme and Longsowerby Design Statement;

8. The development precludes the opportunity for a mix of housing scheme that could provide much needed affordable housing and housing for the elderly;

9. The external areas will be used by the students, which will result in noise disturbance and antisocial behaviour (including drug taking) particularly in the evenings/early mornings;

10. The creation of a student village will result in increased noise and disturbance in the late evenings/early mornings as students return home from a night out. A 24 hour contact point should be provided for existing residents who suffer as a consequence of antisocial behaviour;

11. Too high a number of students in any one location will result in the ‘studentification’ of an area, which will be detrimental to the character of the area and the living conditions of the existing residents;

12. The creation of a student ghetto will not assist the students in integrating with the community. The social hub is also exclusively for students which emphasises the fact that the students will not be encouraged to integrate;

13. Planning permission already exists for a development that will accommodate 196 students in Denton Holme;

14. There are a lot of families and elderly people in Denton Holme who would feel threatened by such a large influx of students;

15. There is insufficient on-site security to safeguard the students;

16. The mill race should be fenced off to prevent students injuring themselves whilst intoxicated;

17. The boundary wall should be raised in height to prevent opportunist crime;

18. Whilst student levels are high this year the demand in future years may be reduced due to the introduction of tuition fees;

19. If student levels fall the buildings will have to be used for other purposes which they are not designed for;

20. There has been a reduced uptake of student accommodation in other cities which reflects a fall in students attending universities;

21. Leeds City Council is currently seeking to limit the number of student houses in one particular area. Should this permission be granted the residents of Denton Holme will face the same problems;

22. There has been no prior consultation with residents regarding the scheme;

23. The development will place increased pressure on local services such as the highway network, bus services, the foul drainage system, and gas, electric and water supplies;

24. The development will affect the wildlife on the site, particularly those that use the mill race that runs through the site such as bats and otters;

25. There are localised flooding problems in the immediate vicinity which could be exacerbated by this proposal;

26. Planting additional trees could threaten the stability of existing houses;

27. The foundations for this development are to be formed using a pile driving technique which could also affect the terraced properties, many of which have shallow foundations. A risk assessment should be undertaken into this form of construction and subsequent monitoring carried out during the construction phase;

28. Will this development increase the risk for neighbouring dwellings in the event of flooding;

29. The site is heavily contaminated given its former industrial use;

30. The bin stores are positioned too close to neighbouring houses;

31. The lane to the rear of Westmorland Street is unsuitable for vehicles associated with construction traffic;

32. A scaled down version of the current scheme would be more acceptable;

33. The determination of this application should be postponed until the student numbers are confirmed for 2012-2013;

34. The Little Caldew is home to a colony of rats which raises issues regarding Weil's Disease and Leptospirosis Disease;

35. If granted permission, a Liaison Officer, nominated by the University, should hold regular meetings with residents;

36. The premises would be vacant for approximately 10 weeks of the year and would be accessible to the public, which poses a security risk and could cause a potential nuisance for neighbours;

37. A wheelchair accessible WC is not provided to the ground floor of all the units;

38. Beneath Block L are foundations associated with a former air raid shelter. Previous owners have tried unsuccessfully to drill through these foundations, which raises questions as to whether this block can be constructed.

4.3 At the December Meeting of the Development Control Committee Cllr Atkinson spoke against the proposed development. He had previously advised that his concerns related to the fact that, in his view, the developers have failed to take into account the residents parking problems in the area; the inadequate parking provision for students; the overbearing height of the development which is equivalent to four storeys; the lack of any enhancement for the area and the potential of local residents having their property prices devalued because of the current proposed plans for the site.

4.4 One letter of support has been received from the University of Cumbria, which identifies that the shortage of accommodation is becoming a problematic for the University as it seeks to increase its numbers.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objections, subject to the imposition of several planning conditions relating to highway matters. It is also requested that the developer to enter into a s106 agreement to secure:

1. A financial contribution of £10,000 to review the existing parking controls once the use has been operational for 12 months;
2. A financial contribution to assist in the completion of the Caldew Cycleway. As £46,000 was provided in respect of the approved Student Development off Collingwood Street (Application 090815) a proportionate level of contribution should be sought, which equates to £116,000;
3. £6,600 towards the monitoring of the Travel Plan; and
4. a £50,000 Travel Plan Bond.

Local Environment - Streetscene - Highways Services: - has confirmed that there is a shortage of available on-street parking in the locality and that the prospective residents of these units would be eligible to apply for a 'residents parking' permit;

Green Spaces: has commented that the development will place an additional burden on public open space provision and, therefore, a financial contribution towards the provision and maintenance of that space should be sought;

Environment Agency: - no objections, subject to the imposition of four planning conditions;

Local Environment - Drainage Engineer: has reiterated the comments made by the Environment Agency;

United Utilities: - no comments received;

Cumbria County Council - (Archaeological Services): - no objections;

Local Environment - Environmental Protection: - no objections, subject to the imposition of two planning conditions, which would ensure the submission of a Validation and Closure Report and deal with the possible presence of contamination that has not already been identified;

Cumbria County Council - Transport & Spatial Planning: - the proposal is not a Category 1 application and, therefore, the County Council will not be commenting on the application from a strategic perspective;

Northern Gas Networks: - no objections;

Access Officer, Economic Development: - no objections, however, suggestions have been made to improve facilities for disabled persons within the site;

Natural England: - no objections have been raised regarding the principle of the development; however, the Council should complete an Assessment of Likely Significant Effect to ensure that there is no adverse impact upon the River Eden and Tributaries Special Area of Conservation/Site of Special Scientific Interest;

Cumbria Constabulary - North Area Community Safety Unit: - has made a number of comments based on the principles of "Secured by Design";

Community Engagement - Private Sector Housing: - has identified that these units will fall within the definition of a House in Multiple Occupation under the Housing Act 2004 and that the development will need to comply with the HMO Amenity Standards document produced by the City Council.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are policies CP2, CP3, CP5, CP6, CP9, CP10, CP12, CP15, CP16, CP17, H1, H2, H16, LE2, LE4, LE27, LE29, LE30, T1 and LC2 of the CDLP. The Denton Holme and Longsowerby Design Statement is also of relevance,

as it is an adopted Supplementary Planning Document.

6.2 The proposals raise the following planning issues:

1. Principle Of Development

6.3 The application site, which lies within the urban area of Carlisle, is allocated for residential development in the CDLP. As such, the principle of residential development, including that to be occupied by students, is acceptable, subject to compliance with the criteria identified in Policies H1 and H16, and other relevant Local Plan policies.

2. Scale, Layout And Design Of The Development

6.4 One of the principal concerns that this application originally raised related to the design of the development and, in particular, whether three and four storey buildings are appropriate to the location. Members shared these concerns, particularly in respect of the four storey elements of the proposal.

6.5 The scheme has since been amended by reducing all but two of the accommodation blocks to three storeys in height. In respect of those four storey buildings that have been reduced to three storeys in height Officers' are of the opinion that the scale of these buildings is appropriate to the locality. Members may also appreciate that there are many instances, both in Denton Holme and the wider area, where three storey buildings have been approved in a two storey streetscape. In response to the original scheme that was put forward the Council's Heritage Officer suggested, inter alia, that some detailing, such as windows, should be incorporated to relieve the expanse of otherwise blank gables. This was taken into account in respect of the scheme previously considered by Members and has also been incorporated in this current submission. In terms of the more prominently located three storey units on Norfolk Street and Richardson Street (Blocks A and M), these are unchanged in appearance. The Council's Heritage Officer specifically commented that Block A is "*an acceptable design which although quite striking reflects the industrial aesthetic of the immediate environment and is not excessively out of scale with the neighbouring residential premises*". With regard to Block M, the Heritage Officer commented that it is a "*well-proportioned block, although some additional fenestration would benefit the elevation addressing the site entrance*". Member should note that the latter comment has been addressed by the architects.

6.6 If Members accept that the height and design of the three storey buildings is acceptable, the key consideration is whether the remaining two four-storey accommodation blocks (K and H) are appropriate to the locality. The position of these blocks is described earlier in this Report (paragraph 3.7). Of the two accommodation blocks it is Block K, which is located along Norfolk Street, that would be the most visually prominent. The height of this building would be noticeable when viewed eastwards or westwards along Norfolk Street. The Council's Heritage Officer considered this block to be a "*bold and striking elevation*". The Heritage Officer did question whether the ridge height could be reduced; however, given the construction method the applicant has

advised that this is not possible, nor is it possible to incorporate "*rooms in the roof*".

6.7 Block H, which is also four storeys in height, would be less prominent, as existing terraced properties and the townhouses proposed by this application would largely obscure views of the building from the surrounding streets. Glimpses of both buildings may be afforded from longer distant vantage points or along the Norfolk Street access road; however, whether the height of the either of these buildings is appropriate to the site or results in demonstrable harm upon the character of the area is a matter of subjective judgement.

6.8 The previous report to this Committee highlighted that whilst the immediate surroundings to the site comprise two storey terraces, Denton Holme is, in the Officer's view, an area where the skyline is punctuated by taller buildings. There are other examples of taller buildings in the locality such as the substantial former mill buildings located at Denton Mill, Atlas Works and Shaddongate. There are also other existing buildings that exceed three storeys in height such as the former Reading Room and Coffee House at the junction of North Street and Denton Street; the flats located at the junction of Denton Street with Charlotte Street on the approach into Denton Holme from Carlisle and Robert Fergusson School on Denton Street.

6.9 When considering the height of the proposed buildings Members must also be mindful of the precedent set by other approved, albeit unimplemented, planning consents. One of the most significant of these is a planning permission for the erection of 196 student residences on land to the rear of Denton Street and Collingwood Street (Appn 09/0815). That consent, which was determined by the Development Control Committee in December 2009, included the erection of buildings that ranged between three, four and five storeys in height. Closer to the location of the application site, on the site of the former Penguins Factory, permission was granted for the erection of buildings that would be three and a half storey in height. In light of the above it is very difficult for Officers' to reasonably argue that the height of the buildings, as proposed under the revised scheme, are inappropriate for the location as a precedent has clearly been set.

6.10 The proposed units are in effect townhouses, albeit houses that are occupied by 9 or 12 persons. Consequently, the appearance of the units has a vertical emphasis that reflects the predominant house type in the locality. The design of the buildings incorporates contemporary elements; however, this is reflective of current architectural practises and modern technology. The architect has sought to link the design of the building to the surrounding terraced dwellings through the use of a red facing brick. If Members were minded to support the application a condition could be imposed to ensure that the brick is a good match to those used in the surrounding terraces. The architect has also indicated that the roof covering will be clad with fibre cement roof slates, which is a man-made imitation of a natural slate. There are good examples of this type of roof covering which provide a likeness to natural slate. Bearing in mind the height of the roofs it would be difficult to establish the difference between the fibre cement slate and a natural slate.

Consequently, the proposed roof material is acceptable to Officers. The differing architectural style of the taller four storey units provides a distinction from the lower three storey units and introduces visual interest to the streetscape.

6.11 The design of the buildings includes a sustainable building concept, which is described in greater detail in paragraphs 3.11 to 3.14 of this report. This is particularly important consideration as the sustainable construction methods being adopted far exceed that of a conventional scheme. This is reflected in the fact that previous student accommodation schemes based on the “eco-res” concept have been awarded a BREEAM rating of ‘excellent’ and ‘outstanding’. It is the latter, more significant, rating that the applicant is aspiring to achieve in respect of this proposal. If achieved there are also other spin off benefits for the City, particularly those associated with the University, as it could be advertised that Carlisle is home to one of the few schemes world wide that have achieved the BREEAM accreditation rating of ‘outstanding’. The use of such building techniques and incorporation of energy saving measures should be encouraged and is compliant with Policy CP9 of the CDLP.

6.12 In terms of the layout itself, the buildings are interspersed amongst landscaped areas that will provide external space for the residents to enjoy. The extent of these landscaped area have been reduced from the scheme that was previously considered by Members in order to provide an increase in on-site parking levels for students. Paragraph 3.16 of this report highlights that the areas to the east of Blocks M and L and the west of Blocks F and G are to be surfaced with "grasscrete" in order to provide additional parking for the future occupiers. Whilst the principle of providing these spaces is in line with the request made by Members, Officers’ question whether the use of “grasscrete” is appropriate to the location. Arguably, the use of an alternative hard surface material could be more aesthetically pleasing. To address this particular issue Officers have recommended that a condition is imposed that requires the hard surface details to be agreed with Officers prior to development commencing.

6.13 The proposed development is well laid out and will encourage and promote the creation of a neighbourhood for its residents. The properties overlook one another thereby creating a degree of natural surveillance and the distinction between public and semi-public space is defined, both of which should act as a deterrent to potential offenders and reduce the likelihood of crime occurring. The proposal also provides its own recreation facilities in the form of the ‘social hub’. This is an area that will be manned by staff, although the precise number will vary on a day-to-day basis. It provides an area for students to congregate and socialise; however, it does not provide for the sale of alcohol for consumption either on or off the premises.

6.14 In summary, whilst residents have raised significant concerns regarding the height of the buildings, which it could be argued is at odds with the design guidance contained in the Denton Holme and Longsowerby Design Statement, it is the Officer’s view that in light of other tall buildings in Denton Holme (including those that have been granted planning permission) and the

absence of any clear demonstrable harm relating to the height of the proposed buildings a refusal of the application on this basis could not be substantiated.

6.15 Similarly, in respect of the appearance of the proposed townhouses, whilst they are different in architectural style, this in its own right would not necessarily prejudice the appearance of the area. It could be argued that, in design terms, this is just the next stage in the evolution of Denton Holme, the historical context of which has been well documented.

3. Highway Issues

6.16 Another key concern that has been raised by the local residents relates to highway issues, in particular the perceived shortage of car parking spaces and the additional impact that the development would place on the recognised shortage of available on-street parking. If this were to occur it could be reasonably argued that the development would have an unacceptable impact upon the living conditions of neighbouring residents or highway safety.

6.17 Paragraph 3.2 of this report identifies how the applicant's have taken on board the comments made by Members at the previous Development Control Committee Meeting. The level of available on-site parking has increased from forty eight spaces to seventy six spaces. Members may also recall that the Officer's presentation to the Committee in December highlighted that the Highway Authority had commented that the six spaces that were positioned adjacent to the gable of No.35 Richardson Street would have to be made available for use by existing residents as they were situated over the position of the adopted highway which provides access to the lane at the rear of Richardson Street. Under the revised scheme these spaces have be located on the southern side of the Richardson Street access road and, therefore, all of the seventy six spaces now proposed would be available for use by those people associated with the development.

6.18 The seventy six spaces comprises twenty visitor spaces, four spaces for staff associated with the social hub and fifty two spaces for occupiers of the development. It is the Officer's view that this notable increase in parking provision addresses the concerns raised by Members. The applicant's architects have also supplied information associated with other student developments in the country where the trend appears to be to provide much lower levels of parking for residents, if any, with the exception of disabled person bays and loading bays for the start/finish of term. The specifics around these individual cases are not known and, therefore, it is difficult to use the information for the purposes of determining this current application. The current ratio of car parking to occupancy levels equates to approximately one space per ten residents.

6.19 Whilst the number of spaces may sound low given the number of students the architects, who have been involved in other student residential schemes else where in the country, have advised the applicant that car ownership levels amongst students is relatively low and this level of parking will be sufficient for the proposed level of students, whilst ensuring that there is no increase in on-

street parking.

6.20 In order for this scheme to be successful it is imperative that existing levels of on-street are not exceeded as a consequence of the proposed residents parking on the surrounding residential streets. To combat this particular issue the applicant's have agreed to provide a car parking management strategy that will demonstrate how the fifty two residential spaces will be allocated to ensure that they are not oversubscribed. The applicant has also agreed to enter into a s106 agreement to effectively rescind the rights of the future residents of this scheme to apply for residents parking permits (as well as visitor permits) through the lease agreements. This arrangement would be secured in perpetuity through the completion of the s106 agreement. It is the Officer's view that these two measures will prevent additional parking by students within the surrounding streets.

6.21 It is recognised that at the beginning or end of term there may be an increase in parking levels in the surrounding streets as parents arrive to collect or drop off students; however, this problem would be relatively short lived and it is anticipated that the twenty visitor spaces would address this issue to a large degree. In the Officer's view, if these visitor spaces were full the reality is that parents collecting/dropping off students are more likely to park indiscriminately within the site for a short period rather than to have to walk further a field.

6.22 In promoting the reduced level of car parking, the applicant's supporting transport information highlights that students are more likely to travel on foot, by bicycle or by public transport, as opposed to private car, hence the fact that the applicant's propose to provide 56 covered secure bicycle storage spaces.

6.23 The application is accompanied by a Travel Plan, which is intended to influence travel choices of future residents and encourage more sustainable means of travel. The Highway Authority has raised issues with the content of that plan, most notably the absence of any reference to the Caldew Cycle link; however, the applicant's transport consultants have advised that this is because this cycle link is presently incomplete. To overcome the shortcoming of the current Travel Plan the Highway Authority has suggested that an updated Travel Plan be submitted, which can be secured through the imposition of a planning condition.

6.24 As Members will be aware the Travel Plan is a document that identifies measures that will be undertaken by the developer to discourage reliance on the private car and encourage greater use of public transport, cycling and walking. Any subsequent s106 agreement would also need to incorporate the payment of £6,600 to enable the continued monitoring of the Travel Plan. The applicant has also agreed to provide a £50,000 Travel Plan Bond, which would be secured through a s106 agreement. Effectively this bond would be used by the Highway Authority to encourage increased levels of sustainable travel should the applicant fail to achieve this through the Travel Plan.

6.25 The implementation of the Travel Plan should encourage more sustainable

forms of Travel; however, to assist in meeting this objective the Highway Authority has also suggested that a financial contribution should be made towards constructing the presently incomplete section of the Caldew Cycleway at its northern end where it connects to Castle Way. The Highway Authority advised that in respect of the other student scheme in Denton Holme, which would accommodate 196 students, a contribution of £46,000 would be secured (should the development be implemented) and, therefore, a pro rata contribution should be paid. This would equate to a financial contribution of £116,000. At present the exact costing of the cycleway works has yet to be defined, as has clarity of funding from alternative sources, such as other development projects. Members should be aware, therefore, that this contribution is an upper ceiling figure and may in fact reduce when more information on costing and/or funding becomes available.

6.26 The Highway Authority also suggested that improved cycle provision could be achieved by creating a dedicated cycle link on to the lane at the rear of Westmorland Street, which in turn would provide a direct access towards the Caldew Cycleway. Whilst the Highway Authority's aspirations are noted, it is the Officer's view that the provision of such a link would undermine the security of the site and should be resisted, particularly as safer routes, albeit not dedicated cycleways, exist through the surrounding terraced streets.

6.27 The Highway Authority also requested a financial contribution of £10,000 to enable a review of the existing parking restrictions in Denton Holme twelve months after the date that the development is operational. Given that Officers' are satisfied that appropriate measures are proposed to prevent additional on-street parking it is the Officer's view that it would not be reasonable to request this contribution, as to do so would not comply with the regulations that regulate the payment of financial contributions via s106 agreements.

6.28 The local Ward Councillor, Councillor Atkinson, has suggested that this scheme could provide the opportunity to improve the parking situation for residents through the provision of parking lay-bys along the lanes to the rear of Norfolk Street and Richardson Street. In his view, this could be achieved without compromising the layout of the scheme.

6.29 To assist in this matter the City Council's Highway Manager has provided an approximate cost of providing these parking bays to an adoptable standard, which equates to approximately £46,000. The applicant has confirmed that they would not be opposed to doing this, but that if they were to do so the land would have to be transferred from their ownership and that the Council would have to agree to reduce financial contributions that may be incurred in other areas. In terms of the latter, Members are reminded that any request for financial contributions are as a consequent of a policy requirement/justification to do so and that there is no policy requirement for the provision of addition off-street parking for the existing residents, particularly as, in the Officer's view, adequate measures will be put in place to restrict on-street parking by the future occupants of this scheme.

6.30 In summary, however, the Highway Authority has raised no objections to the scheme, subject to the imposition of appropriate conditions that relate to the

construction of the access roads, parking provision for construction vehicles, the submission of a Travel Plan and the retention of the cycle bays. It is also necessary to complete a s106 agreement to secure a financial contribution of £116,000 towards cycleway improvements; to rescind the ability of future residents of this scheme to apply for residents/visitor parking permits; a Travel Plan monitoring fee of £6,600 and a £50,000 Travel Plan Bond to ensure that the objectives of the Travel Plan are met.

4. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

6.31 Another fundamental concern associated with the height of the development as originally submitted, aside from whether the buildings are in keeping with the locality, is the impact that the accommodation blocks will have upon the living conditions of those residents that adjoin the site.

6.32 Under the current amended layout, which reduces the height of the majority of the buildings to three storeys, the impact on residents will be considerably reduced. The architects have been careful to ensure that the standard minimum distances between the townhouses and the neighbouring properties have been exceeded. There are two key exceptions where this has not been achieved which relate to Block M on Norfolk Street and Block A on Richardson Street. These three storey units are located less than 21 metres from the residential properties that are located on the opposite side of these roads. Whilst the minimum ‘window to window’ distance of 21 metres has not been achieved in these circumstances it is normally reasoned that in order to maintain the built form of the terraced street a reduced distance is acceptable. The position of the remaining four storey units is such that these units are unlikely to directly affect any neighbouring residents.

6.33 On the whole Officers are satisfied that adequate separation distance has been achieved to ensure that the living conditions of neighbouring residents will not be compromised through loss of light, privacy or overdominance.

6.34 Objectors have also raised concerns regarding the perceived ‘student lifestyle’ and the detrimental impact that this may have upon the immediate residents through noise, nuisance or other disorder, which residents believe may arise from a concentration of residential accommodation to be occupied by persons largely under 25 years of age.

6.35 In response to these behavioural concerns, which are largely, out with the control of the planning regime, the applicant’s have sought to put residents minds at ease by documenting that it is the intention, should permission be forthcoming, for the University of Cumbria to be responsible for the marketing, leasing and on going management of the student accommodation. Officers have been informed that pending an agreement being finalised the University will have staff employed at the social hub during normal working hours who will be responsible for the on-going day-to-day tenancy management.

6.36 The University would also operate a ‘student warden’ type system where a number of residents receive a reduced rate in return for supporting University staff in managing and ensuring appropriate conduct on site. The University of

Cumbria have also confirmed to the applicant's that their prospective tenancy agreements include provisions on acceptable/appropriate behaviour and available sanctions.

6.37 In considering the above points Members should note that this suggested arrangement with the University is not guaranteed; however, it does provide a clear indication of the applicant's intentions should permission be forthcoming. If in the event that the accommodation was not managed by the University it would be overseen by another landlord, whether the applicants or separate third party, who is likely to adopt similar management provisions. The key point for Members to be mindful of is that, notwithstanding residents' concerns, it would be wrong be determine the application on the stereotypical view that students will create an unacceptable level of nuisance or disturbance that would be harmful to the living conditions of residents. Members may also appreciate that there are other regulatory bodies that can address these issues, including the Council's Environmental Health Officers and the rules of the professional bodies with whom some of these students will be associated.

6.38 Some objectors to the scheme have also highlighted that permission has been granted for the provision of 196 student residences on land towards the northern extent of Denton Holme. These objectors are correct in thinking that this current application must be determined with that commitment in mind as the permission could still be implemented. If it were, the schemes would cumulatively provide for 688 students in the Denton Holme area. The two sites are, however, located at the opposite ends of Denton Holme and whether the cumulative effects that are alluded to will actually be felt is unsubstantiated. The demographic profile of Denton Holme will undoubtedly change as a consequence of an increase in students; however, whether this would be an adverse change is difficult to quantify. Some residents have implied that the area would be deserted outside term-time; however, the reality is that both sites are currently undeveloped and, therefore, out side of term-time there would no change to the present status quo.

6.39 Objectors have also questioned whether student numbers will fall in the future as a consequence of increased tuition fees. It is the Officer's view that whether or not an application is successful should not be on the basis of a perceived fear of a reduced student uptake. It is the applicants, in conjunction with their discussions with the University of Cumbria, who are best placed to make this decision, which is a significant commercial decision on the part of the applicant resulting in a potential multi-million pound financial investment on their part and, therefore, clearly not a decision that they would take lightly in this current financial climate.

6.40 Some residents have expressed concern over the proximity of the bin stores to their properties and whether or not it would result in unpleasant smells or attract vermin. Whilst these concerns are noted potential problems can be averted through appropriate management.

6.41 It is acknowledged that given the scale of the development there will be a degree of disturbance during the construction of the dwellings. In order to

mitigate the impact that the construction phase will have upon the living conditions of residents a condition is recommended that limits construction work to between 7.30am and 6pm Monday to Friday, 7.30am to 1pm on Saturdays, with no work permitted on Sundays.

5. Provision Of Public Open Space/Maintenance

6.42 When considering applications for housing developments, applicants are commonly requested to make a financial contribution to the burden that the future occupiers of the development would place on open space provision/maintenance. The level of financial contribution is dependent on the housing mix and is secured through the completion of a s106 agreement.

6.43 The future occupiers of this development will undoubtedly place an increased burden on the areas of green space within the vicinity of the site; however, given that this development relates to the provision of student accommodation in dwellings housing 9-12 students there is no predetermined formula for generating the recommended level of contribution towards open space provision.

6.44 The applicant's have offered a financial contribution of £40,000 towards open space provision/maintenance. Taking into account the level of open space within the site and the provision of a dedicated student social hub, the proposed contribution is considered proportionate and relevant to the development. By way of a comparison had this been a residential scheme for 52 three bedroom townhouses a financial contribution of £46,700 would have been sought. Members should note that this comparison excludes a contribution towards the provision of play areas as students are considered to be too old to use such facilities. In order to secure these funds it would be necessary for the developer to enter into a s106 agreement. Councillor McDevitt has made Officers aware of aspirations for the provision of a new community centre in Denton Holme and it is recommended that a caveat is included in the s106 agreement that also enables this contribution to be used towards achieving that objective.

6. Retention Of Existing Landscape Features/Ecological Issues

6.45 The applicant has indicated that the detailed scheme will incorporate the majority of the existing landscape features along the banks of the Little Caldew. Some thinning out is required for maintenance purposes; however, additional planting is proposed to enhance the river corridor. The finer details of the landscaping scheme can be regulated through the imposition of an appropriately worded condition.

6.46 In terms of the ecological issues, the application is supported by an Ecological Report. That report identified that there are no protected species, such as nesting birds or bats, present on the site itself, but that the watercourse could be used by otters. In respect of the potential impact upon otters the applicant's ecologist concluded that the 4m undeveloped margin to the either side of the millrace would ensure that the development would not have a direct impact upon commuting routes of otters in the area.

6.47 Overall, the applicant's ecologist concluded that the site is of limited ecological value and any adverse ecological impacts are likely to be offset to some extent by the soft landscaping proposed. The precise details of any landscaping could be controlled through the imposition of a condition that requires a landscaping scheme to be agreed. The applicant's ecologist also advised that any new planting be of a type that would encourage insects, which in turn would provide food for bats and birds.

6.48 Several conditions are recommended to offset the potential effects that could arise during the construction phase. Firstly, that no site clearance takes place between 1st March to 31st August unless the absence of nesting birds has been established through a survey. Secondly, that protective fencing is erected around those trees to be retained to ensure that they are not harmed during the construction phase. Thirdly, that a Construction Environmental Management Plan is produced to demonstrate how the river corridor will be protected whilst construction work is on-going.

6.49 In addition to the foregoing Natural England has raised no objections, but has advised that if the Council was inclined to approve this application it would be necessary to undertake an "Assessment of Likely Significant Effect". This assessment would identify those conservation features of interest, i.e. the Little Caldew; the potential hazards these features would be exposed to during the construction phase and the means of mitigating any potential adverse impact. A condition is recommended that requires a Construction Environmental Management Plan to be submitted to cover this issue, which is an approach that Natural England has accepted in similar scenarios. A further condition is recommended at the request of the Environment Agency that seeks clarification as to how the river corridor will be enhanced and managed once the development becomes operational.

6.50 If Members are minded to support this application it is requested that authority to issue an approval is granted to enable the completion of that assessment, together with the modification/inclusion of any conditions requested by Natural England.

7. Contamination

6.51 It is recognised that there are contaminants on the site that are associated with the previous industrial uses that took place on the site. In 2008 a scheme of remediation was approved, although never implemented. The current proposals follows a similar approach, which involves forming a 1m deep layer of capping over the majority of the site, albeit the depth of the capping will reduce to existing site levels along the Norfolk Street and Richardson Street frontages. This layer effectively separates contaminated ground from the occupied areas.

6.52 The City Council's Environmental Health Officers and the Environment Agency have raised no objections to the proposed scheme of remediation, subject to the imposition of two conditions. The first would require a Validation and Closure Report to be submitted to ensure remediation works have been

satisfactorily undertaken, together with a condition that would legislate for the event that contamination is found at a later date, which had not previously been identified.

6.53 Members may be aware that there has recently been an article in the press that has heightened residents concerns regarding contamination. It is not unusual for contaminated sites to be developed for sensitive uses such as housing. The key question is whether the site can be safely remediated, which in this instance, the advice from specialist consultees, such as the Council's Environmental Health Officers and the Environment Agency, is that this can be achieved, subject to the imposition of appropriate conditions.

8. Foul And Surface Water Drainage

6.54 The applicant has indicated that the foul drainage will connect into the public sewer, which is acceptable in principle. Although United Utilities has not formally responded to the consultation that they were sent a condition is recommended that requires the foul connection points to be agreed prior to development commencing, which is in line with the advice that United Utilities have provided in respect of other recently considered 'Major' planning applications.

6.55 In terms of surface water disposal the applicant's have indicated that it is their intention to discharge into the Little Caldew via the surface water drainage system that previously serve the former buildings on the site. It is understood that the drainage system remains in a good state of repair and the disposal of surface water to an existing water course is a preferred and more sustainable option. The Environment Agency has raised no objections to this arrangement, subject to the imposition of a planning condition.

9. Flood Risk

6.56 Whilst the site is located within Flood Zone 2, Planning Policy Statement 25 "Development and Flood Risk" advises that residential development can take place in such areas provided that appropriate safeguarding measures are incorporated, hence the site's designation as a housing site within the Carlisle District Local Plan.

6.57 The Environment Agency has advised that the finished floor level of the proposed units is acceptable in light of the fact that the flood defences have been completed. The applicant also proposes to sign up to the Environment Agency's advanced telephone warning scheme and include measures to prevent back flow up the sewerage pipes in the event of abnormally high river levels.

10. Other matters

6.58 Some residents have expressed concern regarding the proposed method of construction, which will include pile driven foundations. The residents are concerned that this may result in structural damage to their homes. In the event that structural damage were to occur in neighbouring dwellings as a

consequence of any aspect of the construction phase it would be a civil matter for the developer to resolve with those persons affected. It is not necessary for the Council to undertake a risk assessment into this form of construction as this is a matter for the developer to assess outside the planning process.

6.59 Residents have also highlighted that it is their understanding that there are foundations associated with a former air raid shelter under the position of Block L, which may affect the applicant's ability to construct this unit should permission be granted; however, the applicant's are satisfied from the ground investigations they have undertaken that this is not the case. Notwithstanding the above, this is a technical issue for the developers to address and not one that should influence the outcome of the application.

11. Other Material Considerations

6.60 In considering whether the development accords with the relevant Local Plan policies, Members should be mindful of the other positive benefits that this scheme offers, which are a material planning consideration to be weighed in the balance alongside the concerns of residents.

6.61 It is anticipated that the scheme will benefit the businesses in and around Denton Holme through increased passing trade. More importantly, perhaps, the scheme will provide a high quality, ecologically friendly student development that the University can associate with to attract additional students to the City. It would also be beneficial to the City as a marketing tool if this scheme was to achieve the BREEAM 'outstanding' award that the developers aspire to achieve.

Conclusion

6.62 In overall terms, the principle of the development is acceptable. Officers are satisfied that adequate separation distance has been provided to ensure that the living conditions of the neighbouring properties will not be adversely affected through loss of light, privacy or overdominance. Adequate amenity space, incurtilage parking provision would be available to serve the townhouses. The new accesses to be formed and the anticipated level of traffic generated by the proposal would not prejudice highway safety. In all aspects the proposals are compliant with the objectives of the relevant Local Plan policies.

6.63 If Members are minded to grant planning approval it is requested that "authority to issue" the approval is given subject to the completion of a s106 agreement to secure:

a) a financial contribution of £40,000 towards the provision and maintenance of public open space. The s106 agreement should include a clause to enable the money to be put towards a community centre should that aspiration be realised;
b) certainty that the lease agreements for the prospective tenants that includes a clause that rescinds the ability of future occupiers to apply for a residents parking permit (including visitor parking permits);

c) a maximum financial contribution of £116,000 toward improvements to the Caldew Cycleway. It should be noted, however, that this figure may reduce once the cost of these works have been drawn up or if funding is made available from alternative sources of funding, such as through other s106 agreements relating to other schemes in the area;
d) £6,600 to enable monitoring of the Travel Plan for a five year period;
e) £50,000 Travel Plan Bond; and
f) £300 to enable monitoring of the s106 agreement.

6.63 Finally, Members are also reminded that if "minded to approve" this application it is necessary to undertake an “Assessment of Likely Significant Effect” under the Habitats Regulations given the potential impact upon the River Eden and Tributaries SAC and SSSI. This assessment needs to be agreed by Natural England; however, Officers do not envisage that the outcome of the assessment will preclude planning permission being granted. Clearly, however, if it were found to give rise to such concerns the application would be brought back before Members. It is, however, requested that in granting authority to issue the decision Members authorise Officers to make any necessary changes to the prospective conditions if requested by Natural England.

7. Planning History

7.1 There are a number of planning applications associated with the factory that has since been demolished. None of these applications are specifically relevant to this current proposal.

7.2 In 2008 planning permission was granted for a site remediation scheme to facilitate the future development of the site (Application 07/1207).

8. Recommendation: Grant Subject to S106 Agreement

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this planning permission comprise:

   SCHEDULE OF PLANS, DOCUMENTS AND VISUAL ILLUSTRATIONS [DETAILS TO BE INSERTED], THE NOTICE OF DECISION, ETC

   Reason: To define the permission.

3. The accommodation hereby permitted shall be used for student accommodation and for no other purpose.

Reason: To retain control over future use of the accommodation to ensure compliance accordance with Policies CP5, H1, H12 and H16 of the Carlisle District Local Plan 2001-2016.

4. Samples or full details of all materials to be used on the exterior shall be submitted to and approved, in writing, by the Local Planning Authority before any work is commenced.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. Notwithstanding the description of the hard surface details identified on Drawing No. 299.1118.(PA).05 received 9th January 2012 no development shall commence until details of the proposed hard surface finishes to all public and private external areas within the proposed scheme have been submitted to and approved, in writing, by the Local Planning Authority.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. No development shall take place until full details of the proposed soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. The landscaping scheme shall incorporate those species identified in Section 7 of the Ecology Report produced by Elliott Environmental Surveyors (received 4th October 2011). Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that an acceptable landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. Before any development is commenced on the site, including site works of any description, a protective fence shall be erected around those trees to be retained in accordance with a scheme that has been submitted to and agreed, in writing, by the Local Planning Authority. Within the areas fenced off the existing ground level shall be neither raised nor lowered, except in accordance with the approved scheme, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. If any trenches for services are required in the fenced off area, they shall be excavated or back filled by hand and any roots encountered with a diameter of 25mm or more shall be left unsevered. The fence shall thereafter be retained at all times during construction works on the site.

Reason: In order to ensure that adequate protection is afforded to all

hedges to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. No development shall commence until a method statement for any work within the root protection area of those trees to be retained has been submitted to and agreed, in writing, by the Local Planning Authority. The development shall be carried out in accordance with the approved statement.

Reason: In order to ensure that adequate protection is afforded to all trees to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. Following completion of construction works and removal of site machinery and materials, protective fencing may be dismantled to permit ground preparation and cultivation works, if required, adjacent to the trees. Any such ground preparation and cultivation works shall be carried out by hand, taking care not to damage any roots encountered.

Reason: To protect the trees during development works in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

10. No site clearance or works to trees shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

Reason: To protect nesting birds in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

11. Prior to the commencement of development a Construction Environmental Management Plan shall be submitted to and agreed, in writing, by the Local Planning Authority. This shall include noise management measures, waste minimisation and management measures, bio-security measures to prevent the introduction of disease and invasive species, measures to prevent pollution including the management of site drainage such as the use of silt traps during construction, the checking and testing of imported fill material where required to ensure suitability for use and prevent the spread invasive species, the construction hours of working, wheel washing, vibration management, dust management, vermin control, vehicle control within the site and localised traffic management and protocols for contact and consultation with local people and other matters to be agreed with the Local Planning Authority.

The agreed scheme shall be implemented upon commencement of development and shall not be varied without prior written agreement of the Local Planning Authority.

Reason: To safeguard the living conditions of neighbouring residents, prevent pollution, mitigate impacts on wildlife and any adverse impact upon the River Eden and Tributaries Special Area of Conservation in accordance with Policies CP2, CP5, CP6, LE2

and LE4 of the Carlisle District Local Plan 2001-2016.

12. The development hereby permitted shall not be commenced until such time as a scheme to treat and remove suspended solids from surface water run-off during construction works has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be implemented as approved.

Reason: To protect the receiving controlled waters of the Little Caldew, Caldew and Eden in accordance with Policies LE2 and LE4 of the Carlisle District Local Plan 2001-2016.

13. The development will only be acceptable if the details of surface water drainage assessment dated 27.10.11, produced by Tom Stower and Partners Ltd. and referenced 4550/MRH are taken forward into further detailed design, which shall be submitted to and approved, in writing, by the Local Planning Authority prior to development commencing.

1. Surface water run-off generated by a range of flow rate probabilities up to and including the 1% annual probability (1 in 100 year event) critical storm shall result in a minimum 30% reduction in calculated flows in the post development scenario. The surface water strategy shall ensure that the 1 in 100 year storm plus climate change shall be retained on site and not increase flood risk on or off site.

Reason: To prevent flooding by ensuring the acceptable storage of and disposal of surface water from the site in accordance with Policies CP12 and LE27 of the Carlisle District Local Plan 2001-2016.

14. The development permitted by this planning permission shall only be carried out in accordance with the approved Revised Flood Risk Assessment (FRA) dated November 2011 and produced by G A Noonan and the following mitigation measures detailed within the FRA:

1. Finished habitable floor levels are set no lower than 17.00 m above Ordnance Datum (AOD) and in accordance with proposed site plan 299.1118. (PA).05 Rev 6.

Reason: To reduce the risk of flooding to the proposed development and future occupants in accordance with Policy LE27 of the Carlisle District Local Plan 2001-2016.

15. Prior to the commencement of development a plan for the protection and/or mitigation of damage to any species and habitats , both during construction works and once the development is complete and including management responsibilities, shall be submitted to and approved in writing by the Local Planning Authority. The species and habitats protection plan shall be carried out in accordance with a timetable for implementation as approved.

Reason: To protect the any species and habitats within and adjacent to

the development site. Without it, avoidable damage could be caused to the nature conservation value of the site contrary to national planning policy as set out in Planning Policy Statement 1 and Planning Policy Statement 9. The UK BAP priority species and habitats are all identified under The UK Biodiversity Action Plan 1994 (UK BAP) identifies species and habitats of 'principal' importance" for the conservation of biological diversity nationally. These are listed for England under s41 of the Natural Environment and Rural Communities Act 2006.

16. No development shall commence until the location of the proposed connection point(s) into the existing foul drainage system have been submitted to and agreed, in writing, by the Local Planning Authority and United Utilities. No unit shall be occupied until the foul drainage system has been connected to the public sewer in accordance with the approved details.

Reason: To ensure that adequate drainage facilities are available and to ensure compliance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

17. The townhouses hereby approved shall not be occupied until a Validation and Closure Report has been submitted to and approved, in writing, by the Local Planning Authority, as recommended by the applicant's Environmental Risk Management Strategy received 11th January 2012.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems in accordance with Policies CP5, LE2 and LE29 of the Carlisle District Local Plan 2001-2016.

18. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared in accordance with the condition above, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policies LE2 and LE29 of the Carlisle District Local Plan 2001-2016.

19. No development shall commence until details of any proposed means of

external lighting have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the living conditions of neighbouring residents are safeguarded and to ensure compliance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

20. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), the stairwell windows in the units hereby approved shall be obscure glazed and thereafter retained as such.

Reason: In order to protect the living conditions of residents in close proximity to the site in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

21. Details of the proposed means of managing and controlling entry into the social hub outside of conventional office hours shall be submitted to and approved, in writing, by the Local Planning Authority prior to work commencing on the social hub. The development shall be carried out in accordance with the approved details and they shall be fully installed and operational before the building is brought into use.

Reason: To ensure that a secure, well-designed and operational management system is available to serve the social hub in the interest of safeguarding its users in accordance with Policies CP5 and CP17 of the Carlisle District Local Plan 2001-2016.

22. No development shall commence until full details, including elevation drawings, of the 1.8 metre high metal railings to be erected on Norfolk Street either side of Block M have been submitted to and approved, in writing, by the Local Planning. The railings shall be erected prior to any of the dwellings hereby approved being brought into use.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

23. No construction work associated with the development hereby approved shall be carried out before 07.30 hours or after 18.00 hours Monday to Friday, before 07.30 hours and 13.00 hours on Saturdays, nor at any times on Sundays or Bank Holidays.

Reason: To prevent disturbance to nearby occupants in accordance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

24. Prior to occupation of the units hereby approved full details of the car parking management strategy to be implemented by the developer, including the provision of a plan that illustrates the location of the staff, visitor and residents parking spaces, has been submitted to and approved, in writing, by the Local Planning Authority. The allocation of residents parking spaces shall

be implemented in accordance with the approved car parking management strategy thereafter, unless otherwise agreed, in writing, by the Local Planning Authority.

Reason: To ensure that parking provision within the site is managed in accordance with a cohesive strategy and to support Policy CP5 of the Carlisle District Local Plan 2001-2016.

25. The roadways, cyclepaths etc shall be designed, constructed, drained and lit to the Standards set out in the Cumbria Design Guide for Residential Roads, all in accordance with the drawings approved by the Local Planning Authority and in this respect further details, including longitudinal/cross sections, shall be submitted for prior written approval before work commences on site. No work shall be commenced until a full specification has been approved. Any works so approved shall be constructed before the Use of the development commences.

Reason: To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

26. Before any development takes place, a plan shall be submitted for the prior written approval of the Local Planning Authority reserving adequate land for the parking of vehicles engaged in construction operations associated with the development hereby approved, and that land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

27. Within 6 months of the Use commencing, the developer/operator shall prepare and submit to the Local Planning Authority for their approval, a Travel Plan Review which shall identifies the measures that will be undertaken to achieve the use of sustainable transport modes in accordance with the Framework Travel Plan, submitted as part of the Application. The Travel Plan shall be reviewed at the end of each academic year and any measures identified in such reviews shall be implemented within the following 12 months. This process shall be undertaken annually for five years from the date that the use commences.

Reason: To aid in the delivery of sustainable transport objectives and to support Local Transport Plan Policies WS1, WS3 and LD4.

28. The secure cycle stores to be provided shall be retained for their intended purpose and shall not be altered without the prior written consent of the Local Planning Authority

Reason: In the interests of encouraging accessibility by sustainable

transport modes and to minimise potential hazards and to support Local Transport Plan Policies C2, LD5, LD6 LD7 and LD8.

NOTES

Site Boundary

Land Owned By The Applicant

Site

RECEIVED
11/08/03

REVISIONS

Rev		By	Ch	Date
1	Final Issue			

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Nelson Street, Carlisle

CLIENT

BORDER

DRAWING DESCRIPTION

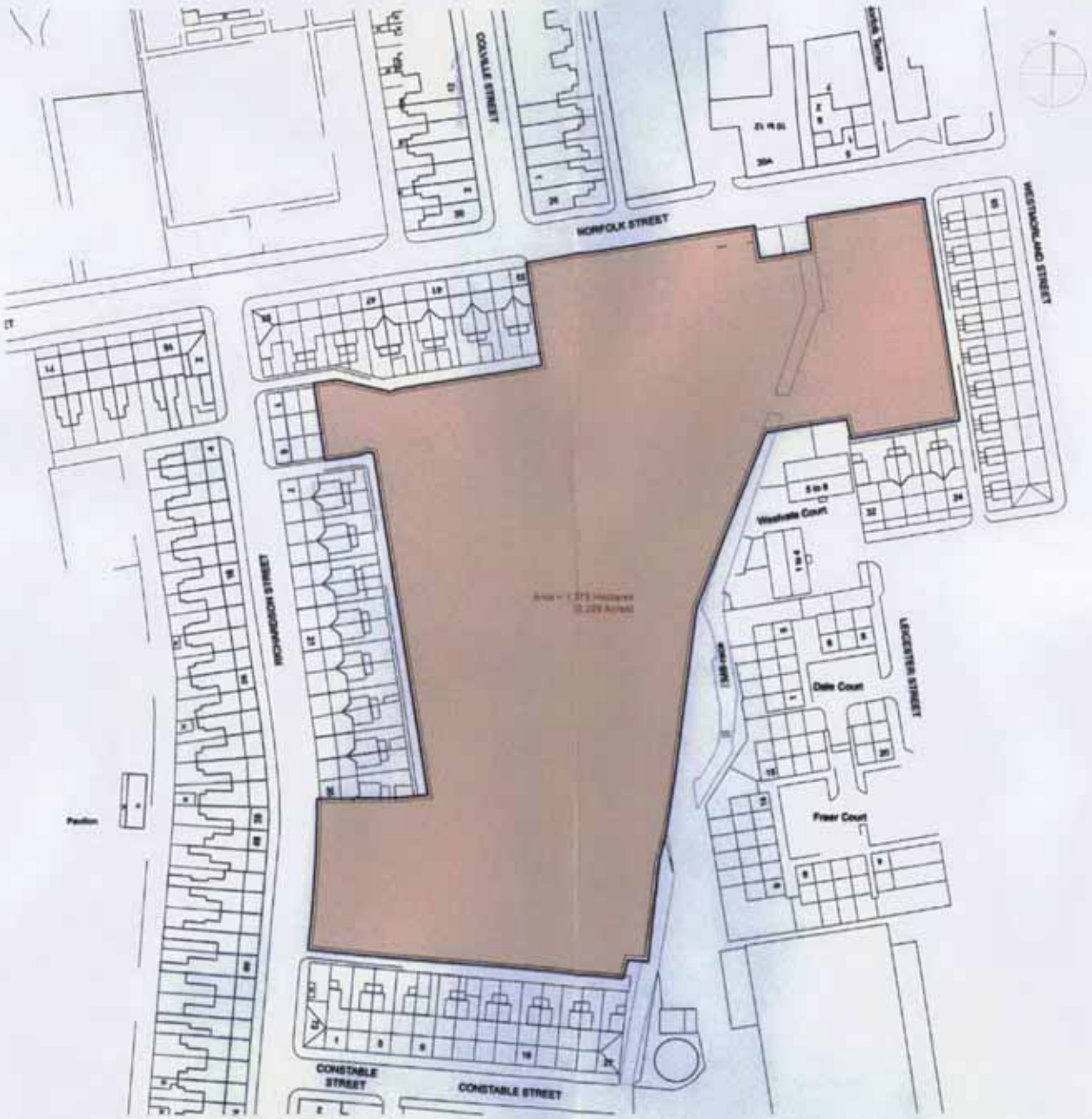
Site Location Plan

SCALE		DRAWN BY	JAM
DATE	September 2011	CHECKED	CS

DRAWING NUMBER

DRAWING STATUS

INFORMATION	X TENDER	CONTRACT CONSTRUCTION



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All dimensions and specifications should be read in conjunction with the project brief, and safety plan, any discrepancies should be reported to the Planning Supervisor.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions on the job before commencing any work or making of any drawings.

Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

Site Boundary

Land Owned By The Applicant

Total Area = 1.375 Hectares
(3.399 Acres)

RECEIVED
04 OCT 2011
11/0863

REVISIONS

Rev		By	Chk	Date
1	First issue			

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

Existing Site Plan
Red Line

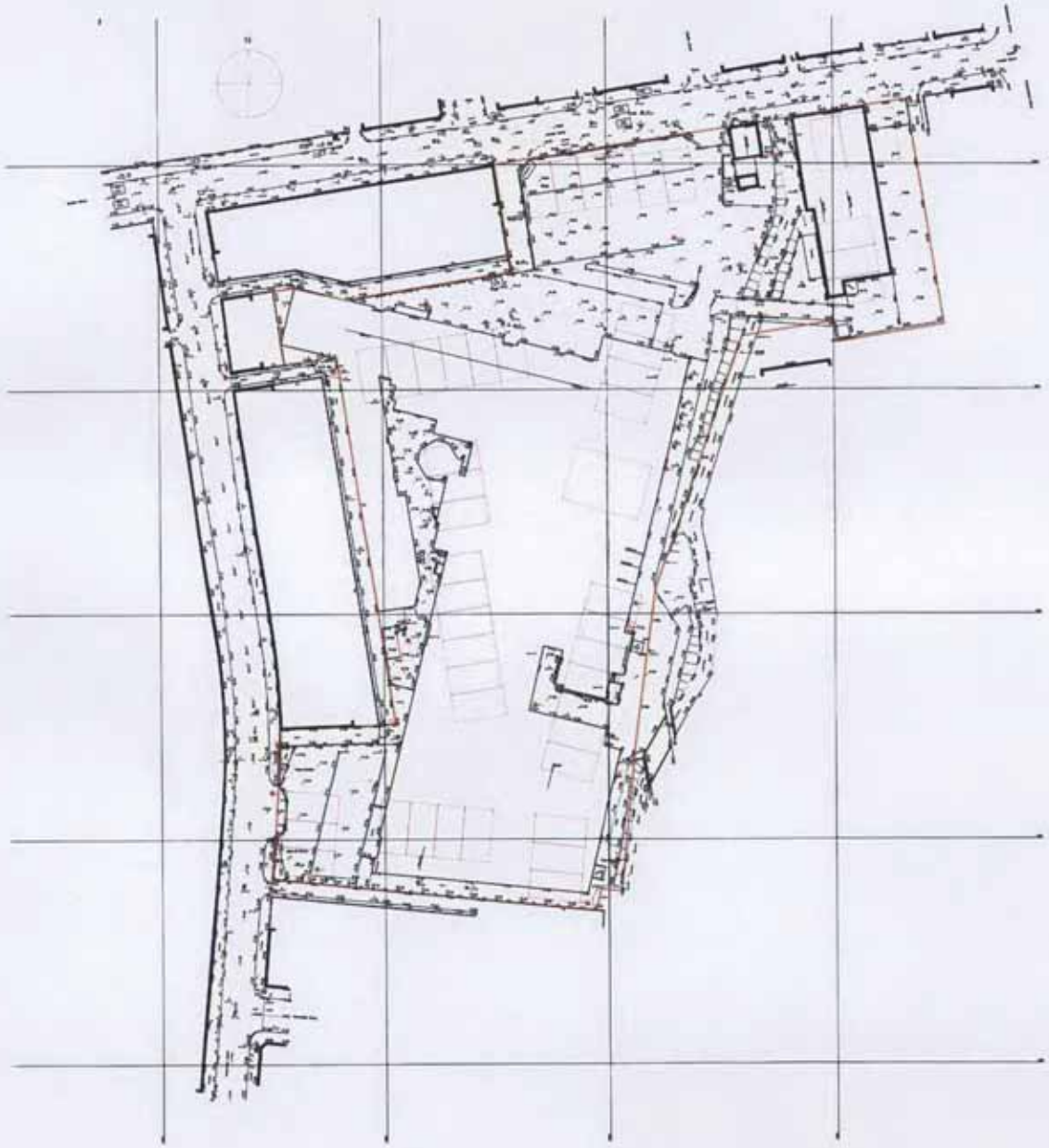
SCALE	1:500 @ A1 / 1:1000 @ A3	DRAWN BY	JAM
DATE	September 2011	CHECKED	CO

DRAWING NUMBER

209.1115.(PA)20	1

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT / CONSTRUCTION	



Legend

G	Gulley
WM	Water Meter
WL	Water Level
CL	Cover Level
MH	Manhole
IC	Inspection Cover
ST	Stop Tap
SV	Stop Valve
FH	Fire Hydrant
BT	British Telecom
Elec	NORWEB
Gas	British Gas
TP	BT Pole
LP	Lamp Post
TS	Traffic Sign
B	Traffic Bollard
DK	Drop Kerb
	Fence
	Hedge
	Gate
	Offsead Wires
	Tree

NOTES

Site Boundary

Proposed Building Footprint

REVISIONS

Rev		Dr	Ch	Date
1	First issue	JD	CB	13.06.11

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

BORDER

DRAWING DESCRIPTION

Existing Site Plan
Topographical

SCALE	1:200 @ A1 / 1:400 @ A3	DRAWN BY	JAM
DATE	September 2011	CHECKED	CB

DRAWING NUMBER

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

[illegible]

NOTES

ALL EXISTING BUILDING LEVELS APPROXIMATE

REVISIONS

Rev		Dr	Ch	Date
1	First issue	[illegible]	[illegible]	[illegible]
2	[illegible]	[illegible]	[illegible]	[illegible]
3	[illegible]	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores
BORDER

DRAWING DESCRIPTION

SITE SECTIONS 1 AND 2

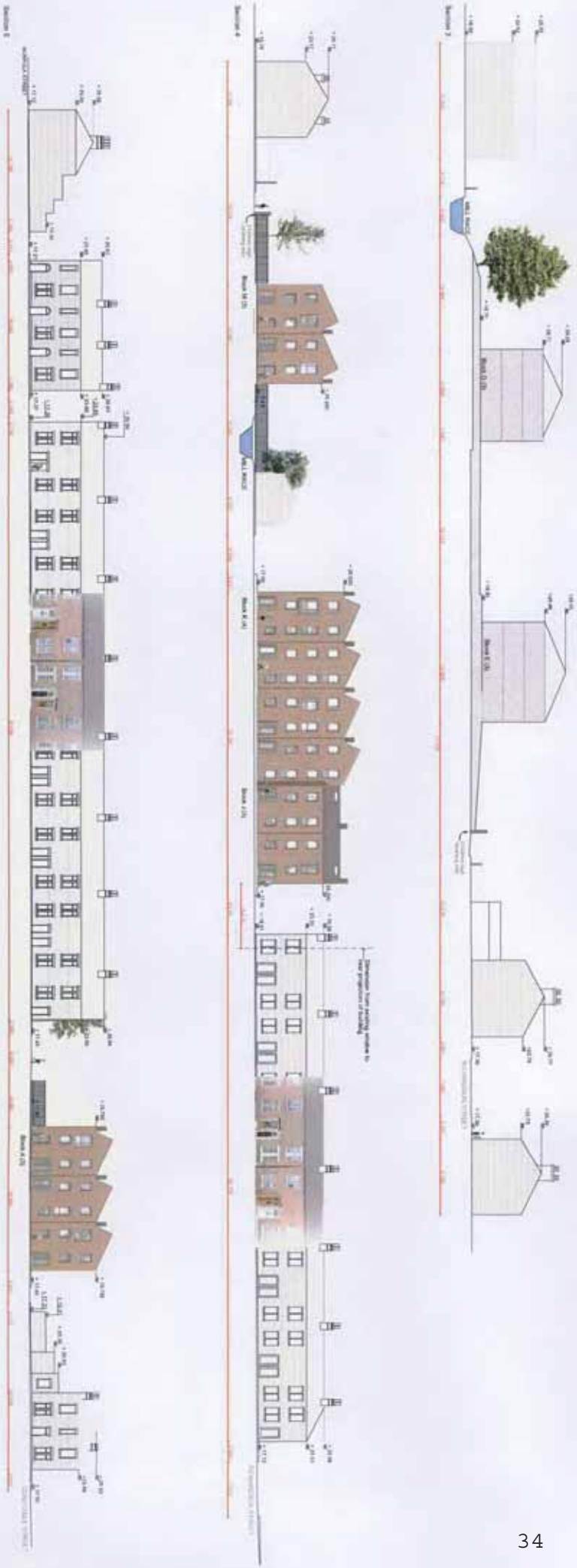
SCALE	[illegible]	DRAWN BY	
DATE	[illegible]	CHECKED	

DRAWING NUMBER

299.1118.(PA).10 — 3

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	



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All drawings and specifications should be read in conjunction with the project briefs and safety plan, any possible conflicts should be presented to the Planning Coordinator.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions at the job before commencing any work or making shop drawings.

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NOTES

ALL EXISTING BUILDING LEVELS APPROXIMATE

REVISIONS

Rev		Dr	Ch	Date
1	First Issue	[illegible]	[illegible]	[illegible]
2	General update	[illegible]	[illegible]	[illegible]
3	Revised to suit planning comments	[illegible]	[illegible]	[illegible]
4	Checked in line with site plan. Dimensions confirmed	[illegible]	[illegible]	[illegible]
5	Checked in line with site plan. Dimensions confirmed. Block 5 modified	[illegible]	[illegible]	[illegible]
6	Block 5 reduced in three storey and block 4 updated to suit Site Plan	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

Chartered Architects
Interior designers
Town planners
Project managers
Development consultants
Landscape architects

gwp

Station House
7 Lilyhall Park
Lilyhall
Carlisle
CA5 7HJ

01228 [illegible]
07[illegible]

[illegible]@gwp-arch.com
www.gwp-arch.com

PROJECT

Student Residential Accommodation
Norfolk Street , Carlisle

CLIENT

ecores

BORDER

DRAWING DESCRIPTION

SITE SECTIONS 3, 4 AND 5

SCALE	1:200 @ A1 1:400 @ A1	DRAWN BY	
DATE	SEPTEMBER 2011	CHECKED	

DRAWING NUMBER

200.1118.(PA).11 — 6

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

- Grasscrete
- Primary line of windows facing development (Dining/Living)
- Secondary line of windows facing development (Bedroom)
- Extent of house but no windows facing development
- Site Boundary Line
- Visual Boundary Radius
- Storey Height
- DDA Bedroom
- Tree / Shrub Groups and Hedges
- Trees To Be Removed
- Tree Crown True Shape
- 17.36 Existing Levels
- Information Board
- Feature Strip 300x300x80 Marshalls LTD or similar approved. Colour Charcoal
- Concrete Block heavy duty benches/table by Factory Furniture LTD Colour - Dark Grey 'Granite'
- Concrete block seating, 2 no 'Quadro' bench from Marshalls Street Furniture, Lowfield Business Park, Elland, HX5 9HT
- Existing Brick Wall made good
- Boundary Wall 2.1m high retaining wall to be faced to match townhouse elevations
- Boundary Railings 1.8m high Metal Railings.
- Existing Boundary Railings
- BS Block Signage
- LB Litter Bin - Diamond Point Elliptical Stainless Steel with ash tray option Marshalls LTD or similar approved
- All Soft Landscaping Proposals to be confirmed
- LP - Lamp Post, position TBC
- FLP - Feature Lamp Post, position TBC
- GB - Grill Bins
- CCTV - Close Circuit Television
- BT - 129 mm Dia 3 mm gauge 790 mm high, stainless steel telescopic bollard. Broxap Ltd, or similar approved
- 1. **Access Road / Footpath** Concrete Tegula Setts Bending and Edging 140 Gauge Marshalls LTD or similar approved. Colour Pennant Grey
- 2. **Paving** - 450x450x50 Concrete Smooth ground pavers Marshalls LTD or similar approved. Colour Silver Grey
- 3. **Access Road / Footpath** - Site entrance. Tarmac to match existing levels
- 4. **Rumble Strip** - Marsalls key check rumble strip two number. Colour Red
- 5. **Resin Bound** - resin bound agregate SURESET UK LTD or similar approved. Edging to Resin Bound conservation kerb
- TF - Timber Trellis 1.8m high
- External Bin Store
- Secure Cycle Store

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All drawings are specifications should be read in conjunction with the project Health and safety plan, any possible conflicts should be reported to the Planning Consultant.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

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NOTES

Block A: 27 beds Block B: 36 beds Block C: 45 beds Block D: 45 beds Block E: 54 beds Block N: 36 beds	Phase 2 = 243
Block F: 36 beds Block G: 54 beds Block H: 48 beds Block J: 18 beds Block K: 48 beds Block L: 27 beds Block M: 18 beds	Phase 1 = 249

Total = 492 beds

Total Parking Spaces = 78

REVISIONS

Rev		Dr	Ch	Date
1	First Issue	JG	CG	12.09.11
2	Drawing updated to Layout Comments	CT	JM	20.10.11
4	Updated following public consultation	CT	JM	02.11.11
5	Block C updated	JG	JM	03.11.11
5	Blocks B, C, D, E, F, G, J, K, L, M and N updated	JG	JM	04.11.11
6	Amendment to block	JG	JM	10.11.11
7	Boundary wall updated, external access to block N (entrance removed)	JG	JM	15.11.11
8	Boundary Railings added to Block M	JG	CG	23.11.11
9	Four storey height buildings reduced to three, block N 4 storey	JG	CG	24.10.11
10	Sub modified. Additional car parking generated	JMB	CG	02.12.11
11	Block parking spaces added, car parking to front of hub, and blockwork surface added (see block L)	JG	JM	05.01.12

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

ecotes

BORDER

DRAWING DESCRIPTION

Proposed Site Plan
Option 5

SCALE	1:500 @ A1 1:1000 @ A3	DRAWN BY	JAM
DATE	September 2011	CHECKED	CG

DRAWING NUMBER

0306 (11)10 (PA) 05	11

DRAWING STATUS

INFORMATION	X	TENDER	CONTRACT CONSTRUCTION

Elevation 1

Elevation 2

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: varying green, blue and orange tones as shown
6 Aluminium parapet cappings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'roll' window, opaque glazing - colour: RAL 7016
12 Fibre cement panel feature frame surround to window - colour mid grey

Elevation 3

Elevation 4

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All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions on site and before commencing any work or making shop drawings.

Written dimensions should be taken

Do not scale off drawing

Do not take digital dimensions from this drawing

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	[illegible]	[illegible]	[illegible]	[illegible]
2	[illegible]	[illegible]	[illegible]	[illegible]
3	[illegible]	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block A
Elevations

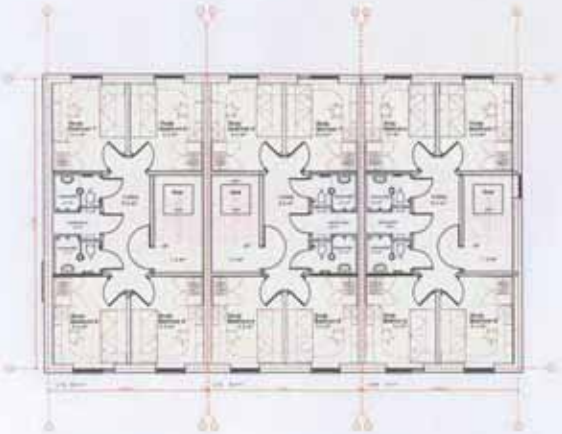
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2017	CHECKED	[illegible]

DRAWING NUMBER

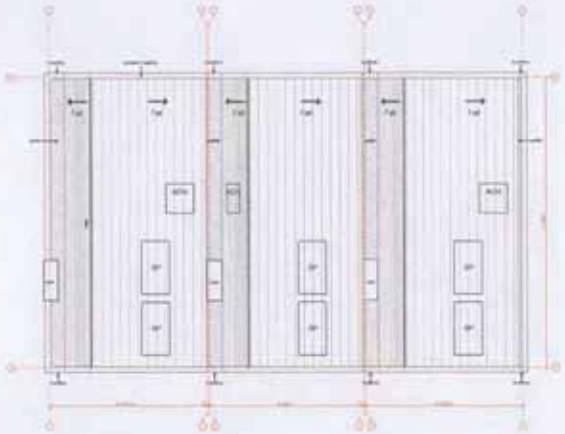
299.1118.(PA).17. 3

DRAWING STATUS

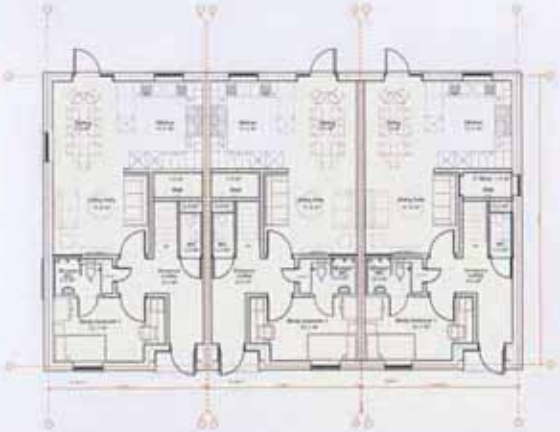
INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	



Second Floor Plan



Roof Plan



Ground Floor Plan

First Floor Plan

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Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

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NOTES

NCH Approved Opening Unit

NF Note: Thermal Panel (see and location 1:50)

For window positions and sizes see elevations

REVISIONS

Rev		Dr	Ch	Date
	First issue	[illegible]	[illegible]	[illegible]
A	Updated to revised schedule	[illegible]	[illegible]	[illegible]
B	Updated to suit Planners comments	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block A
Ground, First, Second Floor and Roof Plans

SCALE	1:200 @ A1 1:400 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).15. 3

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange tones as shown
6 Aluminium parapet coppings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with random painted boards (similar to hub) - colour: green, blue and orange tones as shown

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Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

Written dimensions should be taken.

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Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	MC	CG	[illegible]
2	General updates	JMM	CG	[illegible]
3	General updates	JLC	JW	[illegible]
4	Key plan updated	JW	JW	[illegible]
5	Updated to suit Planners comments	JMM	CG	[illegible]
6	Window reference updated	JC	JW	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER

DRAWING DESCRIPTION

GA Block B
Elevations

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	MC
DATE	September 2012	CHECKED	CG

DRAWING NUMBER

299.1118.(PA).21. – 6

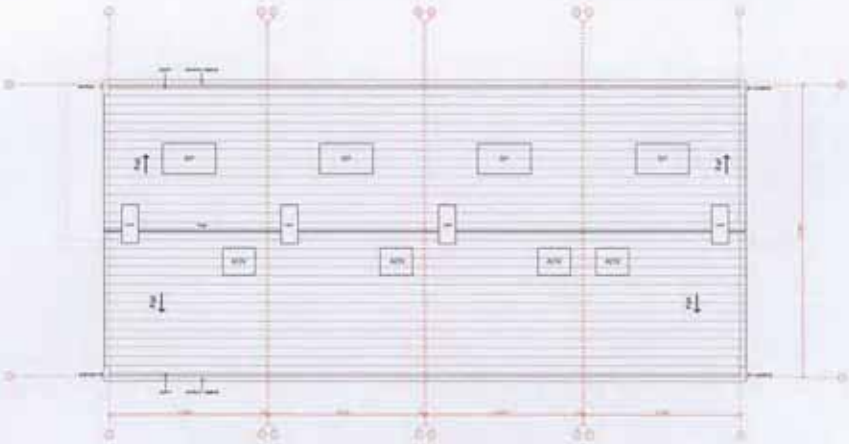
DRAWING STATUS

INFORMATION	TENDER	CONTRACT CONSTRUCTION

Ground Floor Plan

First Floor Plan

Second Floor Plan



Roof Plan

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Contractors must verify all dimensions at the job before commencing any work or making shop drawings.

Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

ACD: Automatic Opening Vent

BF: Brise (Vertical Panel blind and Insulation TBC).

For service installations and space requirements

REVISIONS

Rev		Dr	Ch	Date
	First issue	[illegible]	[illegible]	[illegible]
	Revised to suit Planning comments	[illegible]	[illegible]	[illegible]
	Brise and wall angle added to suit simulations	[illegible]	[illegible]	[illegible]
	Brise details updated	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

The Goodland Wilson Partnership
Chartered Architects
Building Surveyors
Project Managers
Landscape Architects

Alexander House
1 Lowther Lane
Penrith
Cumbria
CA11 7PJ
T 01768 864 [illegible]
F 01768 [illegible]
info@gwpartnership.co.uk
www.gwpartnership.co.uk

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block B
Ground, First, Second Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	Nov 2017	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).19. 4

DRAWING STATUS

INFORMATION	✓	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1. Facing brickwork - colour TBC
2. High performance double glazed colour coated uPVC window - colour: RAL 7016
3. High performance double glazed colour coated uPVC door - colour: RAL 7016
4. Fibre cement panel - colour mid grey
5. Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange brass as shown
6. Aluminium parapet cappings, polyester powder coated - colour light grey
7. Fibre cement panel vent terminals - colour: mid grey
8. Solar panels
9. Fibre cement roof slates - colour TBC
10. Automatic Opening Vent (AOV) - colour: RAL 7016
11. High performance double glazed colour coated uPVC 'slot' window, opaque glazing - colour: RAL 7016. Obscure Glass.
12. Fibre cement panel feature frame surround to window - colour mid grey
13. Timber weatherboarding with random painted boards (similar to Hulz) - colour: green, blue and orange brass as shown

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Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	[illegible]	[illegible]	[illegible]
2	General updates	[illegible]	[illegible]	[illegible]
3	General updates	[illegible]	[illegible]	[illegible]
4	General updates	[illegible]	[illegible]	[illegible]
5	Updated to suit Planning comments	[illegible]	[illegible]	[illegible]
6	Revised to three storey and extended with new unit	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecoles

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

GA Block C
Elevations

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).25 6

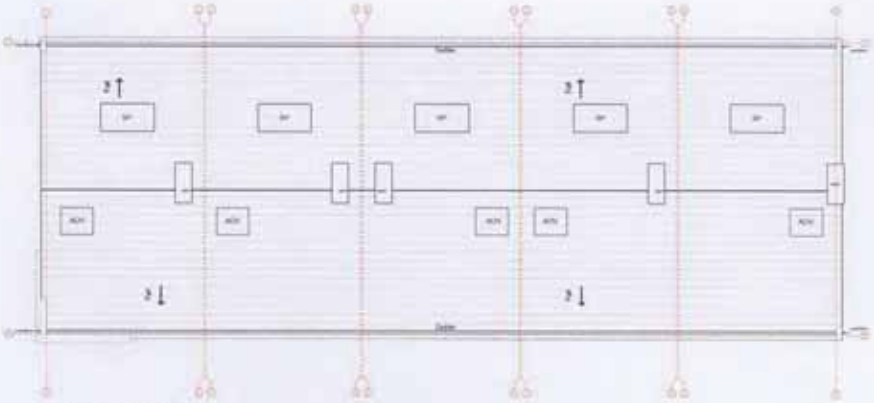
DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Ground Floor Plan

First Floor Plan

Second Floor Plan



Fourth Floor/roof Plan

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Contractor must verify all dimensions at the job before commencing any work or making any drawings.

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Do not take digital dimensions from this drawing.

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NOTES

NOTE: Automatic Opening Vent

NOTE: Solar Thermal Panel (size and location TBC)

For window positions and sizes see elevations.

REVISIONS

Rev		Dr	Ch	Date
A	Fire Strategy	[illegible]	[illegible]	[illegible]
B	Revised to suit Planning comments	[illegible]	[illegible]	[illegible]
C	North and West Lavatory windows to suit accessible	[illegible]	[illegible]	[illegible]
D	Bedroom to Block Library and extended by one unit	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

[illegible]

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

GA Block C
Ground, First, Second and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	[illegible]	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).23. 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium bas weston feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange tones as shown
6 Aluminium parapet copings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slim' window - colour: RAL 7016. Obscure Glass
12 Fibre cement panel feature frame surround to window - colour mid grey

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Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	JD	CG	[illegible]
2	General updates	[illegible]	CG	[illegible]
3	General updates	GLT	[illegible]	[illegible]
4	Bus shelt updated	MF	[illegible]	[illegible]
5	Updated to suit Planners comments	[illegible]	[illegible]	[illegible]
6	Block reduced to three storey	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER

DRAWING DESCRIPTION

GA Block D
Elevations

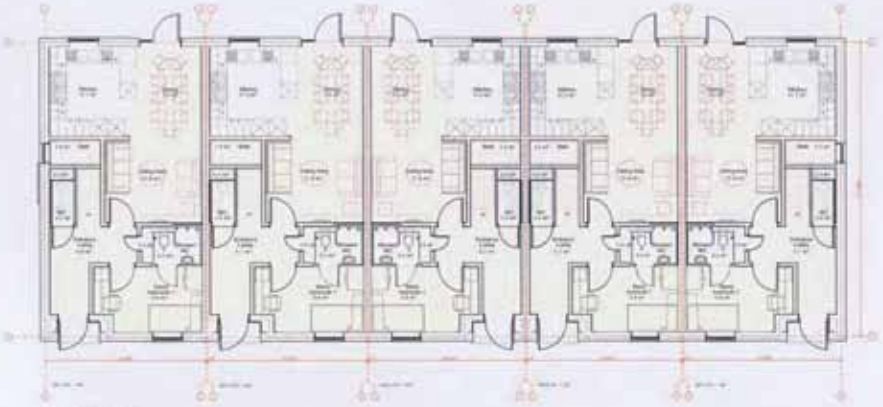
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).29. 6

DRAWING STATUS

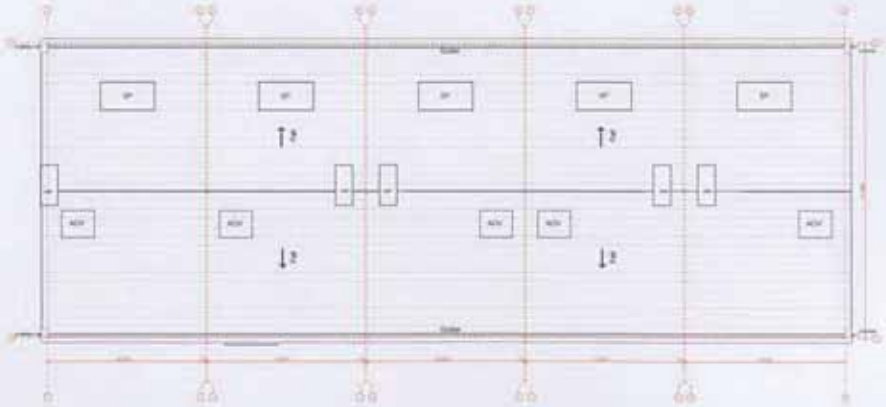
INFORMATION		TENDER		CONTRACT / CONSTRUCTION	



Ground Floor Plan

First Floor Plan

Second Floor Plan



Roof Plan

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NOTES

NOTE: All Glazing Sizes

Note: Internal Partitions and Ancillary TBC.

For window positions and sizes see elevations.

REVISIONS

Rev		Dr	Ch	Date
1	ISSUE BASIC			
2	Revised to suit electrical layout and comments			
3	Block - Solar panels repositioned to align with elevations			
4	Updated to Sole Drawn			

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

GA Block D
Floor Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	
DATE	September 2011	CHECKED	

DRAWING NUMBER

299.1118.(PA).27. 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange lines as shown
6 Aluminium parapet copyings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016. Obscure glass.
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with recess painted boards (painter to hue) - colour: green, blue and orange lines as shown

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Contractors must verify all dimensions on site before commencing any work or making shop drawings.

Written dimensions should be taken.

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Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	AC	DA	[illegible]
2	General updates	JAW	DA	[illegible]
3	General updates	DLT	JM	[illegible]
4	General updates	MF	JM	[illegible]
5	Updated to suit Planners comments	JAW	DA	[illegible]
6	Block separated by one unit	JD	JM	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block E
Elevations

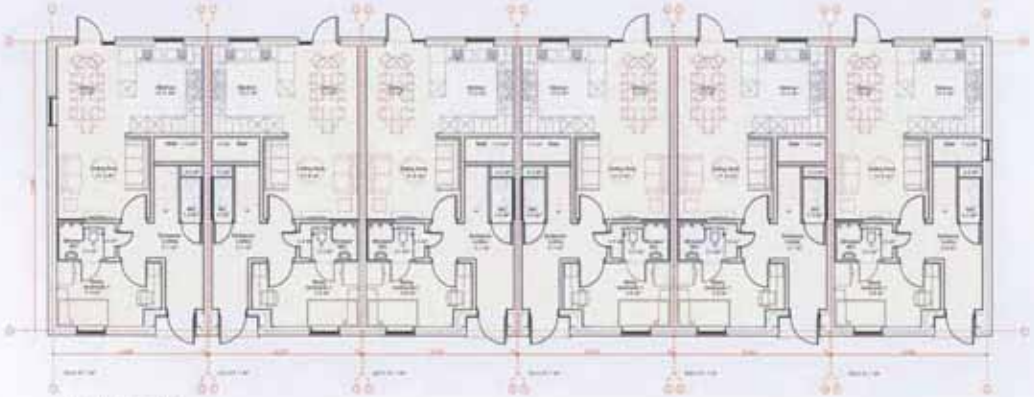
SCALE	1:100 @ A0 1:200 @ A3	DRAWN BY	AC
DATE	September 2017	CHECKED	JM

DRAWING NUMBER

299.1118.(PA).33. 6

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	



Ground Floor Plan

First Floor Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date
	First issue.			

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block E
Ground and First Floor Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	
DATE	September 2011	CHECKED	

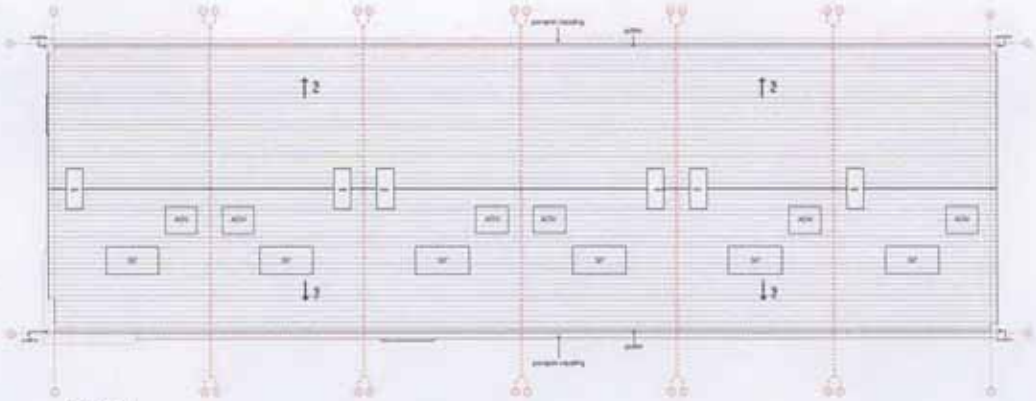
DRAWING NUMBER

299.1118.(PA).31 4

DRAWING STATUS

INFORMATION	/	TENDER		CONTRACT CONSTRUCTION	

Second Plan



Roof Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date
	First issue			
	Block extended with one unit			

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block E
Second Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	
DATE	September 2017	CHECKED	

DRAWING NUMBER

299.1118.(PA).32 — 2

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange tones as shown
6 Aluminium parapet copings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'tilt' window - colour: RAL 7016. Obscure glass.
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with random painted boards (similar to Ruby - colour: green, blue and orange tones as shown

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NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	MB	JYS	[illegible]
2	General updates	[illegible]	JYS	[illegible]
3	General updates	[illegible]	JYS	[illegible]
4	Plan plan updated	MB	JYS	[illegible]
5	Updated in red Planners comments	[illegible]	JYS	[illegible]
6	Reduced to three stories	[illegible]	JYS	08/11/2013

DRAWING ORIGINATOR

architecture

Graham House
Knowlhill Park
Lakeside
Cardiff
CF23 6DA
01222 [illegible]
01222 [illegible]
[illegible]@[illegible].com
www.[illegible].com

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecotes

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

GA Block F
Elevations

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	MB
DATE	September 2011	CHECKED	JYS

DRAWING NUMBER

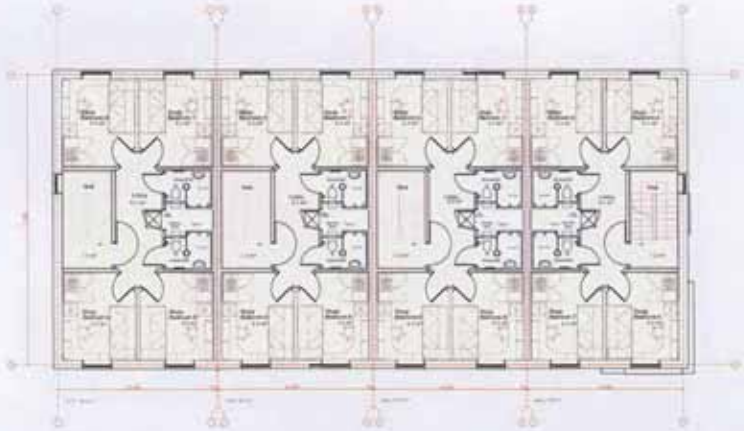
299.1118.(PA).37. - 6

DRAWING STATUS

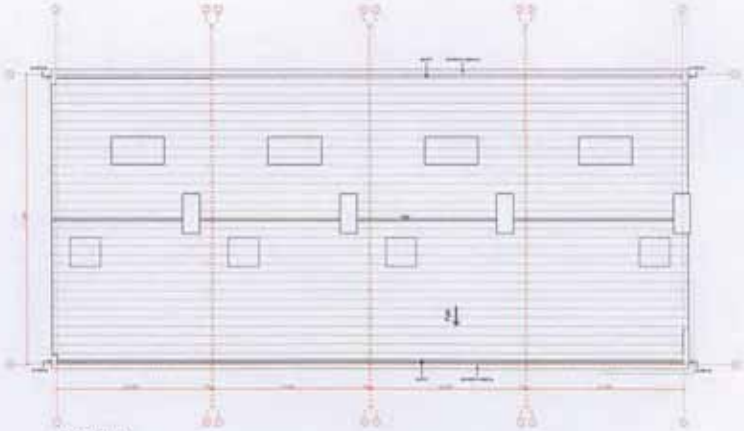
INFORMATION		TENDER		CONTRACT CONSTRUCTION	

Ground Floor Plan

First Floor Plan



Second Floor Plan



Roof Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block F
Ground, First, Second, Third Floor and Roof Plans

SCALE	1:200 @ A1 1:400 @ A3	DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).35. 4

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange lines as shown
6 Aluminium parapet copping, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Autowelle Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016. Obscure Glass.
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with random painted boards (similar to hub) - colour: green, blue and orange lines as shown

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NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	[illegible]	[illegible]	[illegible]
2	General updates	[illegible]	[illegible]	[illegible]
3	Key plan updated	[illegible]	[illegible]	[illegible]
4	Updated to suit Planning submission	[illegible]	[illegible]	[illegible]
5	Updated to suit latest Site Plan	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block G
Elevations

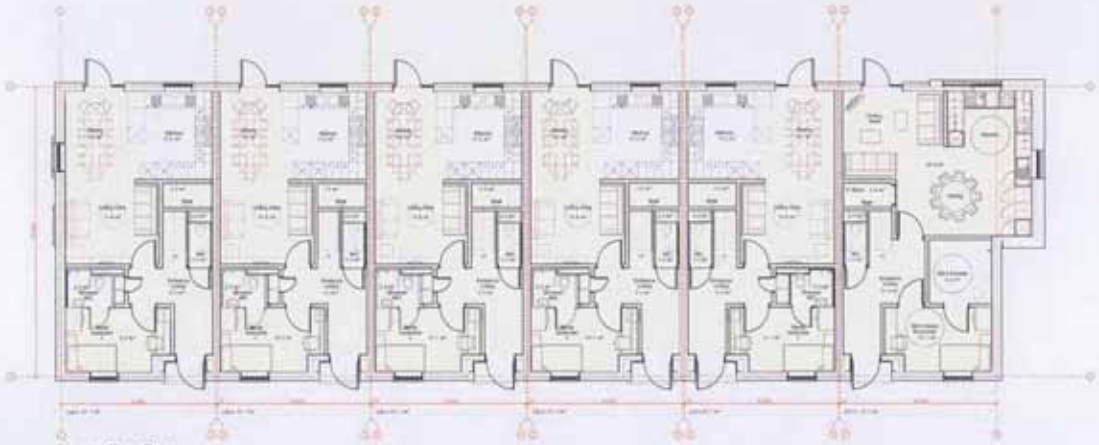
SCALE	1:100 @ A0 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

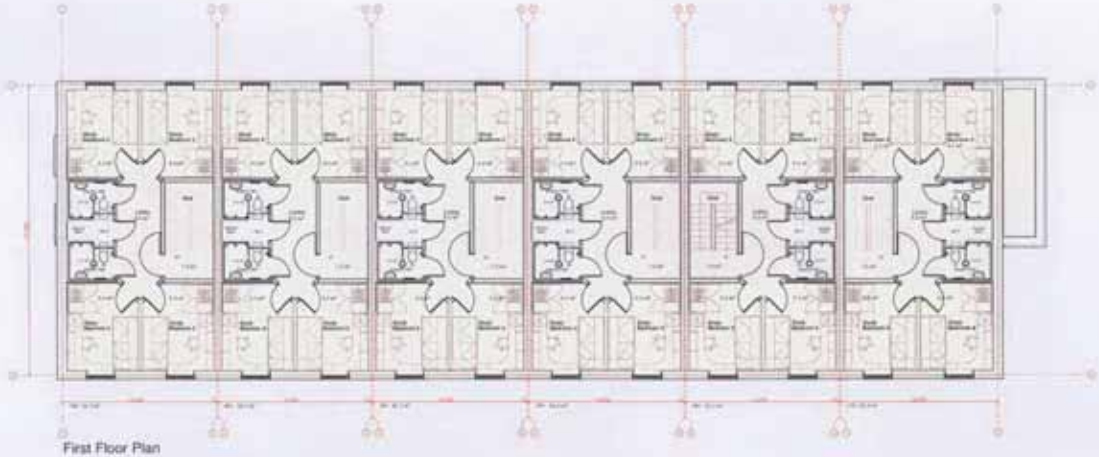
299.1118.(PA).41 5

DRAWING STATUS

INFORMATION	TENDER		CONTRACT CONSTRUCTION	



Ground Floor Plan



First Floor Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block G
Ground and First Floor Plans

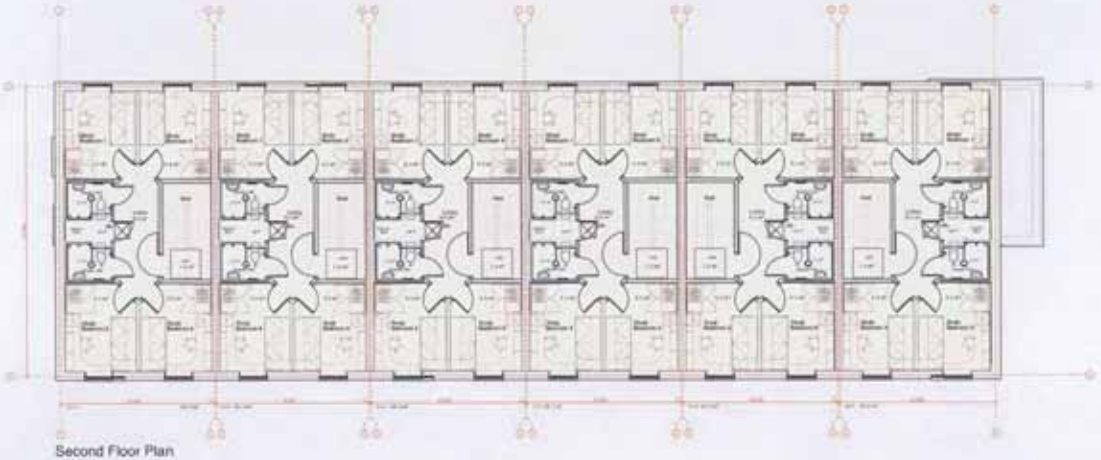
SCALE		DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

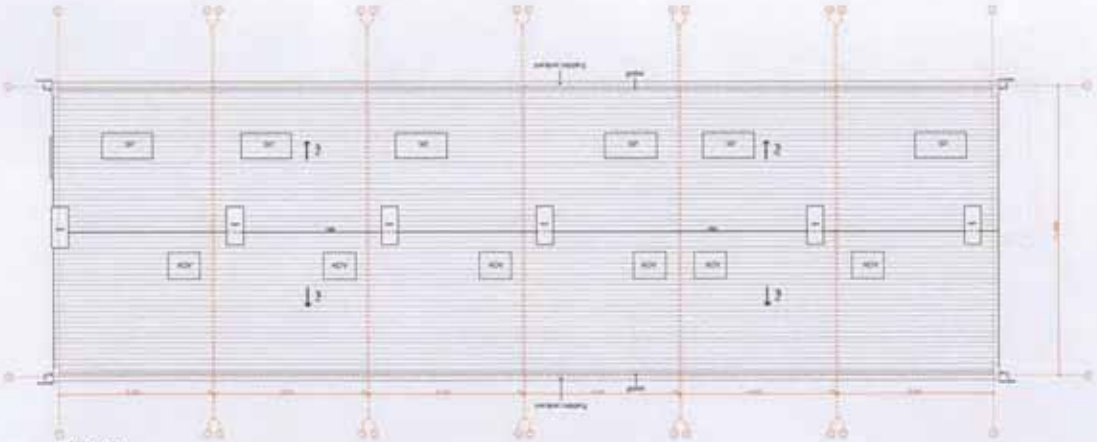
299.111B.(PA).39 4

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	



Second Floor Plan



Roof Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block G
Second Floor and Roof Plans

SCALE		DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).40 4

DRAWING STATUS

INFORMATION		TENDER		CONTRACT CONSTRUCTION	

Elevation 1

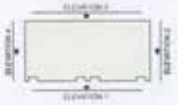
Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour: mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange times as shown
6 Aluminium parapet copings, polyester powder coated - colour: light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016
12 Fibre cement panel feature frame surround to window, opaque glazing - colour: mid grey
13 Timber weatherboarding with random painted boards (similar to hub) - colour: green, blue and orange times as shown

NOTES



REVISIONS

Rev		Dr	Ch	Date
1	First issue			
2	Various updates			
3	Site Plan updated			
4	Updated to suit Planning comments			

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

G4 Block H
Elevations

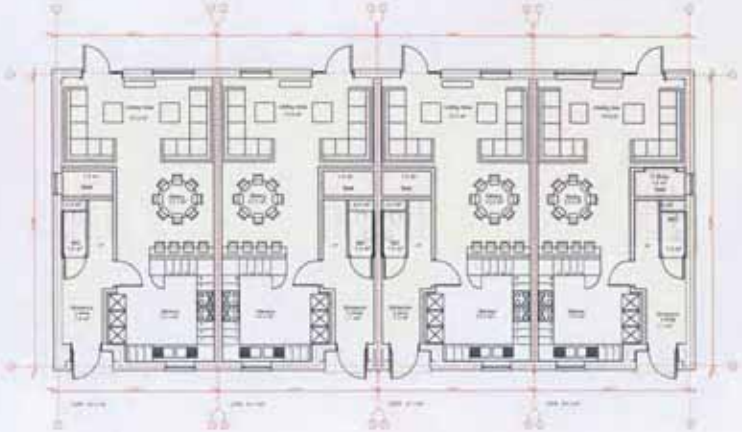
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	
DATE	September 2017	CHECKED	

DRAWING NUMBER

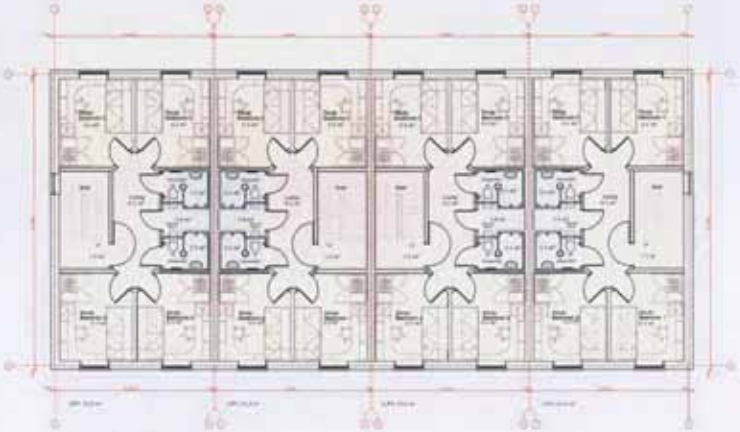
299.1118.(PA).45 4

DRAWING STATUS

INFORMATION	X	TENDER	CONTRACT CONSTRUCTION

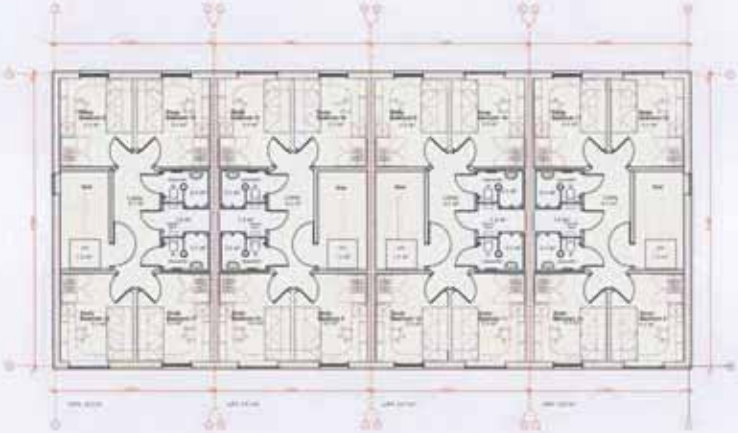


Ground Floor Plan

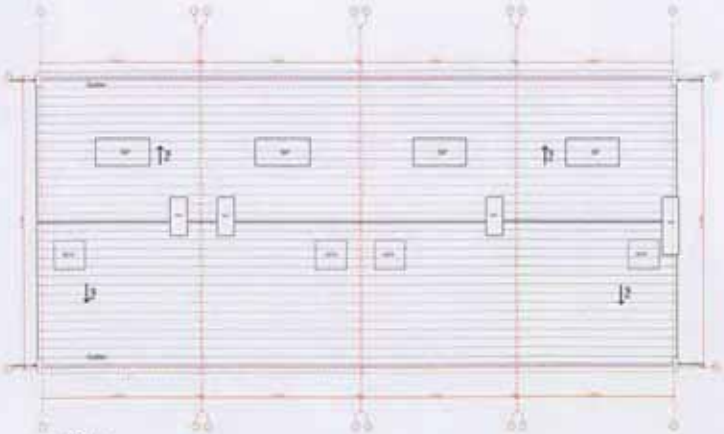


First Floor Plan

Second Floor Plan



Third Floor Plan



Roof Plan

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Contractors must verify all dimensions at the job before commencing any work or making shop drawings.

Written dimensions should be taken.

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NOTES

NOTE Automatic Opening Vent.

NF Sole Thermal Panel type and location TBC.

For window positions and sizes see elevations.

REVISIONS

Rev		Dr	Ch	Date
	First issue	MC	CG	[illegible]
	Updated to revised elevations.	CG	MR	[illegible]
A	Main and side panels to unit equivalent to sash with sashes.	MC	CG	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecoles

BORDER CONSTRUCTIONS LTD

DRAWING DESCRIPTION

GA Block H
Ground, First and Second, Third Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	MC
DATE	September 2011	CHECKED	CG

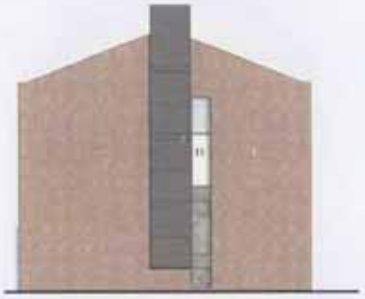
DRAWING NUMBER

299.1118.(PA).43. 3

DRAWING STATUS

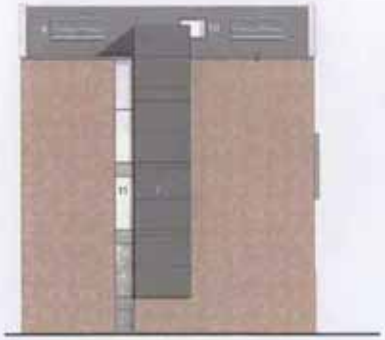
INFORMATION		TENDER		CONTRACT CONSTRUCTION	

Elevation 1



Elevation 2

Elevation 3



Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium sea kitchen fixture associate to entrance doors, polyester powder coated - colour: green, blue and orange tones as shown
6 Aluminium parapet coppings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC roof window, opaque glazing - colour: RAL 7016, Obscure glass.
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with random painted boards (similar to hue) - colour: green, blue and orange tones as shown

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Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
-	First issue	[illegible]	[illegible]	[illegible]
A	General updates	[illegible]	[illegible]	[illegible]
B	General updates	[illegible]	[illegible]	[illegible]
C	Updated to incl planning conditions	[illegible]	[illegible]	[illegible]
D	Block K updated to suit block one plan	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture
JTW
[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores
BORDER CONSTRUCTIONS LTD

DRAWING DESCRIPTION

GA Block J and K
Elevations

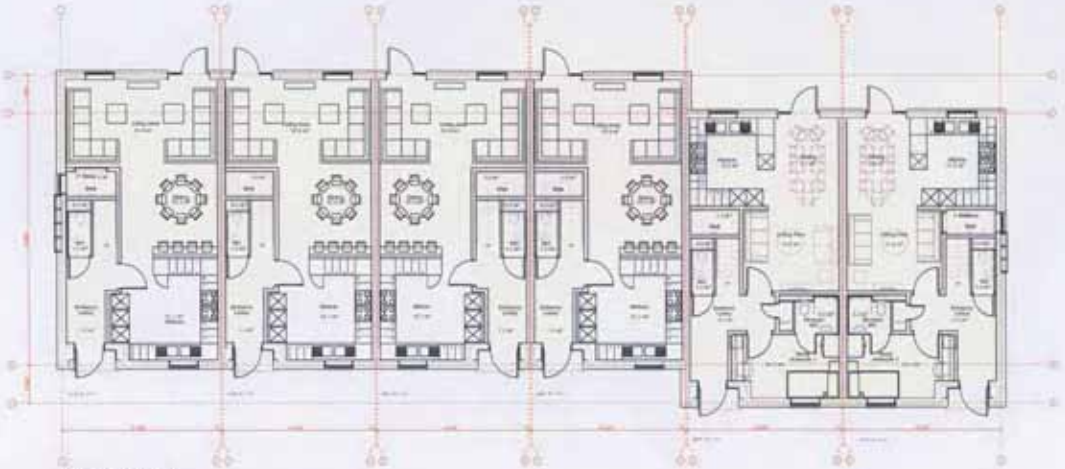
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

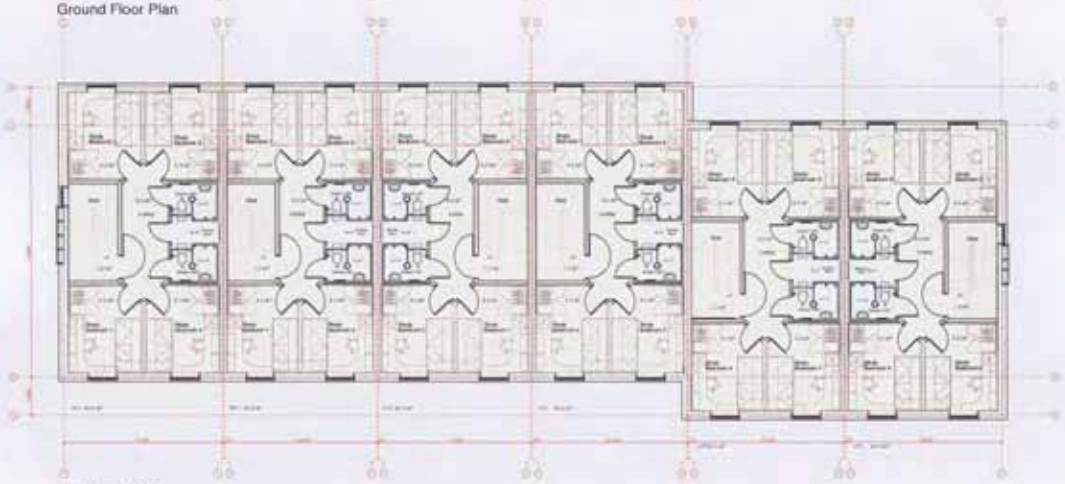
299.1118.(PA).49. 5

DRAWING STATUS

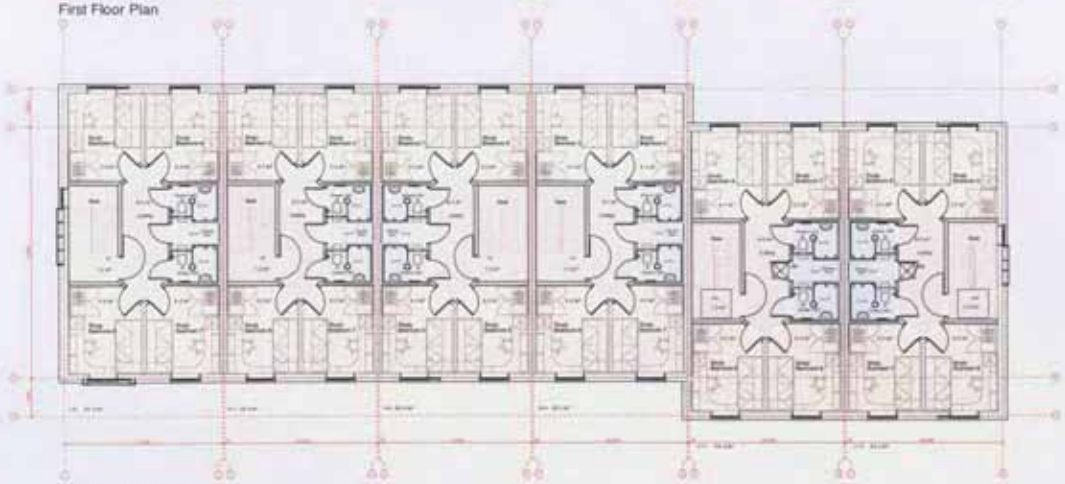
INFORMATION		TENDER		CONTRACT CONSTRUCTION	



Ground Floor Plan



First Floor Plan



Second Floor Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue			
2	Changes of layout and relocation of lifts			
3	Issue - Solar Panels to roof repositioned to align with elevations			
4	Block E updated to suit latest site plan			

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block J and K
Ground, First and Second Floor Plans

SCALE 1:100 @ A1 1:200 @ A3 DRAWN BY

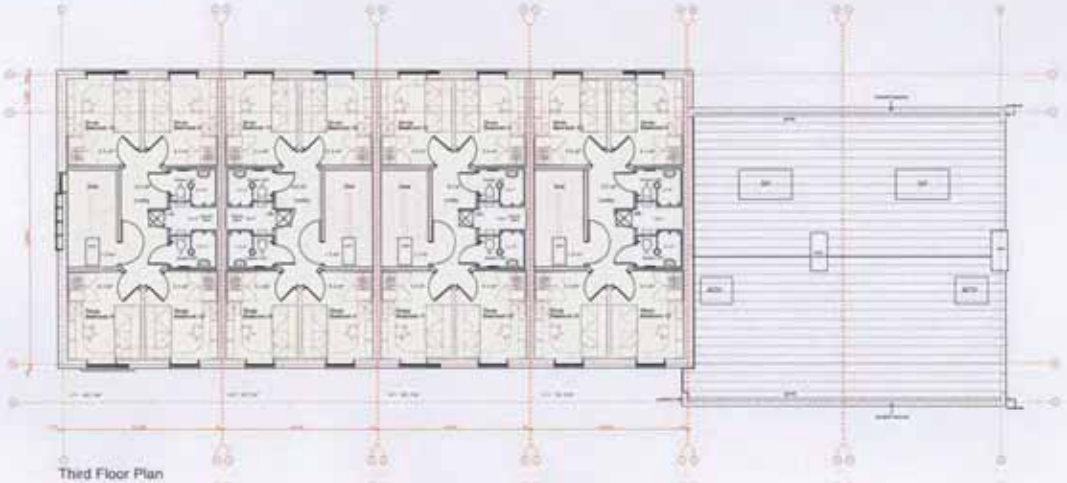
DATE CHECKED

DRAWING NUMBER

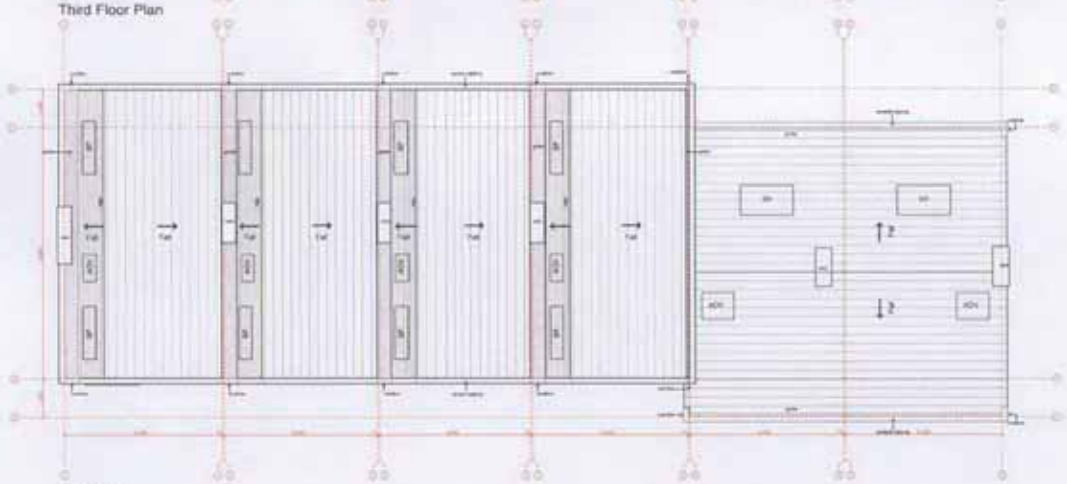
299.1118.(PA).47 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	



Third Floor Plan



Roof Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block J and K
Third Floor and Roof Plans

SCALE		DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).46. 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

Elevation 3

Elevation 4

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour: mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: green, blue and orange tones as shown
6 Aluminium parapet copings, polyester powder coated - colour light grey
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016. Obscure glass.
12 Fibre cement panel feature frame surround to window - colour mid grey
13 Timber weatherboarding with random painted boards (similar to hub) - colour: green, blue and orange tones as shown

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	[illegible]	[illegible]	[illegible]	[illegible]
2	[illegible]	[illegible]	[illegible]	[illegible]
3	[illegible]	[illegible]	[illegible]	[illegible]
4	[illegible]	[illegible]	[illegible]	[illegible]
5	[illegible]	[illegible]	[illegible]	[illegible]
6	[illegible]	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block L
Elevations

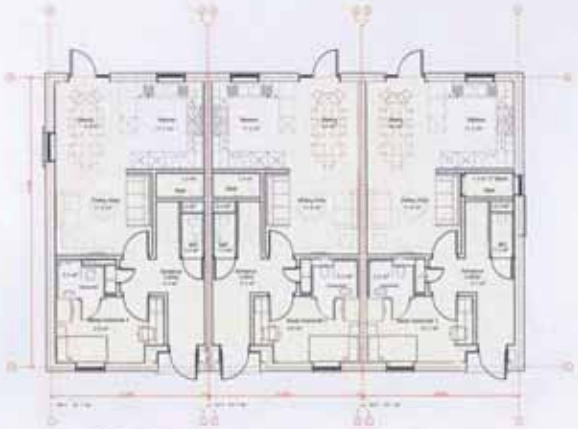
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	[illegible]	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).53. 6

DRAWING STATUS

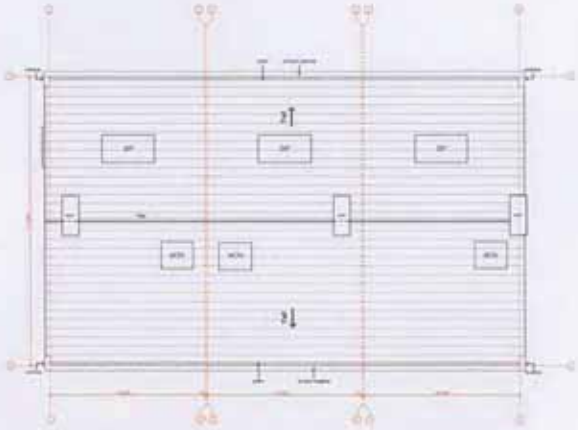
INFORMATION		TENDER		CONTRACT CONSTRUCTION	



Ground Floor Plan

First Floor Plan

Second Floor Plan



Roof Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	[illegible]	[illegible]	[illegible]
2	Updated to suit planning issue comments	[illegible]	[illegible]	[illegible]
3	Roof vent and solar panels updated inline with specifications	[illegible]	[illegible]	[illegible]
4	Roof vent updated	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

GA Block L
Ground, First, Second Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).51 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: varying green, blue and orange tones as shown
6 Aluminium parapet cappings, polyester powder coated - colour light grey
7 Fibre cement panel cant terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof slates - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016. Opaque glazing.
12 Fibre cement panel feature frame surround to window - colour mid grey

Elevation 3

Elevation 4

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Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

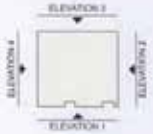
Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from the drawing.

Any discrepancies to be reported to the Architect.

NOTES



REVISIONS

Rev		Dr	Ch	Date
1	First issue			
2	General updates			
3	Revised to suit planning consultee comments			
4	Plot plan updated			
5	Updated to suit Planning comments			

DRAWING ORIGINATOR

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

Block M
Elevations

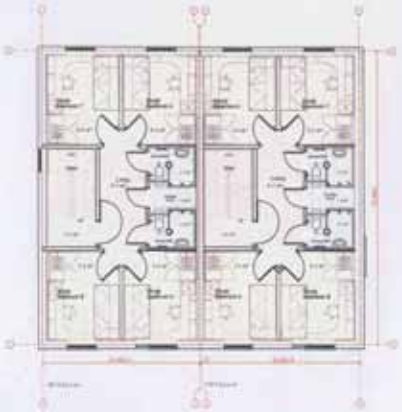
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	
DATE	September 2011	CHECKED	

DRAWING NUMBER

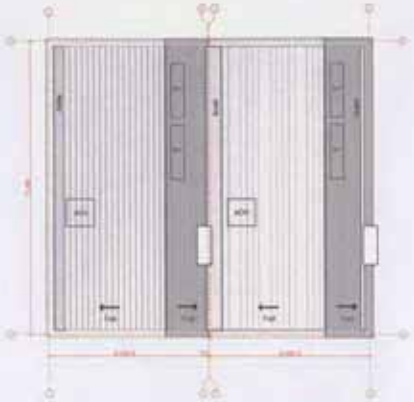
299.1118.(PA).57. 5

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

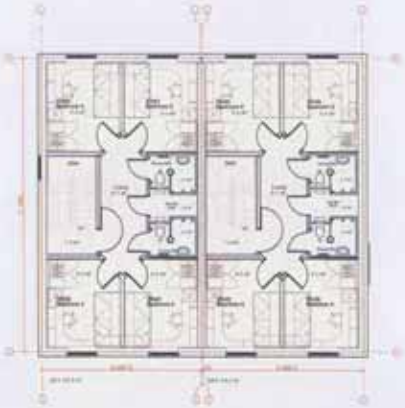


Second Floor Plan



Roof Plan

Ground Floor Plan



First Floor Plan

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Contractors must verify all dimensions on site prior to commencing any work or making shop drawings.

Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

ACV Automatic Opening Vent

SP Solar Thermal Panel type and location TBC

For external windows and doors see schedules.

REVISIONS

Rev		Dr	Ch	Date
1	Core details	[illegible]	[illegible]	[illegible]
2	Revised to suit planning detail comments	[illegible]	[illegible]	[illegible]
3	Vents and solar panels added to suit simulations	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

[illegible]

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

GA Block M
Ground, First, Second Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	NC
DATE	September 2011	CHECKED	CG

DRAWING NUMBER

299.1118.(PA).55 — 3

DRAWING STATUS

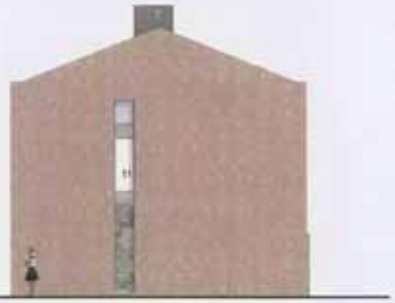
INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation 1

Elevation 2

1 Facing brickwork - colour TBC
2 High performance double glazed colour coated uPVC window - colour: RAL 7016
3 High performance double glazed colour coated uPVC door - colour: RAL 7016
4 Fibre cement panel - colour mid grey
5 Aluminium box section feature surrounds to entrance doors, polyester powder coated - colour: varying green, blue and orange tones as shown
7 Fibre cement panel vent terminals - colour: mid grey
8 Solar panels
9 Fibre cement roof soffit - colour TBC
10 Automatic Opening Vent (AOV) - colour: RAL 7016
11 High performance double glazed colour coated uPVC 'slot' window - colour: RAL 7016, Obscure Glass
12 Fibre cement panel feature frame surround to window - colour mid grey

Elevation 3



Elevation 4

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Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.

NOTES

REVISIONS

Rev		Dr	Ch	Date
1	First issue	JD	CG	[illegible]
2	Key plan updated	MF	JW	[illegible]
3	Updated to suit Planning comments	JWC	JW	[illegible]
4	Block extended by two units and relocated to Frank [illegible]	[illegible]	JW	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER

DRAWING DESCRIPTION

GA Block N
Elevations

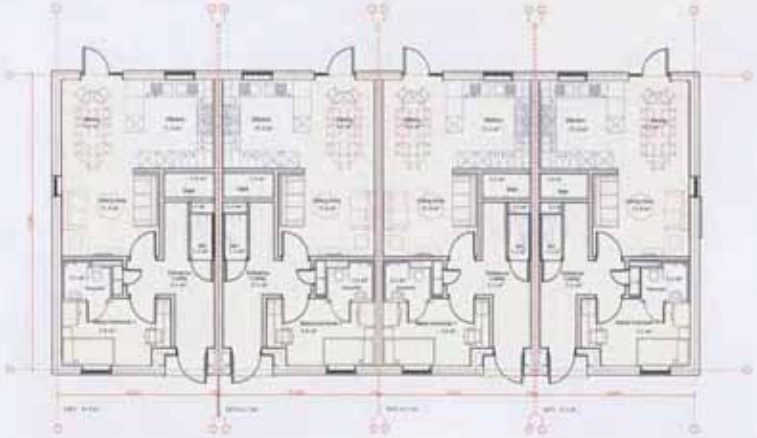
SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	[illegible]
DATE	September 2019	CHECKED	[illegible]

DRAWING NUMBER

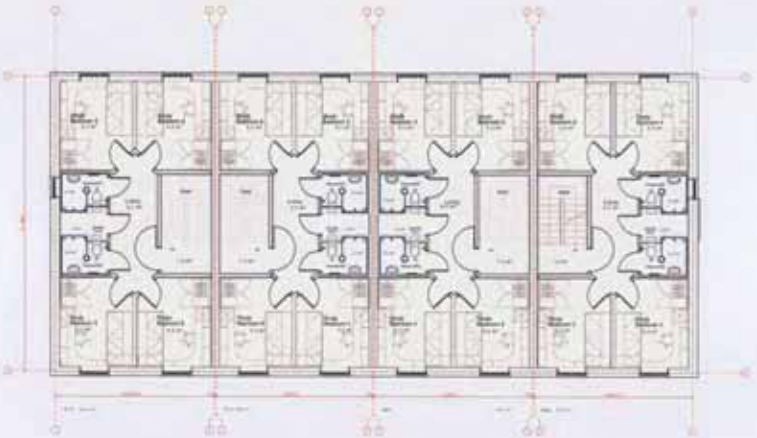
299.1118.(PA).59 4

DRAWING STATUS

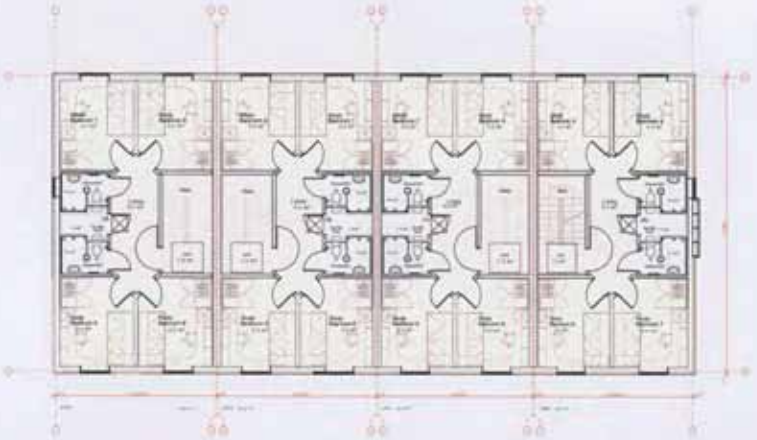
INFORMATION		TENDER		CONTRACT CONSTRUCTION	



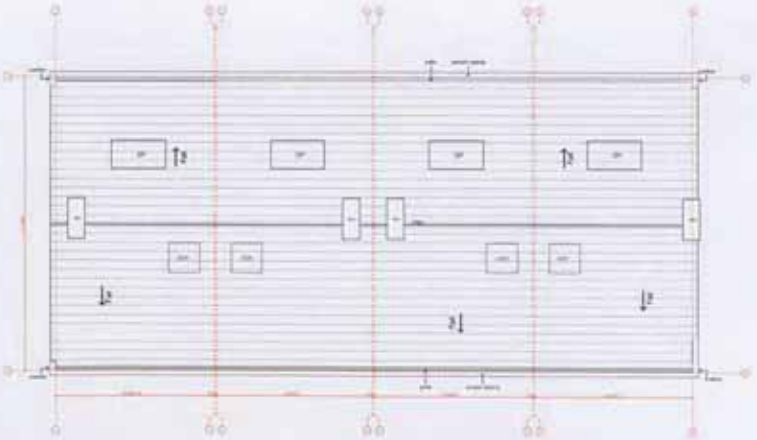
Ground Floor Plan



First Floor Plan



Second Floor Plan



Roof Plan

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Contractor must verify all dimensions on the job before commencing any work or making shop drawings.

Written dimensions should be taken.

Do not scale off drawing.

Do not take digital dimensions from the drawing.

Any discrepancies to be reported to the Architect.

NOTES

NOTE: All Glazing tiers

SP: Solar Thermal Panel (size and location TBC)

For external windows and doors see elevations

REVISIONS

Rev		Dr	Ch	Date
1	Issued for Planning	[illegible]	[illegible]	[illegible]
2	Amended to suit planning conditions	MC	[illegible]	[illegible]
3	Solar Thermal Panels repositioned to align with elevations	[illegible]	[illegible]	[illegible]
4	Extended with 3 units and reduced to 3 storey	MC	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

[illegible]

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION GROUP LTD

DRAWING DESCRIPTION

GA Block N
Floor and Roof Plans

SCALE	1:100 @ A1 1:200 @ A3	DRAWN BY	MC
DATE	September 2011	CHECKED	[illegible]

DRAWING NUMBER

299.1118.(PA).58. 4

DRAWING STATUS

INFORMATION	X	TENDER		CONTRACT CONSTRUCTION	

Elevation A

Elevation B

1 Facing brickwork - Alternative contrasting brick in Flemish Bond - colour TBC
2 Polyester powder coated aluminium flashing to top of brickwork - colour: RAL 7016
3 PVCu frames with high performance double glazed window and door units - colour: RAL 7016
4 Rain Screen cladding- colour TBC
5 Stained timber in vertical shades
6 Painted timber- colour TBC
7 PVCu flush door with solid core door blades - painted. Colour TBA
8 Aluminium fine blade louvre, polyester powder coated. Colour TBA

NOTES

Elevation B

Elevation D

Elevation A

Elevation C

REVISIONS

Rev		Dr	Ch	Date
	First issue			
	Minor amendments - walling to side elevation			
	Window cills and paneling to gables			

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

Timber Hub
Elevations A and B

SCALE		DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).64. 3

DRAWING STATUS

INFORMATION	TENDER	CONTRACT CONSTRUCTION

Elevation C

Elevation D

1 Facing brickwork in Plumish Bond - colour TBC
2 Polyester powder coated aluminium flashing to top of brickwork - colour: RAL 7016
3 PVCu frames with high performance double glazed window and door units - colour: RAL 7016
4 Rain Screen cladding- colour TBC
5 Stained timber in vertical sheets
6 Painted timber- colour TBC
7 PVCu flush door with solid core door blades - painted. Colour TBA
8 Aluminium fine blade louvre, polyester powder coated. Colour TBA
9 Polyester powder coated aluminium signage fixed to brickwork (Text TBC) - colour: RAL 7016

NOTES

Elevation B

Elevation D

Elevation A

Elevation C

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

BORDER

DRAWING DESCRIPTION

Social Hub
Elevations C and D

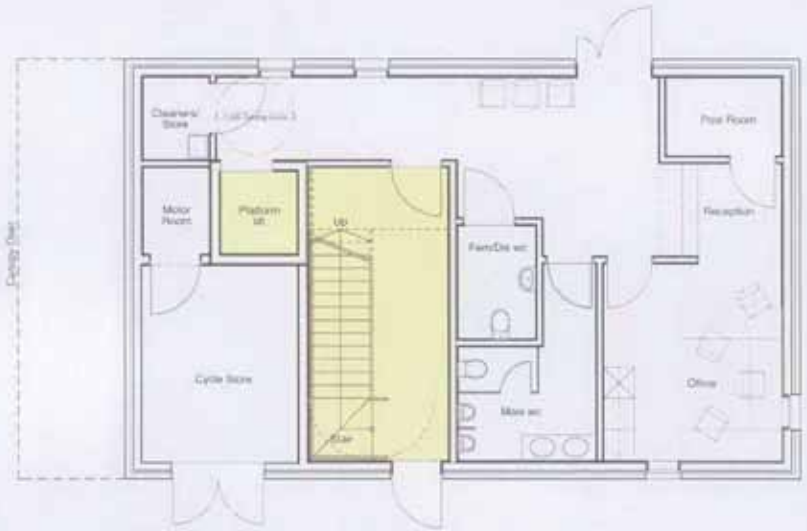
SCALE		DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).65. 3

DRAWING STATUS

INFORMATION	TENDER	CONTRACT CONSTRUCTION



GIFA 91 m²

Ground Floor Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTIONS LTD

DRAWING DESCRIPTION

Social Hub
Ground Floor Plan

SCALE	1:50 @ A1 1:100 @ A3	DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

299.1118.(PA).62. 3

DRAWING STATUS

INFORMATION		TENDER	X	CONTRACT CONSTRUCTION	

GIFA 122 m²

First Floor Plan

NOTES

REVISIONS

Rev		Dr	Ch	Date

DRAWING ORIGINATOR

architecture

PROJECT

Student Residential Accommodation
Norfolk Street, Carlisle

CLIENT

ecores

BORDER CONSTRUCTION LTD

DRAWING DESCRIPTION

Social Hub
First Floor Plan

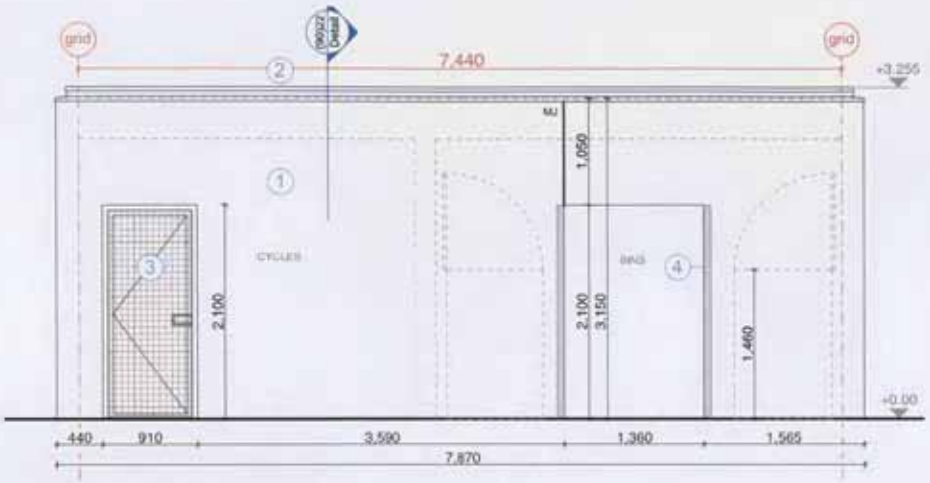
SCALE	1:50 @ A1 1:100 @ A3	DRAWN BY	
DATE		CHECKED	

DRAWING NUMBER

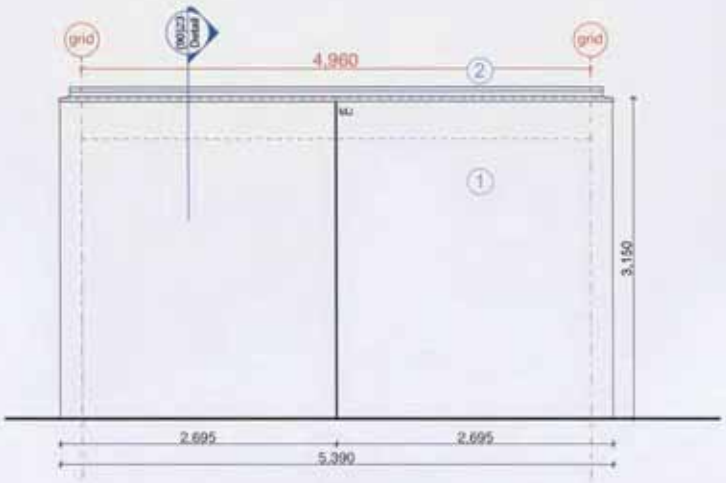
299.1118.(PA).63. 3

DRAWING STATUS

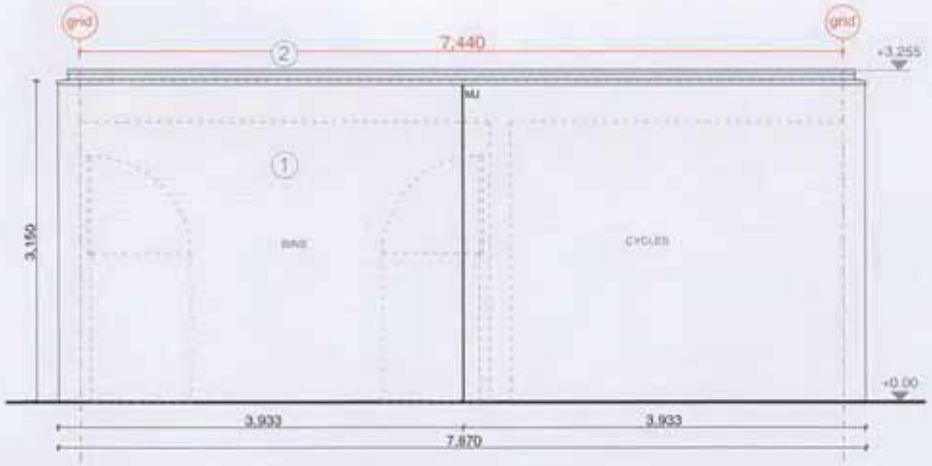
INFORMATION		TENDER	X	CONTRACT CONSTRUCTION	



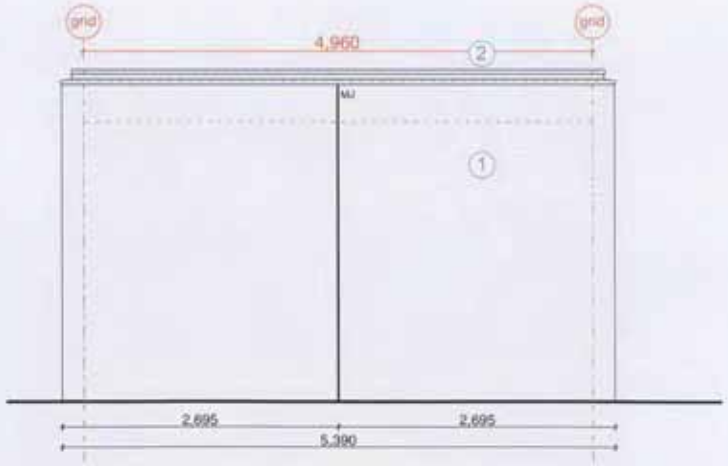
Front Elevation (elevation C) 1:50 @ A3



Side Elevation (elevation B) 1:50 @ A3



Rear Elevation (elevation A) 1:50 @ A3



Side Elevation (elevation D) 1:50 @ A3

To be read with (90).20

NOTES

MJ - Movement Joint

KEY

1. Conventional facing brickwork, Spec F10/390
2. Preformed PPC aluminium flashing, Ref. Z31
3. Galvanised steel security gate with digi lock, overhead door closer and emergency push pad release internally with guarding to provide opening from external from cycle store. All ironmongery external grade.
4. Galvanised steel C section fixed back to brickwork to provide protection from bins.

REVISIONS

Rev		Ch	Ch	Date
1	First issue			

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

ecoles

BORDER

DRAWING DESCRIPTION

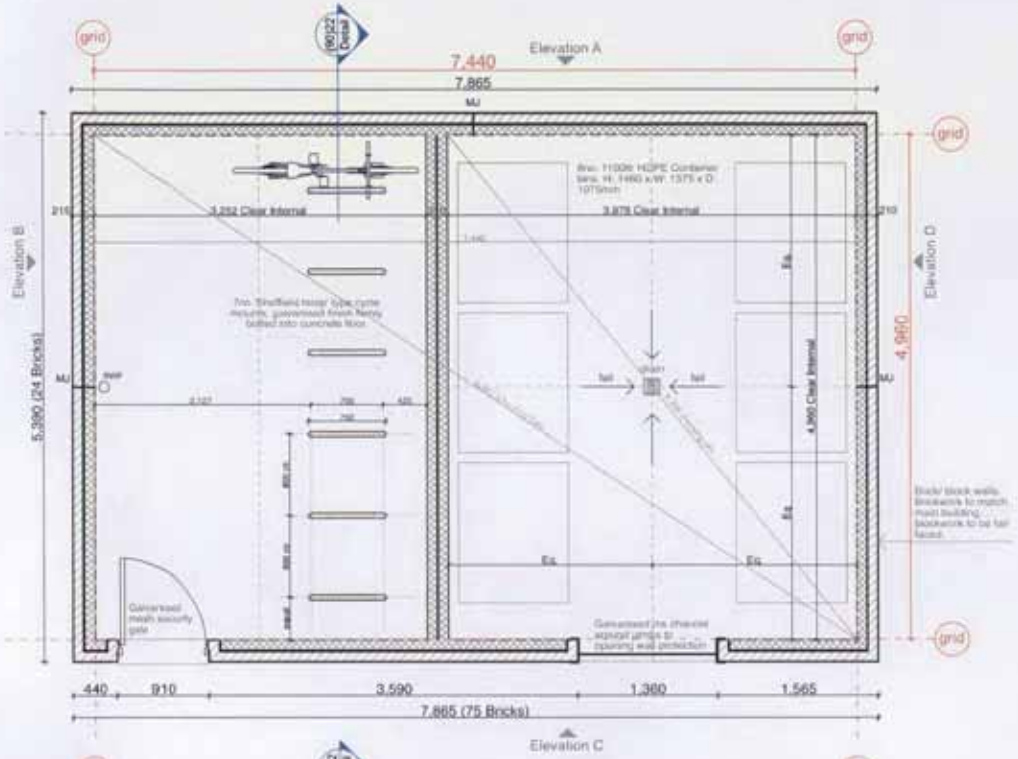
Cycle Store & Bin Store
Floor & Roof Plans

SCALE 1:50 @ A3 DRAWN BY
DATE October 2011 CHECKED

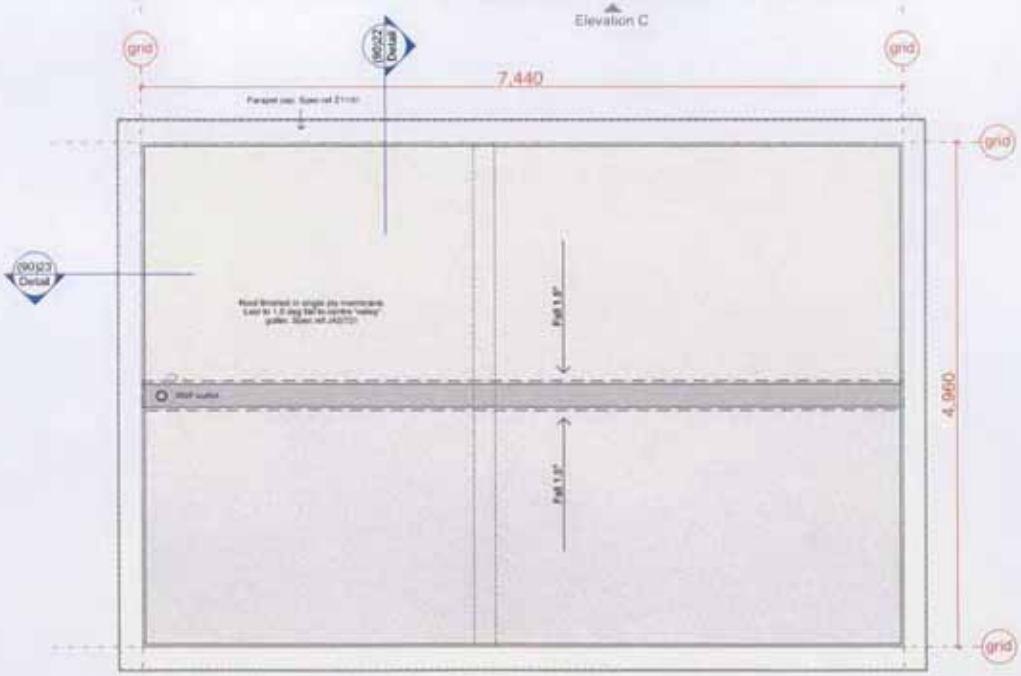
DRAWING NUMBER

DRAWING STATUS

INFORMATION		TENDER	X	CONTRACT CONSTRUCTION	



Ground level Plan 1:50 @ A3



Roof Plan 1:50 @ A3

To be read with (90).21

NOTES

MJ - Movement Joint

REVISIONS

Rev		Dr	Ch	Date
1	Final issue	DT	JW	27.11.11

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

ecoires

BORDER

DRAWING DESCRIPTION

Cycle Store & Bin Store
Floor & Roof Plans

SCALE 1:50 @ A3 DRAWN BY DLT

DATE October 2011 CHECKED JW

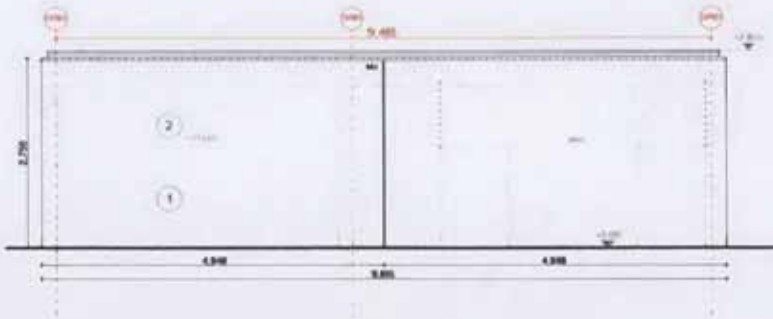
DRAWING NUMBER

DRAWING STATUS

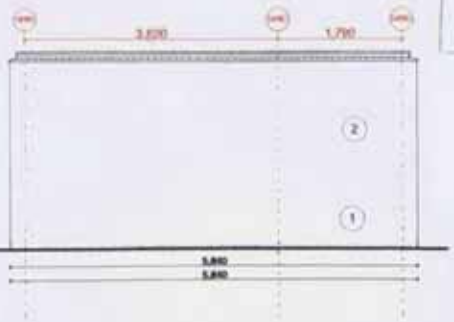
INFORMATION		TENDER	X	CONTRACT CONSTRUCTION	

Front Elevation (elevation A) 1:50 @ A2

Side Elevation (elevation B) 1:50 @ A2



Rear Elevation (elevation C) 1:50 @ A2



Side Elevation (elevation D) 1:50 @ A2

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11/0863

To be read with (90).123

NOTES

KEY

1. Conventional facing brickwork to match proposed housing. Spec.F102/06

2. Preformed PPC aluminium flashing. Ref. 231

3. Galvanised steel security gate with clip lock, overhead door closer and emergency push pad release internally with glazeding to provide opening from external from cycle store. All ironmongery external grade.

4. Galvanised steel C section fixed back to brickwork to provide protection from bins.

5. Security fence either end.

MJ - Movement joint.

REVISIONS

Rev		By	Chk	Date
1	First Issue	JO	JW	28.11.11

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

DRAWING DESCRIPTION

Cycle Store & Bin Store
Elevations

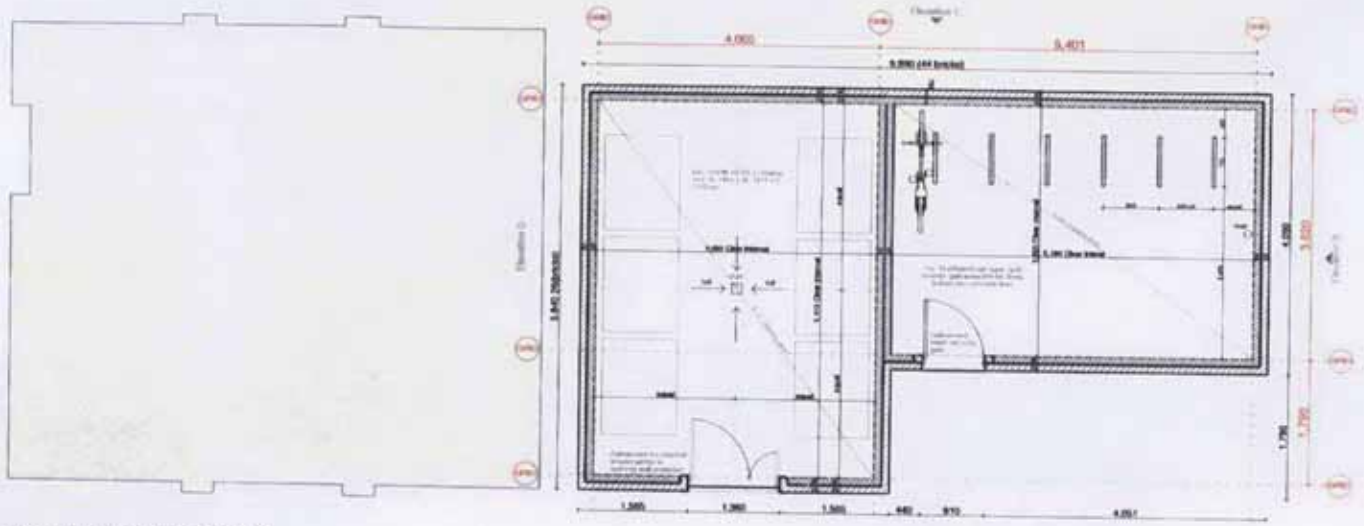
SCALE 1:50 @ A2 / 1:75 @ A3 DRAWN BY JO

DATE November 2011 CHECKED JW

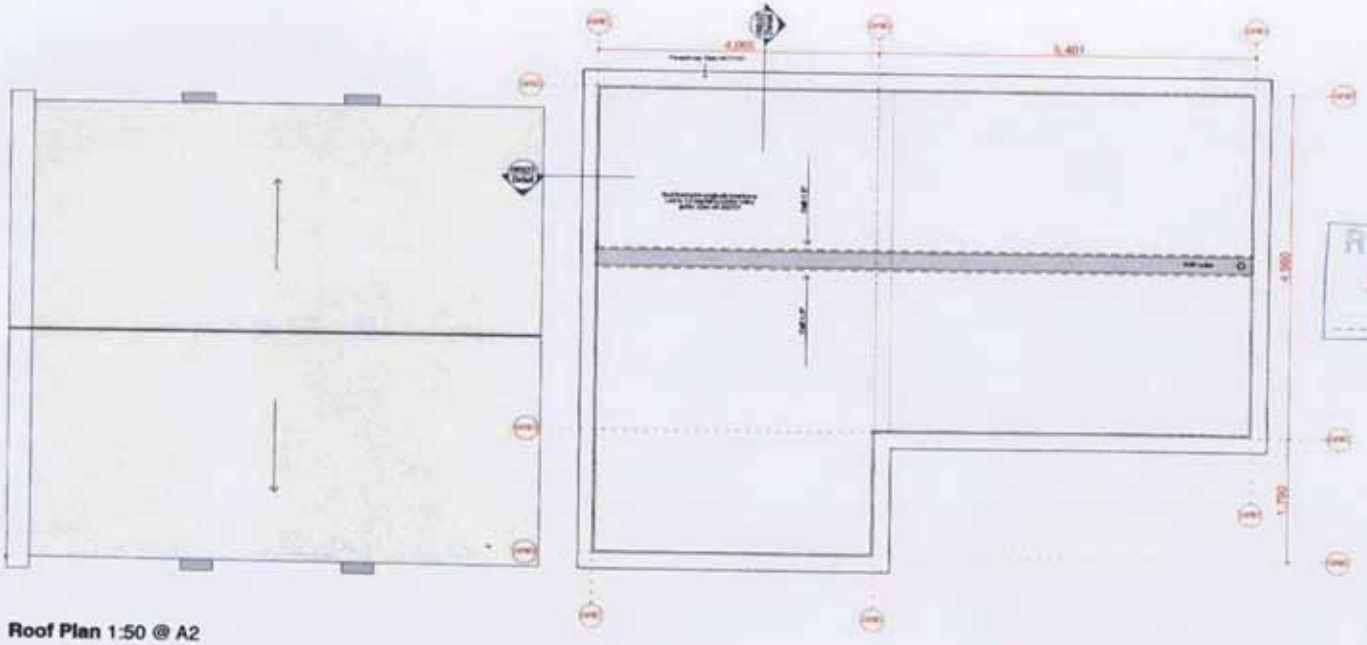
DRAWING NUMBER

DRAWING STATUS

INFORMATION	TENDER	X	CONTRACT CONSTRUCTION



Ground level Plan 1:50 @ A2



Roof Plan 1:50 @ A2

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To be read with (90).125

NOTES

MJ - Movement joint

REVISIONS

Rev		By	Ch	Date
1	First Issue	[illegible]	[illegible]	[illegible]

DRAWING ORIGINATOR

architecture

PROJECT

Student Accommodation
Norfolk Street, Carlisle

CLIENT

BORDER

DRAWING DESCRIPTION

Cycle Store & Bin Store
Floor & Roof Plans

SCALE 1:50 @ A2 / 1:75 @ A3 DRAWN BY JD

DATE November 2011 CHECKED JM

DRAWING NUMBER

DRAWING STATUS

INFORMATION		TENDER	X	CONTRACT CONSTRUCTION	

SCHEDULE A: Applications with Recommendation

11/0955

Item No: 02 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0955	Mr D Jackson	Brampton
Date of Receipt:	**Agent:**	**Ward:**
02/11/2011	TSF Developments Ltd	Brampton

Location:
The White House, Main Street, Brampton, Cumbria, CA8 1SB

Proposal: Levelling Of Terraced Garden; Erection Of Retaining Wall Together With Timber Panelled Fencing Above And Additional Landscaping (Retrospective Application)

REPORT

Case Officer: Richard Maunsell

1. Recommendation

1.1 It is recommended that this application is refused.

2. Main Issues

2.1 Whether the development is appropriate to the character and appearance of the Brampton Conservation Area.

2.2 The impact of the proposal on the living conditions of neighbouring residents.

3. Application Details

The Site

3.1 Members will recall that this application was deferred at the last committee so that a site visit could be undertaken.

3.2 This application seeks retrospective planning permission for the levelling of a terraced garden together with the formation of as retaining wall with a timber panelled fence above and additional landscaping at The White House, Main Street, Brampton.

3.3 The site is located within Brampton and is adjacent to one of the main thoroughfares through the town. The property, a two semi detached

building, is set back from the highway and is significantly elevated above the adjacent pavement. The site is bounded along the boundary by a stone wall with metal railings above. There are residential properties either side of the application site with a row of terraced properties directly opposite.

The Proposal

3.4 The site previously comprised of a terraced garden to the front and side and was landscaped with semi-mature trees and shrubs. The applicant has levelled the front garden with some of the excavated material from the side garden. In order to withhold this earth, a retaining wall was constructed from block work and has subsequently been rendered. The wall measures 1.4 metres in height and is approximately 2.9 metres above the height of the pavement and extends across the full width of the site, a distance of approximately 23.5 metres.

3.5 The wall extends 8.5 metres into the site adjacent to the driveway. Immediately adjacent and within the site, a 1.8 metre high bow top panel fence has been constructed. This follows the route of the wall and provides an additional area of enclosure along the western boundary, adjacent to the access to Manor Gardens.

3.6 Between the boundary wall and the retaining wall is an area of land that measures 1.3 metres in width. The applicant proposes to landscape this area to screen the retaining wall and fence.

4. Summary of Representations

4.1 This application has been advertised by means of a site notice and direct notification to the occupiers of sixteen of the neighbouring properties. Five letters of objection have been received and the issues raised are as follows:

1. the design and position of the fence is out of character with the surrounding area. The fence is a dominant feature in Main Street with a negative visual appeal;
2. the White House is a significant building in Brampton's history and should not be hidden from general view by inappropriate screening;
3. the work is retrospective and if the owner wanted more privacy he should have approached the Planning Department. Prosecution should be undertaken against the owner and it is up to the Council to enforce the regulations when they have been deliberately flouted;
4. the fence should be painted green as well as landscaping in front of the fence; and
5. the wall and fence is all that the occupiers of neighbouring properties look out onto.

4.2 Seven letters of support have been received which raise the following issues:

1. this is a more practical and safe space for a young family;
2. people should be allowed to do as they wish on their own gardens behind

the privacy of a wall;

3. the garden looks much better than the overgrown mess it previously was and has made the external appearance of the property much more pleasing;
4. the development greatly improves the appearance of the town as some parts look run down; and
5. the work is an improvement and is in keeping with the house and is to a high standard.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objection;

Brampton Parish Council: - no comment; and

Carlisle Airport: - comments awaited.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies CP5, CP6 and LE19 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:

1. Whether the development is appropriate to the character and appearance of the Brampton Conservation Area.

6.2 The property is located within the Brampton Conservation Area. Planning policies require that development proposals should preserve or enhance their character and appearance. Any new development or alterations to existing buildings should harmonise with their surroundings and be in sympathy with the setting, scale, density and physical characteristics of conservation areas, and protect important views into or out of such areas.

6.3 The applicant argues that the terraced garden was levelled to create a useable garden area. Consequently, the retaining wall is required to withhold the soil and the fence provides privacy and prohibits anyone, especially his children, from falling over the retaining wall. This is also reiterated in the support that has been received from third parties in respect of the application.

6.4 The site is one of a pair of semi-detached properties that are unique within this area of Brampton. The majority of properties along Main Street are two storey terraced houses that abut the pavement. The top of the fence is approximately 4.7 metres above the height of the pavement. The site is significantly elevated above Main Street which results in the development, particularly the fence, being a visually dominant and obtrusive feature within the character of the area.

6.5 Officers are of the opinion that there are more appropriate alternatives to achieve the applicant's aims for example, a more permeable boundary

structure such as railings, could be constructed on the wall with landscaping to the rear, within the applicant's recently levelled garden. This has been dismissed by the applicant who wishes to retain the structures that are in situ, partly because the fence posts are fixed to the retaining wall.

6.6 Whilst the landscaping would afford some screening to the fence, it would not obscure the view of the sides of the structure when travelling along Main Street. The planning system requires that development should be approved unless there are material considerations that indicate otherwise, in this instance, it is Officer's opinion that the fence is significantly detrimental to the character of the Brampton Conservation Area and the proposed landscaping would achieve little to mitigate this fact. The needs of the applicant are recognised but these do not outweigh the planning considerations and for this reason, the application should be refused.

2. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

6.7 Development should be appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of town scape and landscape. One of the criterion being that the living conditions of the occupiers of adjacent residential properties is not adversely affected by the proposed development. This is echoed and reinforced in Local Plan policies, which importantly requires that the suitability of any development proposal be assessed against the policy criteria.

6.8 There are residential properties directly opposite the application site. There are windows that are approximately 11.8 metres from the fence. Given the orientation of the application site with adjacent properties, it is not considered that the occupiers would suffer from an unreasonable loss of daylight or sunlight; however, it has already been established in the preceding paragraphs of this report that the fence is visually dominant.

6.9 The scale of the development is too large and has an over-bearing impact on neighbouring properties. Accordingly, the living conditions of the occupiers of the neighbouring properties are adversely affected by the development.

Conclusion

6.10 In overall terms, the development adversely affects the character of the Brampton Conservation Area due to its scale, design and dominance within the street scene; furthermore, the relationship with the neighbouring residential properties in unacceptable due to its visual dominance. For these reasons, the application is recommended for refusal.

7. Planning History

7.1 An application for planning permission was submitted in 2010 for the erection

of garage and store under side garden but was withdrawn prior to determination.

8. Recommendation: Refuse Permission

1. **Reason:** The application site is significantly elevated above the adjacent footpath. The application, by virtue of the elevated position of the fence above the adjacent street in unduly prominent and conspicuous with the context of the character of the area. The use of timber in the and the scale of the development has a detrimental effect on the character of Brampton Conservation Area contrary to criterion 1 of Policy CP5 (Design) and the objectives of Policy LE19 (Conservation Areas), in particular criterion 1 and 4, of the Carlisle District Local Plan 2001-2016.

2. **Reason:** The development by reason of its scale, design and use of materials in relation to the street frontage and site boundaries is detrimental to the amenity of the occupiers of residential properties by virtue of its scale and visual appearance and therefore fails to satisfy criteria 2 and 4 of Policy CP6 (Residential Amenity) of the Carlisle District Local Plan 2001-2016.

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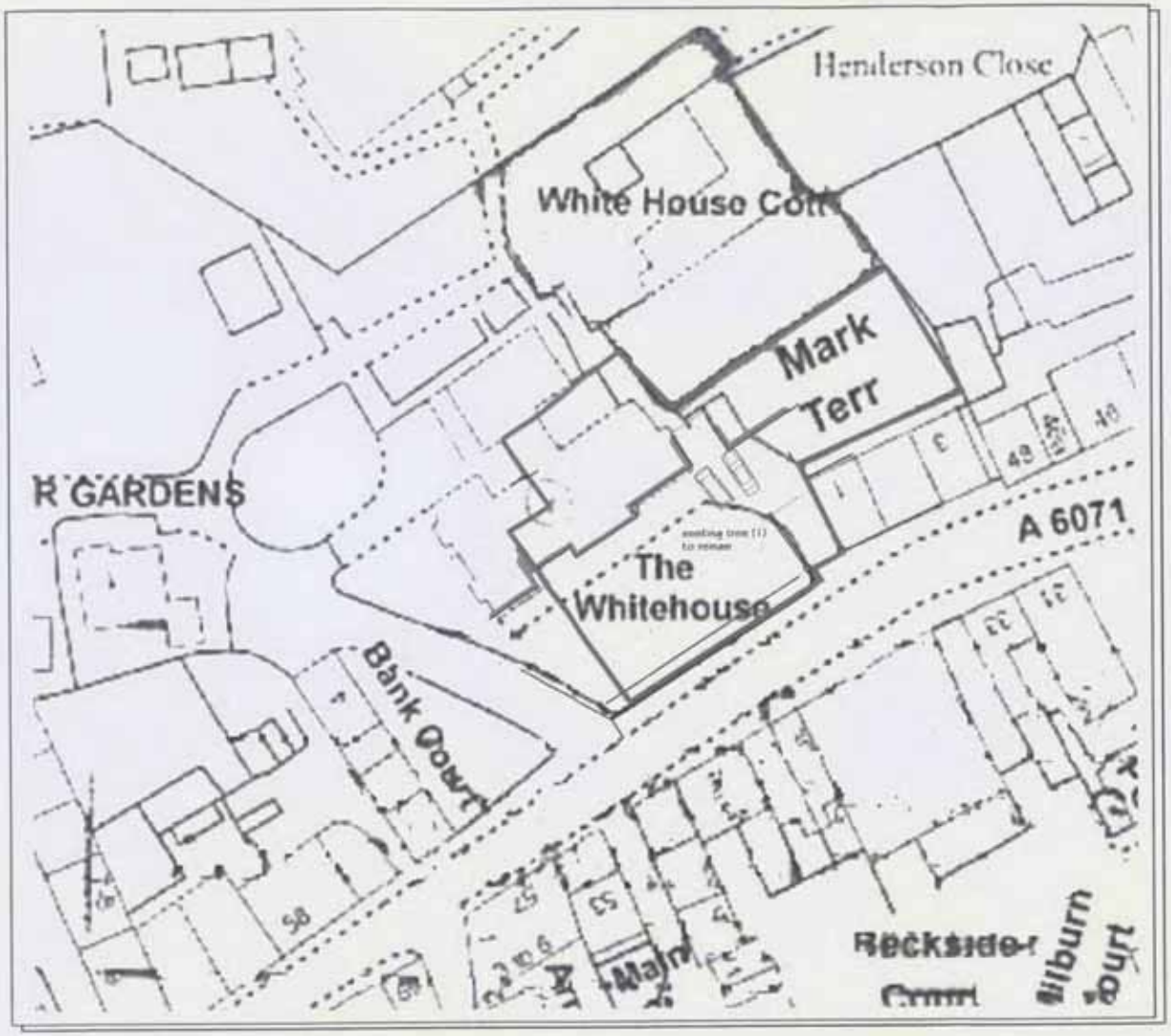

SITE PLAN 1 : 500

0 10 20 50

scale 1 : 500

LOCATION PLAN 1 : 1250

0 10 50 100

scale 1 : 1250

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duncan@tsfdevelopments.co.uk
Company No. 6504732

Job : 2011 / 20
Date : 2011
Scale : 1 : 1250 & 1 : 500
Revision :

Proposed Development at
The White House
Main Street
for Mr Jackson

Site Location Plans

20/01

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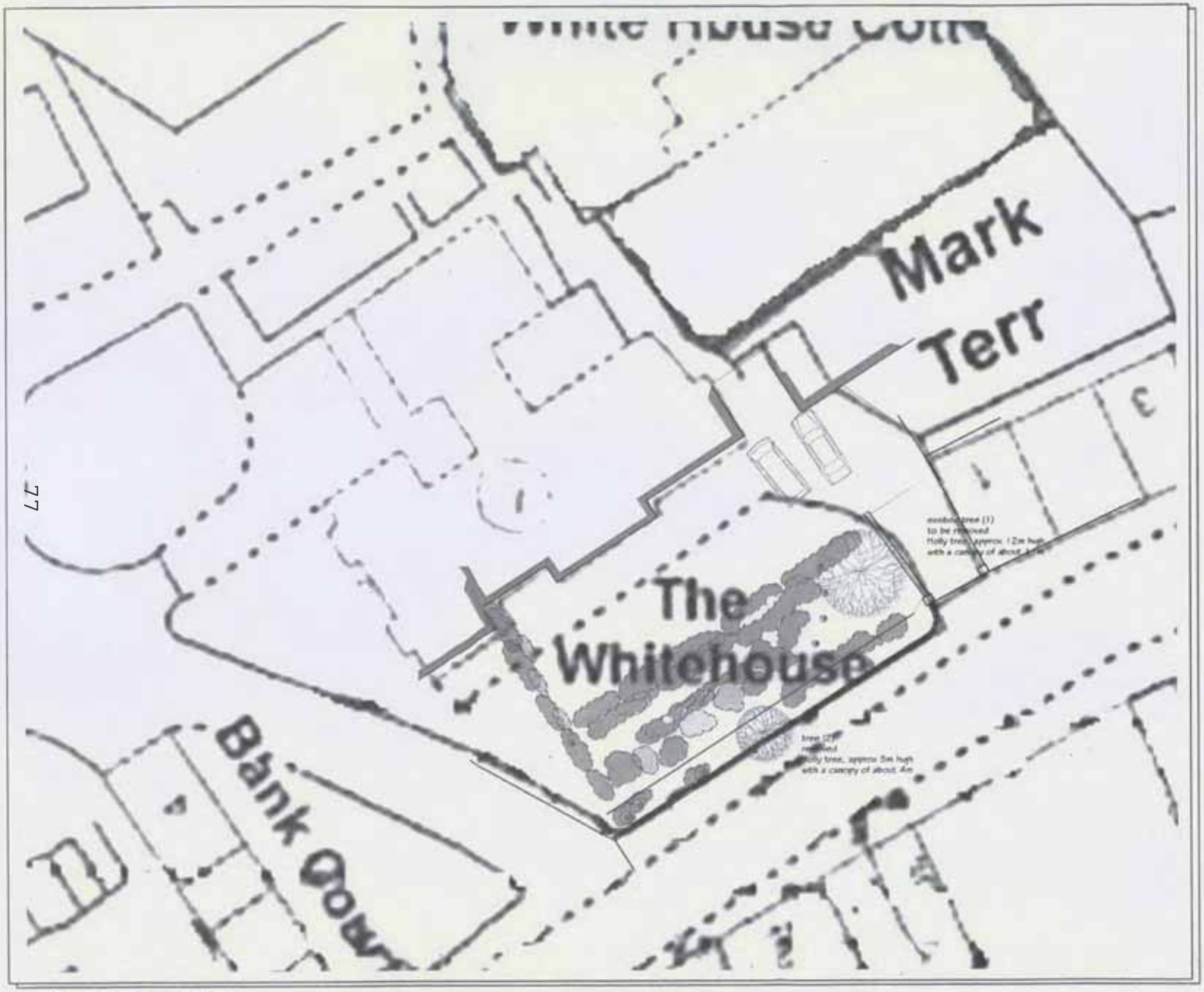

SITE PLAN 1 : 250

0 5 10 15 20 25

scale 1 : 250

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duncan@tsfdevelopments.co.uk
Company No. 6504732

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Date : 2011
Scale : 1 : 250
Revision :

Proposed Development at
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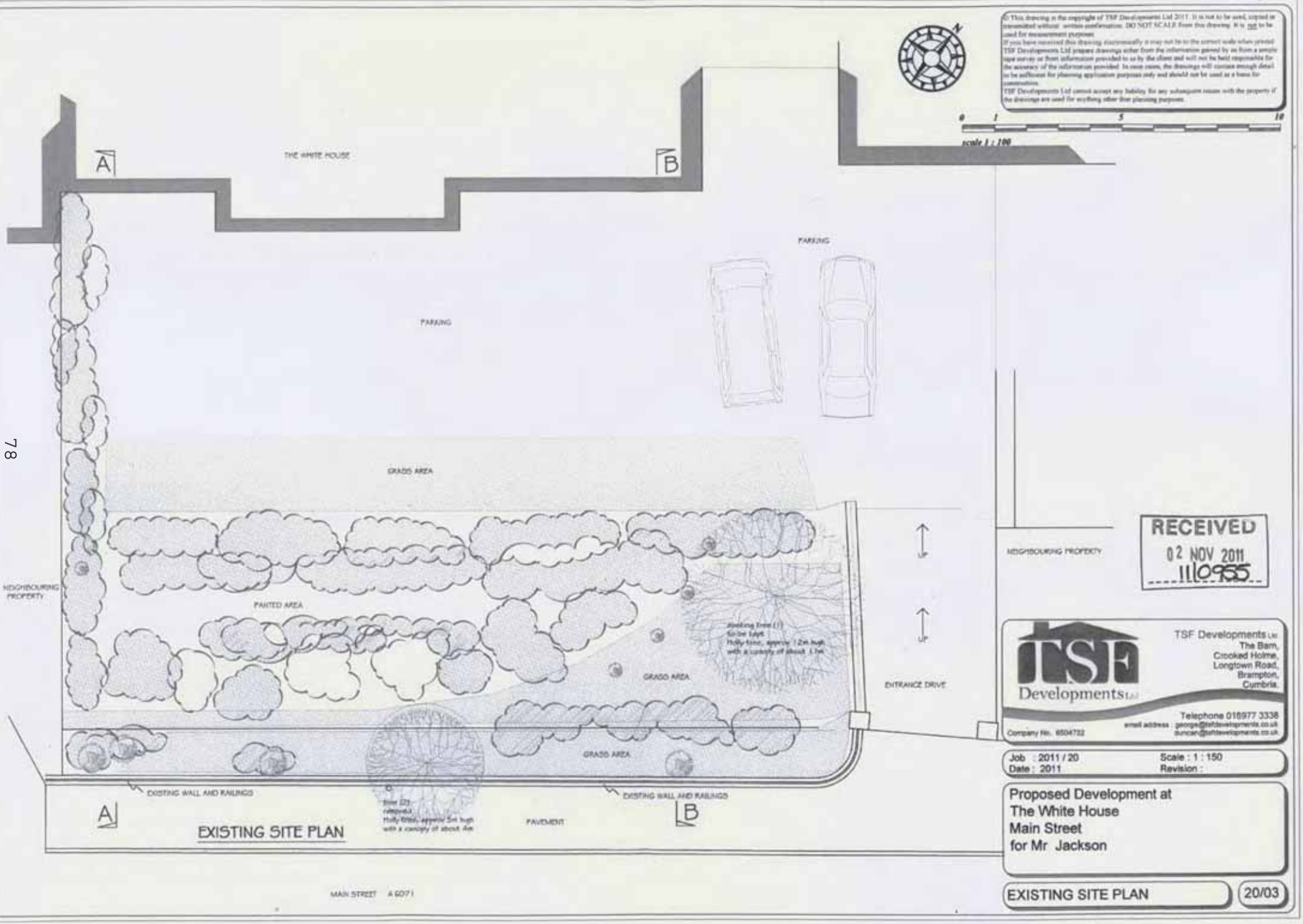
for Mr Jackson

SITE PLAN (existing)1 : 250

20/02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0 1 5 10
scale 1 : 100
N
A
B
THE WHITE HOUSE
PARKING
PARKING
GRASS AREA
NEIGHBOURING PROPERTY
PAINTED AREA
GRASS AREA
GRASS AREA
ENTRANCE DRIVE
NEIGHBOURING PROPERTY
EXISTING WALL AND RAILINGS
EXISTING WALL AND RAILINGS
PAVEMENT
EXISTING SITE PLAN
MAIN STREET A 6071
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Job : 2011 / 20
Date : 2011
Scale : 1 : 150
Revision :
Proposed Development at
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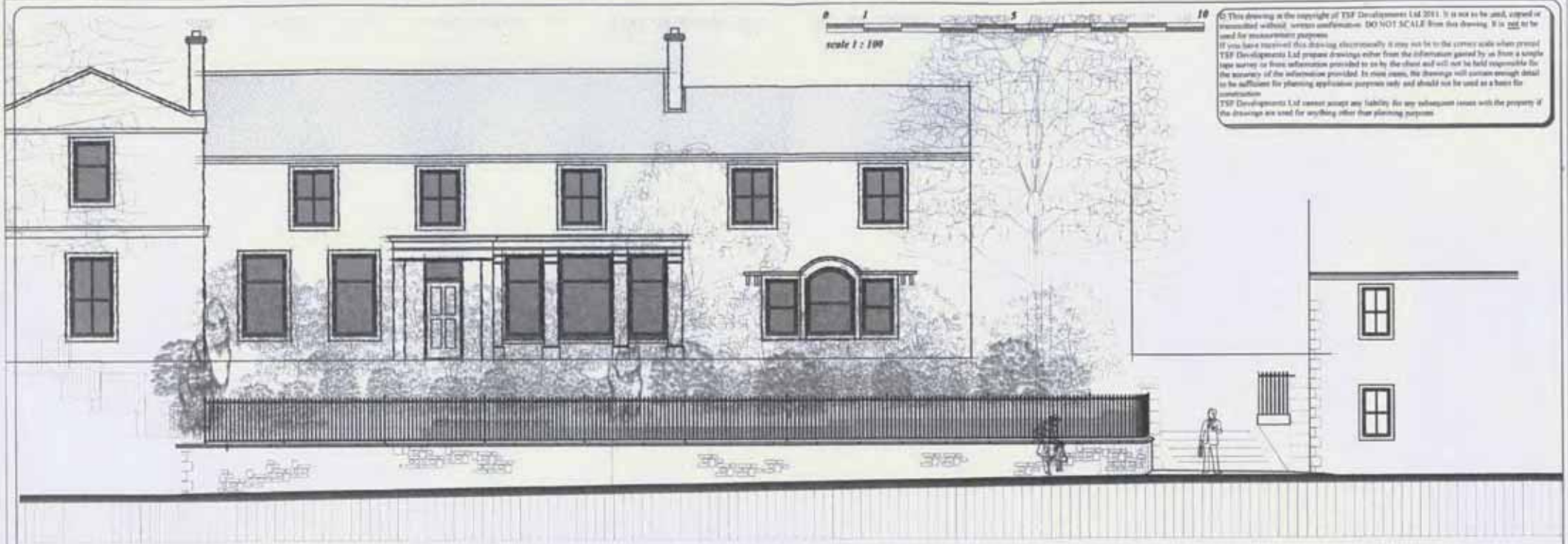
Main Street
for Mr Jackson
EXISTING SITE PLAN
20/03



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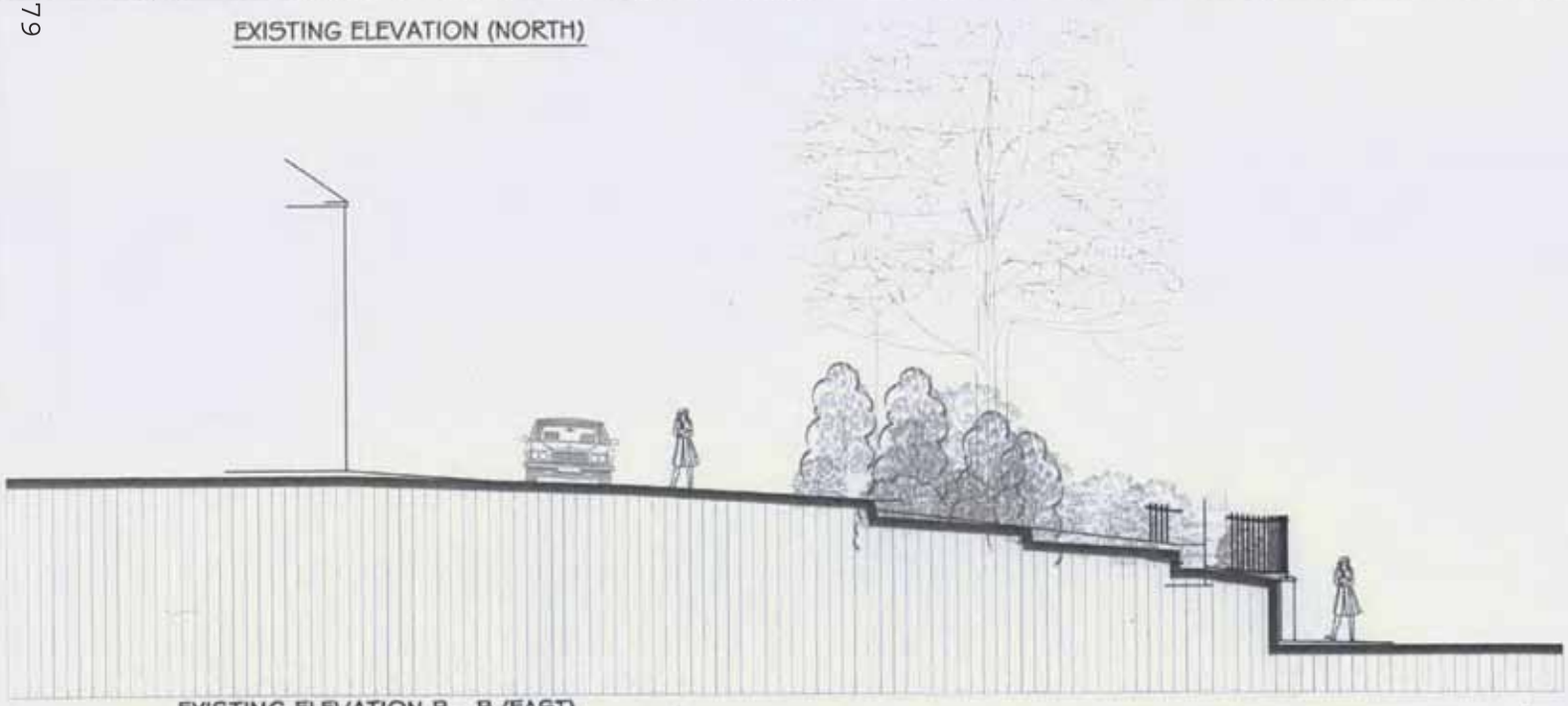
EXISTING ELEVATION (NORTH)



EXISTING ELEVATION B - B (EAST)

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Company No. 6604722

Job : 2011 / 04
Date : 2011
Scale : 1 : 100
Revision :

Proposed Development at
The White House
Main Street
for Mr Jackson

Existing Elevations

20/04

0 1 5 10

scale 1 : 100

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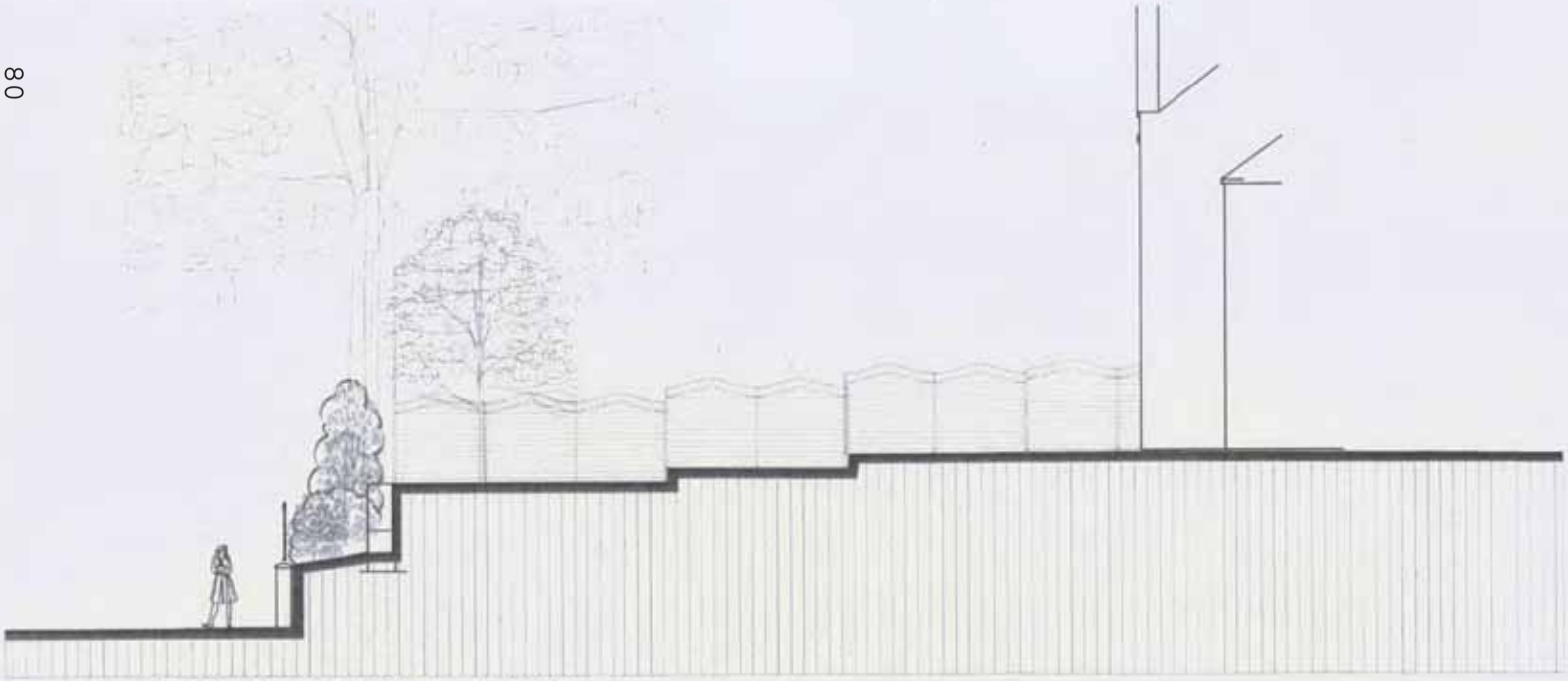

PROPOSED SECTION A - A (WEST)

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duncan@tsfdevelopments.co.uk
Company No. 6504732

Job : 2011 / 20
Date : 2011
Scale : 1 : 100
Revision :

Proposed Development at
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Main Street
for Mr Jackson

Existing Elevations

20/12

0 1 5 10

scale 1 : 100

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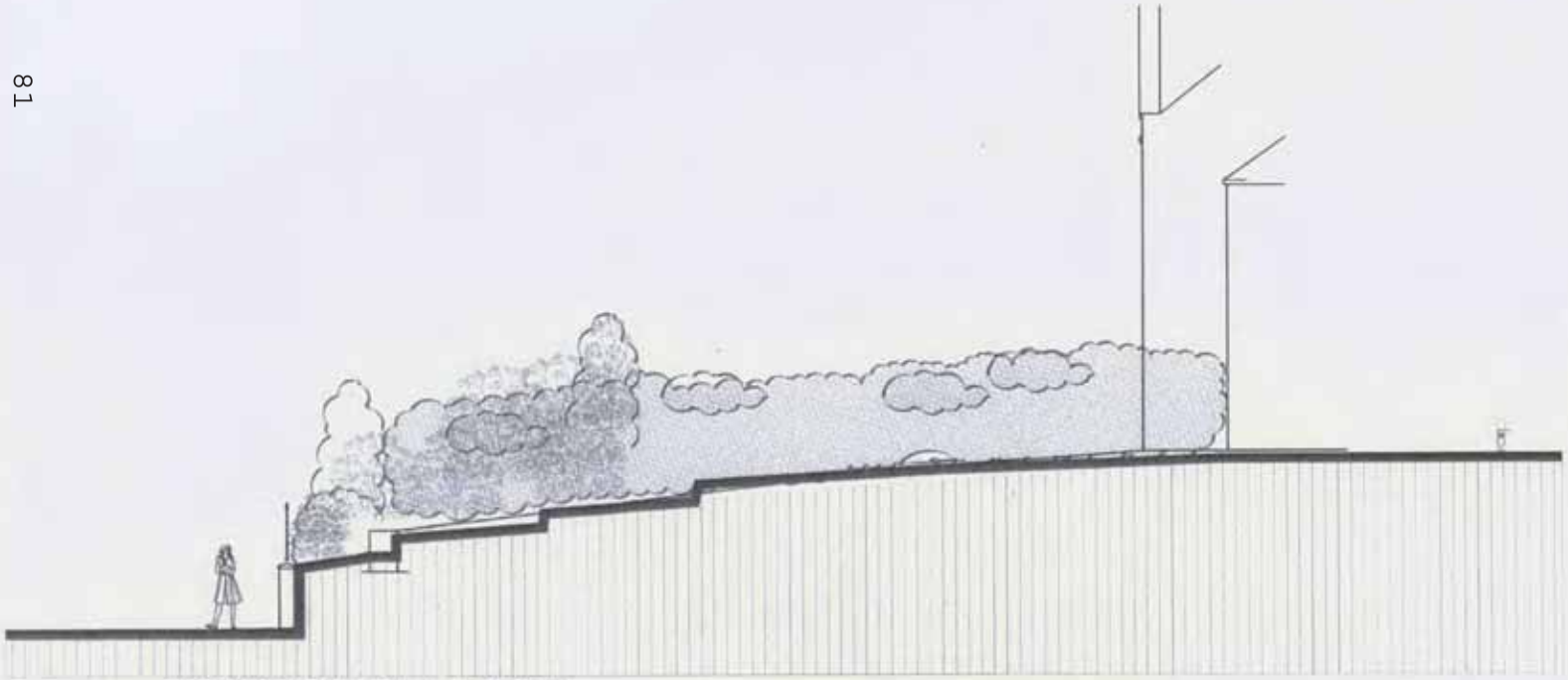

EXISTING ELEVATION A - A (WEST)

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email address : george@tsfdevelopments.co.uk
duncan@tsfdevelopments.co.uk
Company No. 6504732

Job : 2011 / 20
Date : 2011
Scale : 1 : 100
Revision :

Proposed Development at
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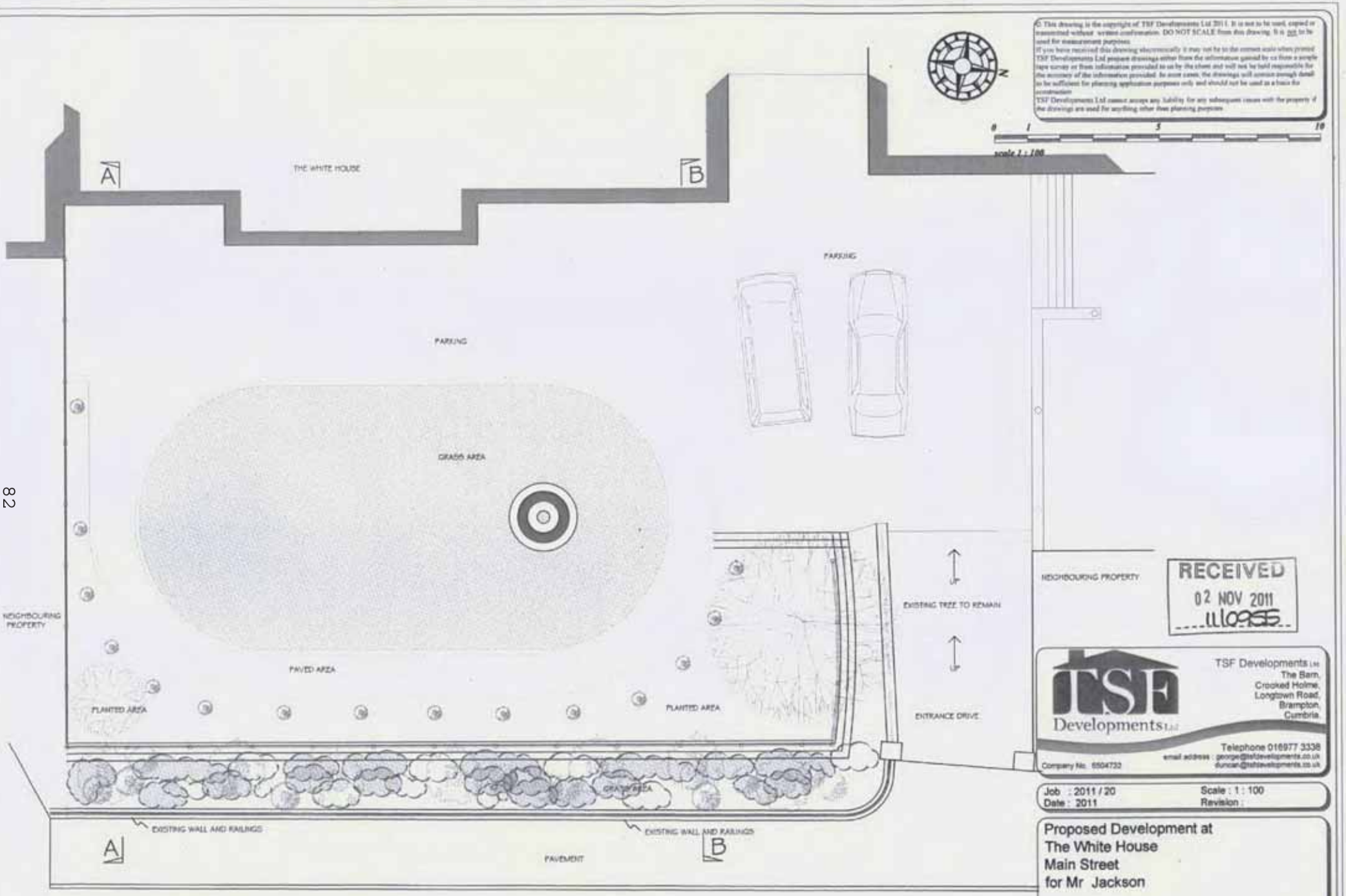
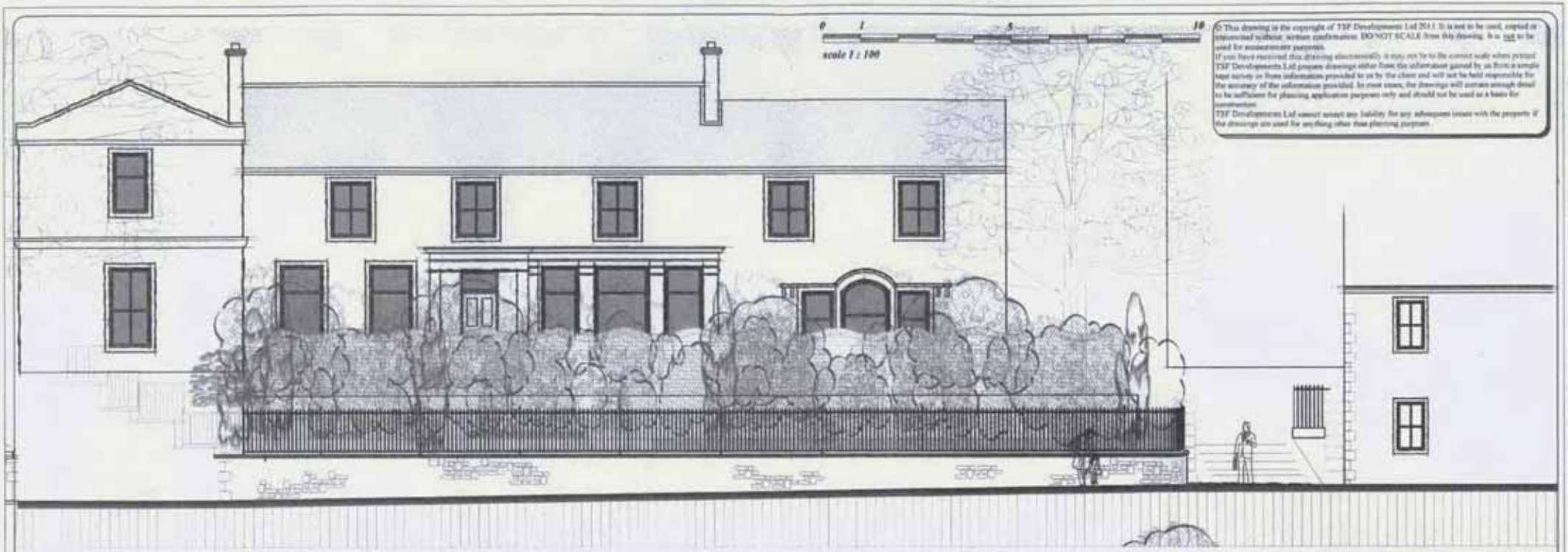
Main Street
for Mr Jackson

Existing Elevations

20/05



EXISTING SITE PLAN



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PROPOSED ELEVATION (NORTH)

Proposed mix of trees and bushes to form hedge. Common Pear, Blackberry, Blue Berry, Cranberry, goosberry, Havelnut, Common greengage, Prunis Avion (cherry), Common sloe, Common plum, Common Damsen, Crab apple, Eldeberry, Honey berry. There will also be several Alder Trees. Therse are all native trees and bushes to form a dense hedge. They are also wildlife friendly.

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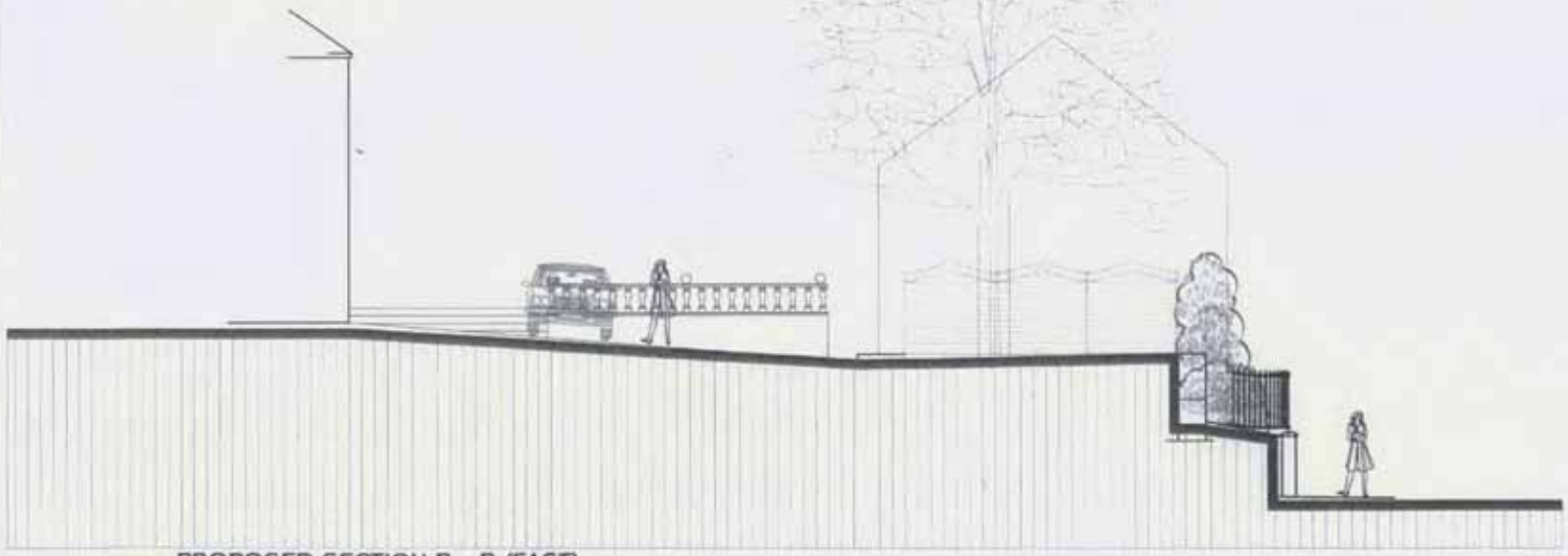
11/0955



PROPOSED SECTION B - B (EAST)

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TSF Developments Ltd
The Barn,
Crooked Holme,
Longtown Road,
Brampton,
Cumbria.
Telephone 016977 3338
email address : george@tsfdevelopments.co.uk
duncan@tsfdevelopments.co.uk
Company No. 6504732

Job : 2011 / 20
Date : 2011
Scale : 1 : 100
Revision :

Proposed Development at
The White House
Main Street
for Mr Jackson

Proposed Elevations

20/11

SCHEDULE A: Applications with Recommendation

11/1008

Item No: 03 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1008	S Tyrrell Roofing	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
23/11/2011		Botcherby

Location:
Garage to rear of Geltsdale Avenue, Carlisle CA1 2RL

Proposal: Change Of Use Of Garage And Adjacent Land To Storage For Roofing Materials (Retrospective Application)

REPORT

Case Officer: Stephen Daniel

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Whether The Proposal Is Acceptable In Principle
2.2 Impact On The Character Of Area
2.3 Impact On The Living Conditions Of The Occupiers Of Neighbouring Properties

3. Application Details

The Site

3.1 The garage is located at the end of a block of seven garages, which are accessed from Geltsdale Avenue. Residential properties surround the garage block, with dwellings at Chapelbrow being located to the south and those on Geltsdale Avenue adjoining the garages to the east and west.

3.2 The garages are constructed of brick, with timber doors. A number of the garages are in a poor state of repair and appear to be unused, with grass and weeds growing in front of some of them. The applicant has fenced off the area in front of his garage with a steel palisade fence/ gates to improve security. The fence is dark green, with the gates being galvanised steel.

The access road into the garages has recently been repaired with hardcore by the applicant.

Background

3.3 The applicant has submitted some supporting information, which is summarised below.

- the garage is used for light storage of roofing products, including scaffolding;
- the garage is only used 2-3 times a week at most;
- a large amount of work has been undertaken at the garage in recent weeks in order to prepare it for business use and this work has now been completed. These works have included the removal of a bank to side of garage; erection of metal fence in front of garage; putting hardcore at entrance of garage; putting hardcore on land surrounding the end garage; the erection of fence for 1a Geltsdale (next to garage); and roofing work for 1a Geltsdale;
- the metal fence was erected to stop people taking a short cut through the garages from Chapelbrow and to improve security for the business;
- no other owners of the garages have right of way over the land that has been fenced off;
- putting hardcore down has stopped the access from getting churned up;
- no more building materials will be dropped off as all the building work has been carried out and no more skips or any other wagons will access the land in connection with the business;
- the garage will only be used between the hours of 8.30am and 5pm, so noise will be kept to a minimum;
- my vehicle will be parked on my own land (behind the fence).

The Proposal

3.4 The applicant is seeking retrospective planning permission to use the garage and the area to the front of the garage, which has been fenced off, for the storage of roofing materials and the applicant's scaffolding. The business would be operated in accordance with the details set out above.

4. Summary of Representations

4.1 This application has been advertised by means of a site notice and notification letters sent to ten neighbouring properties. In response two letters of objection (one sent by the Chair of the Botcherby Residents Action

Group, on behalf of local residents), a petition signed by eighteen local residents, one letter of support and one comment have been received. Cllr Betton has also objected to the proposal.

4.2 The letters of objection make the following points:

- the applicant's vehicles are causing damage to the entrance of the block of 7 garages;

- the ground in front of the garages is getting churned up with the applicant's vehicles and also by skip wagons which collect full skips or drop off empty ones;

- the road surface entry to the garages is not a hard surface and is not suitable for heavy commercial vehicles (skip vehicles etc). The damage to the entry creating a mud bath has created a hazard to other garage users. The owner of the garage has tried to rectify the “mud bath” in question on two occasions after complaints made to the planning office. However, the gravel laid only serves as a temporary measure the weight of the commercial vehicles quickly return the surface to a mud bath;

- if the applicant is loading his vehicles or having roofing material delivered the other garage users have to wait;

- a number of industrial vans, pick-ups etc are parked at the forefront of the other garages, thus restricting/preventing other garage owners using their own garages for personal use;

- these garages were built for domestic use not commercial use;

- the garage is positioned at the end of the block and has been segregated from the others with iron rails used to secure prisoners in jail;

- the land at the front of the garage is used as a building site for skips and other building materials;

- Geltsdale Avenue is a one way road and parking is restricted to one side of the narrow road. Commercial vehicles have great difficulty exiting the garage because of parked cars and mount the pavements/ grass verges. This not only creates a danger to children playing but has created a mud bath on the verges thus creating a hazard to the general public;

- there is also the noise aspect of loading and unloading early in the morning and this is not acceptable within a residential area.

4.3 A petition has been received which objects to the change of use of the garage. This has been signed by eighteen local residents.

4.4 Cllr Betton has raised the following objections to the application:

- the entrance road is very narrow and access is limited by way of vehicle width and the garage is a private garage for private use only;

- the grass verges/road at the entrance have been damaged and churned up. This could be a future problem for residents of the area with large vehicles loading/ unloading on a frequent/ regular basis. The land is unadopted and this could be a future problem by way of who will pay for future damage caused;

- the area is a quiet residential area and this could change due to the proposal causing noise nuisance at unwanted times of the day on a regular basis;

- Geltsdale Avenue is one way and residents cars already park on the left of the narrow road by the garages. Evidence of the churned up road entrance and verges suggest large vehicles have churned the area up because of limited space;

- Geltsdale Avenue has had road improvements recently completed and future large vehicle use could cause concern;

- the area has already been fenced off and vehicle turning access for existing tenants is difficult in the small area left - there will also be inconvenience caused to tenants who wish to park outside their residential garages as they will not be able to due to change of use if granted;

- the garages are in a residential area and are described and defined as garages for residential use.

4.5 The letter of support has been submitted by a resident who lives directly adjacent to the garage block. This states that having endured seven years of members of the public using this area as a shortcut to and from the Chapelbrow Estate and numerous accounts of vandalism i.e. fires/ break-ins and general anti-social behaviour, the situation has improved 100% and these events no longer occur since the applicant moved in. Maybe the situation regarding the surface of the lane could be improved by the introduction of a more permanent road surface.

4.6 One comment has been received. This states that the substantial work in reinforcing the fencing between the garages and the Chapelbrow development and the additional gated steel fence adjoining the end garage has provided excellent security against people using the area as a shortcut between the two areas and also as a gathering place for youths. The only problem which has arisen as a result of the frequent use by heavy vehicles is that the dirt track leading to the garages is being eroded quite significantly, causing muddy conditions which are being transferred onto pedestrian areas. The residents of Geltsdale Avenue fought a hard battle with the help of Cllr Betton, to have the road and pavements improved and resurfaced and to see them sullied causes resentment. As a goodwill gesture maybe the applicant

would be amenable to tarmacing the dirt track and eliminating this problem.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objections, providing the vehicles using the site are <7.5t gvw.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, H2, CP5 and CP6 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:

1. Whether The Proposal Is Acceptable In Principle

6.2 The garages are located in a residential area and have historically been used as residential garages. The proposal is seeking to use one of the garages to store roofing materials. The use would only attract approximately three visits to the garage per week between the hours of 8.30am and 5pm. The proposed use would not, therefore, be dissimilar to the residential use of the garage and might actually lead to fewer vehicles movements than if the garage was used to store a car. In light of the above, the use of the single garage for proposed storage of roofing materials would be acceptable in principle.

2. Impact Of The Proposal On The Character Of The Area

6.3 The applicant is currently using the area to the front of the garages to store materials and this looks unsightly. He has also used this area to store skips, whilst the site was being cleared and the garage repaired. Following discussions with the applicant, it is apparent that skips are no longer needed at the site. It is suggested that a condition is added to the permission to restrict the area of open storage to an area to the south of the existing garage block and to limit its height to 1m.

6.4 Some local residents have commented on the unsightly appearance of the palisade fence/ gates, which have been erected to the front of the garage. These are visible from Geltsdale Avenue and the galvanised steel gates are prominent from the road and do look unsightly. If these gates were painted dark green, to match the fence, this would improve their visual appearance. This can be secured by condition.

3. Impact On The Living Conditions Of The Occupiers Of Any Neighbouring Properties

6.5 The applicant is proposing to visit the garage three times per week in a transit van. Visits would take place between the hours of 8.30am and 5.30pm from Mondays to Saturdays. It is suggested that conditions are added to the permission to make it personnel to the applicant; to restrict the hours of use;

to limit the areas of open storage; and to ensure that the gates are painted dark green to match the fence. In light of the above, the proposal would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties.

Conclusion

6.6 In overall terms, the proposal would be acceptable in principle. It would not have an adverse impact on the character of the area or on the living conditions of the occupiers of any neighbouring properties. In all aspects the proposal is considered to be compliant with the objectives of the relevant adopted Local Plan policies.

7. Planning History

7.1 There is no planning history relating to this site.

8. Recommendation: Grant Permission

1. The approved documents for this Planning Permission comprise:

    1. the submitted planning application form, received 18 November 2011;

    2. Site Location Plan, received 18 November 2011 (Drawing No. 001);

    3. Block Plan, received 23 November 2011 (Drawing No. 002);

    4. Plan Identifying Outside Storage Area, received 11 January 2012;

    5. the Notice of Decision; and

    6. any such variation as may subsequently be approved in writing by the Local Planning Authority.

    Reason: For the avoidance of doubt.

2. The premises shall be used for the storage of roofing materials and the applicant's scaffolding and for no other purpose.

    Reason: To preclude the possibility of the use of the premises for purposes inappropriate in the locality, in accordance with Policies CP5, CP6 and H2 of the Carlisle District Local Plan 2001-2016.

3. This permission shall not be exercised by any person other than Mr Sean Tyrell (S Tyrell Roofing).

    Reason: But for the special circumstances of the applicant permission would not be forthcoming and in order to safeguard the

character of the area and to protect the amenity of local residents, in accordance with the objectives of Policies H2, CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

4. The garage shall only be used between the hours of 8.30am to 5.30pm on Mondays to Saturdays and shall not operate at all on Sundays or statutory holidays.

Reason: To prevent disturbance to nearby occupants in accordance with Policies CP5, CP6 and H2 of the Carlisle District Local Plan 2001-2016.

5. No materials shall be stored or deposited in the open area to the front of the garage. Any materials that are stored on the site shall be stored in accordance with Drawing 003 (Plan Identifying Outside Storage Area), received on 11 January 2012.

Reason: To ensure that the proposed development does not have an adverse visual impact on the character of the area, in accordance with Policies CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

6. Within 2 months of the date of this permission, the applicant shall paint the gates a dark green colour.

Reason: To ensure that the proposed development does not have an adverse visual impact on the character of the area, in accordance with Policies CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

Land Registry
Official copy of title plan

Title number **CU240084**
Ordnance Survey map reference **NY4255SE**
Scale **1:1250**
Administrative area **CUMBRIA : CARLISLE**

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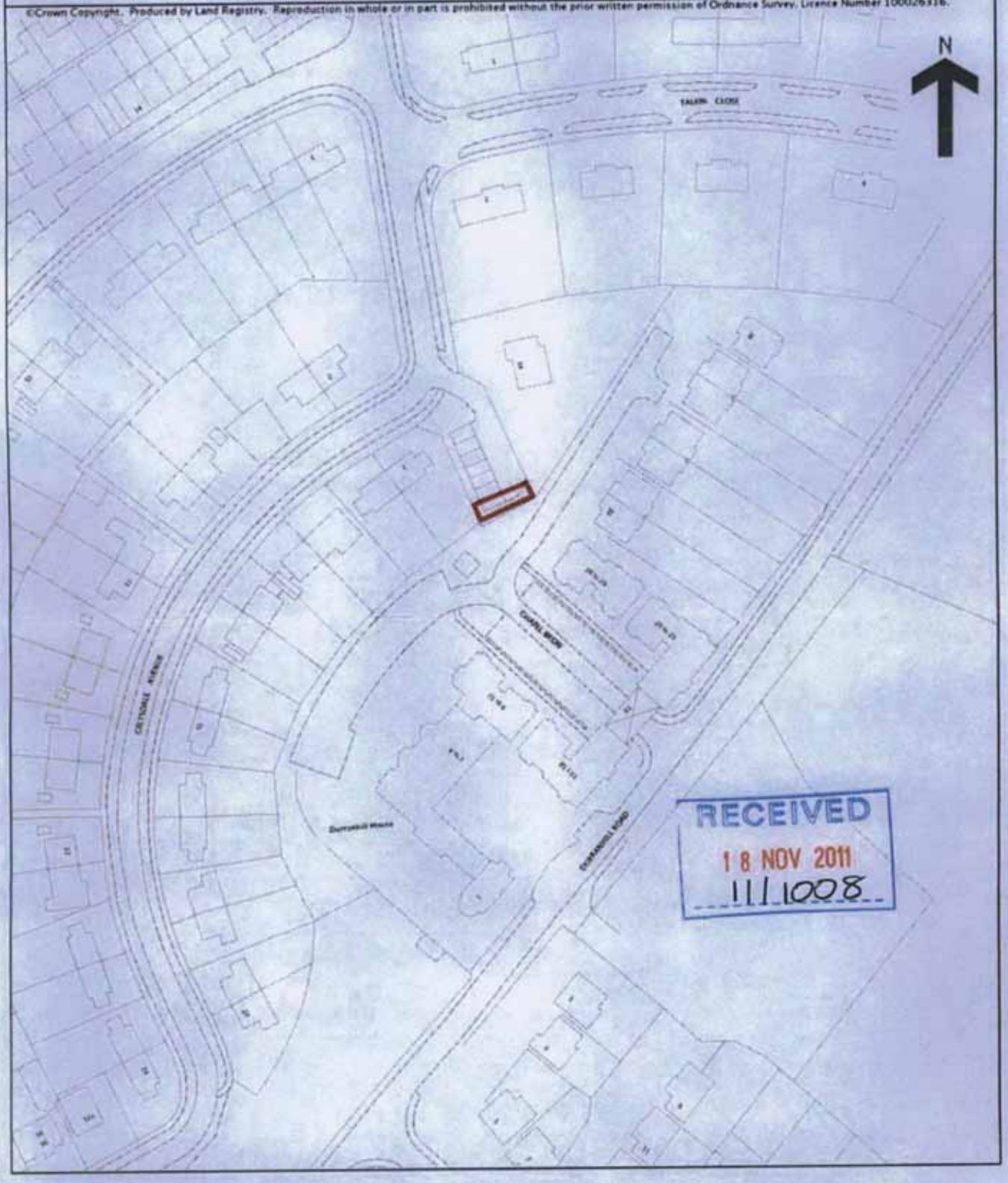

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18 NOV 2011
111008

SITE LOCATION PLAN: DRG. NO. 001.

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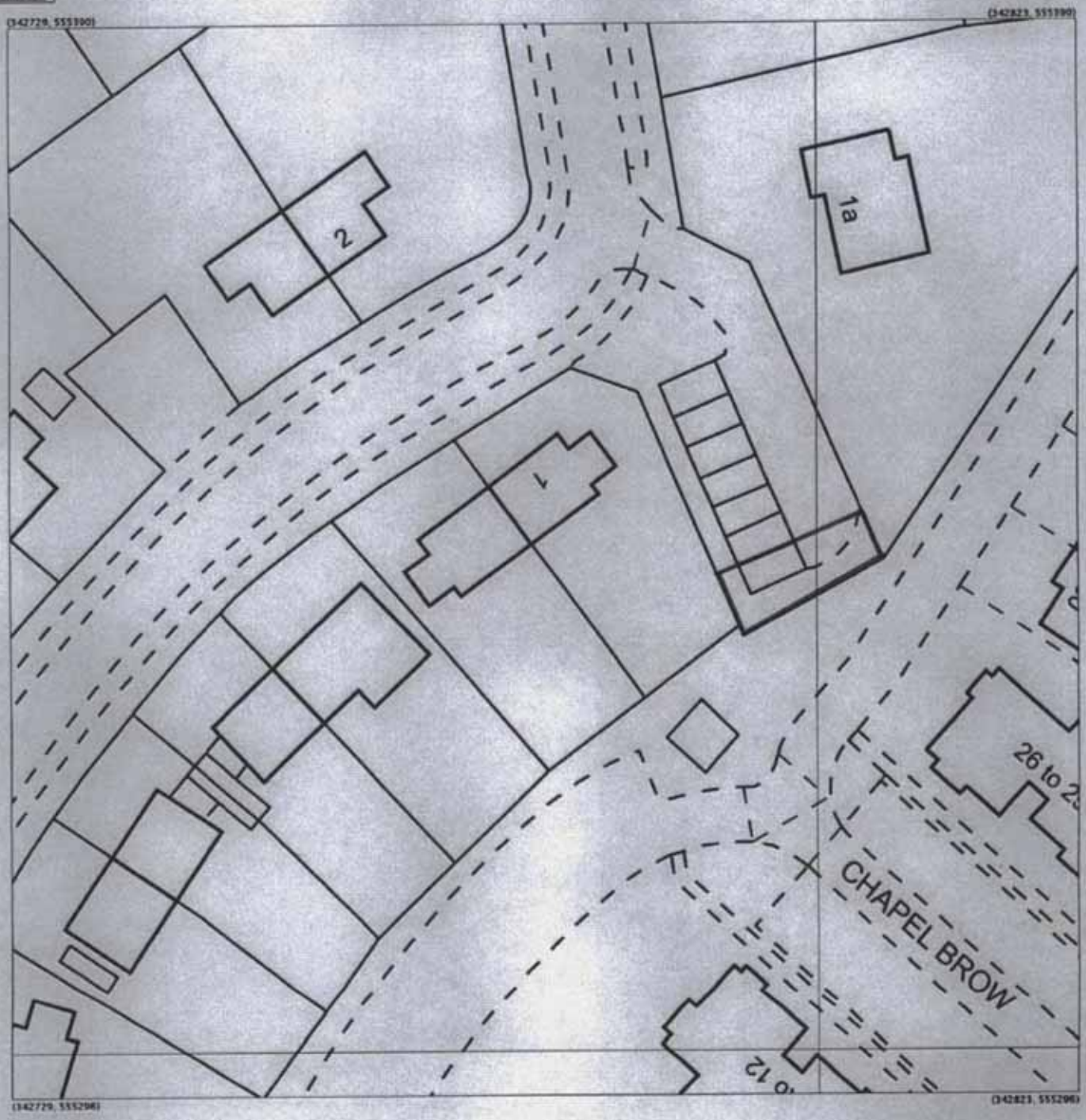

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Metres
0 4 8 12 16 20

1:500

N

1 GELTSDALE AVENUE
CARLISLE
CA1 2RL

Supplied by: **Latitude Mapping Ltd**
Reference: OI342847
Centre coordinates: 342776 555343

RECEIVED
23 NOV 2011
2011/1008

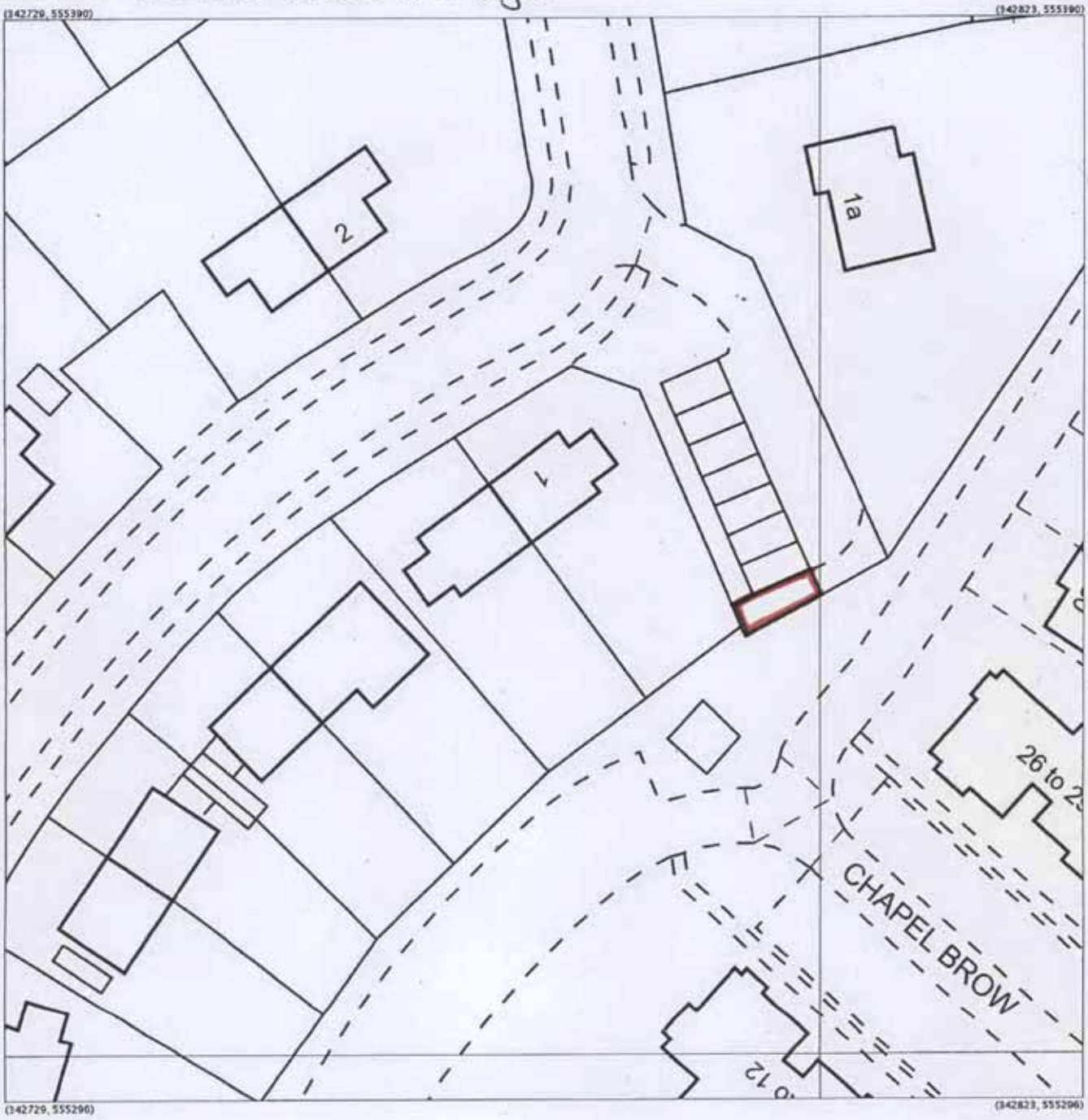
BLOCK PLAN
DRG NO. 002

Version 1.0 13462:13463S PDF

The area highlighted in red is where I will store my roofing materials, therefore keeping them out of public view. The materials I will store will not exceed 1 meter in height.

Latitude Mapping

Ordnance Survey Premier Partner



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Metres 0 4 8 12 16 20

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1 GELTSDALE AVENUE
CARLISLE
CA1 2RL

Supplied by: **Latitude Mapping Ltd**
Reference: OI342847
Centre coordinates: 342776 555343

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11 JAN 2012
11/1008

Version 1.0 13462:13463S PDF

DRG. NO. 003

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22 DEC 2011

Hello the residents of Geltsdale Ave, my name is Sean Tyrrell I'm sure you have already heard of my name. Just thought I would take some time to write to you all, as I hear you all have some concerns about me coming to your area. I am a reasonable person and would like to ask anyone who has any issues about my use, to come and talk to me.

Anyway just think I should talk about my intended use of the garage, I am not about turning your road into a constant building site. I intend on using it for the light storage of my roofing products. As I am not a builder there will be very little in the way of these. I also have a scaffold which I store in my garage.

I estimate I will only use the garage 2-3 times a week at most, the reason you have seen so much of me up until now was the work I have been doing in the area. As listed:-

- Removal of bank to side of garage
- Erection of fence for 1a Geltsdale (next to garage)
- Roofing work for 1a Geltsdale
- Erection of metal fence in front of garage
- Hardcore and free standing to entrance of garage
- Hardcore and free standing to land surrounding my garage

Think I should mention that in the completion of all this work you will start to barely notice me around. The reason for the metal fence was after, in talking with owner of 1a Geltsdale I found out people were using the lane as a short cut. So the idea came of putting a fence up to stop this came about. Also to protect any of my roofing products being broken or stolen. I made sure my actions in doing this were correct, by contacting my solicitor; she informed me my garage was in the unique position of being able to do this, being the end one. And no other owners of the garages have right of way over my land.

I would never have done this if anyone had expressed any objections to this, I ran this past a fireman who also has a garage on the block, and he expressed no concern. He did have one though in being that the land was getting churned up, so I told him that would sort it. With putting some hardcore down, he was happy and in doing so I think I made a friend.

I have since found out about a petition against me being there, and I do understand about all the issues I have read. So I have decided to act on them, all being listed below

- Skips getting dropped off
- Building materials dropped off
- Possible noise on me collecting my products
- Blocking people from their garages

I would like to say there will be no building materials dropped off, at any point in the future, as all work has been carried out. No more skips or any other wagons will access the land in connection with me being there.

Also I will only use the garage between the hours of 8.30am and 5pm, so noise will be to a minimum, and will park my vehicle on my own land. So I can not prevent anyone from accessing their garage.

I really hope these things will put people's minds to rest on the way things are going to be on Geltsdale Ave, I understand this is your Avenue and you come first "as you should! The last thing I would like to say is I hold no ill feeling with anyone about the events that have arisen. Being objections and partition! I'm here to be spoken to and will continue to be whatever the eventual decision.

Thanks for taking the time to read this and hope you all have a good and peaceful Christmas.

Regards Sean Tyrrell

SCHEDULE A: Applications with Recommendation

11/0858

Item No: 04 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0858	Mr Atkinson	St Cuthberts Without
Date of Receipt:	**Agent:**	**Ward:**
10/10/2011	Mr Iain Little	Dalston

Location:
Lane End Cottage, Wreay, Carlisle, CA4 0RL

Proposal: Conversion Of Single Storey Flat Roof Dwelling To Two Storey Pitched Roof Dwelling (Revised/Part Retrospective Application To Include Fascia Boarding And Alterations To Fenestration Details And Amendments To Roof Design On South Elevation)

REPORT

Case Officer: Suzanne Edgar

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Impact Of The Proposal On The Living Conditions Of Neighbouring Residents
2.2 Whether The Proposal Is Appropriate To The Dwelling
2.3 Impact Of The Proposal On A Public Right Of Way

3. Application Details

The Site

3.1 Lane End Cottage is a small, single storey property situated towards the northern extent of Wreay Village. The property is located adjacent to a large detached house (Wreay Sike**)**, with two further properties situated in close proximity to the south (The Sheiling and Waygates). Access is from a track to the north which leads from the County Highway to adjacent fields and properties.

Background

3.2 This application is the third in a series of planning applications seeking consent to erect a pitched roof over the existing single storey flat roofed dwelling to provide additional living accommodation. The first application (reference 04/1190) was granted planning permission in 2004 following a Site Visit by Members of The Development Control Committee. This application involved rearranging the internal ground floor of the property, the formation of a master bedroom and gallery within the roof space to be created, together with a single storey storm porch at the western end of the building. The extension was to be constructed from matching stone on the new gable on the north elevation, with matching slates to the pitched roof.

3.3 The 2004 scheme was never implemented and a revised application was granted in March 2011 under Delegated Powers (reference 11/0001) for a similar proposal. The main difference between application 11/0001 and the previously approved scheme was a reduced ridge height, 6.05 metres opposed to the approved 6.85 metres.

The Proposal

3.4 During the implementation of planning approval 11/0001 Officers became aware that the extension was not being built in accordance with the approved plans. The current application therefore seeks part retrospective consent for amendments to planning approval 11/0001 to rectify this situation.

3.5 Members should be aware that the differences between the current application and the approval in 2011 are as follows:

1. Windows repositioned on north elevation due to internal floor level changes;

2. Reduction in size of the ground floor kitchen window on the south elevation;

3. Amendments to roof design on south elevation;

4. Additional fascia boarding;

5. Velux windows repositioned 700mm higher and redesigned;

6. Alterations to fenestration details on the proposed porch; and

7. Clarification of drainage positions.

4. Summary of Representations

4.1 One letter of support has been received from the occupier of Wreay Syke Cottage as well as several letters of objection from the occupier of Waygates. An email of objection has also been received.

4.2 The letter of support indicates that the property would benefit significantly

from the proposed changes and would enhance the appearance of the village. The objections relate to the application being part retrospective; the velux windows not being flush with the slate roof; the amendments to the roof design on the south elevation and the impact of these changes on the first floor bedroom window serving Waygates together with the design of the porch door. The objection letters also consider that the original finish was more appropriate to surrounding properties and raises queries regarding the dimensions/accuracy of the proposal.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objection;

St Cuthberts Without Parish Council: - no comment;

Ramblers Association: - no response received;

(Former Comm/Env.Services) - Green Spaces - Countryside Officer - RURAL AREA: - no objection;

Cumbria Constabulary - North Area Community Safety Unit (formerly Crime Prevention): - no observations/comments;

Cumbria County Council, Environment Unit: - no objection;

Local Environment (former Community Services) - Drainage Engineer: - no comments.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which this application is required to be assessed are Policies CP2, CP5, CP12, H11 and LC8 of the Carlisle District Local Plan 2001-2016. As the principle of the proposal has already been assessed and established under the previous consent (11/0001), which has now been implemented, what Members have to now consider is whether the proposed amendments to the previously approved scheme are acceptable. The main issues are therefore:

1. The Impact On The Living Conditions Of Neighbouring Residents

6.2 Members will note that two objections have been received. The concerns that have been raised relate to the application seeking retrospective consent, the design of the proposal and the impact of the amended roof design on the living conditions of the occupants of Waygates particulary with regard to their bedroom window.

6.3 Members will note that it is not illegal to submit a part retrospective application or to carry on building prior to the determination of an application. In considering the remaining objections Members should note that the overall

ridge height of the pitched roof has not altered from the previously approved scheme and no new windows are proposed other than the alterations to the fenestration details in the storm porch. In such circumstances the proposed application will not have an adverse impact upon any adjoining occupiers of neighbouring properties in terms of loss of privacy.

6.4 With regard to the impact of the proposal on the living conditions of occupiers of neighbouring properties in relation to loss of light/over dominance Members should be aware that the application site is located in close proximity to three residential dwellings. The property which adjoins Lane End Cottage to the east (Wreay Sike) has several first floor windows facing towards Lane End Cottage. The two windows that are directly affected by the proposal are obscurely glazed serving a bathroom. This bathroom is also served by two slightly larger windows located in the north elevation of this property. The remaining window affected by the proposal serves a hall. In such circumstances and the fact that a bathroom and hall are not normally regarded as a "habitable" rooms, the proposed alterations would not have an adverse impact upon the living conditions of the occupants of Wreay Sike.

6.5 In relation to the impact of the proposal on the two properties to the south (The Sheiling and Waygates). Members should be aware that there are several ground floor windows serving The Sheiling as well as first floor windows serving the sole bedroom and bathroom at Waygates that face the proposed development. The amendments to the ground floor window on the south elevation will be creating a better situation that the previous scheme which seeked to retain the large existing window which directly faced The Sheiling. Members should be aware that the two previously approved schemes sought to join the pitched roof to the eastern corner of the gable projection to Wreay Sike with a lean-to roof wrapping round the south elevation of the gable projection to Wreay Sike linking the proposal to the west elevation of this property. The current application however now seeks permission to increase the ridge height of the lean to roof (by 0.65 of a metre of the scheme approved in 2011 and by 0.1 of a metre of the scheme approved in 2004) which links the proposal to the west elevation of Wreay Sike. This results in a 0.45 metre (approx) gap between the pitched roof and the gable projection to Wreay Sike.

6.6 In considering the objections raised Members are advised that the proposed extension is positioned to the north and is designed so that it hips away from the objectors property. Therefore, the extension's closeness and visual impact to Waygates is gradually diminishing. The proposed amendments do not seek to increase the overall ridge height of the pitched roof. In such circumstances the proposed amendments from the previously approved scheme would not have a sufficient adverse impact upon the living conditions of the occupiers of Waygates to warrent refusal of the application. Furthermore there would be no adverse impact on the living conditions of The Sheiling or the property to the north-west of the site "Wreay Syke Cottage" as a result of the proposal.

2. Whether The Proposal Is Appropriate To The Dwelling

6.7 The proposed amendments are in keeping with the scale and design of the

existing building. The proposed materials are also reflective of the surrounding built environment. The proposal will therefore not have a detrimental impact upon the character of the existing building or the surrounding residential properties.

3. Impact Of The Proposal On A Public Right Of Way

6.8 Public Footpath No.129019 is situated to the north of the application site. Given the position of the proposal in relation to the Public Right of Way, there would be no adverse impact upon Footpath No.129019.

Conclusion

6.9 In overall terms, the scale and design of the proposed amendments to application 11/0001 are acceptable. The proposal would not have an adverse impact on the living conditions of adjacent properties by poor design, unreasonable overlooking and unreasonable loss of daylight or sunlight to warrent refusal of the application on this basis. The proposal would also not have a detrimental impact on a Public Right of Way or biodiversity. In all aspects the proposal is considered to be compliant with the objectives of the relevant adopted Development Plan policies.

7. Planning History

7.1 In 2004 (reference 04/1190) Full Planning Permission was granted for conversion of single storey flat roof dwelling to two storey pitched roof dwelling.

7.2 In March 2011 (reference 11/0001) Full Planning Permission was granted for conversion of single storey flat roof dwelling to two storey pitched roof dwelling (revised application/part retrospective).

8. Recommendation:

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

   1. The Planning Application Form received 9th November 2011;

   2. The Site Location Plan, Block Plan, Existing and Proposed Elevations And Existing Floor Plan received 30th November 2011;

3. The Proposed Ground Floor Plans received 9th November 2011 (Drawing No.0431.03A);

4. The Proposed Roof Plans received 30th Novmber 2011 (Drawing No.0431.04);

5. the Proposed East Elevation received 30th November 2011;

6. the Notice of Decision; and

7. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

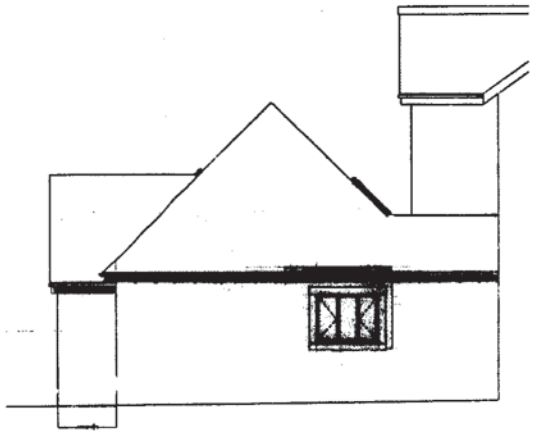
3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no additional windows, skylights or dormers shall be inserted on any elevations without the prior consent of the Local Planning Authority.

Reason: In order to protect the privacy and amenities of residents in close proximity to the site and to ensure compliance with Policies H11 and CP5 of the Carlisle District Plan 2001-2016.

4. There shall be no interference with the public's right of way over Public Footpath No. 129019.

Reason: In order to prevent any obstruction to a public right of way in accordance with Policy LC8 of the Carlisle District Local Plan 2001-2016

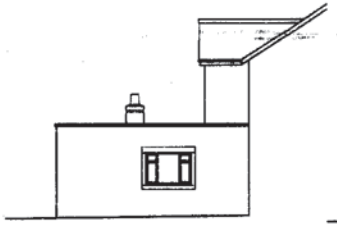
AS PROPOSED
NORTH ELEVATION



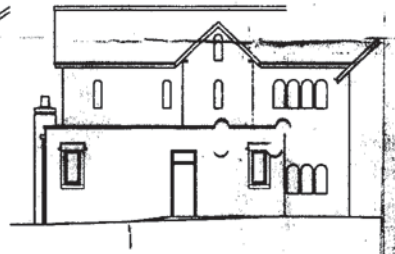
AS PROPOSED
SOUTH ELEVATION

AS PROPOSED
WEST ELEVATION

AS EXISTING
NORTH ELEVATION



AS EXISTING
SOUTH ELEVATION



AS EXISTING
WEST ELEVATION

AMENDMENTS TO PREVIOUS APPROVED INCLUDE.

WEST ELEVATION

LOUVRES TO PORCH
FACIA BOARDING
SKYLIGHTS REPOSITIONED 700mm HIGHER
& TO [illegible]

SOUTH ELEVATION

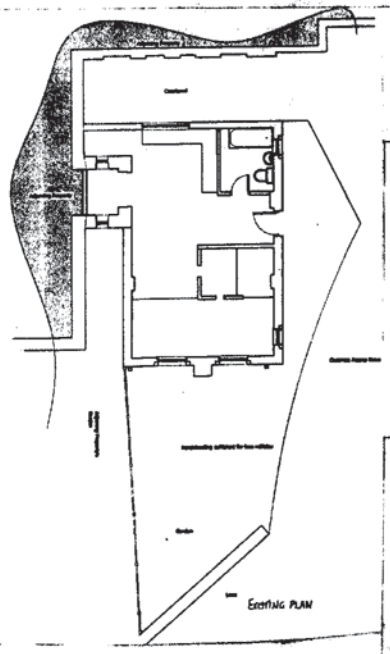
FACIA BOARDING
KITCHEN LOUVRE

NORTH ELEVATION

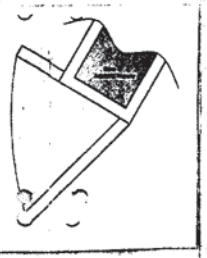
LOUVRES REPOSITIONED DUE TO PROPOSED [illegible]
PREVIOUS PENTICE DISCARDED ENTRANCE DOORS [illegible]
REVISED LOUVRE

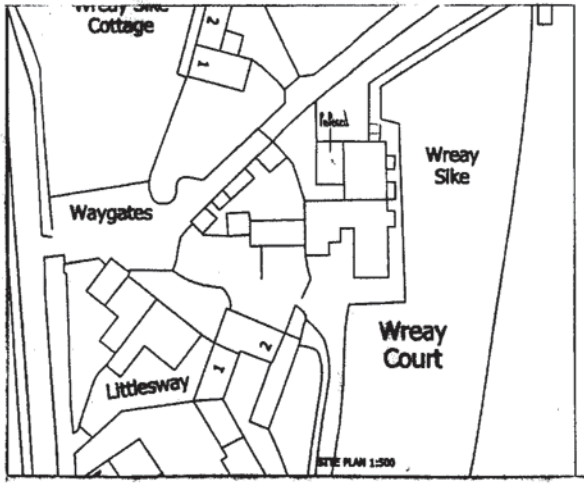
NOTE

NO CHANGES AT ALL PROPOSED TO FOOTPRINT
OR ROOF HEIGHTS AND THE SAME AS 11/0001

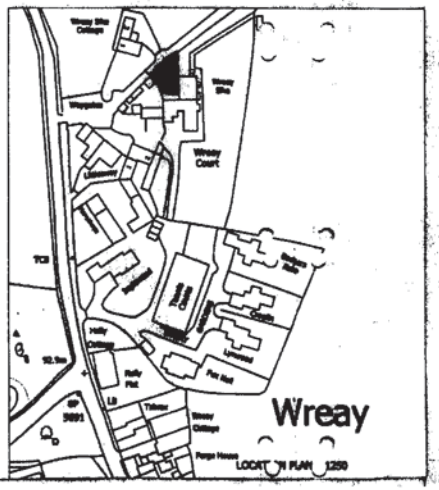


EXISTING PLAN





SITE PLAN 1:500



LOCATION PLAN 1:250

RECEIVED
03 OCT 2011
11/0800

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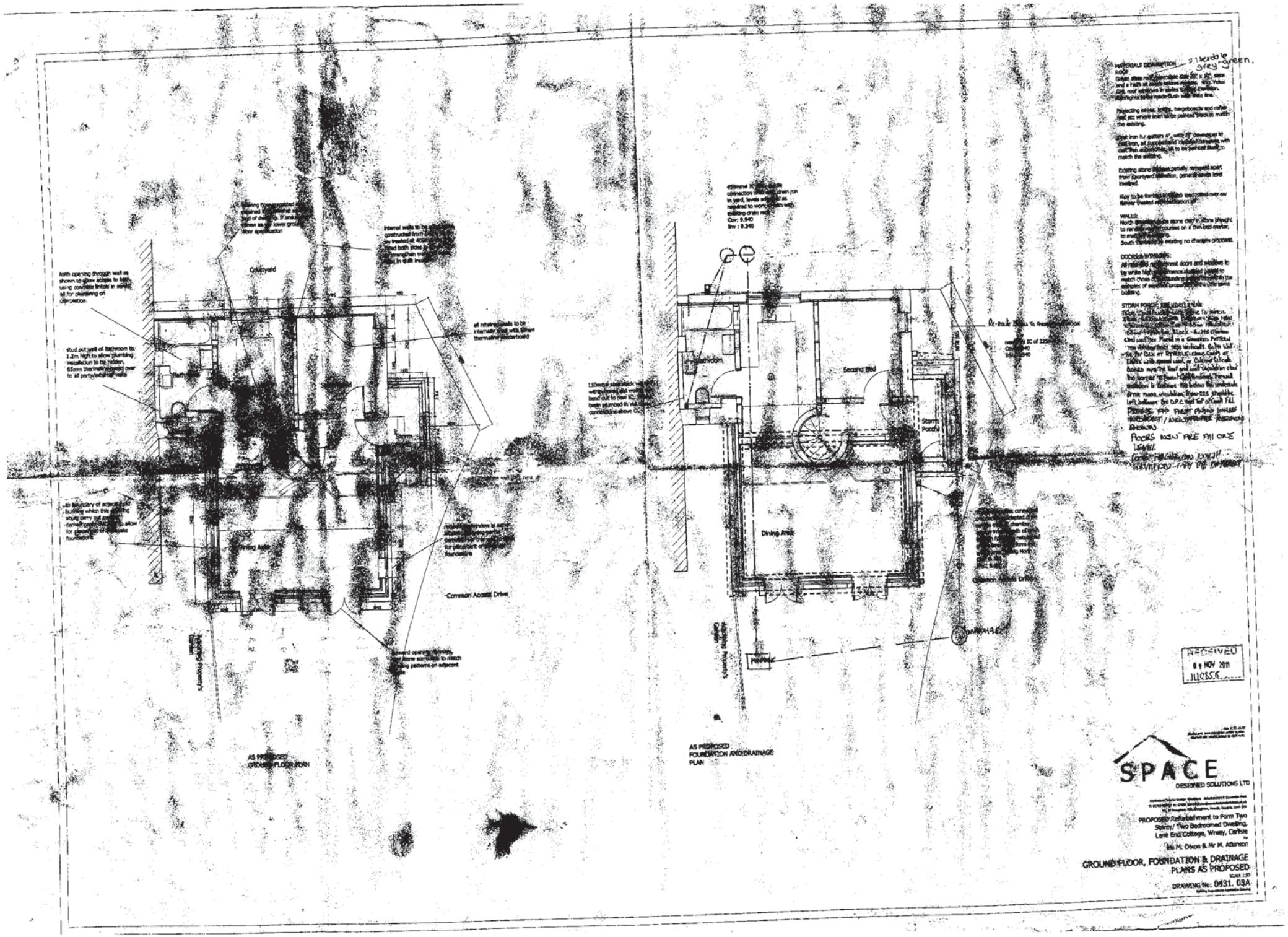
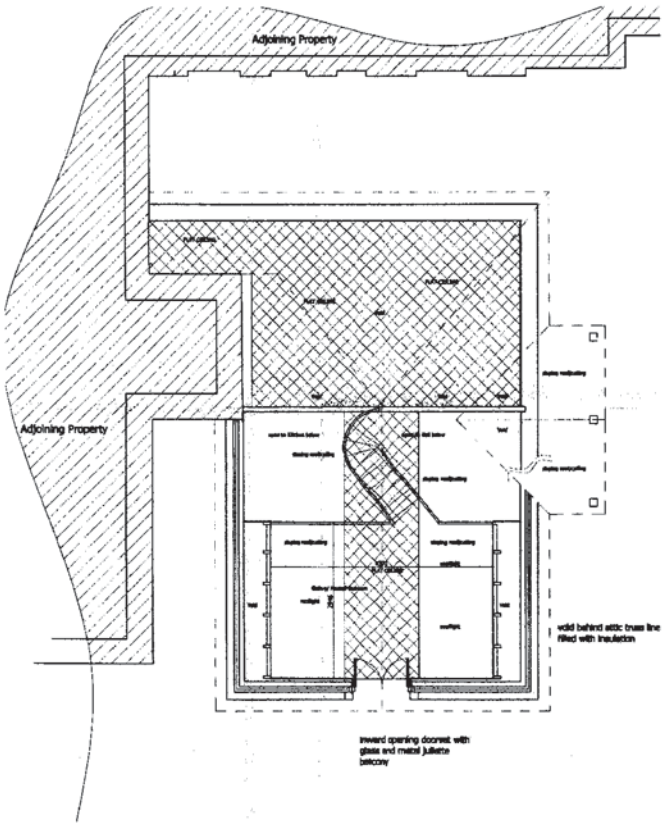
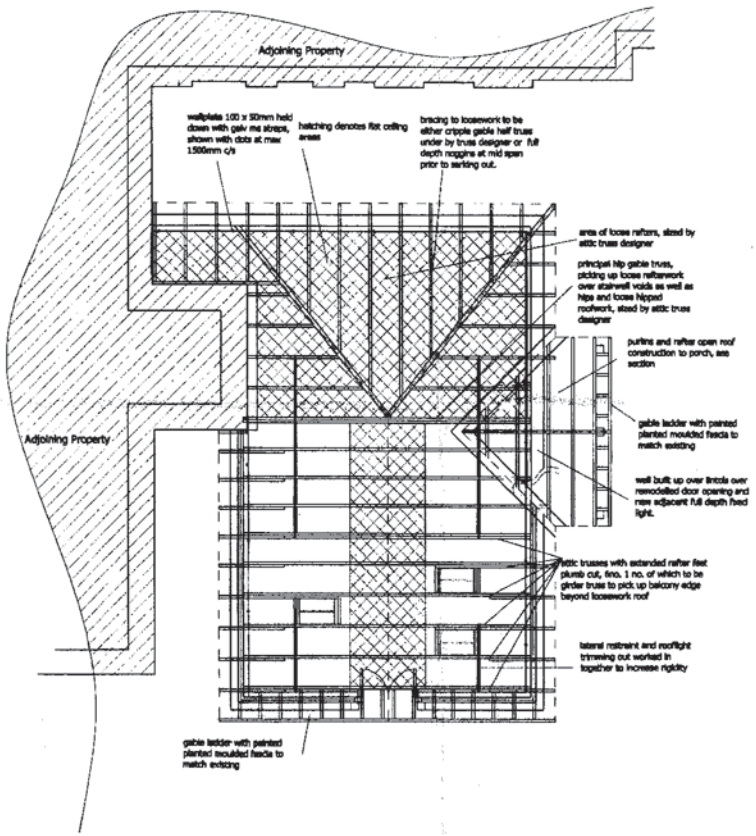
30 NOV 2011
11/0878

PROPOSED REFURBISHMENT TO THE WREAY / THE BARGHE BUILDING
LAND BY COTTAGE WREAY CARLISLE FOR PETER H. ATKINSON
SCALE 1:250 1:500 1:100 1:50


Courtyard
Bathroom
Dining Area
Common Access Drive
AS PROPOSED GROUND FLOOR PLAN
Second Bed
Dining Area
Storm Porch
Pitched
AS PROPOSED FOUNDATION AND DRAINAGE PLAN
RECEIVED
SPACE
DESIGNED SOLUTIONS LTD
PROPOSED Refurbishment to Form Two Storey/ Two Bedroomed Dwelling.
Lane End Cottage, Wreay, Carlisle
Mr M. Dixon & Mr M. Atkinson
GROUND FLOOR, FOUNDATION & DRAINAGE PLANS AS PROPOSED
SCALE 1:50
DRAWING No: 0431. 03A



AS PROPOSED
FIRST FLOOR PLAN



AS PROPOSED
ROOF PLAN

MATERIALS DESCRIPTION
ROOF
Green slate roof, non slate size 20" x 10", slate and a halfs at eaves course reveals. Velux GHL roof windows in series to East/West Elevations. Rooflights to be made flush with slate line.

Projecting eaves, soffits, bargeboards and rafter feet etc where extn to be painted black to match the existing.

Cast iron h.r.gutters 4", with 2½" downpipes in cast iron, all supplied and installed complete with cast iron accessories, all to be painted black to match the existing.

Existing stone parapet partially removed apart from Courtyard elevation, general eaves level lowered.

Hips to be formed in Code5 lead rolled over sw former treated with patination oil, or mitred slated with code 4 slips under min 75mm lap

WALLS:
North Elevation to be stone clad in stone brought to random rubble courses on a thin bed mortar, to match the existing. Partial demolition of East and West elevations to facilitate better levels of thermal comfort and avoid underpinning works as lower ground floor level below normal GLs. South Elevation as existing no changes proposed.

DOORS & WINDOWS:
All new and replacement doors and windows to be white high performance doubled glazed to match those of surrounding properties within the complex of seperate properties within the same building.

STORM PORCH:
New porch superstructure constructed in treated timber for coloured stain finish with clear finish Oak panelling infill and single glazing in painted frames as shown.

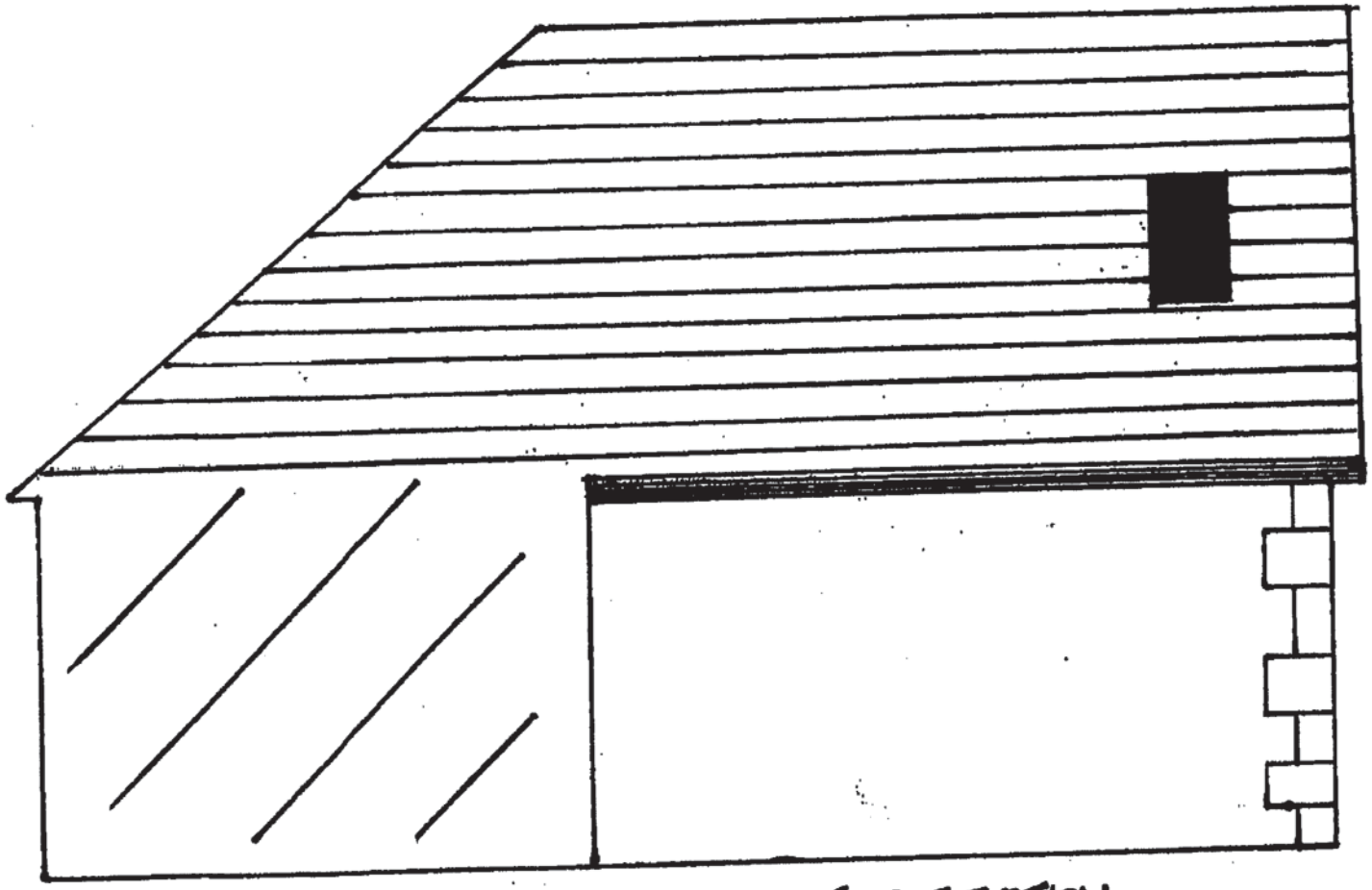
RECEIVED
30 NOV 2011
11:08:58

SPACE
DESIGNED SOLUTIONS LTD

Architectural Interior Design Interiors Refurbishment & Conversion Work
T: 01228 514127 M: 07930 [illegible] E: [illegible]
No. 10 Broughton Hall, Broughton, Penrith, Cumbria, CA10 2SE

PROPOSED Refurbishment to Form Two Storey/ Two Bedroomed Dwelling,
Lane End Cottage, Wreay, Carlisle
for
Ms N. Dixon & Mr M. Atkinson

FIRST FLOOR & ROOF PLANS AS PROPOSED
SCALE 1:50
DRAWING No: 0431. 04



EAST ELEVATION

SCALE 1:50

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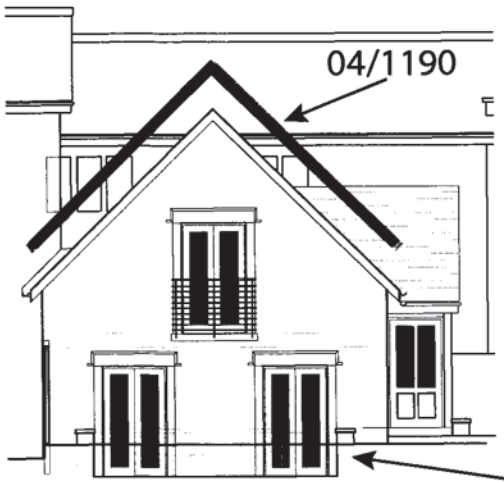
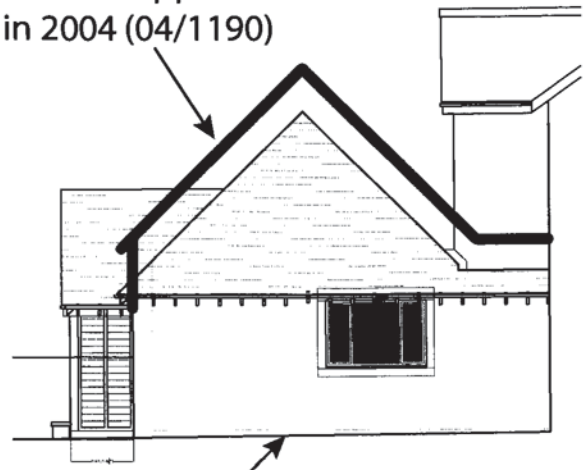


AS PROPOSED
NORTH ELEVATION

AS PROPOSED
WEST ELEVATION



AS PROPOSED
SOUTH ELEVATION

Scheme approved in 2011 (11/0001)

MATERIALS DESCRIPTION
ROOF
Green slate roof, nom slate size 20" x 10", slate and a halfs at eaves course reveals. 2no. Velux GHL roof windows in series to East Elevation, 1no to West Elevation, permanently obsured.
Rooflights to be made flush with slate line.

Projecting eaves, soffits, bargeboards and rafter feet etc where seen to be painted black to match the existing.

Cast iron h.r.gutters 4", with 2½" downpipes in cast iron, all supplied and installed complete with cast iron accessories, all to be painted black to match the existing.

Existing stone parapet completely removed, including from the Courtyard elevation, general eaves level lowered.

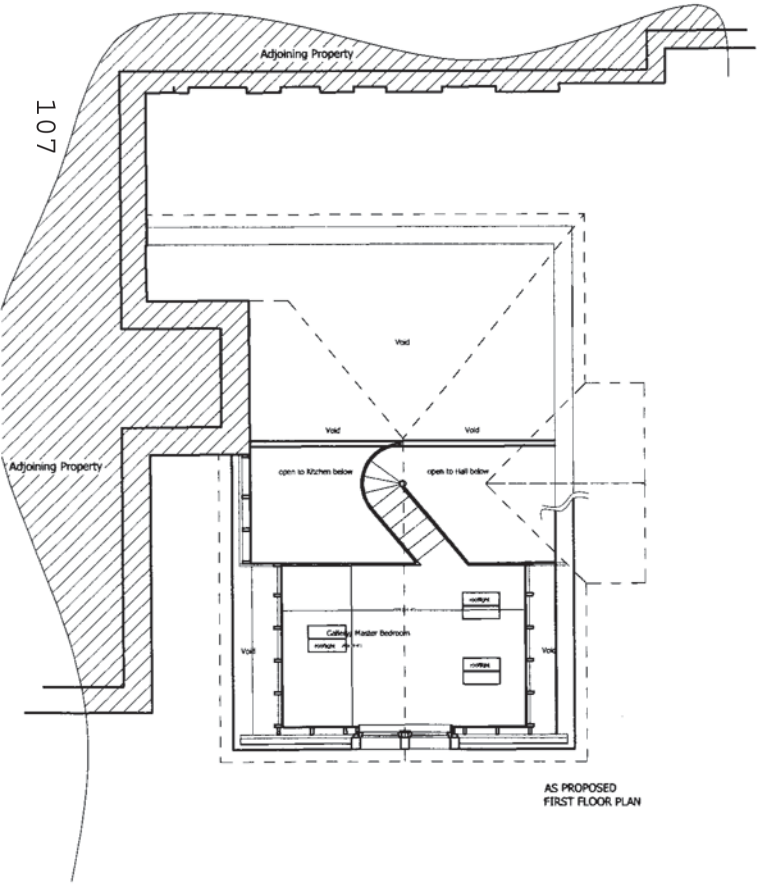
Hips to be formed in Code5 lead rolled over sw former treated with patination oil

WALLS:
North Elevation to be stone clad in stone brought to random rubble courses on a thin bed mortar, to match the existing.
South Elevation as existing no changes proposed.

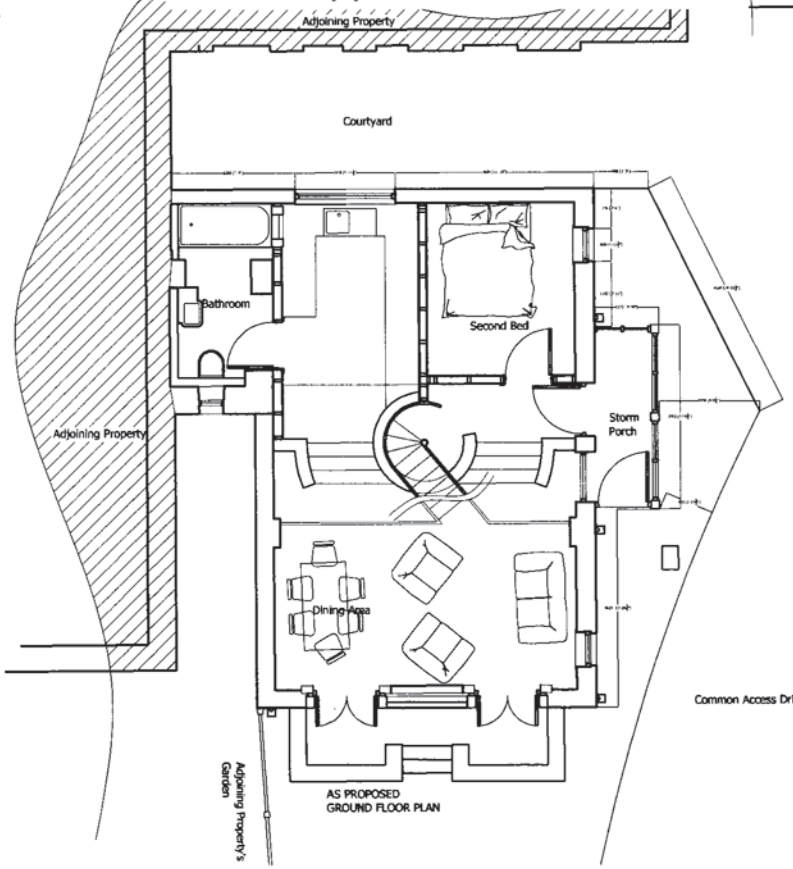
DOORS & WINDOWS:
All new and replacement doors and windows to be white high performance doubled glazed to match those of surrounding properties within the complex of seperate properties within the same building.

STORM PORCH:
New porch superstructure constructed in treated timber for coloured stain finish with clear finish Oak panelling infill and single glazing in painted frames as shown.

Red line denotes volume of extension roofline granted Planning Approval under decision notice 04/1190



AS PROPOSED
FIRST FLOOR PLAN



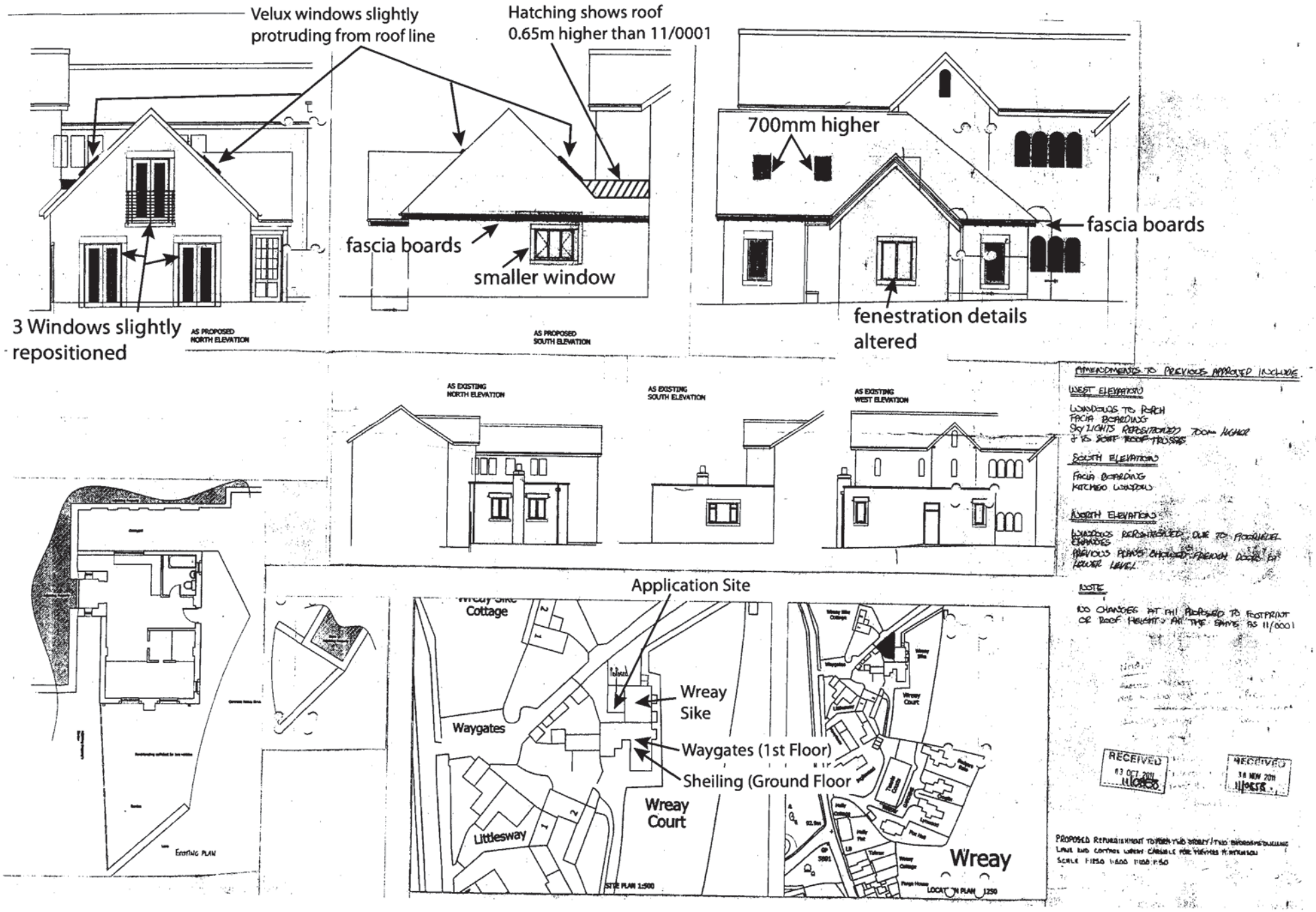
AS PROPOSED
GROUND FLOOR PLAN

For Information Only
Previously Approved Schemes

SPACE
DESIGNED SOLUTIONS LTD

PROPOSED Refurbishment to Form Two Storey/ Two Bedroomed Dwelling,
Lane End Cottage, Wreay, Carlisle
for
Ms M. Dixon & Mr M. Atkinson
AS PROPOSED (REVISED)
SCALE 1:50
DRAWING No: 0431. 02E
19 JULY 2006

For Information Only - Differences between 11/0001 and 11/0858



SCHEDULE A: Applications with Recommendation

11/0976

Item No: 05 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0976	London Road Stores	
Date of Receipt:	**Agent:**	**Ward:**
21/11/2011		St Aidans

Location:
115 London Road, Carlisle, Cumbria, CA1 2LS

Proposal: Erection Of Extended Sales Floor Area And Store

REPORT

Case Officer: Rebecca Burns

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Impact Upon Residential Amenity
2.2 Scale And Design
2.3 Impact Upon Highway Safety
2.4 Biodiversity and Ecology
2.5 Other Matters

3. Application Details

The Site

3.1 London Road Stores (115-117) forms part of a terrace comprising commercial and residential properties on the northern side of London Road. The site is bounded by residential terraced properties to the north and east, a dry-cleaners to the west (recently granted a Change of Use to a takeaway) and St Nicholas Gate to the south.

3.2 The property is identified as being within a Mixed Commercial Development Area and adjacent to a Primary Residential Area as defined in the Carlisle District Local Plan 2001-2016.

Background

3.3 In 2006, under application 06/0514, the applicant was granted planning permission under delegated powers for the erection of a rear extension to provide an extended sales floor and store room together with three apartments above. This permission has now expired and the applicant is keen to pursue with the extension to the store however the proposals no longer include the three apartments above.

The Proposal

3.4 This application seeks permission for the erection of a single storey rear extension to provide an extended sales floor and store room at London Road Stores.

3.5 The existing store and enclosed yard to the rear are in a poor state of repair and will be demolished to accommodate the extended sales floor and the proposed store.

3.6 The extended sales floor extension will measure 7 metres by 4.9 metres and the maximum roof height will be 3 metres. The proposed store will measure 8.9 metres by 5.1 metres and will also have a maximum roof height of 3 metres. The extensions will be constructed of brick to match the existing property under a felt roof.

4. Summary of Representations

4.1 This application has been advertised by the direct notification of four neighbouring properties. No written or verbal representations have been received.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - view the proposal with some alarm given the location on a narrow section of arterial road close to a soon to be signalled junction that is already subject to an extant planning consent (St Nicholas Gate). Recently commented in a similar way to the proposed Change of Use to the adjacent existing business and as a result there are to be limits on the opening hours for the proposed use.

Note that whilst it is a popular facility it is in the wrong location and expansion at this location is not desirable and highlight that if this was coming in as a new proposal or a Change of Use, Highways would oppose such development at this location.

Recommend that this application be refused on the grounds that in the absence of any ‘off Highway’ parking and servicing, this business results in vehicles stopping on the carriageway/footway of a main arterial road, to the inconvenience and danger of highway users and are concerned that the proposed expansion will only exacerbate an already undesirable situation.

A note was added to Highway's consultation response stating that they would be minded to offer a different response if the applicant were prepared to agree to limitations on trading hours/delivery times, typically not opening before 09:15 and closing between 16:00 and 18:00 Mondays to Fridays.

Subsequent comments received on 16th December: This shop is one of several situated on a section of London Rd with a narrow footway and a narrowing carriageway, shortly south of the Brook St junction, which is shortly to be signalised as part of the St Nicholas Retail Park improvement scheme. It (and other shops on this section) already cause traffic congestion by having delivery/customers vehicles parking part on footway/carriageway; there is no scope for widening either, nor for alternative parking/loading.

Turning to the opening hours issue, the worst periods are the morning/afternoon peak traffic flow periods, the Highways Authority can't really see it would be practical to require a business that already trades over these periods to cease to do so (say 8-9am and 3:30 - 6pm Mondays to Fridays); the proposed food takeaway is only going to open 6-10pm so will not be open during the day at all. Given these circumstances the Highways Authority will not be changing the Highways response in opposing the additional retail floor space as it is likely to result in additional obstruction by customers vehicles.

Access Officer, Economic Development: - no objections;

Cumbria Constabulary - North Area Community Safety Unit (formerly Crime Prevention): - no objections to the proposal. Advice has been offered to the applicant with regards to minimising unauthorised intrusion and resistance to burglary.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies CP2, CP5, CP6, EC2 and T1 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:

1. Impact Upon Residential Amenity

6.2 The proposed extension will be located within the walled yard to the rear of the store which is overlooked by the terraced properties on Thomson Street and Oswald Street. The existing store rooms consist of a number of small scale extensions which are poorly designed and in a poor state of repair. The remainder of the land to the rear of the store is over grown and unkempt and is currently detrimental to the amenity of the neighbouring properties. There will not be any windows located on the extension to cause any loss of privacy to any neighbouring properties and there will not be any significant loss of light to any neighbouring properties sufficient to warrant refusal.

6.3 Furthermore, there will not be any changes to trading hours as a result of this

proposal nor will there be any increased noise or light associated with this proposal to result in any detrimental impacts upon any of the neighbouring residents.

6.4 Accordingly, the proposal is acceptable in principle and the proposed extension would not adversely affect the living conditions of the residents of the neighbouring properties on the basis of loss of light, overlooking or over dominance.

2. Scale And Design

6.5 The scale and height of the proposed extension is comparable to the existing property. The extension will be constructed from materials to match the existing building and, due to its location to the rear of the property within an enclosed yard, there will not be any detrimental impacts upon the existing street scene. Accordingly, the proposals will compliment the existing building in terms of design and materials to be used.

3. Impact Upon Highway Safety

6.6 The relevant Highways Authority have been consulted and have recommended that this application be refused on the grounds that, in the absence of any ‘off Highway' parking and servicing, this business results in vehicles stopping on the carriageway/footway of London Road to the inconvenience and danger of highway users.

6.7 In response to Highways concerns it is essential to differentiate between the concerns regarding the existing highway conditions on London Road and the effect of this individual proposal upon these conditions. The purpose of this application is therefore to assess whether the proposed extension will have such a detrimental impact upon the highway conditions to warrant refusal.

6.8 It is acknowledged that there is no designated parking associated with the property and that the highway adjacent to the site prohibits parking through the presence of double yellow lines.

6.9 Policy T1 requires that the level of car parking provision for a development will be determined on the basis of the Parking Guidelines for Cumbria as updated by additional requirements in Planning Policy Statement 13; the availability of public car parking in the vicinity; the impact of parking provision on the environment of the surrounding area; the likely impact on the surrounding road network; and accessibility by and availability of, other forms of transport.

6.10 The Cumbria Parking Guidelines require 1 space per 30m2 of floor space. The extended sales floor will measure less than 30m2. Whilst the proposals also include a store area measuring approximately 35m2 it should be noted that the storage area can not be associated with the need for any additional parking. As the extended floor space will measure less than 30m2 refusing this application on the grounds that no designated parking is being provided appears to be unmerited based upon the recommendations of the current

parking guidelines.

6.11 Furthermore, there is free parking available nearby on the terraced streets to the rear of the site including Oswald Street and Lindisfarne Street and the nearest public car park is located at St Nicholas Gate which lies directly opposite the application site. The site is also located on a bus route with the nearest bus stop serving St Nicholas Gate situated approximately 250m west of the application site on the northern side of London Road who travel to the store on foot.

6.12 The applicant has provided the following information to support the application: the extension will be utilised primarily to rearrange existing stock and create displays rather than introduce a significant amount of new produce into the store; there will not be any new members of staff as a result of the proposal; there will not be any additional deliveries to the store; and, the opening hours will not be extended as a result of this proposal.

6.13 The Highways Authority have noted that the objection would be removed should the opening hours of the store be restricted; typically not opening before 09:15 and closing between 16:00-18:00 Monday to Friday. The current trading hours are 05:30 to 22:00 Monday to Friday and 07:00 to 22:00 at the weekend. The applicant has advised that restricting trading hours to those suggested by the Highways Authority would be of considerable financial detriment to the business which has already suffered considerably since the opening of the supermarket in St Nicholas Gate. The applicant estimates a decrease of 15-20% in foot-fall to the store since the opening of the adjacent supermarket.

6.14 It should be noted that the adjacent dry-cleaners premises has recently been granted permission for the Change of Use into a take-away and that restricted trading hours of 18:00 to 22:00 have been conditioned. The dry-cleaners has been associated with ‘stop and drop’ traffic which exacerbated the highway conditions. The change of trading hours to the adjacent premises will help ease the issues of traffic stopping on the carriageway edge during the trading hours highlighted by the Highway Authority in relation to this application (16:00 – 18:00).

6.15 Members should be minded that a scheme was approved in 2006 to provide an extended sales floor and store room of the same scale and which also included the development of three apartments above. This proposal did not include any designated parking however Highways did not object to the proposals and the application was granted permission under delegated powers.

6.16 Given the information provided it does not appear that this proposal will result in a significant intensification of use that will exacerbate the existing highway conditions sufficient to warrant refusal. Furthermore, concerns regarding vehicles stopping on the carriageway, which has been noted by Highways as an existing problem, is an issue regarding the enforcement of traffic regulation orders and is not a planning matter relevant to this application. Due to the small scale of the extension to the sales floor and given that there is

parking available within the vicinity of the site, a refusal on the grounds of an adverse impact upon highway conditions could not be justified.

4. Biodiversity and Ecology

6.17 The City Council's GIS layer identified that the site has the potential for key species to be present within the vicinity. However, given that the proposal relates to works to an existing property within an established commercial and residential area there should be no significant effects from the proposal, and there will be no harm to the favourable conservation of any protected species or their habitats. However, an advisory note has been included within the Decision Notice ensuring that if any protected species is found all work must cease immediately and the Local Planning Authority must be notified.

5. Other Matters

6.18 The City Council's Access officer has been consulted and has raised no objections to the proposals.

6.19 The Crime Prevention Officer has been consulted and has been involved in direct discussions with the applicant. No objections have been raised and, should members be minded to approve this application, an Informative Note will be added to this consent containing the advice provided in relation to the application.

Conclusion

6.20 In overall terms the proposals do not adversely affect the residential amenity of the area or the living conditions of residents of neighbouring properties on the basis of poor design, unreasonable overlooking and unreasonable loss of daylight or sunlight. The scale and height of the proposal are acceptable in relation to the existing property and there will be detriment to the biodiversity of the area. The proposed extension will not exasperate the existing highway conditions sufficient to warrant the refusal of this application. In all aspects the proposal is compliant with the objectives of the relevant adopted Local Plan policies.

7. Planning History

7.1 In 1984, under applications 84/0099 and 84/0373, consent was granted for the erection of 3 number panel signs and a projecting sign.

7.2 In 1989, under application 89/0740, planning permission was granted for an extension to the shop floor.

7.3 In 1994, under application 94/0664, advertisement consent was granted for the erection of shop fascia and a projecting sign.

7.4 In 2006, under application 06/0154, planning permission was granted for a rear extension to provide an extended sales floor and store

room together with 3 number apartments above.

8. Recommendation:

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this planning permission comprise:

   1. the Planning Application Form received 9th November 2011;
   2. the site location plan received 9th November 2011 (Drawing No 001);
   3. the block plan received 9th November 2011 (Drawing No 002);
   4. the existing and proposed floor plans received 9th November 2011 (Drawing No 1010:01)
   5. the Notice of Decision; and
   6. any such variation as may subsequently be approved in writing by the Local Planning Authority.

   Reason: To define the permission.

SITE LOCATION PLAN 001

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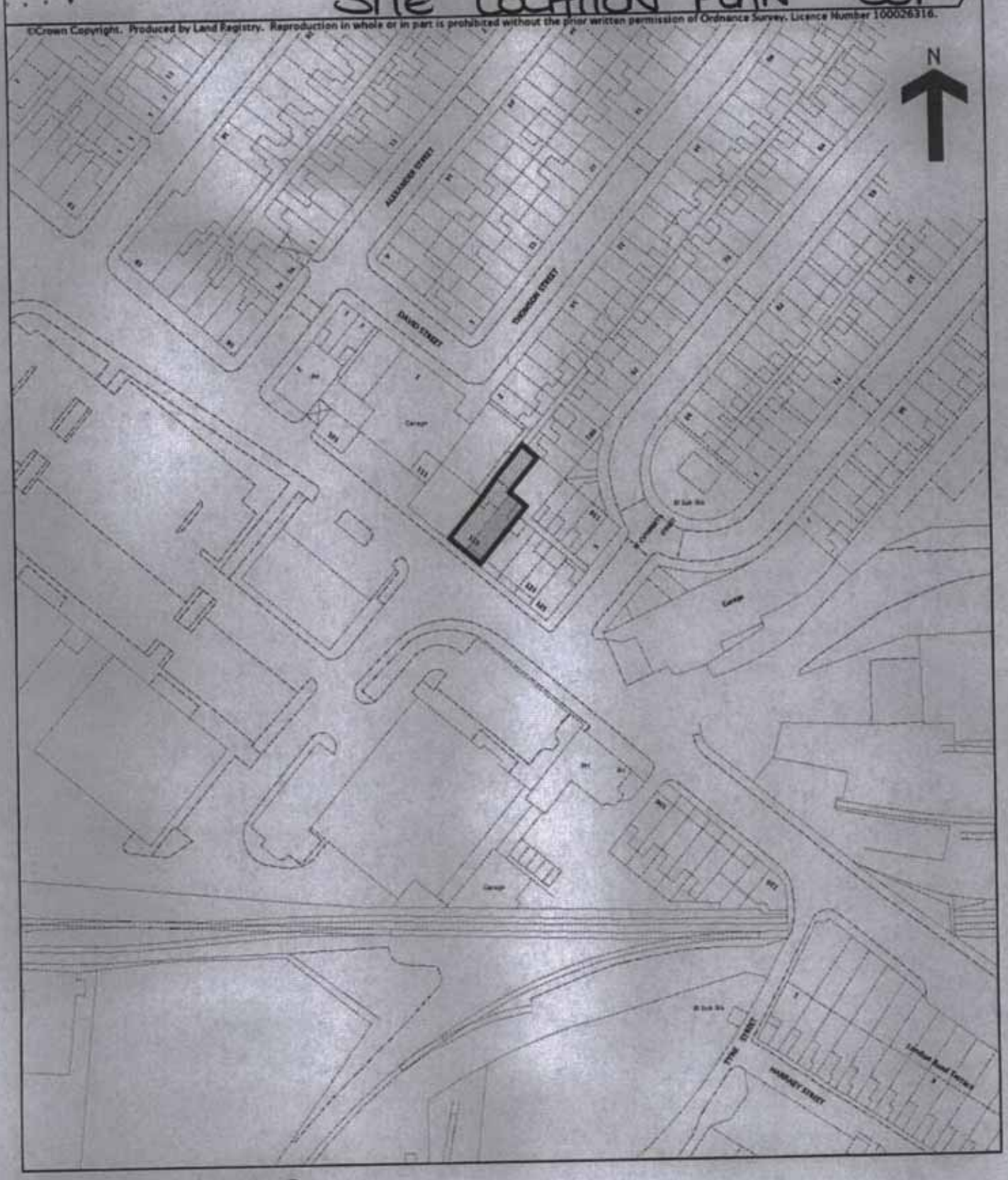

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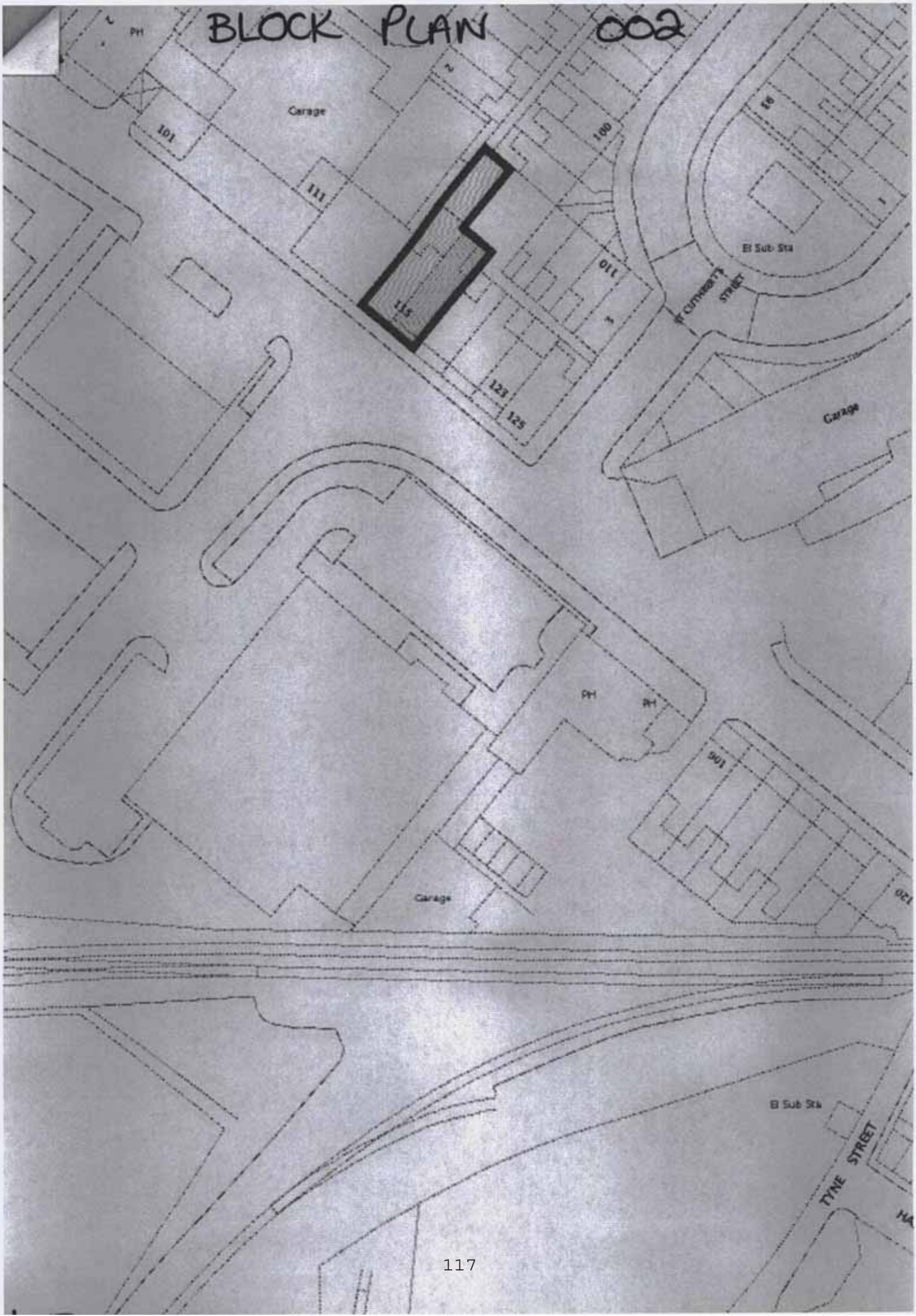
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PH
Garage
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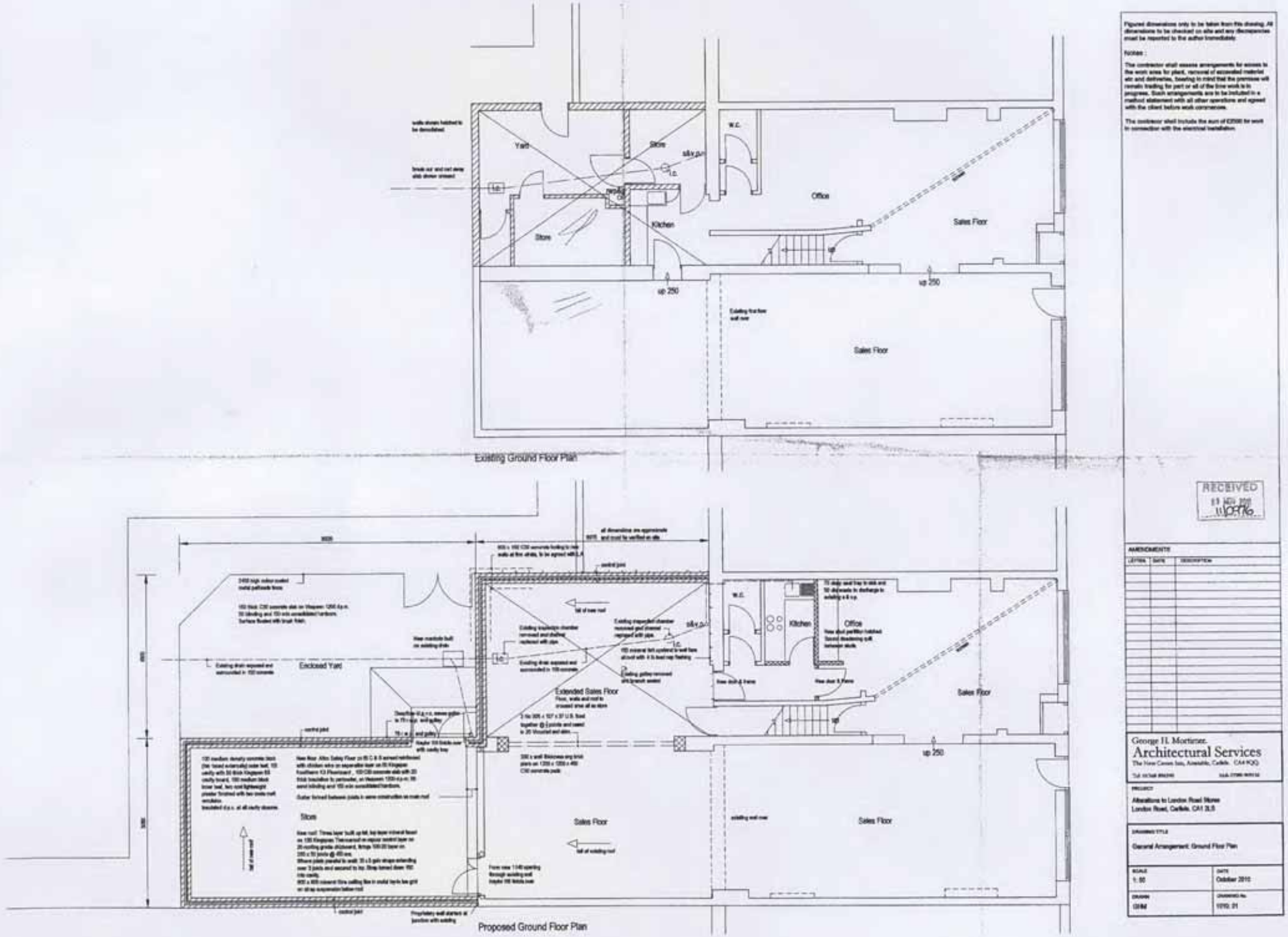
Yard
Store
W.C.
Office
Kitchen
Sales Floor
up 250
Existing Ground Floor Plan
Enclosed Yard
Extended Sales Floor
Proposed Ground Floor Plan
Figured dimensions only to be taken from this drawing. All dimensions to be checked on site and any discrepancies must be reported to the author immediately.
Notes :
The contractor shall assess arrangements for access to the work area for plant, removal of excavated material etc and deliveries, bearing in mind that the premises will remain trading for part or all of the time work is in progress. Such arrangements are to be included in a method statement with all other operations and agreed with the client before work commences.
The contractor shall include the sum of £2500 for work in connection with the electrical installation.
RECEIVED
AMENDMENTS
George H. Mortimer.
Architectural Services
The Vine Cottage, Irton, Scarborough, Cumbria. CA14 3QQ
PROJECT
Alterations to London Road Stores
London Road, Carlisle. CA1 2LS
DRAWING TITLE
General Arrangement. Ground Floor Plan
SCALE
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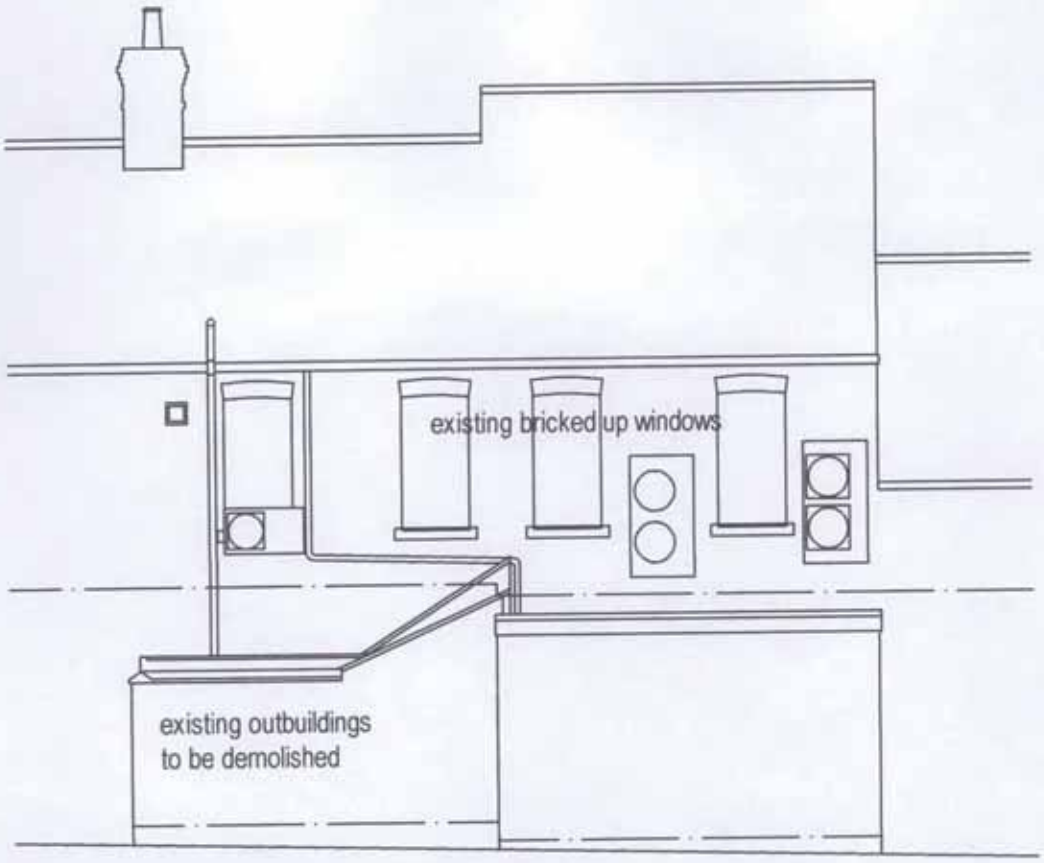
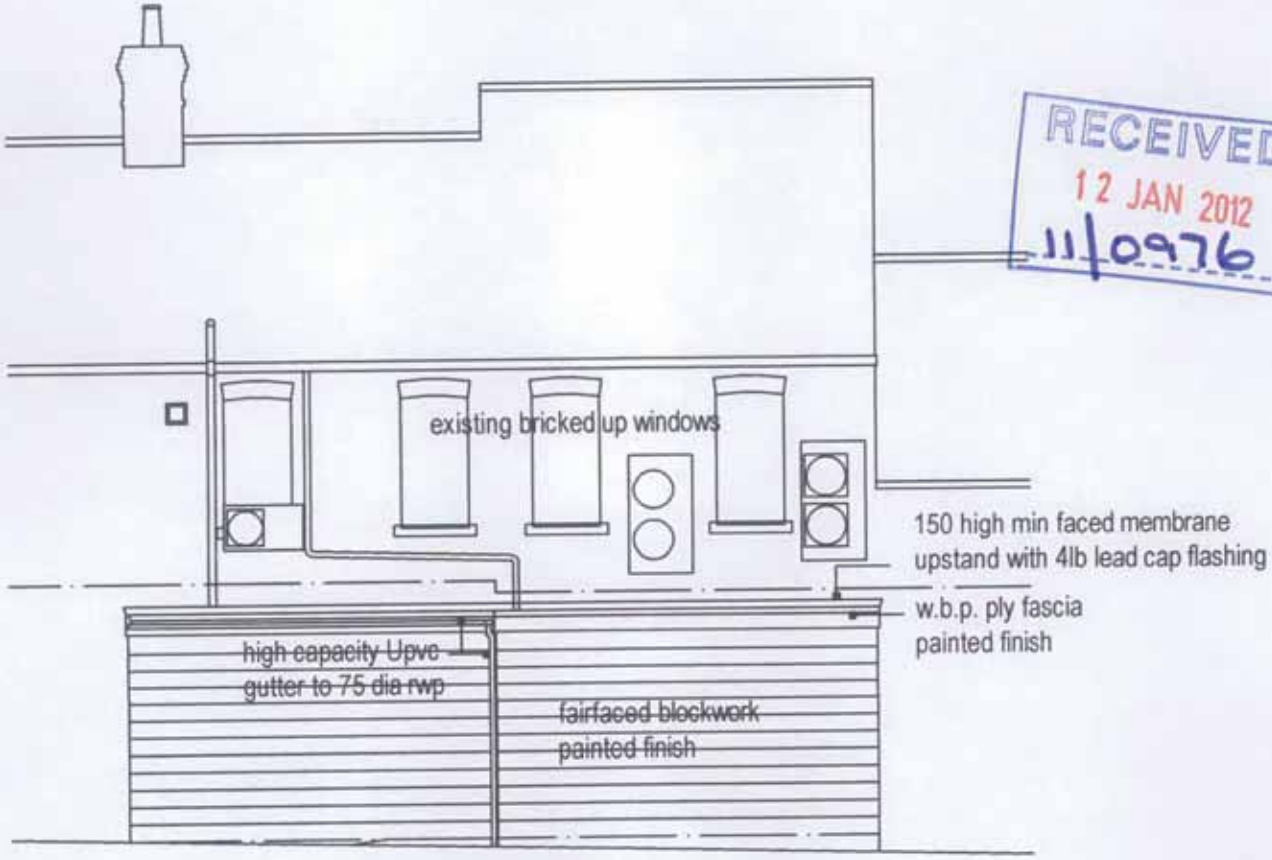
DATE
October 2010
DRAWN
GHM
DRAWING No.
1010.01



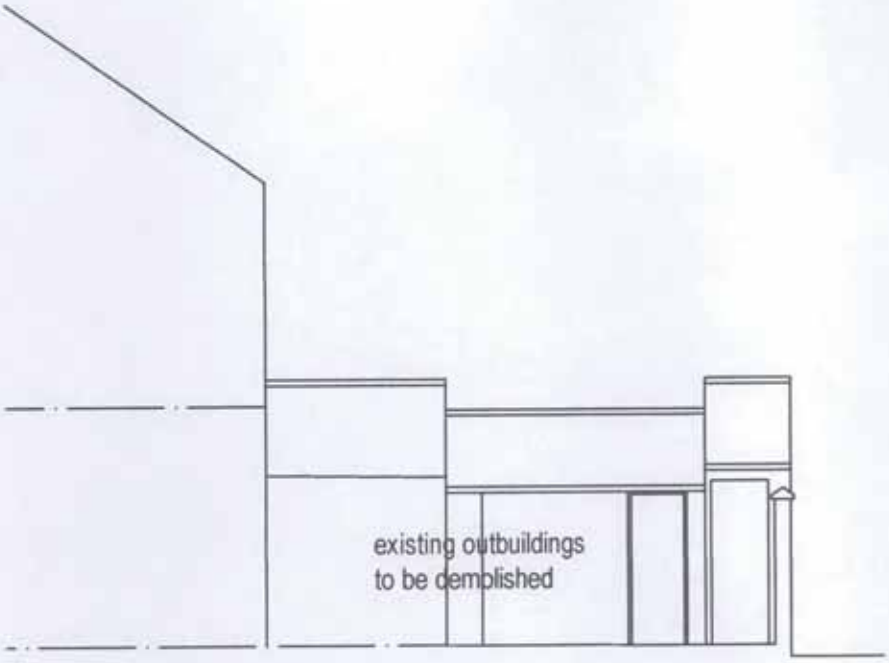
Existing Rear Elevation



RECEIVED
12 JAN 2012
11/0976

Proposed Rear Elevation

Project London Road Stores 115-117 London Road, Carlisle. CA1 2LS	Scale 1 :100	Date Jan 2012
Title Rear Elevation	Drawn GHM	Dwg No 1010/02



Existing Side Elevation

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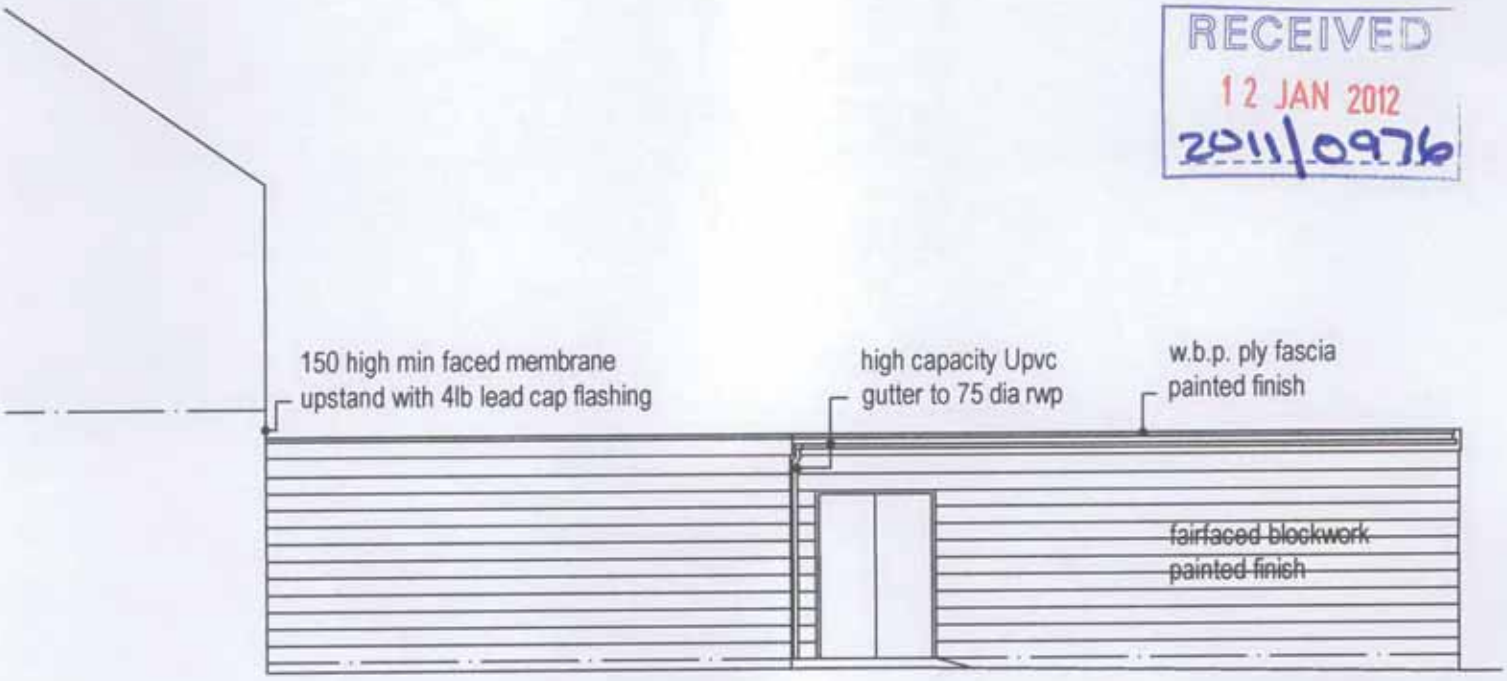
12 JAN 2012
2011/0976



Proposed Side Elevation

Project	Scale	Date
London Road Stores 115-117 London Road, Carlisle. CA1 2LS	1 :100	Jan 2012
Title Side Elevation	Drawn GHM	Dwg No 1010/03

SCHEDULE A: Applications with Recommendation

11/1039

Item No: 06 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1039	Miss Blake	Kingmoor
Date of Receipt:	**Agent:**	**Ward:**
02/12/2011	Garner Planning Associates	Stanwix Rural

Location:
Dabbing Cottage, Cargo, Carlisle, CA6 4AW

Proposal: Demolition Of Dabbing Cottage And Erection Of 1no. Replacement Dwelling (Revised Application)

REPORT

Case Officer: Barbara Percival

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Whether the principle of development is acceptable.
2.2 Impact of the proposal on the adjacent Grade II Listed Building.
2.3 Impact of the proposal on the living conditions of neighbouring residents.

3. Application Details

The Site

3.1 The application site is located within the settlement of Cargo, on the south side of the road that links the village with the Carlisle to Rockcliffe road to the east. The building, known as Dabbing Cottage, is curtilage listed by virtue of it formerly being adjoined to Holly Cottage which in turn is attached to The Hollies, a Grade II Listed Building. A public highway abuts it's northern boundary with Holly Cottage and Lane End House, two storey residential properties to the west and east respectively. Stone Lea, a single storey property, lies to the south of the application site.

Background

3.2 The building was a former two storey clay dabbing crook truss building which over the years had fallen into disrepair. This resulted in much of it's original clay dabbing walls being protected or replaced by rendered blockwork with a brick lean-to garage abutting its northern elevation. Listed Building Consent was granted in January 2010 for the demolition of existing two storey Dabbing Cottage and garage. The aforementioned application was accompanied by a Structural Inspection Report which outlined that *"much of the clay dabbing has been lost or replaced to the front, rear and gable walls and that which remains is in a poor and an unstable condition".* It went on to state that *"we would estimate that only some 30% of the original clay dab remains and only half of this is in a condition that would be at all salvageable as structural support"*. The Report concluded that *"the structure is beyond repair, in a dangerous condition and it is recommend that the structure should be demolished subject to planning approval"*. The City Council's Conservation Officer verbally concurred with the findings of the Structural Report and Listed Building Consent was subsequently granted on the 27th January 2010.

3.3 In December 2010, applications for Full Planning Permission and Listed Building Consent were received and subsequently refused on the 10th March 2011 under Delegate Powers (applications reference numbers 10/1098 and 10/1099 respectively). The reasons for refusal were twofold, namely:

"The application site is not located within either a Key Service Centre or Local Service Centre as identified under Policies DP1 and H1 of the Local Plan 2001-2016. The proposal would therefore result in an additional dwelling in a less sustainable location, for which no local housing need has been satisfactorily demonstrated and if permitted, would restrict development in more sustainable locations. On this basis the proposal is considered to be contrary to the provisions of Policies DP1 and H1 of the Carlisle District Local Plan 2001-2016.

The proposed dwelling, by virtue of its design and scale, detracts from the character and appearance of the Grade II Listed Building. Furthermore, the building would have an adverse impact on the street view resulting in a separate building in competition with Holly Cottage. The proposal is therefore contrary to the objectives of Policies LE12 and LE14 of the Carlisle District Local Plan 2001-2016".

3.4 The applicant subsequently appealed the decisions. The Planning Inspectorate whilst dismissing both appeals acknowledged that Cargo was not within one of the areas specified by Policy DP1 of the Local Plan; however, considered that the proposal accorded with some of the basic aims and principles of Policy H1. The Inspector went on to outline that the site was "*reasonably sustainable with regard to its proximity to employment and other uses, as well as being relatively close to the centre of Carlisle".* Accordingly, he found the principle of a new dwelling on the appeal site acceptable but found *"the design inappropriate which would be harmful to both the setting of the listed building as well as to the character and appearance of this part of Cargo"*.

The Proposal

3.5 The application seeks consent for the demolition of what remains of Dabbing Cottage and the erection of a replacement dwelling. The submitted drawings illustrate a two storey dwelling with two dormer windows and a roof light in the front elevation. Vehicular and pedestrian access to the proposed property would be via a shared access with the adjacent property, Holly Cottage.

3.6 The accommodation provided would consist of an entrance hall, lounge, family room/dining room/kitchen, w.c. and garage with one en-suite bedroom, three bedrooms and a bathroom above. The building would be finished from rendered blockwork walls under a slate roof. The windows would be double glazed painted timber units.

4. Summary of Representations

4.1 This application has been advertised by direct notification for five neighbouring properties and the posting of site and press notices. In response, one letter of comment has been received.

4.2 The letter identifies the following issues:

1. the dwelling should be in keeping with the adjoining properties.
2. the property should be used as a holiday let as Dabbing Cottage was previously.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - upon receipt of additional information, placing more emphasis on local conditions and risk. The Highway Authority do not object to this application;
Kingmoor Parish Council: - original listed dwelling had an archway linking it to Holly Cottage, this was a landmark feature of Cargo which the Parish Council feel should be retained. Proposed new dwelling appears to have a ridge height continuous with Holly Cottage. An historical feature of this part of Cargo is the differing roof heights and the Parish Council feel this interesting street scene should be maintained. There is also a danger of overpowering the neighbouring Lane End Cottage;
Local Environment - Environmental Protection: - no objection subject to the imposition of a condition;
English Heritage - North West Region: - do not wish to offer any comments on this occasion; and
Hadrians Wall Heritage Limited: - no response received.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, CP5, CP12, H1, LE7, LE12, LE14 and T1 of the

Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:

1. Whether The Principle Of Development Is Acceptable

6.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that applications for planning permission are determined in accordance with the provisions of the Development Plan unless material considerations (including Government Policy as expressed through Planning Policy Guidance Notes, Planning Policy Statements and material representations) indicate otherwise.

6.3 When assessing this proposal against the foregoing guidance, the decision of the Planning Inspectorate in relation to the previous applications is a material planning consideration. The Planning Inspectorate acknowledge that Cargo is not within one of the area's specified by Policy DP1 of the Local Plan and consider that the proposal accords with some of the basic aims and principles of Policy H1. In the context of the aforementioned appeal decision, the principle of residential development is acceptable.

6.4 In respect of this current application, a neighbouring resident has sought to limit the use of the dwelling to that of holiday accommodation. Whilst the objections have been noted consent is sought for a dwellinghouse and not a holiday unit and the Inspector did not consider any restrictions on the use of the property relevant.

2. Impact Of The Proposal On The Grade II Listed Building

6.5 Policy LE12 of the Local Plan seeks to ensure that proposals for new development do not adversely affect listed buildings or their settings, outlining that any new development should be sympathetic in scale, character and materials preserving the building's character and setting.

6.6 When assessing the character of the area, it is evident that there are a variety properties of differing ages and styles including The Hollies, a Grade II Listed Building and the adjoining curtilage listed Holly Cottage. Dabbing Cottage itself was a clay dabbing single storey building attached by an archway to the adjacent curtilage listed property, Holly Cottage. Although the proposal is for a two storey property, the design reflects the scale, height and massing of Holly Cottage and others within the immediate vicinity. The proposed choice of materials also reflects the local vernacular. Accordingly, the building would not have a detrimental impact on the Grade II Listed Building or its setting nor would it form a discordant feature within the street scene.

3. Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

6.7 The building line of the proposed dwelling would follow that of Holly Cottage. The building would be orientated in such a manner to exceed the separation distance between the primary windows of the existing residential properties and the proposed dwelling as required in the Council's Supplementary

Planning Document "Achieving Well Designed Housing". There are ground and first floor windows in the gable elevations of the proposed property these would serve non-primary rooms (landing, w.c. and cupboard) and would face onto blank sections of the gables of the neighbouring buildings. Taking into consideration the scale and position of the proposed dwelling in relation to these properties, it is unlikely that the living conditions of the occupiers of these properties will be compromised through loss of light, loss of privacy or overdominance.

Conclusion

6.8 In overall terms, the principle of the development is acceptable. The scale, siting and massing of the proposed dwelling is acceptable in relation to the adjacent Listed Building, its setting and the street scene. The living conditions of neighbouring properties would not be compromised through unreasonable overlooking or overdominance. Adequate car parking, access and amenity space would be provided to serve the dwelling. In all aspects the proposal is compliant with the objectives of the Local Plan policies.

7. Planning History

7.1 The application site has been the subject of a number of applications for Full Planning Permission and Listed Building Consent.

7.2 Two appeals against refusal of Full Planning Permission and Listed Building Consent for the demolition of Dabbing Cottage and erection of 1no. replacement dwelling were dismissed by the Planning Inspectorate in August 2011 (application references 10/1098 and 10/1099).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

   1. the submitted planning application form received 28th November 2011;
   2. the Design and Access Statement received 28th November 2011;
   3. the Contamination Land Statement received 28th November 2011;
   4. the Structural Inspection for Dabbing Cottage received 28th November 2011;
   5. the location plan received 2nd December 2011 (Drawing Number HB/DCR/001);
   6. proposed floor and elevation drawings received 28th November (Drawing Number 02);

7. the existing general arrangements received 28th November 2011 (Drawing Number DCR 002);
8. the existing elevations received 28th November 2011 (Drawing Number DCR 003);
9. existing floor layout and photo record positions (A L Daines Structural Survey Report) received 28th November 2011 (Drawing Number DCR 004);
10. proposed general arrangements received 28th November 2011 (Drawing Number DCR 005);
11. street scene/elevation received 12th December 2011;
12. existing and proposed building sections and relationships received 12th December 2011;
13. the Notice of Decision; and
14. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure the works harmonise as closely as possible with the adjacent buildings and to ensure compliance with Policy CP5 and LE12 of the Carlisle District Local Plan 2001-2016.

4. Details of all new windows and doors, in the form, of quarter or full-size drawings including sections, shall be submitted for prior approval by or on behalf of the Local Planning Authority before any development takes place.

Reason: To ensure the works harmonise as closely as possible with the existing building in accordance with Policy CP4 and LE12 of the Carlisle District Local Plan 2001-2016.

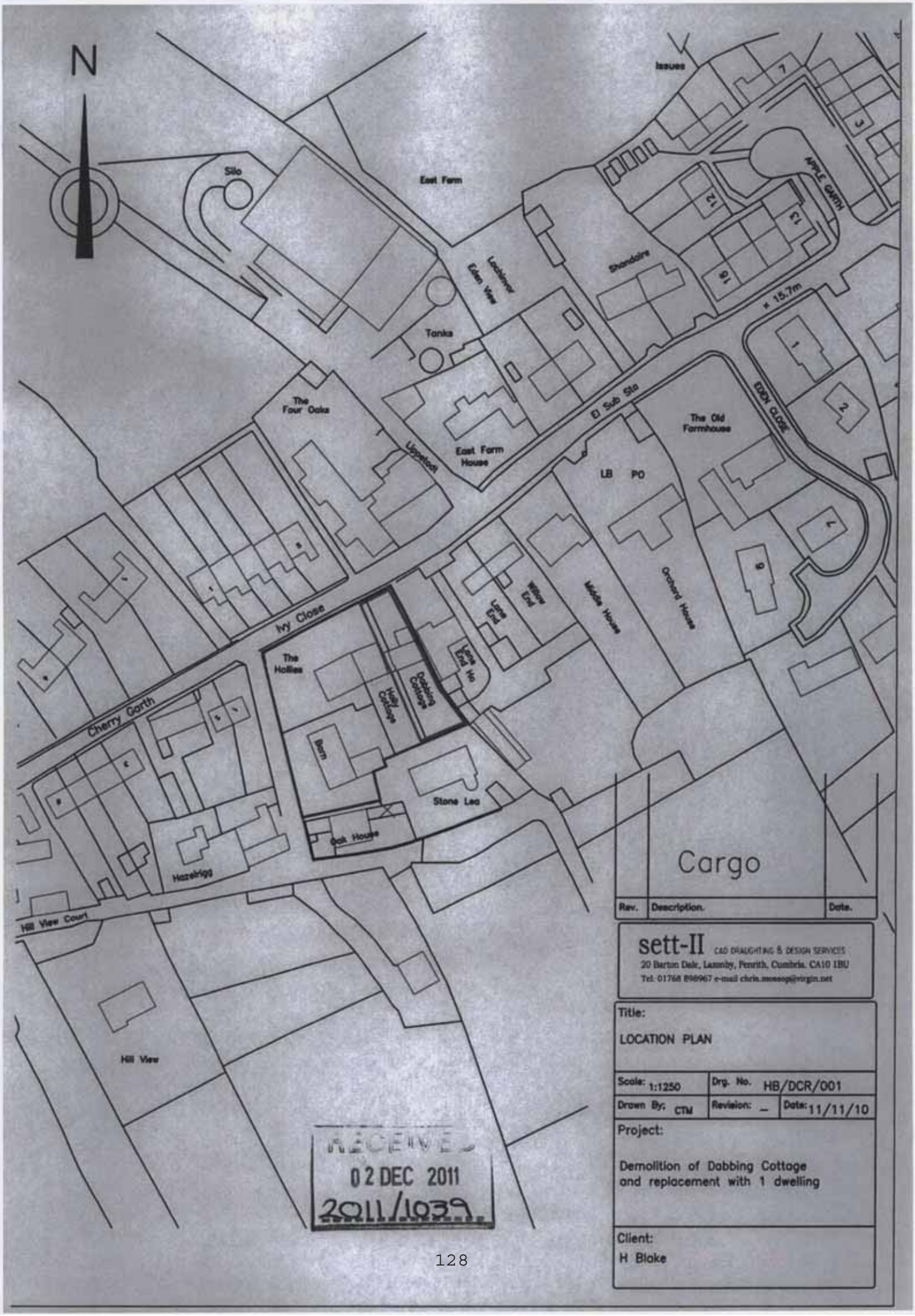
5. Particulars of height and materials of all proposed screen walls and boundary fences shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development hereby permitted.

Reason: To ensure that the appearance of the area is not prejudiced by lack of satisfactory screening which is not carried out in a co-ordinated manner and to ensure compliance with Policy CP5 and LE12 of the Carlisle District Local Plan 2001-2016.

6. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.



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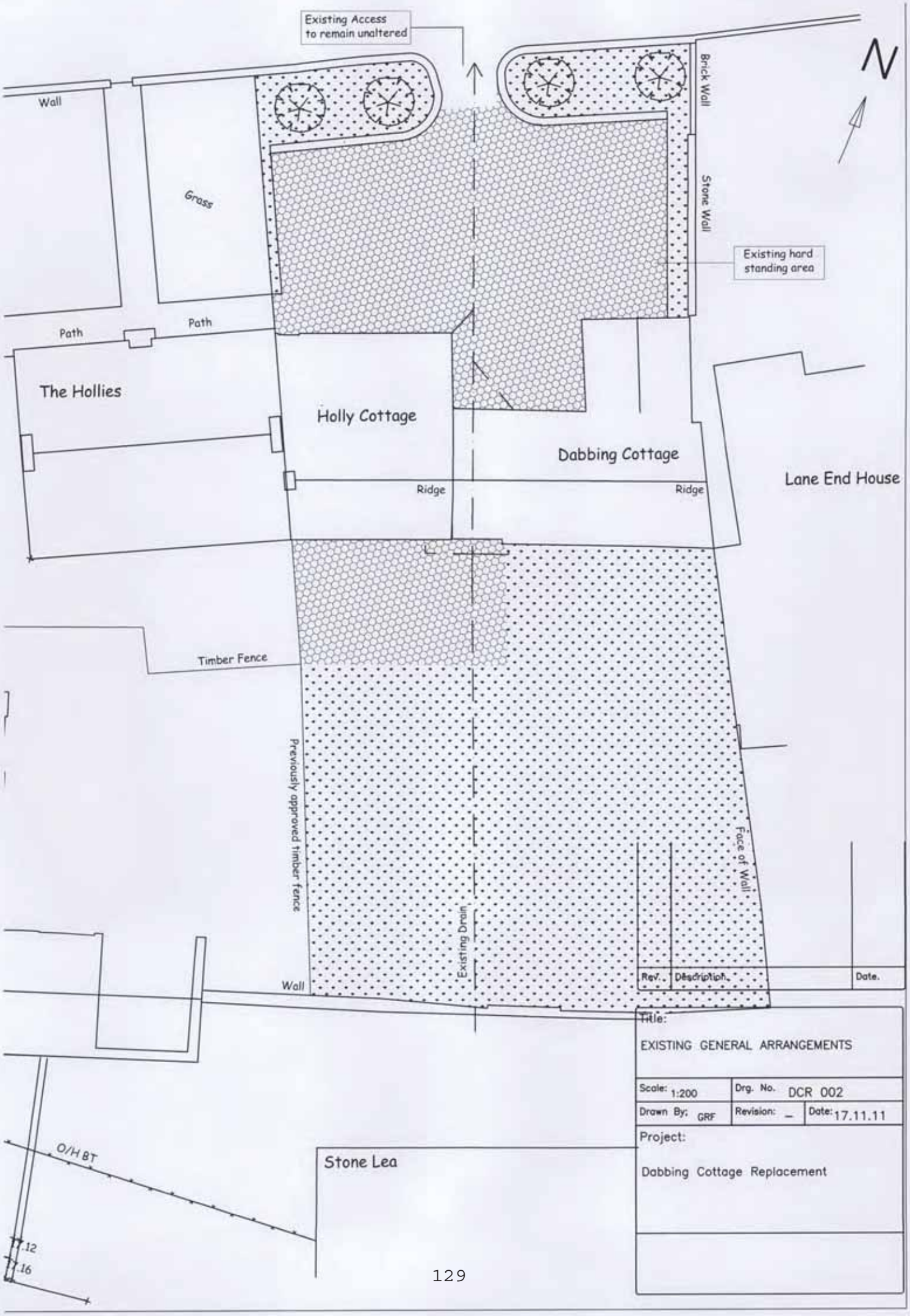
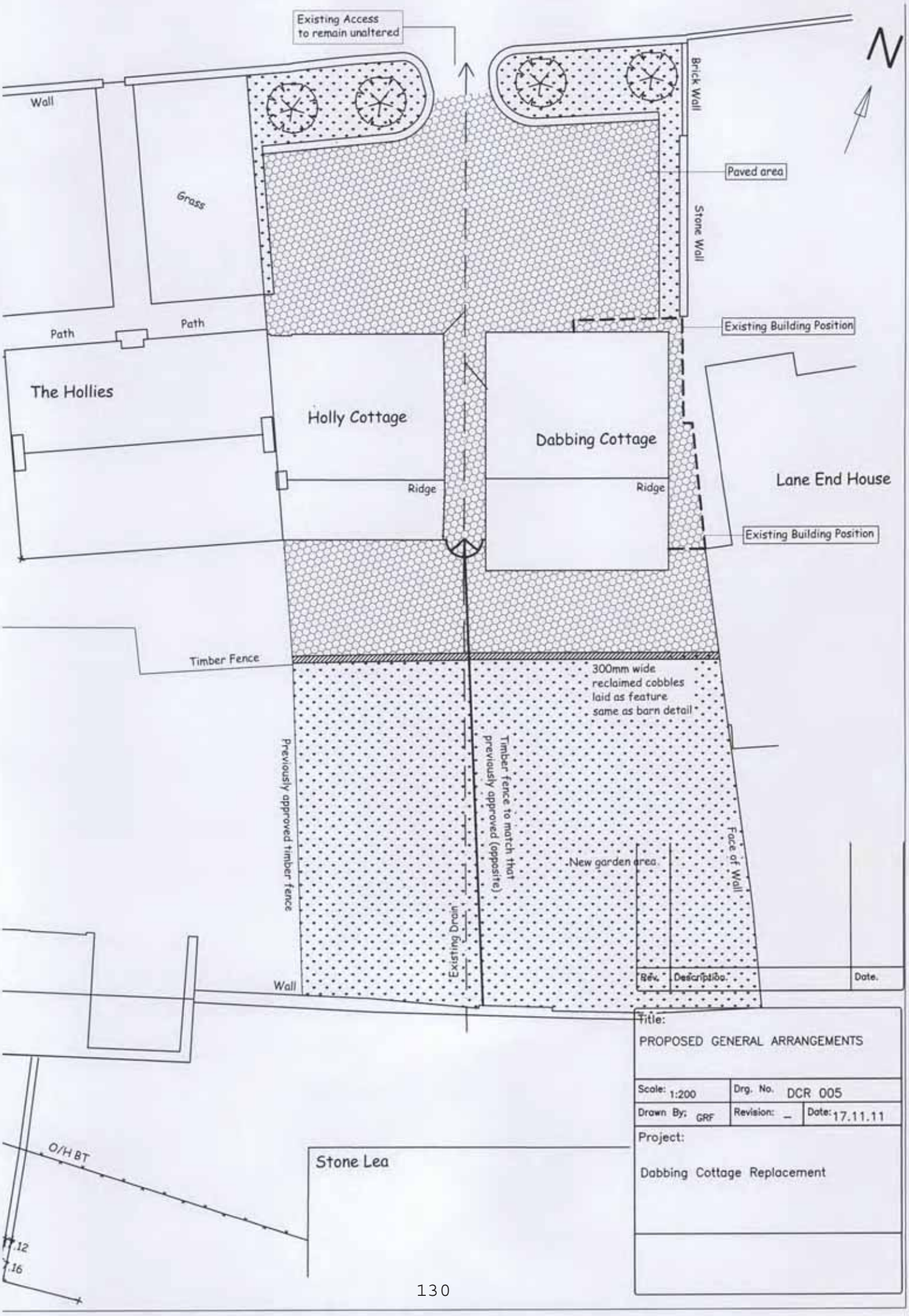
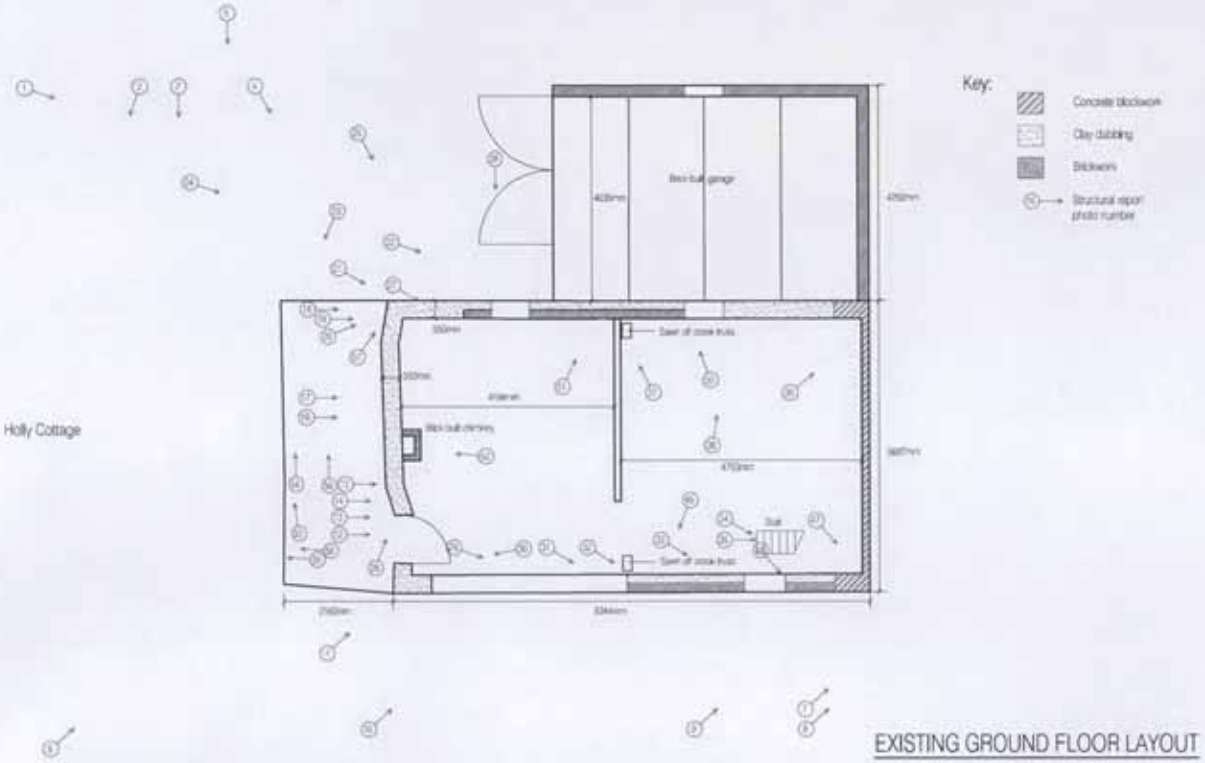
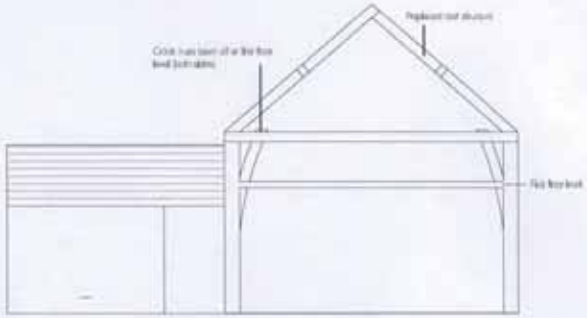
2011/1039


Existing Access to remain unaltered
N
Wall
Grass
Brick Wall
Stone Wall
Existing hard standing area
Path
Path
The Hollies
Holly Cottage
Dabbing Cottage
Lane End House
Ridge
Ridge
Timber Fence
Previously approved timber fence
Face of Wall
Existing Drain
Wall
Rev.
Description
Date.
Title:
EXISTING GENERAL ARRANGEMENTS
Scale: 1:200
Drg. No. DCR 002
Drawn By: GRF
Revision: –
Date: 17.11.11
Project:
Dabbing Cottage Replacement
O/H BT
Stone Lea
.12
.16


Existing Access to remain unaltered
Wall
Grass
Brick Wall
Paved area
Stone Wall
Path
Path
Existing Building Position
The Hollies
Holly Cottage
Dabbing Cottage
Lane End House
Ridge
Ridge
Existing Building Position
Timber Fence
300mm wide reclaimed cobbles laid as feature same as barn detail
Previously approved timber fence
Timber fence to match that previously approved (opposite)
Face of Wall
New garden area
Existing Drain
Wall
Rev.
Description
Date.
Title:
PROPOSED GENERAL ARRANGEMENTS
Scale: 1:200
Drg. No. DCR 005
Drawn By: GRF
Revision: –
Date: 17.11.11
Project:
Dabbing Cottage Replacement
O/H BT
Stone Lea
7.12
7.16



EXISTING GROUND FLOOR LAYOUT



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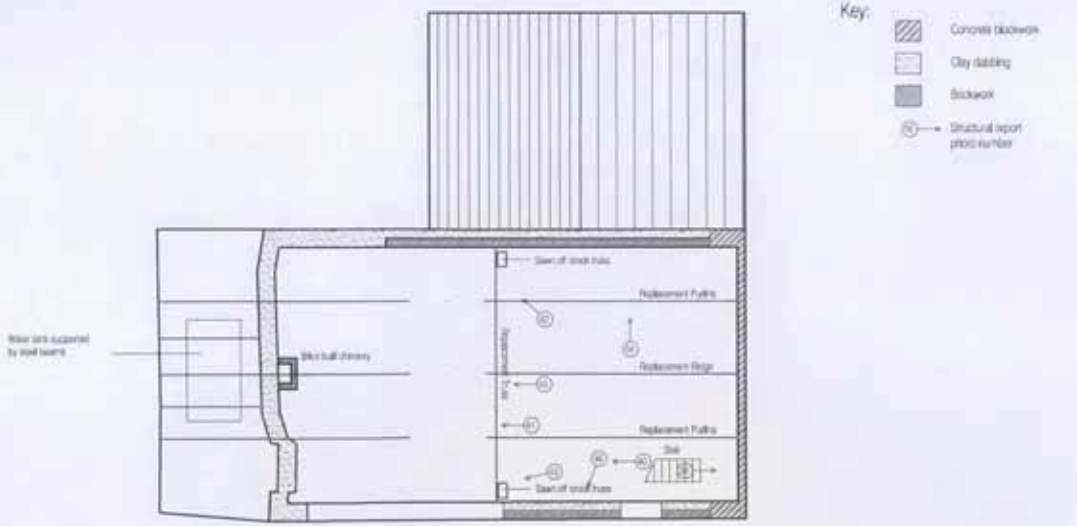


EXISTING FIRST FLOOR LAYOUT

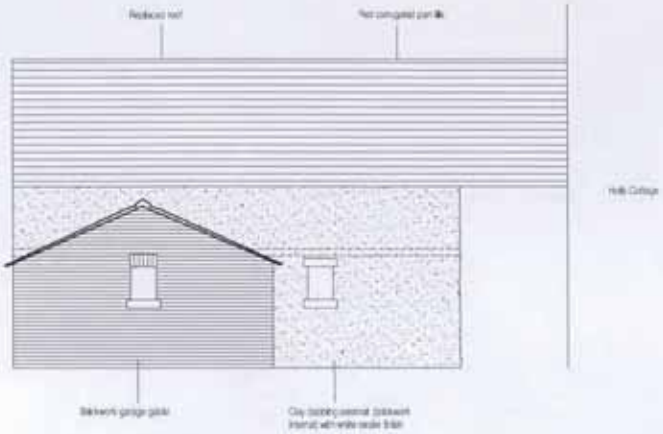
Rev.	Description.	Date.

Title:
EXISTING FLOOR LAYOUTS &
PHOTO RECORD POSITIONS
(ALDAINES STRUCTURAL SURVEY REPORT)

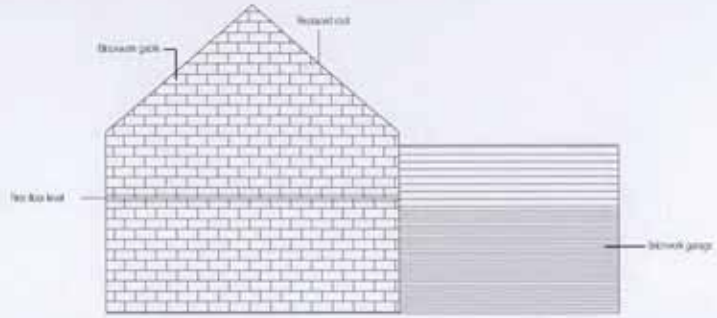
Scale: 1:100	Drg. No. DCR 004	
Drawn By: GRF	Revision: –	Date: 17.11.11

Project:

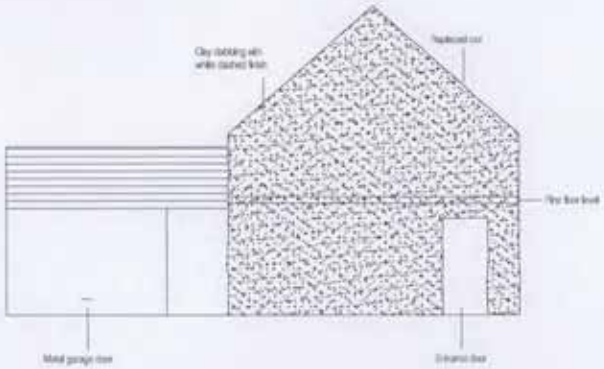
Dobbing Cottage Replacement



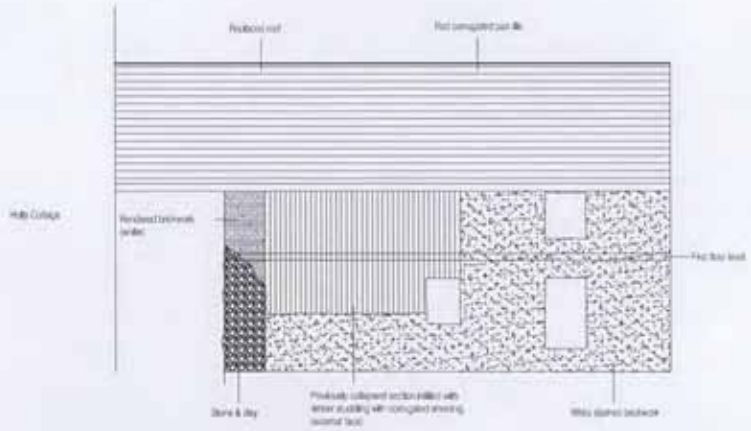
FRONT ELEVATION



GABLE ELEVATION



GABLE ELEVATION



REAR ELEVATION

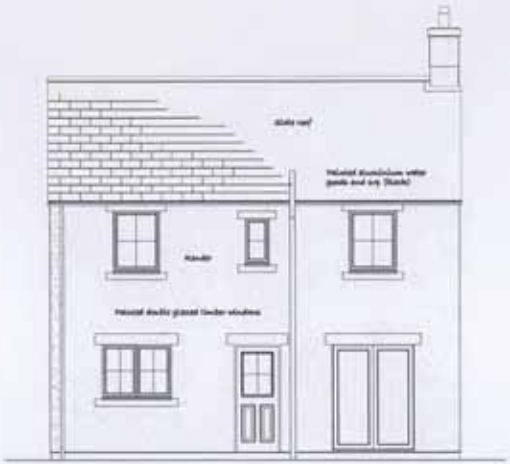
Rev.	Description.	Date.

Title:
EXISTING ELEVATIONS

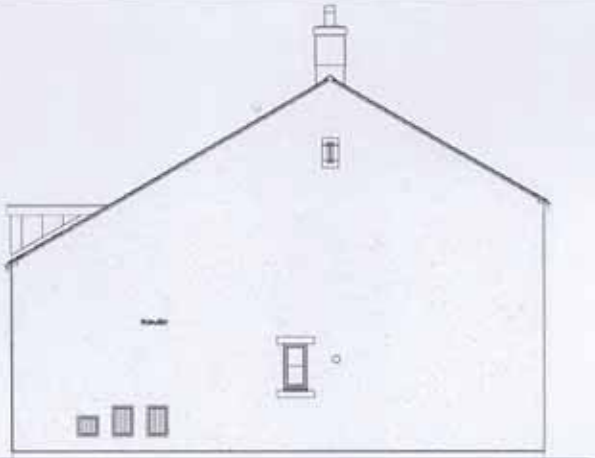
Scale: 1:100	Drg. No. DCR 003	
Drawn By: GRF	Revision: –	Date: 17.11.11

Project:
Dabbing Cottage Replacement

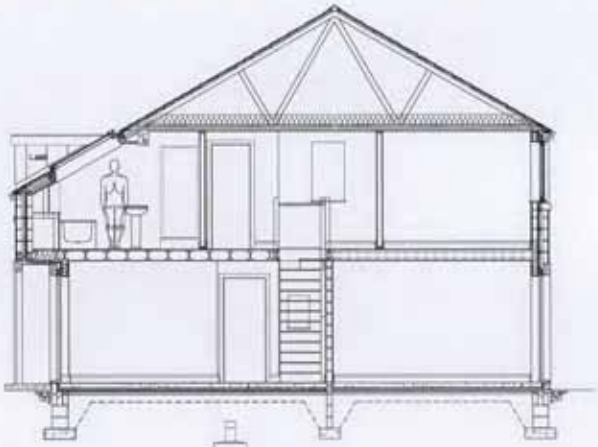
FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION



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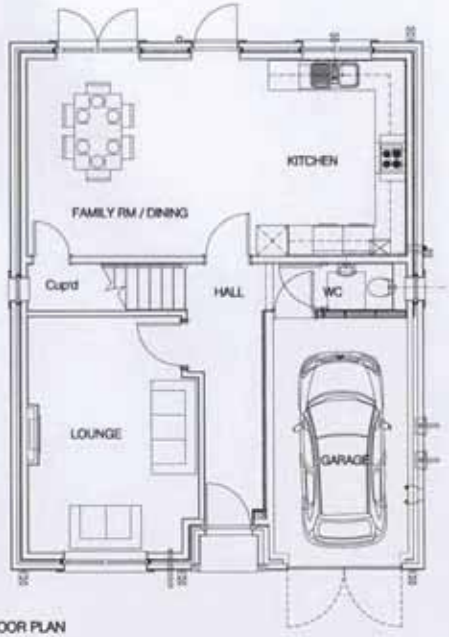
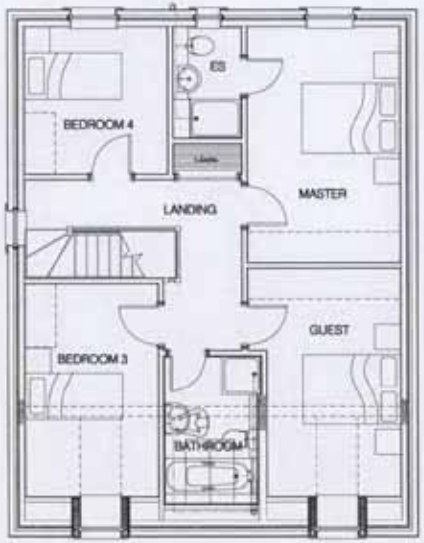


GROUND FLOOR PLAN



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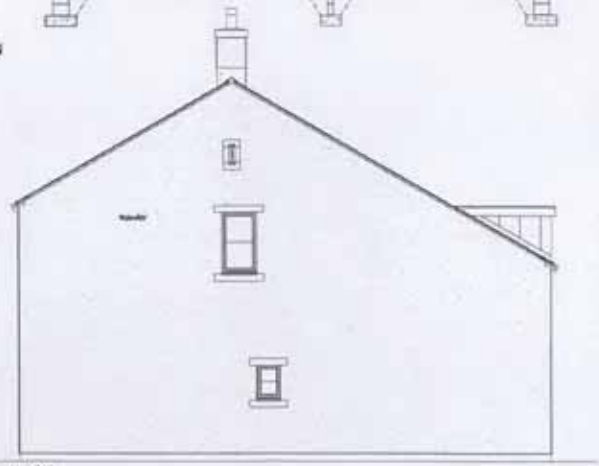


SIDE ELEVATION

Proposed House

Plot of Dabbing Cottage

Cargo, Carlisle, Cumbria.

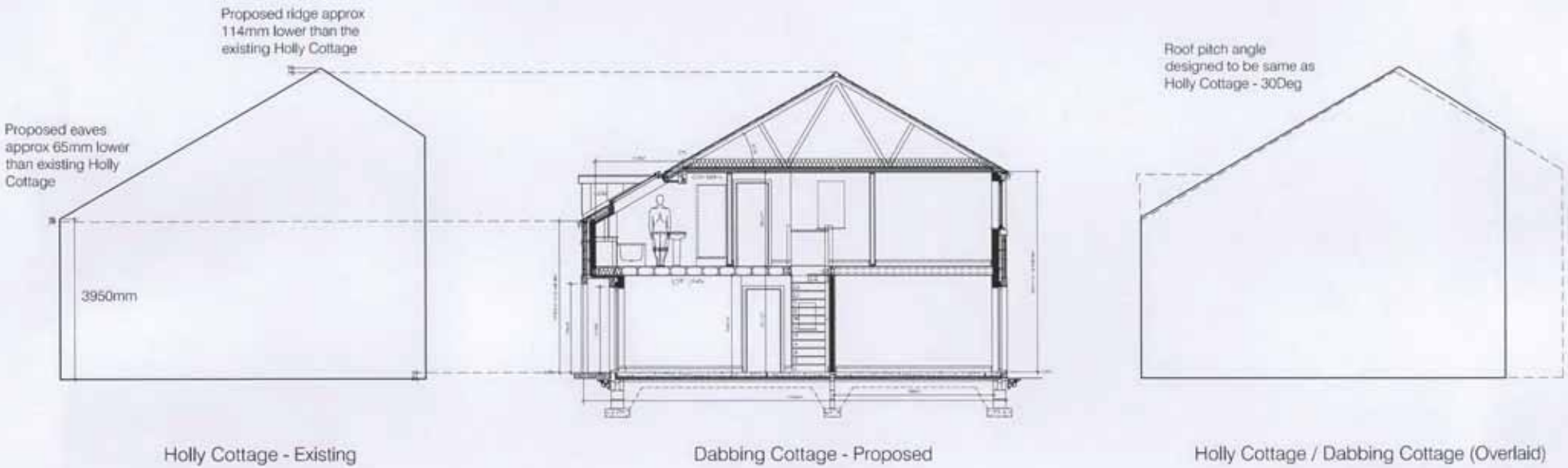
Mr & Mrs G Finegan

PLANNING DWG

CONCEPT SUPPORT

PROJECT DEVELOPMENT

© Concept Support



Existing and proposed building sections and relationships 1:100 A3

Street Scene / Elevation 1:100 A3

SCHEDULE A: Applications with Recommendation

11/1040

Item No: 07 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1040	Miss Blake	Kingmoor
Date of Receipt:	**Agent:**	**Ward:**
02/12/2011	Garner Planning Associates	Stanwix Rural

Location:
Dabbing Cottage, Cargo, Carlisle, CA6 4AW

Proposal: Demolition Of Dabbing Cottage And Erection Of 1no. Replacement Dwelling (Revised Application) (LBC)

REPORT

Case Officer: Barbara Percival

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Impact of the proposal on the adjacent Grade II Listed Building.

3. Application Details

The Site

3.1 The application site is located within the settlement of Cargo, on the south side of the road that links the village with the Carlisle to Rockcliffe road to the east. The building, known as Dabbing Cottage, is curtilage listed by virtue of it formerly being adjoined to Holly Cottage which in turn is attached to The Hollies, a Grade II Listed Building. A public highway abuts it's northern boundary with Holly Cottage and Lane End House, two storey residential properties to the west and east respectively. Stone Lea, a single storey property, lies to the south of the application site.

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3.2 The building was a former two storey clay dabbing crook truss building which over the years had fallen into disrepair. This resulted in much of it's original

clay dabbing walls being protected or replaced by rendered blockwork with a brick lean-to garage abutting its northern elevation. Listed Building Consent was granted in January 2010 for the demolition of existing two storey Dabbing Cottage and garage. The aforementioned application was accompanied by a Structural Inspection Report which outlined that *"much of the clay dabbing has been lost or replaced to the front, rear and gable walls and that which remains is in a poor and an unstable condition".* It went on to state that *"we would estimate that only some 30% of the original clay dab remains and only half of this is in a condition that would be at all salvageable as structural support"*. The Report concluded that *"the structure is beyond repair, in a dangerous condition and it is recommend that the structure should be demolished subject to planning approval"*. The City Council's Conservation Officer verbally concurred with the findings of the Structural Report and Listed Building Consent was subsequently granted on the 27th January 2010.

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"The application site is not located within either a Key Service Centre or Local Service Centre as identified under Policies DP1 and H1 of the Local Plan 2001-2016. The proposal would therefore result in an additional dwelling in a less sustainable location, for which no local housing need has been satisfactorily demonstrated and if permitted, would restrict development in more sustainable locations. On this basis the proposal is considered to be contrary to the provisions of Policies DP1 and H1 of the Carlisle District Local Plan 2001-2016.

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3.5 The application seeks consent for the demolition of what remains of Dabbing Cottage and the erection of a replacement dwelling. The submitted drawings illustrate a two storey dwelling with two dormer windows and a roof light in the front elevation. Vehicular and pedestrian access to the proposed property would be via a shared access with the adjacent property, Holly Cottage.

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4. Summary of Representations

4.1 This application has been advertised by direct notification for five neighbouring properties and the posting of site and press notices. In response, one letter of comment has been received.

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2. the property should be used as a holiday let as Dabbing Cottage was previously.

5. Summary of Consultation Responses

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English Heritage - North West Region: - do not wish to offer any comments on this occasion; and
Hadrians Wall Heritage Limited: - no response received.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies CP5, LE12 and LE14 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:

1. Impact Of The Proposal On The Grade II Listed Building

6.2 Dabbing Cottage and the adjacent property, Holly Cottage, are curtilage listed as both properties adjoined The Hollies, a Grade II Listed Building. However,

due to the structural stability of Dabbing Cottage and following granting of Listed Building Consent in 2010 all that remains of Dabbing Cottage are small sections of the clay dabbings walls and a block wall. The conditions attached to the 2010 consent sought the retention of sections of the clay dabbing wall which were considered to be structurally sound; however, this application now seeks Listed Building Consent for the demolition of the remaining clay dabbing walls and the erection of a two storey dwellinghouse.

6.3 Policy LE14 of the Local Plan allows the demolition of listed buildings only in exceptional circumstances; however, the precedent for the partial demolition of the building has already been established through the granting of the 2010 consent. As previously explained in paragraph 6.2 above all that remains of the building are small sections of clay dabbing which are in a state of collapse. Given that the building is now beyond reasonable repair and that the remaining walls do not make a valuable contribution to the setting of the adjacent listed and curtilage listed buildings the proposal accords with the objectives of Policy LE14 of the Local Plan.

6.4 When assessing the redevelopment of the application site, Policy LE12 of the Local Plan seeks to ensure that proposals for new development do not adversely affect listed buildings or their settings, outlining that any new development should be sympathetic in scale, character and materials preserving the building's character and setting.

6.5 The submitted drawings illustrates a detached two storey property in lieu of a single storey clay dabbing property linked to the adjacent property by an archway. The scale and massing of the property reflects the adjacent Holly Cottage. Furthermore, the height and design of the roof would mirror that of the adjacent property. The property would be finished in render have a slate roof with timber windows and doors which would match the adjacent curtilage listed property. Accordingly, the proposal is sympathetic to the listed building nor would not have a detrimental impact on its setting.

Conclusion

6.6 In overall terms, the scale, siting and massing of the proposed dwelling is acceptable in relation to the adjacent Listed Building, its setting. In all aspects the proposal is compliant with the objectives of the Local Plan policies.

7. Planning History

7.1 The application site has been the subject of a number of applications for Full Planning Permission and Listed Building Consent.

7.2 Two appeals against refusal of Full Planning Permission and Listed Building Consent for the demolition of Dabbing Cottage and erection of 1no. replacement dwelling were dismissed by the Planning Inspectorate in August 2011 (application references 10/1098 and 10/1099).

8. Recommendation: Grant Permission

1. The works shall be begun not later than the expiration of 3 years beginning with the date of the grant of this consent.

   Reason: In accordance with the provisions of Section 18 of the Planning (Listed Building and Conservation Areas) Act 1990.

2. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Listed Building Consent comprise:

   1. the submitted planning application form received 28th November 2011;
   2. the Design and Access Statement received 28th November 2011;
   3. the Contamination Land Statement received 28th November 2011;
   4. the Structural Inspection for Dabbing Cottage received 28th November 2011;
   5. the location plan received 2nd December 2011 (Drawing Number HB/DCR/001);
   6. proposed floor and elevation drawings received 28th November (Drawing Number 02);
   7. the existing general arrangements received 28th November 2011 (Drawing Number DCR 002);
   8. the existing elevations received 28th November 2011 (Drawing Number DCR 003);
   9. existing floor layout and photo record positions (A L Daines Structural Survey Report) received 28th November 2011 (Drawing Number DCR 004);
   10. proposed general arrangements received 28th November 2011 (Drawing Number DCR 005);
   11. street scene/elevation received 12th December 2011;
   12. existing and proposed building sections and relationships received 12th December 2011;
   13. the Notice of Decision; and
   14. any such variation as may subsequently be approved in writing by the Local Planning Authority.

   Reason: For the avoidance of doubt.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

   Reason: To ensure the works harmonise as closely as possible with the adjacent buildings and to ensure compliance with Policy CP5

and LE12 of the Carlisle District Local Plan 2001-2016.

4. Details of all new windows and doors, in the form, of quarter or full-size drawings including sections, shall be submitted for prior approval by or on behalf of the Local Planning Authority before any development takes place.

Reason: To ensure the works harmonise as closely as possible with the existing building in accordance with Policy CP4 and LE12 of the Carlisle District Local Plan 2001-2016.

5. Particulars of height and materials of all proposed screen walls and boundary fences shall be submitted to and approved by the Local Planning Authority prior to the commencement of the development hereby permitted.

Reason: To ensure that the appearance of the area is not prejudiced by lack of satisfactory screening which is not carried out in a co-ordinated manner and to ensure compliance with Policy CP5 and LE12 of the Carlisle District Local Plan 2001-2016.

6. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

SCHEDULE A: Applications with Recommendation

11/1098

Item No: 08 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1098	Mrs Bowey	Nether Denton
Date of Receipt:	**Agent:**	**Ward:**
22/12/2011	Green Design Architects	Irthing

Location:
Dundonald, Low Row, Brampton, CA8 2LN

Proposal: Demolition Of Existing Conservatory And Erection Of Single Storey Extension To Provide Porch, Garden Room, Extended Lounge, Kitchen/Dining Room And Utility Together With Extension To Existing Garage

REPORT

Case Officer: Shona Taylor

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Impact on The Living Conditions of Neighbouring Residents
2.2 Whether The Proposal Is Appropriate To The Dwelling
2.3 Impact of The Proposal On The Highway

3. Application Details

Introduction

3.1 The dwelling, Dundonald, is a single storey detached bungalow constructed from rendered walls, with stone quoins and featuring a tiled roof. There is an existing detached garage to the south of the site.

3.2 The property is set back from the road, behind St James' Terrace and Magnum Opus, with open fields to the rear.

Proposal

3.3 The application is seeking planning permission for the demolition of the

existing conservatory and the erection of single storey extensions to provide a porch to the front, a garden room, extended lounge, kitchen/dining room and utility to the side and rear, together with an extension to the existing garage.

3.4 The main extension is situated to the south and west of the property. The proposal extends the dwelling out towards neighbouring property, Hawthorns, by approximately 6 metres, although the existing garage is situated between the two dwellings.

3.5 It is proposed to construct the extensions from materials to match the existing property.

4. Summary of Representations

4.1 This application has been advertised by means of notification letters sent to seven neighbouring properties. No verbal or written representations have been made at the time of writing this report.

5. Summary of Consultation Responses

Cumbria County Council - Highway Authority: - no objections;
Nether Denton Parish Council: - awaiting response;
English Heritage: - awaiting response.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies CP5 and H11 of the Carlisle District Local Plan 2001-2016.

6.2 The proposal raises the following issues:

1. The Impact of the Proposal on the Living Conditions of Neighbouring Residents

6.3 Taking into consideration the scale and position of the extensions in relation to neighbouring properties it cannot reasonably be argued that the living conditions of the occupiers of those properties would be adversely affected through loss of light, over dominance or inappropriate design.

2. Whether the Proposal is Appropriate to the Dwelling

6.4 The proposed extensions complement the existing dwelling in terms of its design and materials to be used. In terms of the scale of the development the proposal is not excessive and it is felt that the proposal is in keeping with the overall size of the existing dwelling.

3. Impact On Highway Safety

6.5 The Highway Authority has been consulted on the proposal and has raised no objections. As such, it considered that the proposal would not have an adverse impact upon highway safety.

4. Other Matters

6.6 Members should also be aware that although the applicant is an employee of the City Council the applicant has not been involved in the determination of the application outside of her role as applicant.

Conclusion

6.7 In overall terms it is considered that the proposal will not adversely affect the living conditions of adjacent properties sufficient to merit refusal. The scale and design of the proposal is considered acceptable. Subject to the receipt of no observations from the consultation process, which expires on 3rd February 2012, the recommendation will be that the application is given authority to issue approval, as it is considered that the proposal is compliant with the objectives of the relevant Local Plan Policies.

7. Planning History

7.1 There is no relevant planning history at the site.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form;
2. the site location plan received 21st December 2011;
3. the block plan received 21st December 2011 (drawing 11/2087/00);
4. the existing plans and elevations received 21st December 2011 (drawing 11/2087/01A);
5. the proposed plans and elevations received 21st December 2011 (drawing 11/2087/05);
6. the Notice of Decision; and
7. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed in writing by the Local Planning Authority.

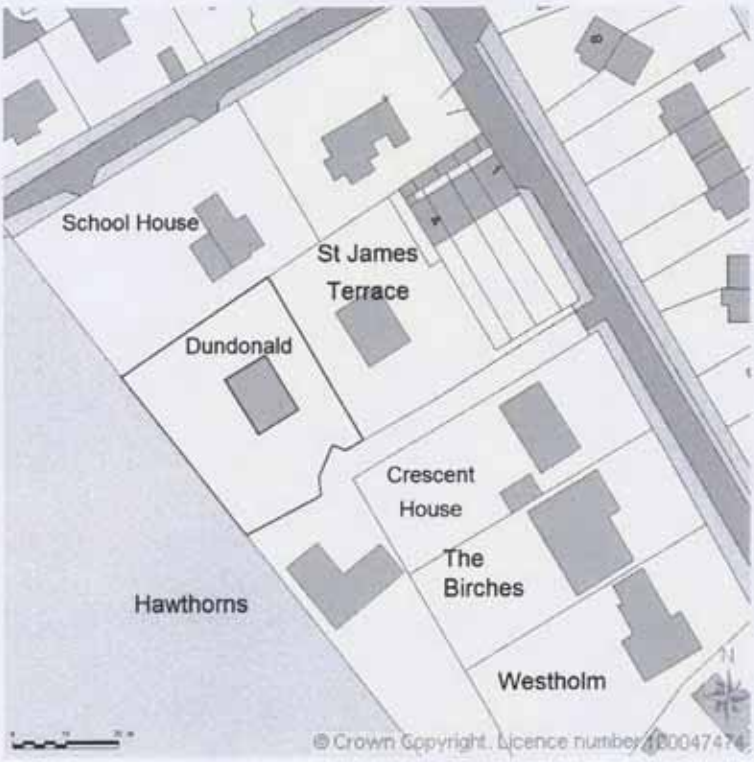
Reason: To ensure the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016 are met and to ensure a satisfactory external appearance for the completed development.

Streetwise

Enabled by Ordnance Survey

SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1250

CENTRE COORDINATES: 358378, 563139



Supplied by Streetwise Maps Ltd
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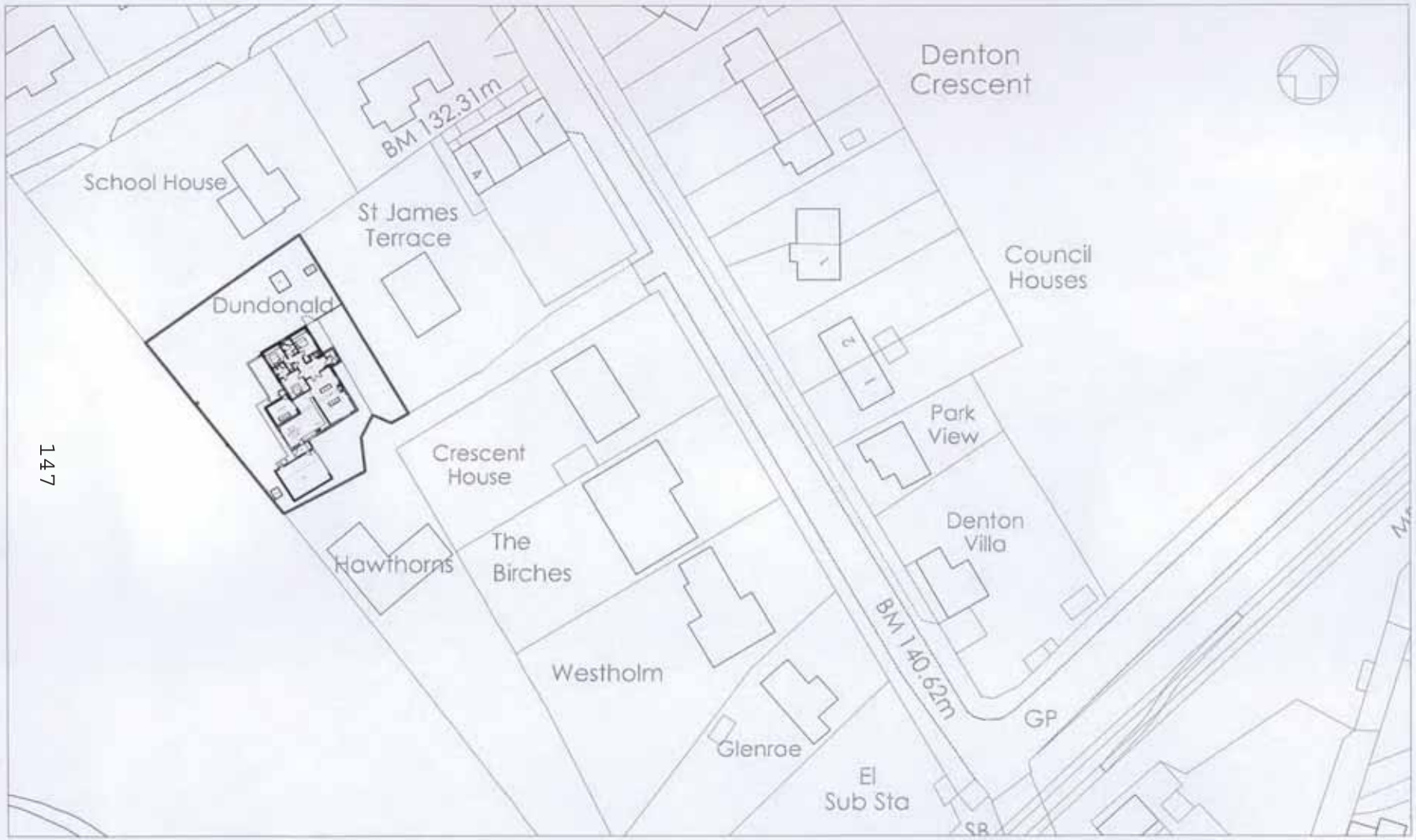

Block Plan 1:500

GREEN DESIGN ARCHITECTS

Block Plan
Alterations & Extensions to Dundonald, Low Row for Mrs M. Bowey
SCALE 1:500 @ A2
December 2011
11/2087/00

D	C	REV	DATE	DESCRIPTION

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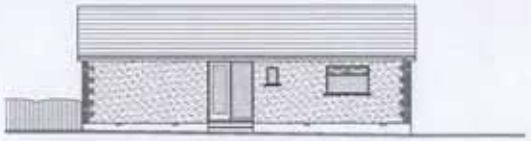
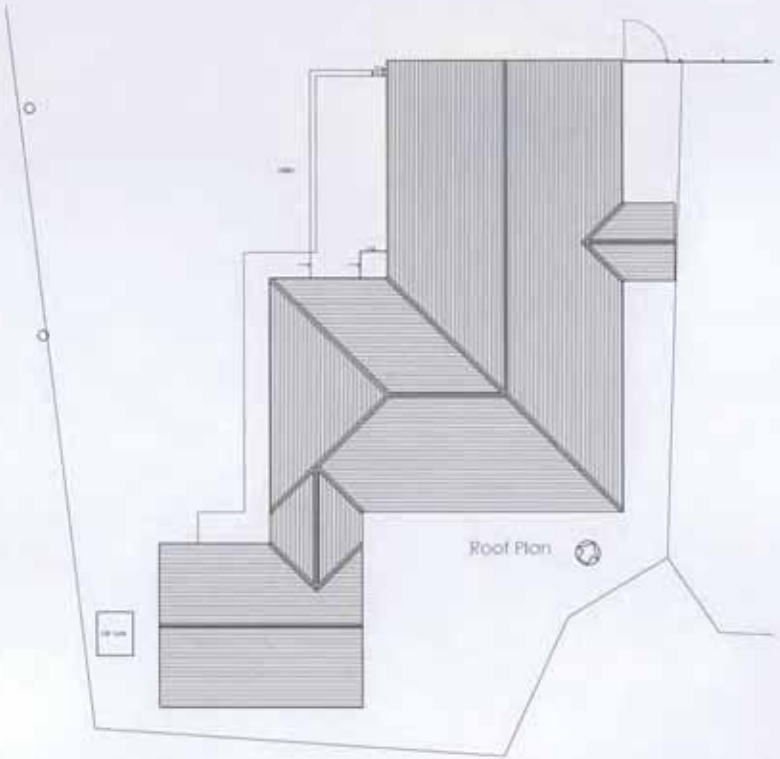


GREEN DESIGN ARCHITECTS

Survey As Built
Alterations & Extensions to
Dundonald, Low Road
for Mrs M. Beverly
SCALE 1:100 @ A1
June 2009
11/208/201A



Materials

Roof	Concrete tiles to match existing
Walls	render to match existing
Windows & Doors	UPVC Windows Timber Doors

North Elevation

East Elevation

South Elevation

West Elevation

GREEN DESIGN ARCHITECTS

Proposed Plans & Elevations

Alterations to Dunsonagh Low Row for Maggie Beverly

Scale 1:100 @ A1

Date December 2011

11/0867/FUL

SCHEDULE A: Applications with Recommendation

11/1101

Item No: 09 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1101	Pirelli Tyres Ltd	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
03/01/2012	Pirelli Tyres Ltd	Denton Holme

Location:
Pirelli Tyres Limited, Dalston Road, Carlisle, CA2 6AR

Proposal: Extension To Existing Building To House Electrical Switchgear

REPORT

Case Officer: Angus Hutchinson

1. Recommendation

1.1 It is recommended for approval with authority to issue sought subject to no objections being received prior to the expiration of the publicity period.

2. Main Issues

2.1 whether the proposal safeguards the living conditions of neighbouring residents; and

2.2 whether the proposal safeguards the character of the area.

3. Application Details

The Site

3.1 The Pirelli factory is located on the eastern side of Dalston Road to the immediate south of the Crematorium/Cemetery, north of the terraced houses at 1-8 Irving Place, and west of the River Caldew/Caldew cycletrack. Cummersdale and the access road run parallel to the southern boundary. A public footpath lies along the northern boundary.

3.2 The premises comprise a social club, a gatehouse, warehouse, canteen, the factory and associated offices/boiler house, a tyre finishing building, test building, trailer park, a car park, and sports pitch. The main factory building has six bays and is constructed externally in brickwork and metal corrugated sheeting.

3.3 The Pirelli site is designated a Primary Employment Area; the land to the south as an Urban Fringe Landscape; and the adjoining land to the east part of a Primary Leisure Area and Conservation Area. The River Caldew is a designated SSSI/SAC.

The Proposal

3.4 The current application seeks full permission for the construction of an extension to the south-eastern corner of the tyre factory building to form a new electrical switchgear room. The proposed extension measures 10.4m by 16m with an eaves height of 6m. In terms of external materials and height, the proposed extension matches the existing building.

3.5 The application is accompanied by a Design and Access Statement that, amongst other things, explains:

- there is no foul drainage, purely surface water discharging into the existing drainage system;
- by the nature of the high voltage electrical plant, the room is independent to the normal use of the factory and only accessed by competent approved electrical personnel;
- there is no heating or production extract to the room, but there will be an element of air conditioning input and output roof ventilator;
- the existing emergency fire access road will be maintained around the extension;
- the proposed extension will house transformers, switchgear and control panels that comprise the electrical system supplying two new 1.5MW motors driving rubber compound mixing machines;
- the equipment has no moving parts and does not generate any significant noise; and
- the boundary fence of the factory is protected by security cameras monitored 24/7 by a security guard at the gatehouse.

4. Summary of Representations

4.1 This application has been advertised in the form of a site notice the period for which expires on the 3rd February. No informal or formal observations have been received at the time of preparing the report.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - comments awaited.

Environmental Services:- no objections.

Cummersdale Parish Council:- comments awaited.

6. Officer's Report

Assessment

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan, unless material considerations indicate otherwise.

6.2 In accord with the Court of Appeal's judgment in June 2011 concerning the recent Cala Homes litigation, and for the purposes of the determination of this application, the development plan comprises the North West of England Plan (Regional Spatial Strategy to 2021); the "saved policies" of the Cumbria and Lake District Joint Structure Plan 2001-2016; and the Carlisle District Local Plan 2001-2016. Of particular relevance are Policies CP2, CP5, CP11, CP12, CP15, EC1, LE2, LE4, LE19, LE29, and T1 of the Carlisle District Local Plan 2001-2016.

6.3 Other material considerations include PPS1 "Delivering Sustainable Development"; PPS4 "Planning for Sustainable Economic Growth"; and Circular 11/95 "The Use of Conditions in Planning Permissions".

6.4 On this basis it is considered that the two main issues are:

1) whether the proposal safeguards the living conditions of neighbouring residents; and

2) whether the proposal safeguards the character of the area.

6.5 When considering the living conditions of neighbouring residents it is apparent that proposal is ancillary to the existing usage of the site. The nearest residential properties are located on Cummersdale Road and within Cummersdale. The nature of the ancillary use is relatively benign in itself. Although the proposal would enable the upgrade of existing rubber compound mixing machines housed elsewhere, this should not noticeably exacerbate the current situation. As such, it is considered that the proposal (either directly or indirectly) would not have a detrimental impact on the living conditions of neighbouring residents sufficient to merit the refusal of permission.

6.6 In relation to the character of the area, it is considered that the proposed structure is consistent with the scale and design of the existing buildings; is well related to the existing development; and is in less conspicuous area of the site (and although elevated in comparison to the Caldew Cycleway) not readily visible from a public vantage point.

Other Matters

6.7 It is appreciated that there other potential issues (such as impact on the River Caldew, contamination, disposal of surface water, access by disabled people and parking) but based on the nature of the proposal, location and relationship to neighbouring land these are not considered to be of sufficient significance as to determine any decision on the proposal.

Conclusion

6.8 In conclusion the principle of additional development on the site is considered to be acceptable. The proposed extension would be well related to the existing development; it would not result in any harm to the character of the area; and it is not considered that the living conditions of the occupiers of neighbouring properties would be adversely affected to warrant refusal of the application.

6.9 The proposal is recommended for approval with authority to issue sought subject to no objections being received prior to the expiration of the publicity period.

7. Planning History

7.1 In 2003, Full Planning Permission was granted for a single storey 3 bay extension to the tyre production area at the rear of the existing factory (application reference 03/0118).

7.2 In 2005, Full Planning Permission was granted for the erection of a wind turbine (application reference 05/0169).

7.3 In 2006, Full Planning Permission was granted for the erection of a 70m anemometer mast for temporary twelve month period (application reference 06/0290).

7.4 Also in 2006, Full Planning Permission was granted for construction of a new/additional sprinkler Tank (application reference 06/809).

7.5 Again in 2006, Retrospective Full Planning Permission was granted for a 50m anemometer for a temporary period (revised application) (application reference 06/0926).

7.6 In 2007, Full Planning Permission was granted for the formation of an entrance ramp for disabled access and provision of disabled w.c. (application reference 07/0909).

7.7 In 2010, application number 10/0027, Full Planning Permission was given for the installation of disabled wc, provision of an accessible ramp together with erection of detached smoking shelter.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

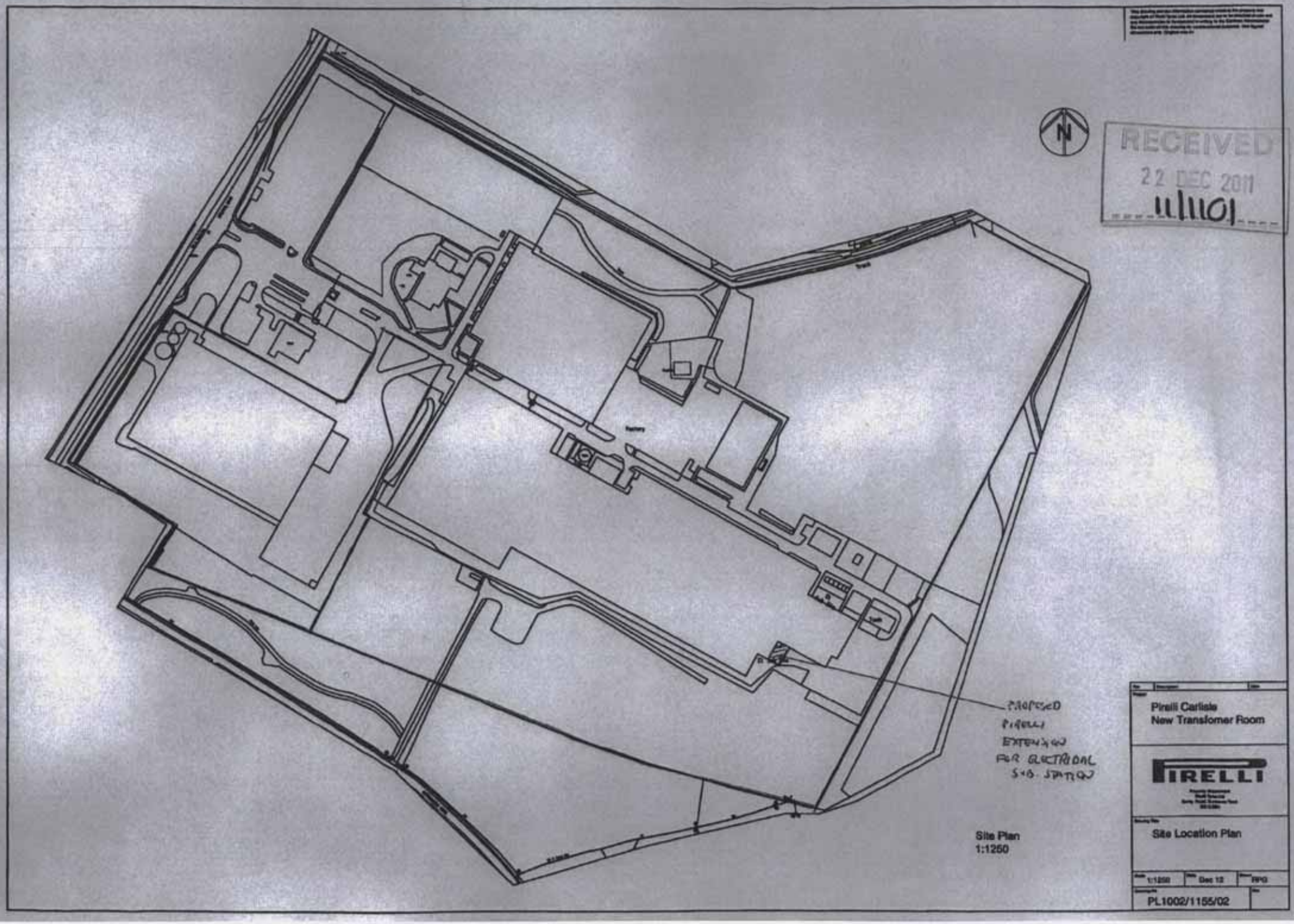
1. the submitted planning application form and Design and Access Statement;

2. drawing numbers PL1002/1155/01 Rev A, /02 and /03;

3. the Notice of Decision; and

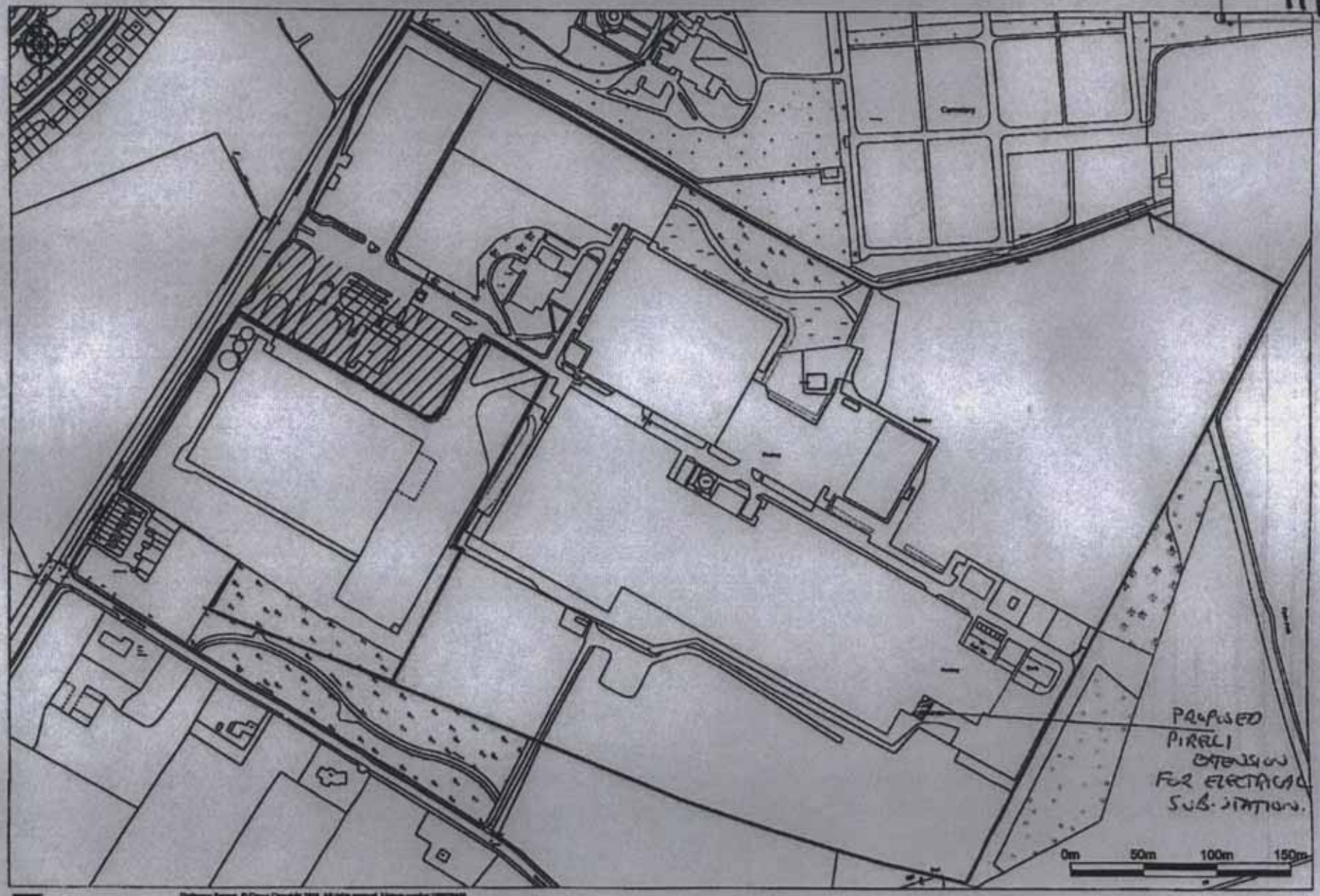
4. any such variation as may subsequently be approved in writing by the Local Planning Authority.

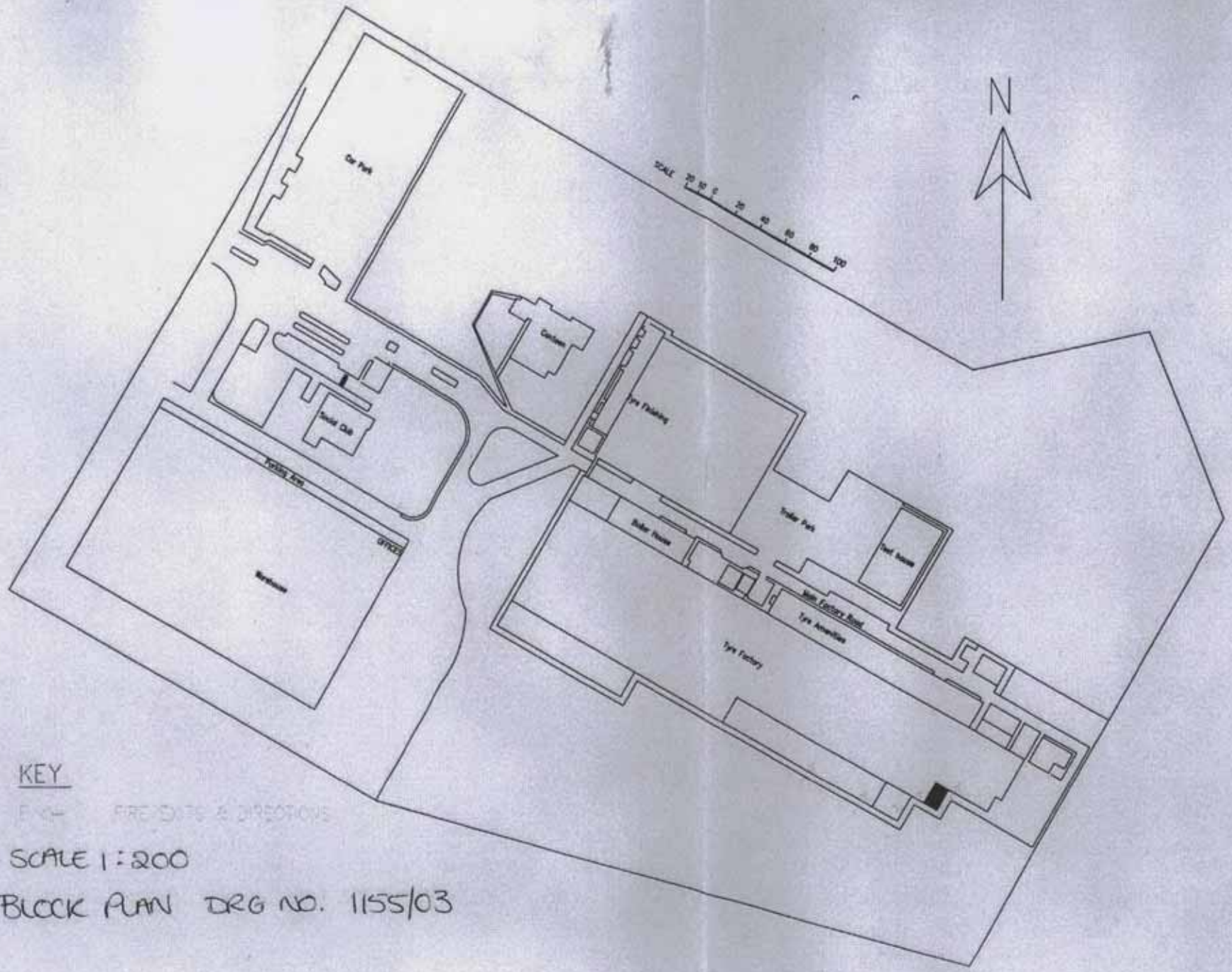
Reason: For the avoidance of doubt.


RECEIVED
22 DEC 2011
11/1101
PROPOSED
PIRELLI
EXTENSION
FOR ELECTRICAL
SUB STATION
Site Plan
1:1250
Pirelli Carlisle
New Transformer Room
PIRELLI
Site Location Plan
1:1250
Dec 12
RPG
PL1002/1155/02

RECEIVED
22 DEC 2011
11/1101

Pirelli Tyres Ltd - Carlisle Site



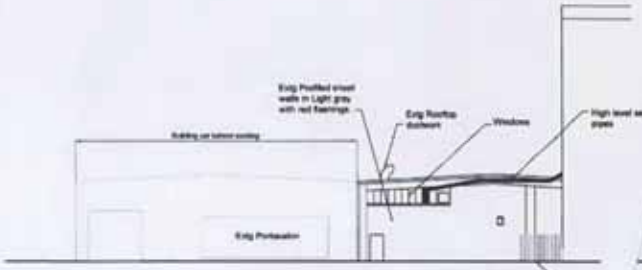


KEY

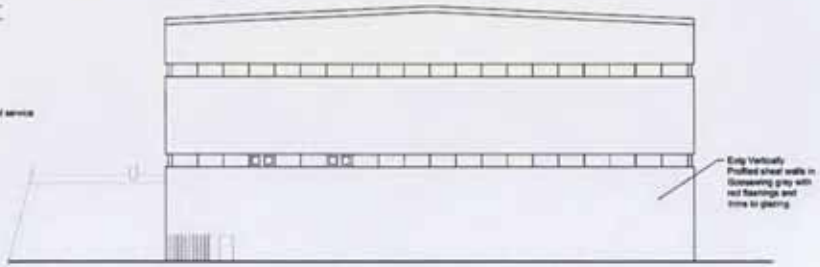
FIRE EXITS & DIRECTIONS

SCALE 1:200

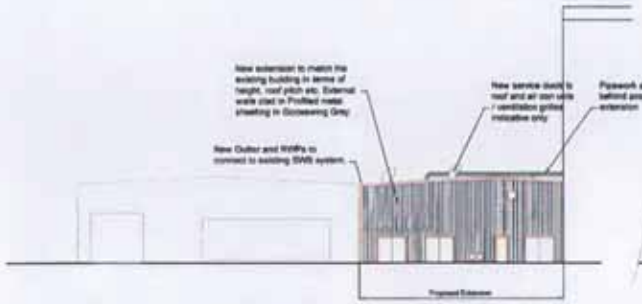
BLOCK PLAN DRG NO. 1155/03



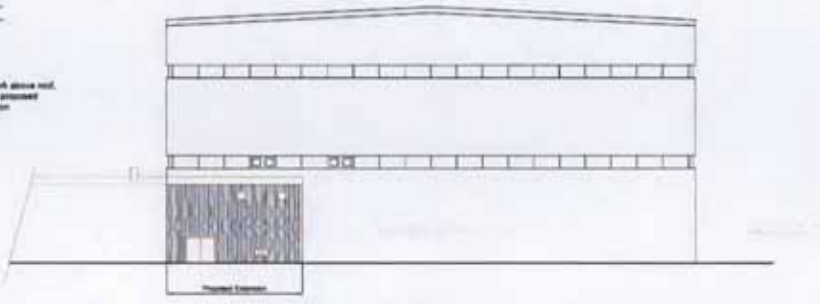
Elevation A - As Existing
1:200



Elevation B - As Existing
1:200



Elevation A - As Proposed
1:200



Elevation B - As Proposed
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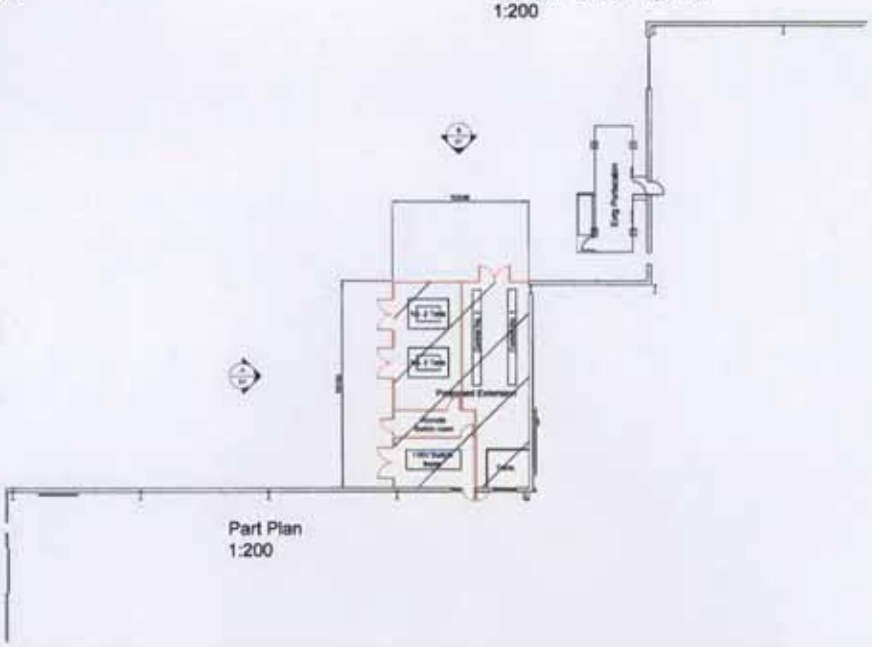
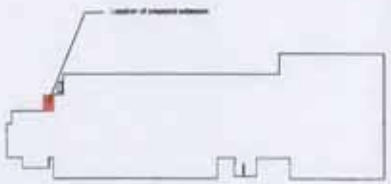


Part Plan
1:200



Block Plan
1:2500

Rev	Description	Date
A	Extension reduced in size and general revisions.	19/12/11

Project
Pirelli Carlisle
New Transformer Room

PIRELLI

Drawing Title
Existing Plans and Elevations

Scale	Date	Drawn
as noted	03/11	RPG

Drawing No	Rev
PL1002/1155/01	A

SCHEDULE A: Applications with Recommendation

11/1105

Item No: 10 Date of Committee: 27/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/1105	Mrs S Stashkiw	Wetheral
Date of Receipt:	**Agent:**	**Ward:**
23/12/2011	Mr G Tyler	Wetheral

Location:
158 Greenacres, Wetheral, Carlisle, CA4 8LU

Proposal: Erection Of First Floor Side Extension To Provide En-Suite Bedroom Together With Internal Alterations

---

REPORT

Case Officer: Stephen Daniel

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Whether The Scale & Design Is Acceptable
2.2 Impact On The Living Conditions Of The Occupiers Of Any Neighbouring Properties
2.3 Highway Matters

3. Application Details

The Site

3.1 The existing dwelling is a detached property, which is surrounded by residential properties. The dwelling, which is constructed of brick under a tiled roof, has an attached single garage, which projects forward 1.5m from the front elevation of the main dwelling. A covered porch area, which is attached to the garage, also projects forward of the main front elevation. A large driveway is located in front of the garage and porch.

Background

3.2 This application has been brought before the Development Control

Committee because the applicant works for the City Council.

The Proposal

3.3 The proposal is seeking planning permission to erect a first floor extension above the garage, to provide an en-suite bedroom. The extension would have a pitched roof, which would have a lower ridge height than that on the main dwelling, with the same eaves height. Windows would be provided in both the front and rear elevations and these would match those on the existing dwelling, with no windows being provided in the side elevation. The extension would be constructed of bricks and tiles to match the existing dwelling.

4. Summary of Representations

4.1 This application has been advertised by means of site and press notices as well as notification letters sent to six neighbouring properties. No verbal or written representations have been made during the consultation period.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objections to the proposals. Although the plans show the existing garage being reduced in size, there appears to be ample room for parking on the driveway in front of the garage to meet the parking requirements for a four bedroom dwelling; Wetheral Parish Council: - no comments.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies H11 and CP5 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:

1. Whether The Scale & Design Of The Proposal Is Acceptable

6.2 The extension would be located on the footprint of the existing attached garage, which projects out 1.5m from the main front elevation of the dwelling. It would have a pitched roof, which would have a lower ridge height than that on the main dwelling. It would be constructed of brick, tiles and windows to match those on the existing dwelling. In light of the above, the scale and design of the proposal would be acceptable.

2. Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Properties

6.3 New windows would be added in the front and rear elevations, with no windows being added to the side elevation. The window in the front elevation would serve a bathroom and would not, therefore, be a principle window. The

window in the rear elevation would be over 35m away from the dwelling to the rear and this distance is sufficient to ensure that there is no loss of privacy to the occupiers of that dwelling. The proposal would not, therefore, have an adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance.

3. Highway Matters

6.4 The garage would be replaced by a small garage/ store, which would have a garage door but which would only measure 2.1m in length. County Highways has raised no objections to the proposals, as there is ample room for parking on the driveway in front of the garage to meet the parking requirements for a four bedroom dwelling.

Conclusion

6.5 In overall terms, the scale and design of the proposal is acceptable and it would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance.

7. Planning History

7.1 There is no planning history relating to this site.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form, received 23 December 2011;

2. Site Location Plan, received 23 December 2011 (Drawing No. SS/EXT/SLP);

3. Block Plan, received 23 December 2011 (Drawing No. SS/EXT/SBP Rev A);

4. Existing Elevations, received 23 December 2011 (Drawing No. SS/EXT/001 Rev A);

5. Proposed Elevations, received 23 December 2011 (Drawing No. SS/EXT/002 Rev A);

6. Existing Ground Floor Plan, received 23 December 2011 (Drawing No. SS/EXT/003 Rev A);

7. Existing First Floor Plan, received 23 December 2011 (Drawing No. SS/EXT/004 Rev A);

8. Proposed Ground Floor Plan, received 23 December 2011 (Drawing No. SS/EXT/005 Rev A);

9. Proposed First Floor Plan, received 23 December 2011 (Drawing No. SS/EXT/006 Rev A);

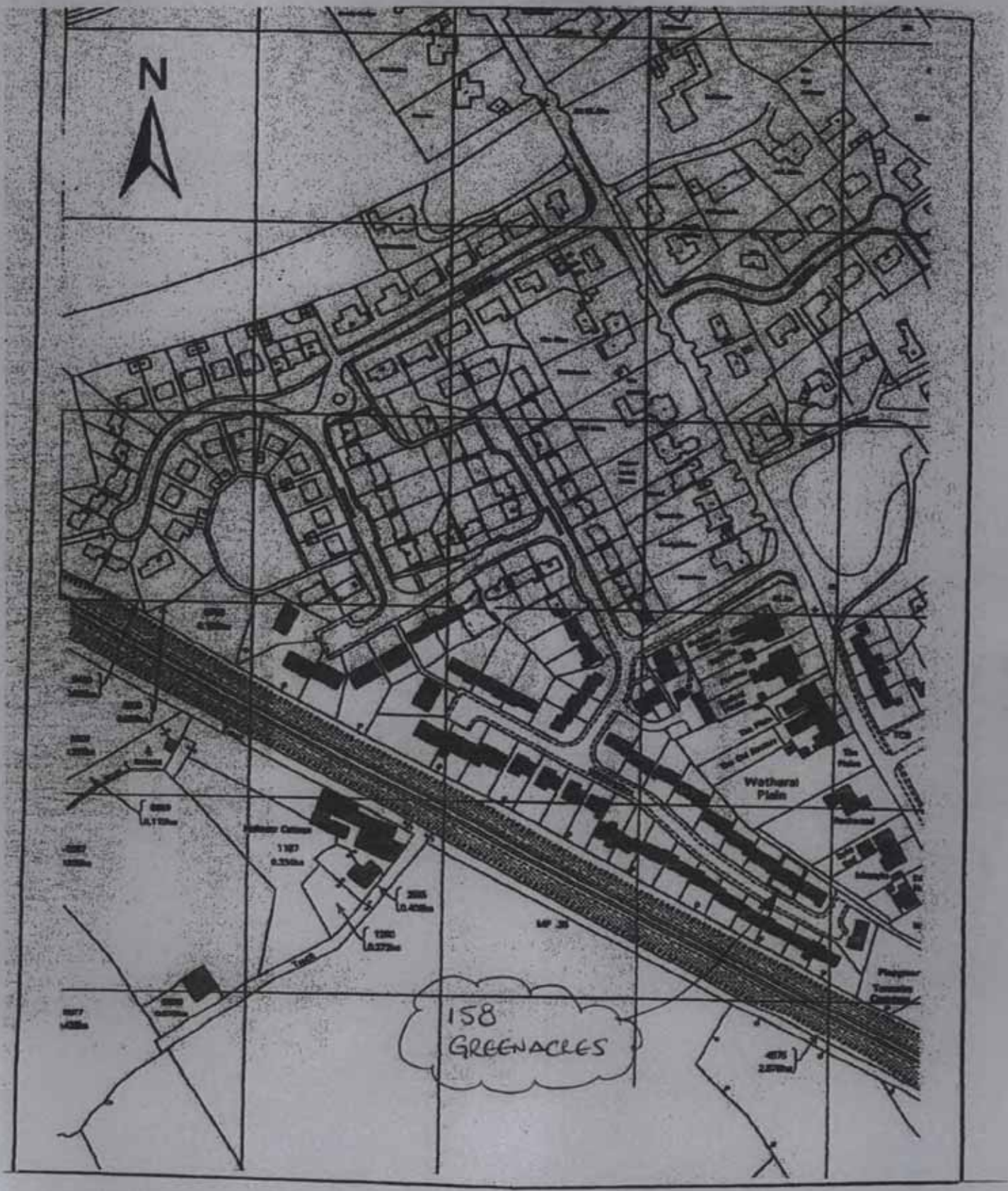
10. the Notice of Decision; and

11. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the objectives of Policies H11 and CP5 of the Carlisle District Local Plan 2001-2016 are met and to ensure a satisfactory external appearance for the completed development.

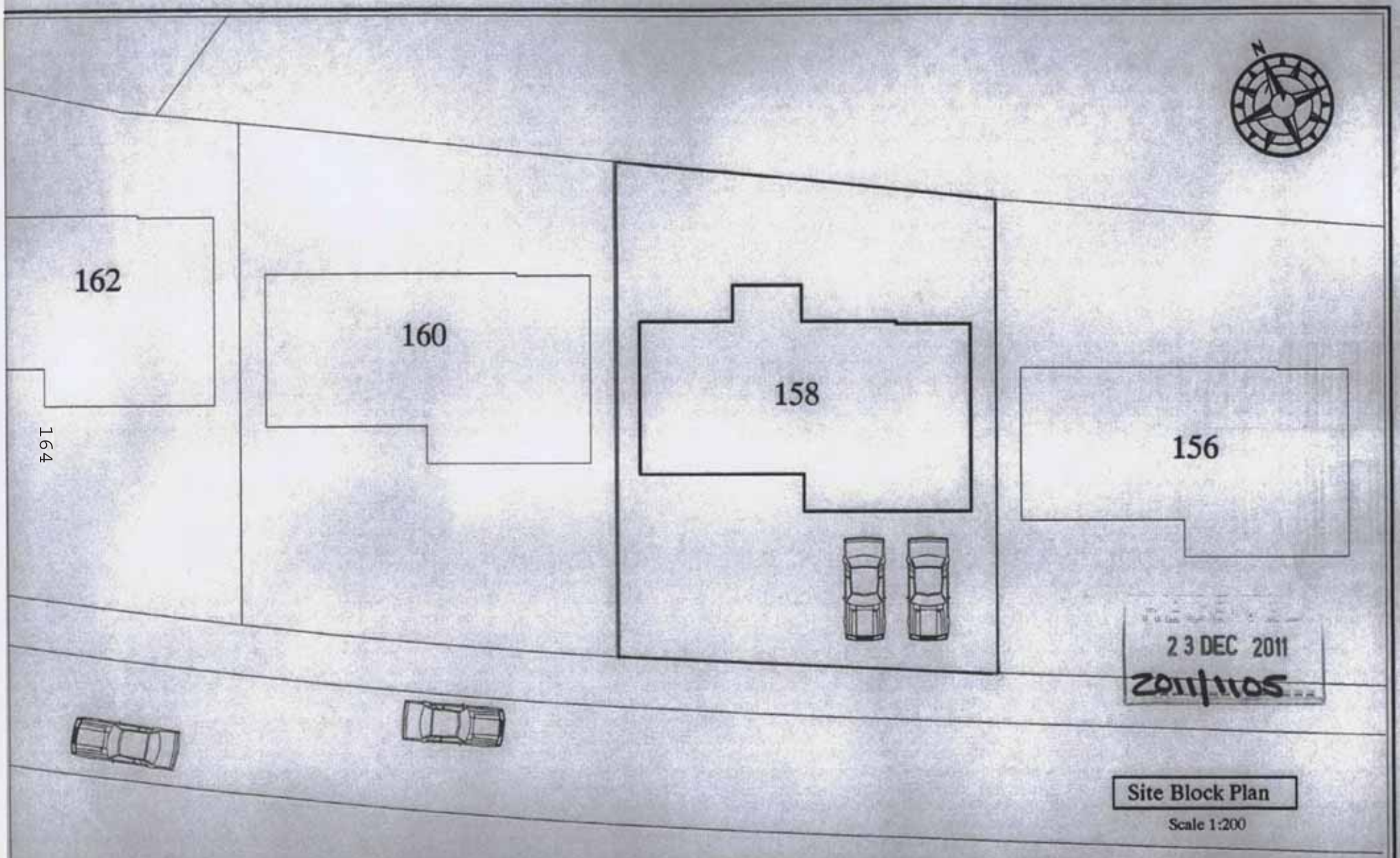


SITE LOCATION PLAN SS/EXT/SLP

Nº 158 GREENACRES WETHERAL CA4 8LU

SCALE 1:2500.

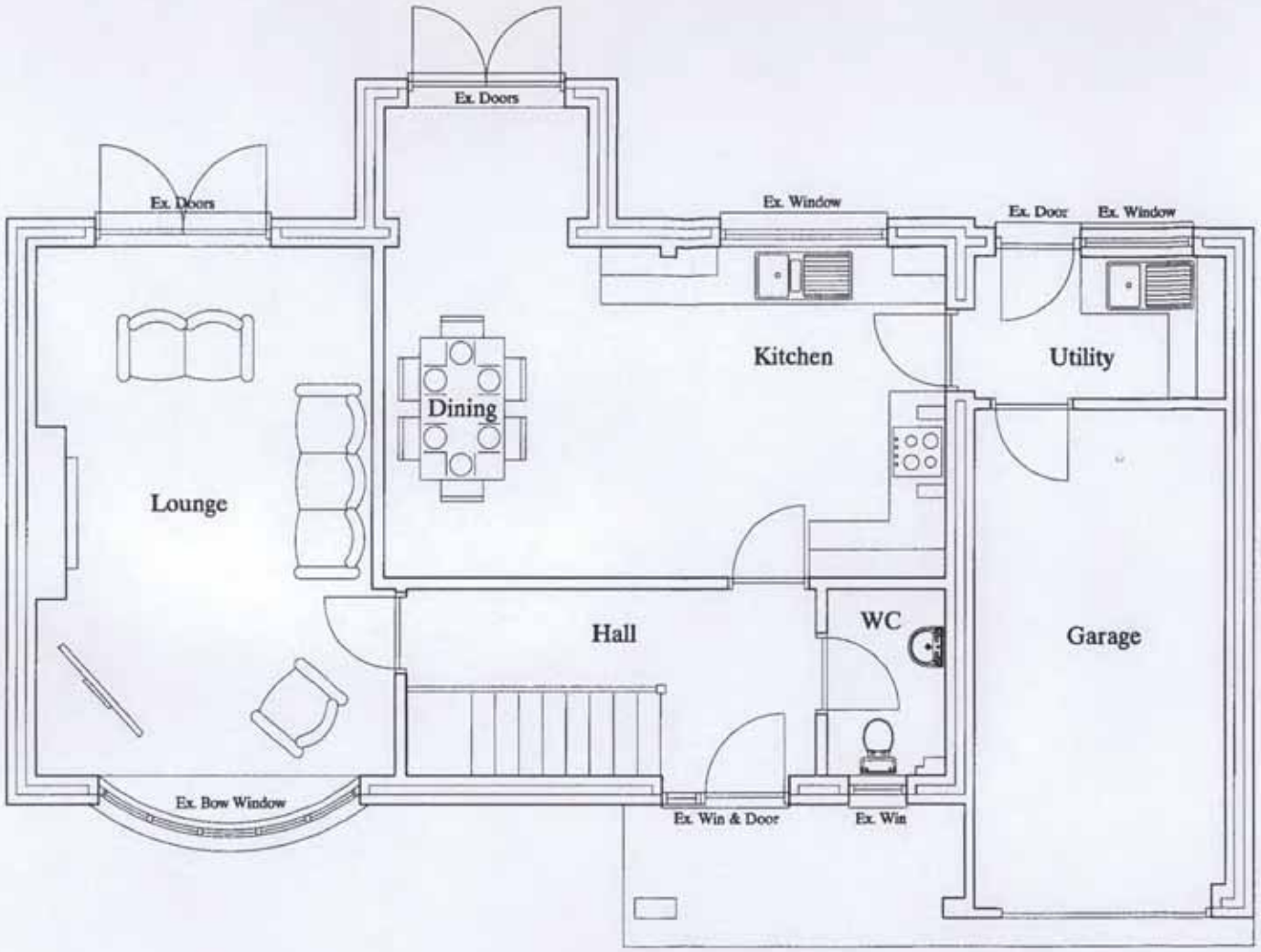
23 DEC 2011
2011/1105



Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:200
Date	12th December 2011
Drawing No	SS / EXT/ SBP Rev A



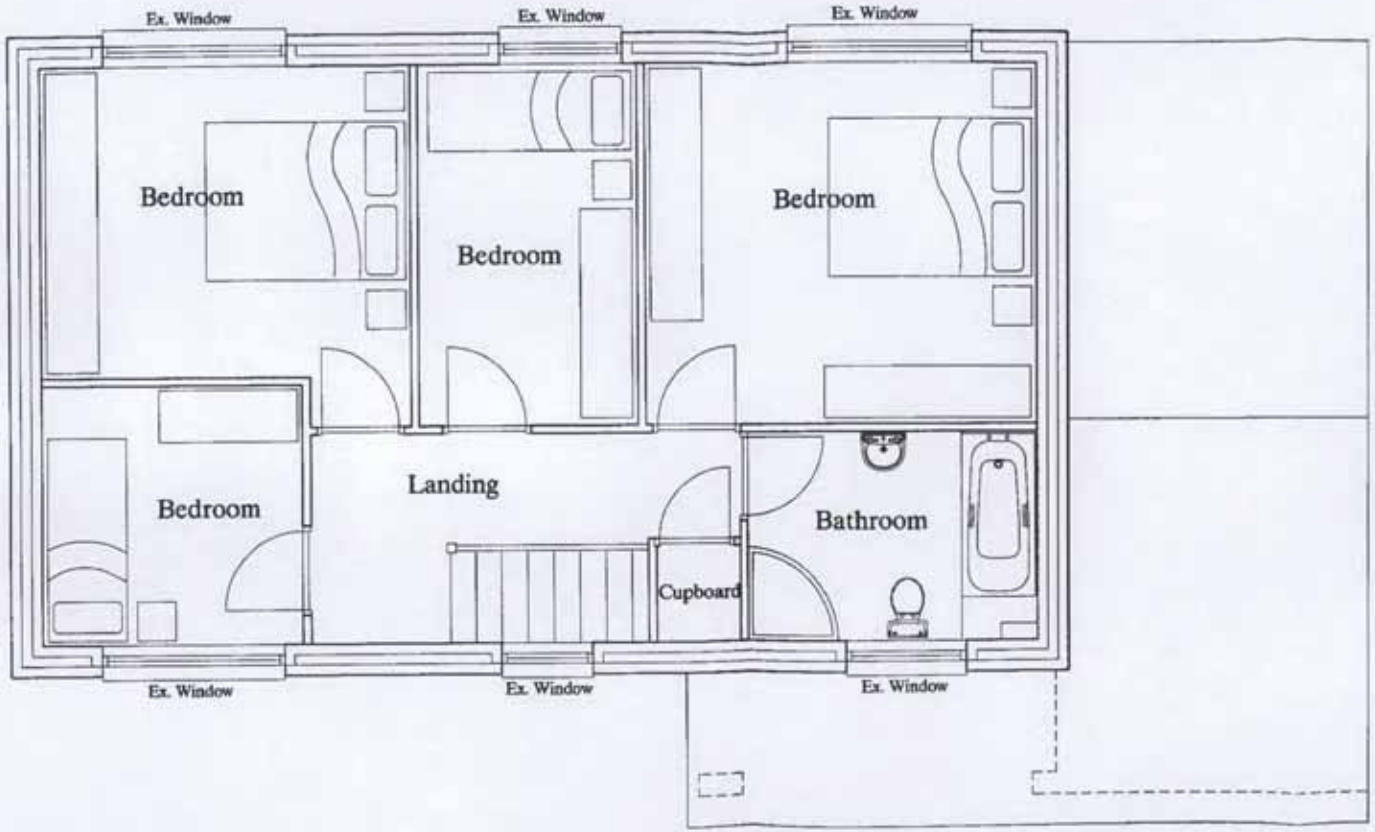
Existing Ground Floor Plan

23 DEC 2011
2011/1105

Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:50
Date	12th December 2011
Drawing No	SS / EXT/ 003 Rev A



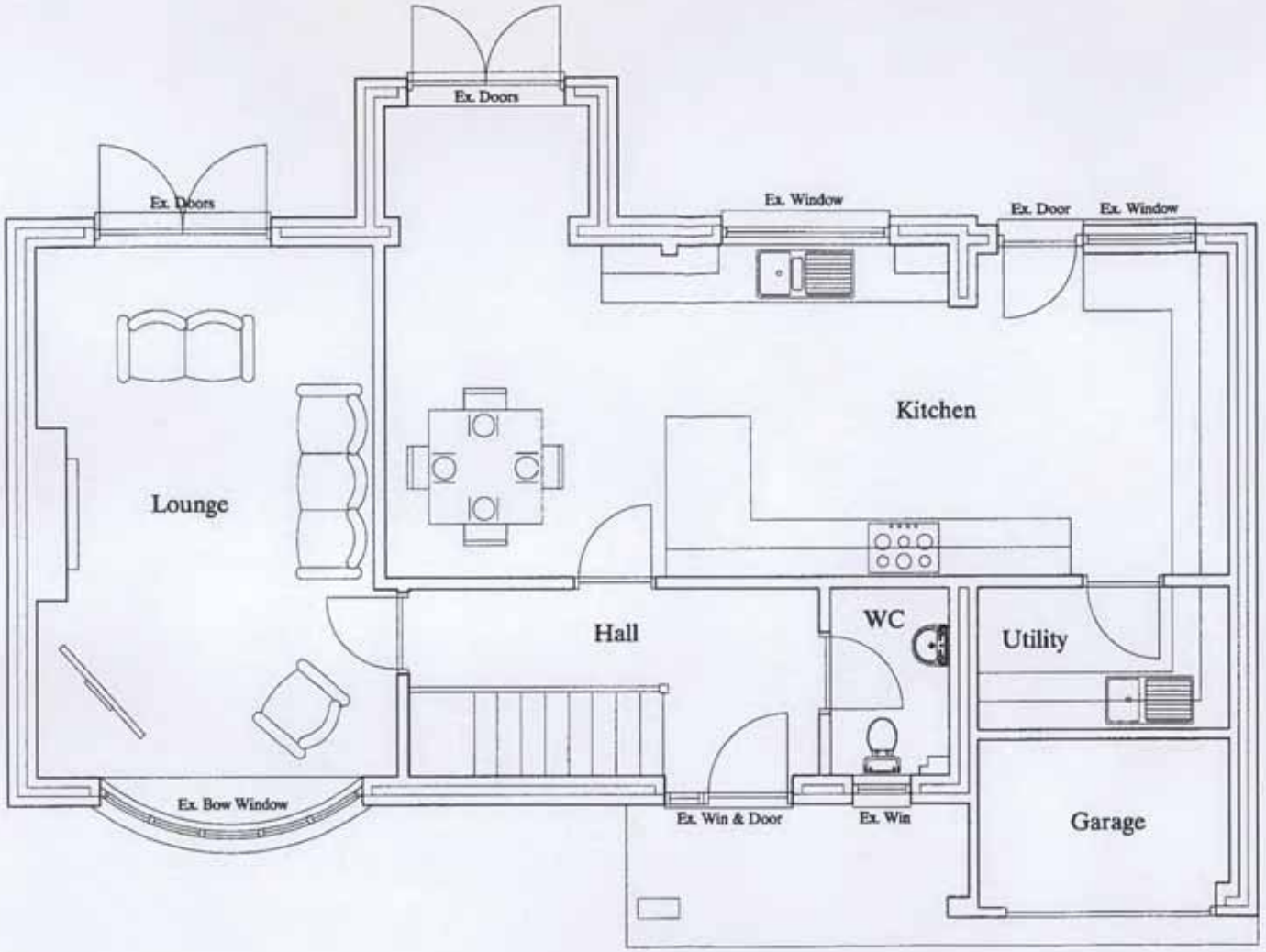
Existing First Floor Plan

RECEIVED
23 DEC 2011
2011/1105

Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:50
Date	12th December 2011
Drawing No	SS / EXT/ 004 Rev A



Proposed Ground Floor Plan

23 DEC 2011
2011/1105

Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:50
Date	12th December 2011
Drawing No	SS / EXT/ 005 Rev A

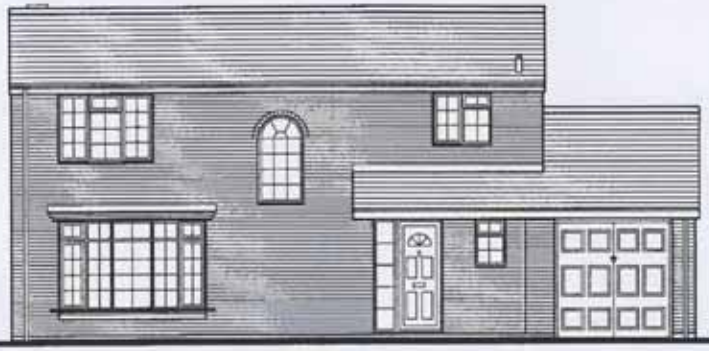
Proposed First Floor Plan

23 DEC 2011
2011/1105

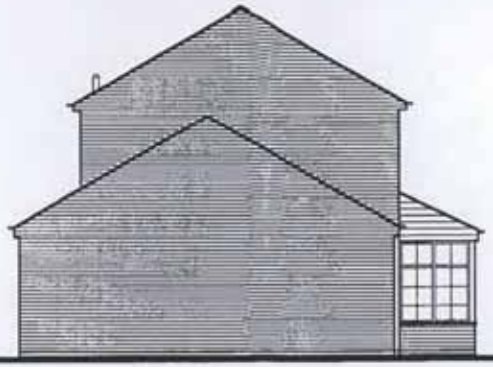
Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

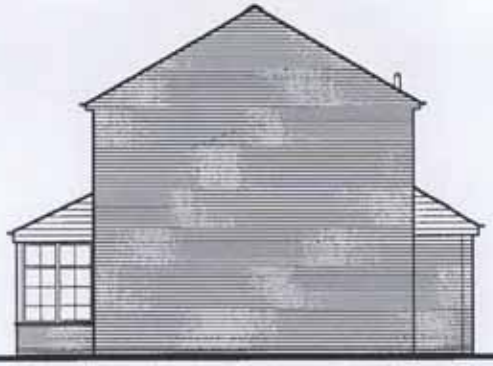
Drawn By	G.Tyler
Scale	1:50
Date	12th December 2011
Drawing No	SS / EXT/ 006 Rev A



Existing Front Elevation



Existing Side Elevation



Existing Side Elevation

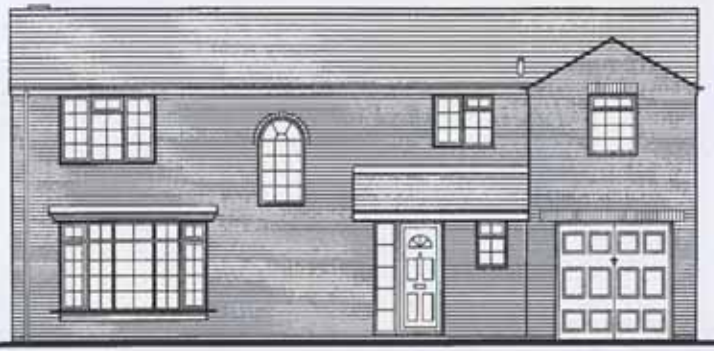
Existing Rear Elevation

23 DEC 2011
2011/1105

Rev.	Date	Description
A	12/12/11	Original Issue

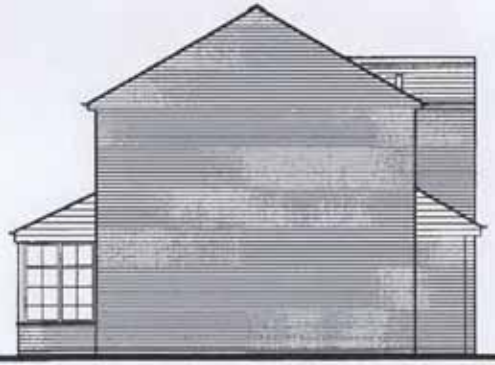
Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:100
Date	12th December 2011
Drawing No	SS / EXT/ 001 Rev A



Proposed Front Elevation

Proposed Side Elevation



Proposed Side Elevation

Proposed Rear Elevation

23 DEC 2011
2011/1105

Rev.	Date	Description
A	12/12/11	Original Issue

Proposed First Floor Extension to the Side Elevation of
No158 Greenacres Wetheral, Carlisle, CA4 8LU for Mrs S. Stashkiw

Drawn By	G.Tyler
Scale	1:100
Date	12th December 2011
Drawing No	SS / EXT/ 002 Rev A

SCHEDULE B

SCHEDULE B

SCHEDULE C

SCHEDULE C

Item No: 11 Between 01/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0131	Ashlea Veterinary Centre Ltd	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
01/03/2011		Castle
Location:		**Grid Reference:**
2 Port Road, Carlisle, Cumbria, CA2 7AJ		339077 555908

Proposal: Display Of 1no. Directional Fascia Sign

Amendment:

REPORT

Case Officer: Shona Taylor

Decision on Appeals:

Appeal Against: Against Advert Decision

Type of Appeal: Written Representations

Report: The appeal site relates to 2 Port Road, Carlisle, an end of terrace property facing onto one of the main thoroughfares into and out of the city. Advertisement consent was sought for the display of 1no. directional sign on the gable end of 2 Port Road, to direct people to Ashlea Veterinary Centre, which is located on Port Road Business Park.

The application was determined under delegated powers on the 12th February 2012 when it was refused on the following grounds:

"The site occupies a prominent roadside location adjacent to one of the main thoroughfares out of the City. The proposed sign would, by virtue of its siting and scale, contribute to general advertising clutter within the site and be an unduly obtrusive feature within the streetscene. The advertisements would consequently unacceptably detract from the visual amenity of the surroundings and would be unduly incongruous and obtrusive within the context of the amenity and character of the area, contrary to the objectives of PPG19 (Outdoor Advertisement Control) and Policy EC17 (Advertisements) of the Carlisle District Local Plan (2001-2016)."

Due to the position of the proposed sign, along with its design and size, the Council considered that the proposed sign would be a visually obtrusive

feature which would be highly visible within the street scene. It was also considered that the proposed advertisement, alongside existing advertisements, adjacent to the site (ie.at the entrance to the estate) would have created a cluttered appearance which would be detrimental to the character and appearance of the surrounding area. The Inspector considered the proposed sign would be an obtrusive and incongruous feature and add to the sense of visual clutter on the gable and in the street scene as a whole.

The Inspector concluded that the proposal would unacceptably harm the character and appearance of the area, and the appeal was dismissed.

Appeal Decision: Appeal Dismissed **Date:** 12/12/2011

SCHEDULE C: Applications Determined by Other Authorities

Item No: 12 Between 01/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/9106	Shanks Waste Management	Rockcliffe
Date of Receipt:	**Agent:**	**Ward:**
04/11/2011	Cumbria County Council	Longtown & Rockcliffe

Location:
Hespin Wood Landfill Site, Rockcliffe, Nr Carlisle, CA6 4BJ

Grid Reference:
336367 562961

Proposal: Discharge Of Conditions 19 And 20 Of Previously Approved Planning Application 08/9031

Amendment:

REPORT **Case Officer:** Stephen Daniel

City Council Observations on the Proposal:

Decision: City Council Observation - Raise Objection(s) **Date:** 29/11/2011

Decision of: Cumbria County Council

Decision Type: Grant Permission **Date:** 08/12/2011

A copy of the Notice of the decision of the Determining Authority is printed following the report.

Environment
Planning and Sustainability · County Offices · Busher Walk
Kendal · LA9 4RQ · Fax: 01539 713439
Tel 01539 713548 · Email developmentcontrol@cumbria.gov.uk

Cumbria County Council

Date: 8 December 2011
Reference: 1/08/9031

Mr Roberts
Mouchel
St John's House
Queen Street
Manchester
M2 5JB

Dear Mr Roberts

TOWN & COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2010 – Application Under Article 30

APPROVAL OF DETAILS PURSUANT TO CONDITIONS 19 and 20 OF PLANNING CONSENT: 1/08/9031

DEVELOPMENT: Resource Park
LOCATION: Hespin Wood Landfill Site, Todhills, Carlisle, Cumbria

I refer to your letter received 31 October 2011 submitting Drawing L0001 Rev A "Soft Landscaping Proposal", and your subsequent email of 6 December 2011 submitting Document "Scheme for the Provision of Renewable Energy - Northern and Southern Resource Parks", for approval.

I can confirm that these proposals, submitted in accordance with Conditions 19 and 20 of planning consent 1/08/9031, are acceptable and are hereby approved as of 8 December 2011.

Yours sincerely

Paul Feehily
Assistant Director - Planning & Sustainability

Item No: 13 Between 01/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
10/0736	Mr & Mrs P Cottam	Burgh-by-Sands
Date of Receipt:	**Agent:**	**Ward:**
12/08/2010	Taylor & Hardy	Burgh
Location:		**Grid Reference:**
Langstile, Burgh by Sands, Carlisle, CA5 6BD		332759 559447

Proposal: Erection Of Single Storey Two Bedroom Dwelling (Outline) (Revised Application)

Amendment:

REPORT

Case Officer: Stephen Daniel

Decision on Appeals:

Appeal Against: Appeal against refusal of planning perm.

Type of Appeal: Written Representations

Report: This appeal related to an outline application for the erection of a single-storey two bedroom dwelling at Langstile, North End, Burgh-by-Sands. The application was refused for the following reasons:

> The erection of a new dwelling in the garden to the front of the existing property, in close proximity to the road and with limited outdoor amenity space, would result in the overdevelopment of the site and have a detrimental impact on the character of the area. Furthermore, proximity of the dwelling to the “host” property and the level of outdoor amenity space to serve both properties is unsatisfactory, which would result in a detrimental impact on the living conditions of the occupiers of Langstile as well as the future occupiers of the proposed dwelling. The application is, therefore, contrary to criteria 2, 3 and 4 of Policy H1 (Location of New Housing Development) of the Carlisle District Local Plan 2001-2016; criteria 1, 2 and 3 of Policy H9 (Backland Development) of the Carlisle District Local Plan 2001-2016; criterion 5 of Policy CP5 (Design) of the Carlisle District Local Plan 2001-2016 and the objectives of Policy DP9 (Areas of Outstanding Natural Beauty) of the Carlisle District Local Plan 2001-2016.

The Inspector identified the main issues to be:

i) the effect of the proposal on the character and appearance of this part of the village;
ii) the effect of the proposal on the living conditions of the occupants of the existing bungalow and any future occupiers of the proposed bungalow, in relation to the garden area, privacy and outlook.

The Inspector considered that the proposed bungalow would appear somewhat cramped, being confined by a retaining wall and hedge separating it from Langstile to the west and by the proximity of hedges to the north and east. Whilst developments with similar densities and forward projection exist closer to the village centre, in this case the built form would not be in keeping with the more open, lower density character of this part of the street.

As a result of the proposal Langstile would be left with no front outlook. This from of tandem development would be entirely out of keeping with existing development in North End.

He concluded that the loss of the front garden and the introduction of a tandem form of development would be materially detrimental to the character and appearance of this part of the village and contrary to Policies H1 and CP5 of the CDLP, which require new development to respect local distinctiveness and landscape character and to respond to the local context.

On the second issue, the Inspector concluded that the proposal would not have a significant adverse effect on the living conditions of the occupiers of the existing bungalow or of any future occupiers of the proposed bungalow in relation to garden area, privacy and outlook. Whilst there would be a degree of harm to the residential amenity of Langstile it would not lead to unacceptable living conditions and there would not be any conflict with the objectives of Policy CP5 of the CDLP.

Conclusion

The Inspector found in favour of the appellant with regard to living conditions and took account of the applicant's personal circumstances and the benefits of an additional small dwelling within the village. However, these considerations do not outweigh the harm identified in relation to the impact on village character and appearance and the consequent conflict with the Local Plan.

The appeal was dismissed.

Appeal Decision: Appeal Dismissed **Date:** 09/01/2012

SCHEDULE D

SCHEDULE D

Item No: 14 Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0315	Mr & Mrs Farrer	Kirklinton Middle
Date of Receipt:	**Agent:**	**Ward:**
08/06/2011	PFK Planning	Lyne

Location:
Land between Longlands and Stonelea, Greenwoodside, Smithfield, CA6 6DL

Grid Reference:
344526 565491

Proposal: Proposed Live - Work Unit (Outline)

Amendment:

REPORT

Case Officer: Stephen Daniel

Details of Deferral:

Members will recall at Committee meeting held on 15th July 2011 that authority was given to the Assistant Director (Economic Development) to issue approval subject to the completion of a Section 106 Agreement to cover the live/ work unit.

This has been completed and the approval was issued on 6th January 2012.

Decision: Granted Subject to Legal Agreement **Date:** 06/01/2012

1. In case of any "Reserved Matter" application for approval shall be made not later than the expiration of 1 year beginning with the date of this permission, and the development shall be begun not later than whichever is the later of the following dates:

   i) The expiration of 3 years from the date of the grant of this permission, or

   ii) The expiration of 2 years from the final approval of the reserved matters, or, in the case of approval on different dates, the final approval of the last such matter to be approved.

   Reason: In accordance with the provisions of Section 92 of the Town and Country Planning Act 1990. (as amended by The Planning and Compulsory Purchase Act 2004).

2. Before any work is commenced, details of the layout, scale, appearance,

access and landscaping of the site (hereinafter called "reserved matters") shall be submitted to and approved by the Local Planning Authority.

Reason: The application was submitted as an outline application in accordance with the provisions of Article 3 of the Town and Country Planning (General Development Procedure) Order 1995.

3. The approved documents for this Outline Planning Permission comprise:

   1. the submitted planning application form;

   2. the planning, design and access statement dated 15th April 2011;

   3. the bird and badger report dated 8th June 2011;

   4. the phase 1 desk study report dated 8th June 2011;

   5. the site location plan (Plan 01) dated 18th April 2011;

   6. the block plan (Plan 02) dated 18th April 2011;

   7. the Notice of Decision; and

   8. any such variation as may subsequently be approved in writing by the Local Planning Authority.

   Reason: For the avoidance of doubt.

4. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

   Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. No development shall take place until full details of hard and soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

   Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local

Plan 2001-2016.

6. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans before the occupation of any unit hereby permitted.

   Reason: To ensure a satisfactory means of surface water disposal and in accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

7. No development shall commence until details of any walls, gates, fences and other means of permanent enclosure and/or boundary treatment to be erected have been submitted to and approved, in writing, by the Local Planning Authority.

   Reason: To ensure the rural character of the site is retained in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. The business/workspace areas of the live/work unit hereby approved shall not be used for any purpose other than for purposes falling within Use Class B1 of the Schedule to the Town and County Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any Statutory Instrument revoking and re-enacting that Order with or without modification.

   Reason: To preclude the possibility of the use of the premises for purposes inappropriate in the locality and to ensure that the proposal complies with Policy EC12 of the Carlisle District Local Plan 2001-2016.

9. Notwithstanding Condition 8 of this consent, the business/workspace areas of the live/work unit hereby approved can be used by A S Farrer Construction for building construction, furniture production and the production of modern art and sculptures.

   Reason: To preclude the possibility of the use of the premises for purposes inappropriate in the locality and to ensure that the proposal complies with Policy EC12 of the Carlisle District Local Plan 2001-2016.

10. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any other Order revoking and re-enacting that Order), no wall, fence or other means of enclosure shall be erected within any part of the site (other than those shown in any plans which

form part of this application), without the written approval of the Local Planning Authority.

Reason: To ensure that any form of enclosure is carried out in a co-ordinated manner that safeguards the character of the area in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

11. The development shall not commence until visibility splays providing clear visibility of 2.4metres by 120metres measured down the centre of the access road and the nearside channel line of the major road have been provided at the junction of the access road with the county highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grown within the visibility splay which obstruct the visibility splays. The visibility splays shall be constructed before general development of the site commences so that construction traffic is safeguarded.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

12. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained to the specification of the Local Planning Authority in consultation with the Highway Authority.

Reason: In the interests of road safety to support Local Transport Plan Policies LD5, LD7 and LD8.

13. The access and parking/turning requirements shall be substantially met before any building work commences on site so that constructional traffic can park and turn clear of the highway.

Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

14. Details of all measures to be taken by the applicant/developer to prevent surface water discharging onto or off the highway shall be submitted to the Local Planning Authority for approval prior to development being commenced. Any approved works shall be implemented prior to the development being completed and shall be maintained operational thereafter.

Reason: In the interests of highway safety and environmental management

and to support Local Transport Plan Policies LD7 and LD8.

15. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the live/ work unit to be erected in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the Local Planning Authority.

    Reason: To ensure that the character and attractive appearance of the building is not harmed by inappropriate alterations and/or extensions and that any additions which may subsequently be proposed satisfy the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

16. Notwithstanding the extent of the defined red line area, no development shall commence until a plan illustrating the extent of the domestic curtilage has been submitted to, and approved in writing, by the Local Planning Authority.

    Reason: To protect the rural character of the area, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

17. No development shall commence until a plan illustrating the extent of the external material storage area have been submitted to, and approved in writing, by the Local Planning Authority. Within this area, materials shall not be stacked or deposited on the hardstanding area to a height exceeding 2 metres above the adjacent ground level of the proposed site.

    Reason: To ensure that the proposed development is undertaken in a manner which safeguards the visual amenities of the area, in accordance with Policy of the Carlisle District Local Plan 2001-2016.

Item No: 15 Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
10/1008	Messrs D I & P A Bimson & Martin	Burgh-by-Sands
Date of Receipt:	**Agent:**	**Ward:**
16/11/2010		Burgh
Location:		**Grid Reference:**

SCHEDULE D: Reports on Previously Deferred Decisions

Field No.8620, (Land To North Of Langwath Cottage), Moorhouse, Carlisle 332862 557205

Proposal: Erection Of A Free Range Poultry Unit (Revised Application)

Amendment:

REPORT **Case Officer:** Stephen Daniel

Details of Deferral:

Members will recall at Committee meeting held on 28 January 2011 that authority was given to the Assistant Director (Economic Development) to issue approval subject to the position of the new access track being agreed with the Council's Landscape Officer. This has now been agreed and approval was issued on 7 December 2011.

Decision: Grant Permission **Date:** 07/12/2011

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

   Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

   1. the submitted planning application form;
   2. Design & Access Statement (Document 1 received 16 November 2010)
   3. Details of average current traffic movements per annum (Document 2 received 16 November 2010);
   4. Hedgerow Assessment (Document 3 received 16 November 2010);
   5. Block Plan (drawing 1, received 16 November 2010);
   6. Location Plan (drawing 2, received 16 November 2010);
   7. Floor Plan & Elevations (drawing 3, received 16 November 2010);
   8. Details of manure storage area (drawing 4, received 16 November 2010);

9. Proposed access track (Amended access track 2nd Amendment 27 November 2011, received 2 December 2011);

10. the Notice of Decision; and

11. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016 are met and to ensure a satisfactory external appearance for the completed development.

4. Trees and shrubs shall be planted in accordance with a scheme to be agreed with the Local Planning Authority before building work commences and the trees and shrubs shall be retained and maintained to the satisfaction of the Local Planning Authority. The scheme shall include the use of native species and shall also include a detailed survey of any existing trees and shrubs on the site and shall indicate plant species and those trees and shrubs to be retained. Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: To ensure that a satisfactory landscaping scheme in prepared in accordance with the objectives of Policy CP3 of the Carlisle District Local Plan 2001-2016.

5. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of surface water disposal and in accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

6. There shall be no vehicular access to or egress from the site other than via the approved access, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To avoid vehicles entering or leaving the site by an unsatisfactory access or route, in the interests of road safety and to support Local Transport Plan Policies LD7 and LD8.

7. The access drive shall be surfaced in bituminous or cement bound materials, or otherwise bound and shall be constructed and completed before development commences. This surfacing shall extend for a distance of at least 18m inside the site, as measured from the carriageway edge of the adjacent highway.

   Reason: In the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

8. Access gates, if provided, should be recessed no less than 18m as measured from the carriageway edge of the adjacent highway.

   Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

9. Before any development takes place, a plan shall be submitted for the prior approval in writing of the Local Planning Authority reserving adequate land for the parking of vehicles engaged in construction operations associated with the development hereby approved, and that land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

   Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

10. Details of all measures to be taken by the applicant/developer to prevent surface water discharging onto the highway shall be submitted to and approved in writing by the Local Planning Authority prior to development being commenced. Any approved works shall be implemented prior to the development being completed and shall be maintained operational thereafter.

    Reason: In the interests of highway safety and environmental management and to support Local Transport Plan Policies LD7 and LD8.

SCHEDULE E

SCHEDULE E

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0369
Applicant: Briery Homes Limited
Parish: Arthuret

Date of Receipt: 09/05/2011
Agent: MCK Associates Limited
Ward: Longtown & Rockcliffe

Location: Former Sawmill Site, Netherby Road, Longtown, Carlisle, CA6 5NS
Grid Reference: 338160 568945

Proposal: Replacement Of Plots 11-26, 42, 43, 54-57 And 85-90 Inc (28 Dwellings) with Plots 11-22, 42,43 And 85-90 Inc. (20 Dwellings) Relating To Previously Approved Application 08/1172

Amendment:

Decision: Granted Subject to Legal Agreement
Date: 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0641
Applicant: Mrs Sharu Prabhu Scott
Parish: Wetheral

Date of Receipt: 27/07/2011
Agent:
Ward: Wetheral

Location: Chapel House, Low Cotehill, Carlisle, CA4 0EL
Grid Reference: 347145 550567

Proposal: Variation Of Condition 3 (To Enable Occupation Of Holiday Let For Longer Periods) Of Previously Approved Planning Application 07/0634

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0663
Applicant: Riverside Carlisle
Parish: Farlam

Date of Receipt:
Agent:
Ward:

05/08/2011 HTGL Architects Ltd Irthing

Location:
Land at Crossgates Road, Hallbankgate, Cumbria

Grid Reference:
358214 559396

Proposal: Discharge Of Conditions 3 (Construction Of Footpath); 4 (Off Street Parking); 6 (Stone Wall To Boundary); 7 (Landscaping); 8 (Surface Water Drainage) And 9 (Foul Drainage) Of Previously Approved Planning Application 09/0998

Amendment:

Decision: Grant Permission **Date:** 28/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0689

Applicant:
Ms Mary Thorne

Parish:
Carlisle

Date of Receipt:
23/08/2011

Agent:

Ward:
Denton Holme

Location:
141 Denton Street, Carlisle, CA2 5HB

Grid Reference:
339774 555020

Proposal: Change Of Use From Dental Surgery To Residential Dwelling

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0728

Applicant:
ECM Vehicle Delivery Services Ltd

Parish:
Irthington

Date of Receipt:
24/08/2011

Agent:
HTGL Architects

Ward:
Stanwix Rural

Location:
L/Adj ECM Depot, The Airport, Carlisle, CA6 4NW

Grid Reference:
348349 561456

Proposal: Change Of Use Of Land From Agricultural To Extension To Existing Site Compound To Provide Improved Site Circulation Together with

Additional Parking

Amendment:

Decision: Withdrawn by Applicant/or by default
Date: 19/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0743	Newman Catholic School	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
07/11/2011		St Aidans
Location:		**Grid Reference:**
Newman Catholic School, Lismore Place, Carlisle, Cumbria, CA1 1NA		340696 556232

Proposal: Installation Of 1.8m High Gates To Sports Hall Car Park

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0782	Mitchells & Butlers	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
13/09/2011	Ashleigh Signs Limited	Botcherby
Location:		**Grid Reference:**
Toby Carvery, 491 Warwick Road, Carlisle, CA1 2SB		342539 556047

Proposal: Retention Of 3No. Internally Illuminated Signs, 1No. Externally Illuminated Sign And 1No. Lantern

Amendment:

Decision: Partial Express Consent **Date:**

21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0805

Applicant:
Mr Nelson

Parish:
St Cuthberts Without

Date of Receipt:
13/10/2011

Agent:
Myriad CEG

Ward:
Dalston

Location:
Howgill Farm, Carleton, Carlisle, CA4 0BS

Grid Reference:
344619 550266

Proposal: Erection Of 1no. Wind Turbines (11kW) Height 15 Metres On A Concrete Base To The South West Of The Property

Amendment:

Decision: Grant Permission **Date:** 05/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0826

Applicant:
Mr & Mrs Windess

Parish:
Burgh-by-Sands

Date of Receipt:
23/09/2011

Agent:
ARP Design

Ward:
Burgh

Location:
Marsh View, Dykesfield, Burgh by Sands, Carlisle, CA5 6AG

Grid Reference:
330665 559148

Proposal: Temporary Siting Of Static Caravan For A Period Of 3 Years For Use By Agricultural Worker

Amendment:

Decision: Refuse Permission **Date:** 04/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0828

Applicant:
Mrs Daphnie McWilliams

Parish:
Carlisle

Date of Receipt:	Agent:	Ward:
06/10/2011	Chris Brown Building Joinery	Stanwix Urban

Location:
Aldingham House, 1 Eden Mount, Stanwix Bank, Carlisle, CA3 9LZ

Grid Reference:
339976 556872

Proposal: Replacement Roof; Installation Of Insulation To Roof Area; Replacement Dormer Windows; Replacement Timber Doors To Ground Floor (LBC)

Amendment:

Decision: Grant Permission **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	Applicant:	Parish:
11/0830	Mr M & Mrs L Hodgson	Carlisle

Date of Receipt:	Agent:	Ward:
22/09/2011	S Butler Chartered Architect	Belah

Location:
7 Caird Avenue, Carlisle, CA3 9RQ

Grid Reference:
339126 557692

Proposal: Two Storey Rear Extension To Provide Additional Living Accommodation On Ground Floor With 2No. Bedrooms Above

Amendment:
1. Revised Block Plan Showing Additional Parking Provision

Decision: Refuse Permission **Date:** 04/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:	Applicant:	Parish:
11/0832	Mr Michael Crawshaw	Carlisle

Date of Receipt:	Agent:	Ward:
22/09/2011	Architects Plus (UK) Ltd	Botcherby

Location:
Durranhill Lodge, Durranhill Road, Carlisle, CA1

Grid Reference:
342683 555142

2RQ

Proposal: Demolition Of Sun Room; Erection Of Single Storey Extension To Provide Utility Room; Erection Of Two Storey Extension To Provide Sun Room With 2No. First Floor Bedrooms Above

Amendment:

Decision: Grant Permission **Date:** 11/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0833	Mr Michael Crawshaw	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
22/09/2011	Architects Plus (UK) Ltd	Botcherby

Location:
Durranhill Lodge, Durranhill Road, Carlisle, CA1 2RQ

Grid Reference:
342683 555142

Proposal: Demolition Of Sun Room; Erection Of Single Storey Extension To Provide Utility Room; Erection Of Two Storey Extension To Provide Sun Room With 2No. First Floor Bedrooms Above; Internal Alterations To Ground Floor Kitchen And First Floor Areas To Improve Access And Overall Bedroom Accommodation (LBC)

Amendment:

Decision: Grant Permission **Date:** 11/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0848	Mr Mike Gillies	Cummersdale
Date of Receipt:	**Agent:**	**Ward:**
10/10/2011	Hogg & Robinson (Design Services) Limited	Dalston

Location:
Land adjacent 49 Peter Lane, Carlisle, CA2 6BZ

Grid Reference:
337974 553255

Proposal: Erection Of Detached Dwelling

Amendment:

Decision: Grant Permission **Date:** 05/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0856

Applicant:
Mr Mahmud Ali

Parish:
Carlisle

Date of Receipt:
19/10/2011

Agent:
Johnston & Wright

Ward:
St Aidans

Location:
113 London Road, Carlisle, Cumbria, CA1 2LS

Grid Reference:
340961 555052

Proposal: Change Of Use From Retail To Hot Food Takeaway

Amendment:

Decision: Grant Permission **Date:** 14/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0862

Applicant:
Mrs Abigail Jenkinson

Parish:
Stanwix Rural

Date of Receipt:
11/10/2011

Agent:

Ward:
Stanwix Rural

Location:
3 Eden Mews, Crosby on Eden, Carlisle, CA6 4RB

Grid Reference:
344635 559471

Proposal: Installation Of Multi Fuel Stove And External Flue Pipe (LBC)

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0864

Applicant:
Mr Grant

Parish:
Orton

Date of Receipt: 10/10/2011
Agent: Gray Associates Limited
Ward: Burgh

Location: Cross House Barn, Great Orton, CA5 6NW
Grid Reference: 332837 554262

Proposal: Conversion And Extension Of Existing Barn To Create 1No. Dwelling

Amendment:

Decision: Grant Permission **Date:** 05/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0882
Applicant: Mr Timothy Cheetham
Parish: Farlam

Date of Receipt: 10/10/2011
Agent:
Ward: Multiple Wards

Location: Blackhill Cottage, Hallbankgate, Brampton, Cumbria, CA8 2NJ
Grid Reference: 358236 559602

Proposal: First Floor Extension Above Existing Cottage To Provide Two Bedrooms

Amendment:

Decision: Refuse Permission **Date:** 05/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0884
Applicant: Persimmon Homes Lancashire
Parish: Wetheral

Date of Receipt: 18/10/2011
Agent:
Ward: Wetheral

Location: Land adjacent Alexandra Drive, Durranhill Road, Carlisle
Grid Reference: 342900 555248

Proposal: Installation Of Mobile Sales Cabin (Revised/Retrospective)

Amendment:

Decision: Grant Permission **Date:** 12/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0886

Applicant:
Carlisle City Council

Parish:
Brampton

Date of Receipt:
23/11/2011

Agent:

Ward:
Brampton

Location:
Talkin Tarn Country Park, Brampton, CA8 1HN

Grid Reference:
353913 558867

Proposal: Creation Of A Small Shallow Pool For Waders

Amendment:

Decision: Grant Permission **Date:** 10/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0887

Applicant:
Mr & Mrs Stonehouse

Parish:
Stanwix Rural

Date of Receipt:
20/10/2011

Agent:
Tsada Building Design Services

Ward:
Stanwix Rural

Location:
6 Vestaneum, Crosby on Eden, Carlisle, CA6 4PN

Grid Reference:
344634 559550

Proposal: Conversion Of Garage To Living Area, Single Storey Side And Rear Extension To Provide Extended Kitchen And Sun Room With En-Suite Dressing Room And Erection Of Double Garage To Front Elevation

Amendment:

Decision: Grant Permission **Date:** 15/12/2011

Between 03/12/2011 and 13/01/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:
11/0888

Applicant:
Crown Bevcan UK PLC

Parish:
Carlisle

Date of Receipt:
12/10/2011

Agent:
Bingham Yates

Ward:
Botcherby

Location:
Crown Bevcan UK PLC, Borland Avenue, Botcherby, Carlisle, Cumbria, CA1 2TL

Grid Reference:
341862 555151

Proposal: Erection Of A Power Generation Building And A Full Processing Buildings

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0890

Applicant:
The Trustees

Parish:
Stanwix Rural

Date of Receipt:
28/10/2011

Agent:
Chair Of Hall Management Committee

Ward:
Stanwix Rural

Location:
Crosby on Eden Parish Hall, Low Crosby, Crosby On Eden, Carlisle, Cumbria, CA6 4QN

Grid Reference:
344498 559543

Proposal: Temporary Siting Of Shipping Container

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0891

Applicant:
Mr Holliday

Parish:
Burgh-by-Sands

Date of Receipt:
28/10/2011

Agent:
P W Temple Ltd

Ward:
Burgh

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:
Demesne Cottage, Burgh by Sands, Carlisle, CA5 6AW

Grid Reference:
332795 559143

Proposal: Demolition Of Existing Barn And Erection Of Building For Workshop

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0892

Applicant:
Mr Holliday

Parish:
Burgh-by-Sands

Date of Receipt:
28/10/2011

Agent:
P W Temple Ltd

Ward:
Burgh

Location:
Demesne Cottage, Burgh by Sands, Carlisle, CA5 6AW

Grid Reference:
332795 559143

Proposal: Demolition Of Existing Barn (Conservation Area Consent)

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0893

Applicant:
Bendles Solicitors

Parish:

Date of Receipt:
10/11/2011

Agent:

Ward:
Castle

Location:
Bendles Solicitors, 22 Portland Square, Carlisle, CA1 1PE

Grid Reference:
340507 555662

Proposal: Works To Frontage Of Building (LBC)

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 05/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0899

Applicant:
Mr Little

Parish:
Bewcastle

Date of Receipt:
12/10/2011 23:00:22

Agent:
RodneyJeremiah

Ward:
Lyne

Location:
Hillhead Farm, Bailey, Newcastleton, TD9 0TT

Grid Reference:
350904 580488

Proposal: Two Storey Side And Rear Extensions To Provide Additional Living Accommodation, Sunroom And Granny Annexe On Ground Floor, With 1No. Master Bedroom Suite Above

Amendment:

Decision: Grant Permission **Date:** 07/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0902

Applicant:
Stoddart Fuels

Parish:
Farlam

Date of Receipt:
25/10/2011

Agent:
Hogg & Robinson Design Services

Ward:
Irthing

Location:
Former Kirkhouse Brickworks, Kirkhouse, Brampton

Grid Reference:
356548 559950

Proposal: Renovation And Conversion Of Old Brickworks Managers Office And Residence To 1No. Dwelling With Detached Garage And Office To Coal Yard

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: **Applicant:** **Parish:**

SCHEDULE E: Decisions Issued Under Delegated Powers

11/0904	Space ID	Kingwater
Date of Receipt: 18/10/2011	**Agent:** Space ID	**Ward:** Multiple Wards
Location: Bowman House, Walton, Brampton, CA8 2BA		**Grid Reference:** 354677 566838

Proposal: Single Story Rear Extension To Provide Additional Living Accommodation

Amendment:

Decision: Grant Permission **Date:** 07/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0906	**Applicant:** Mr Harbach	**Parish:** Stanwix Rural
Date of Receipt: 19/10/2011	**Agent:** Black Box Architects Limited	**Ward:** Stanwix Rural
Location: The Old Police House, Crosby on Eden, Carlisle, CA6 4QN		**Grid Reference:** 344660 559532

Proposal: Removal Of Existing Garage; Erection Of Two Storey Side And Single Storey Rear Extension To Provide Playroom, Garage, Utility Room And Kitchen On Ground Floor, With 2No. Bedrooms, Bathroom And Study Above

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0912	**Applicant:** Beattie & Bell	**Parish:** Burgh-by-Sands
Date of Receipt: 18/10/2011	**Agent:** Mr Brian Child	**Ward:** Burgh

Location:
The Garage, Burgh by Sands, Carlisle, CA5 6AP

Grid Reference:
332744 559104

Proposal: Renewal Of Unexpired Permission Of Previously Approved Permission 08/0973 For Proposed Demolition Of Commercial Garage And Erection Of 2No. Two Storey Detached Dwellings

Amendment:

Decision: Grant Permission **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0913

Applicant:
Beattie & Bell

Parish:
Burgh-by-Sands

Date of Receipt:
18/10/2011

Agent:
Mr Brian Child

Ward:
Burgh

Location:
The Garage, Burgh by Sands, Carlisle, CA5 6AP

Grid Reference:
332744 559104

Proposal: Renewal Of Unexpired Permission Of Previously Approved Permission 08/0991 For Proposed Demolition Of Commercial Garage (CAC)

Amendment:

Decision: Grant Permission **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0914

Applicant:
Ms Muriel Losh

Parish:

Date of Receipt:
21/10/2011

Agent:
Architectural Design & Planning Ltd

Ward:
Dalston

Location:
Gale Garth, 14 Carlisle Road, Dalston, Carlisle, CA5 7NG

Grid Reference:
337043 550595

Proposal: Single Storey Rear Kitchen Extension

Amendment:

Decision: Grant Permission **Date:** 16/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0915

Applicant:
Mr Michael Downham

Parish:
Solport

Date of Receipt:
17/11/2011

Agent:

Ward:
Lyne

Location:
Low Luckens Farmstead, Low Luckens, Roweltown, Carlisle, Cumbria, CA6 6LJ

Grid Reference:
349388 572584

Proposal: Installation Of Anaerobic Digester, Associated Plant And Machinery

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0919

Applicant:
Mrs Judith Thomson

Parish:
Carlisle

Date of Receipt:
01/11/2011

Agent:
Concept Support Ltd

Ward:
Stanwix Urban

Location:
Eden Brae, 20 Brampton Road, Carlisle, CA3 9AW

Grid Reference:
340565 557185

Proposal: Erection Of Summer House In Rear Garden And Installation Of 2no. Skylights In Roof (Part Retrospective)

Amendment:

Decision: Grant Permission **Date:** 19/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0921

Applicant:
Mr Graham

Parish:

Date of Receipt: 21/10/2011 23:00:21
Agent:
Ward: Stanwix Urban

Location: 19 Knowe Road, Carlisle, CA3 9EQ
Grid Reference: 340047 557362

Proposal: Two Story Side Extension To Provide Attached Garage On Ground Floor With 1No. Bedroom And Shower Room Above; Single Storey Rear Extension To Provide Kitchen/Diner

Amendment:

Decision: Grant Permission **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0923
Applicant: Mr Russell Masters
Parish: Carlisle

Date of Receipt: 10/11/2011
Agent: CC Build Solutions
Ward: Currock

Location: 15 Currock Park Avenue, Carlisle, CA2 4DH
Grid Reference: 340142 554199

Proposal: Demolition Of Garage And Erection Of Single Storey Side Extension To Provide 1no. Bedroom And Utility, Enlarging Of Driveway To Provide Parking For 2no. Cars

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0925
Applicant: Wapping Property Limited
Parish: Carlisle

Date of Receipt: 24/10/2011
Agent: Architects Plus (UK) Ltd
Ward: Currock

Location: Routledges The Bakers, 85 Blackwell Road, Carlisle, CA2 4AJ
Grid Reference: 340562 554553

Proposal: Discharge Of Condition 3 (Roofing Material) Of Previously Approved Permission 11/0703

Amendment:

Decision: Grant Permission **Date:** 16/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0928	Robert Tweddle (T.M.H.C.) Ltd	Arthuret
Date of Receipt:	**Agent:**	**Ward:**
31/10/2011	TSF Developments Ltd	Longtown & Rockcliffe

Location:
Unit 29, Brampton Road, Longtown Carlisle CA6 5TR

Grid Reference:
340158 567270

Proposal: Extensions To Workshop To Provide Internal Wash Area And Unit Spray Booth Area

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0929	D Connell Courier Services	
Date of Receipt:	**Agent:**	**Ward:**
01/11/2011	Cartmell Shepherd	Belah

Location:
Unit 3, Site 82 Blackdyke Road, Kingstown Industrial Estate, Carlisle, Cumbria, CA3 0PJ

Grid Reference:
338900 559515

Proposal: Change Of Use To Courier Depot And Fleet Vehicle Workshop

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0934

Applicant:
William Hill Organization Ltd

Parish:

Date of Receipt:
07/11/2011

Agent:
William Hill

Ward:
St Aidans

Location:
2 Alexander Street, Carlisle, CA1 2LH

Grid Reference:
340930 555081

Proposal: Display Of 2no. Externally Illuminated Fascia Signs And 2no. Externally Illuminated Hanging Signs

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0936

Applicant:
Mr Mike Swindlehurst

Parish:
Carlisle

Date of Receipt:
03/11/2011

Agent:
Hurd Rolland Partnership Chartered Architects

Ward:
Castle

Location:
Sands Centre, The Sands, Carlisle, CA1 1JQ

Grid Reference:
340185 556503

Proposal: Display Of Illuminated And Non Illuminated Signage (Revised Application)

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: **Applicant:** **Parish:**

11/0937	Mr A Whitaker	Stanwix Rural
Date of Receipt: 03/11/2011	**Agent:**	**Ward:** Stanwix Rural
Location: Batt House, Crosby on Eden, Carlisle, CA6 4RA		**Grid Reference:** 346179 558479

Proposal: Demolition Of Grain Store And Conversion Of 2No.Remaining Outbuildings To Provide

2No. Dwellings Within Existing Courtyard

Amendment:

Decision: Refuse Permission **Date:** 29/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0938	**Applicant:** Mr & Mrs Tuer	**Parish:** Westlinton
Date of Receipt: 27/10/2011 13:00:30	**Agent:** Tsada Building Design Services	**Ward:** Longtown & Rockcliffe
Location: North View, Blackford, Carlisle, CA6 4EA		**Grid Reference:** 339711 562321

Proposal: Proposed Livestock Shed And Access Passage Way (Retrospective Application)

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0939	**Applicant:** Mr Michael Johnston	**Parish:** Kirklinton Middle
Date of Receipt: 27/10/2011	**Agent:**	**Ward:** Lyne
Location: Becklands, Blackford, Carlisle, Cumbria		**Grid Reference:** 340994 564620

Proposal: Erection Of Double Garage And Workshop

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0940	Mr Ion	Wetheral
Date of Receipt:	**Agent:**	**Ward:**
27/10/2011 23:00:26	Brian Child	Wetheral
Location:		**Grid Reference:**
80 Greenacres, Wetheral, Carlisle, CA4 8LD		346114 554964

Proposal: Erection Of Single Storey Side Extension To Provide En-Suite And Dressing Room

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0943	Mr David Mallinson	Dalston
Date of Receipt:	**Agent:**	**Ward:**
28/10/2011	Taylor & Hardy	Dalston
Location:		**Grid Reference:**
Cardew Lodge, Dalston, Carlisle, Cumbria, CA5 7JQ		333718 549118

Proposal: Subdivision Of Existing Dwelling To Form 3No. Additional Dwellings

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0944

Applicant:
Mr David Mallinson

Parish:
Dalston

Date of Receipt:
28/10/2011

Agent:
Taylor & Hardy

Ward:
Dalston

Location:
Cardew Lodge, Dalston, Carlisle, Cumbria, CA5 7JQ

Grid Reference:
333718 549118

Proposal: Subdivision Of Existing Dwelling To Form 3No. Additional Dwellings (LBC)

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0946

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
31/10/2011 16:00:33

Agent:
Gray Associates Limited

Ward:
Denton Holme

Location:
Carlisle Cemetery & Crematorium, Richardson Street, Carlisle, CA2 6AL

Grid Reference:
338817 553985

Proposal: Single Storey Office Extension

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0948

Applicant:
Mr P & Mrs L Strong

Parish:
St Cuthberts Without

Date of Receipt:
07/11/2011

Agent:

Ward:
Dalston

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:
Town Head Farmhouse, Ratten Row, Dalston, Carlisle, CA5 7AY

Grid Reference:
339370 549589

Proposal: Installation Of 16no. PV Panels On Barn Roof

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0949

Applicant:
Mr Christopher Sunderland

Parish:

Date of Receipt:
09/11/2011

Agent:

Ward:
Castle

Location:
131 Botchergate, Carlisle, CA1 1RZ

Grid Reference:
340554 555407

Proposal: Change Of Use From Retail To Licensed Cafe

Amendment:

Decision: Grant Permission **Date:** 13/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0950

Applicant:
Mr C Deans

Parish:
Dalston

Date of Receipt:
15/11/2011

Agent:

Ward:
Dalston

Location:
Oak Hill Cottage, Cardew, Dalston, Carlisle, Cumbria, CA5 7JQ

Grid Reference:
334793 549884

Proposal: Change Of Use From Agricultural Land To Domestic Garden

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0951

Applicant:
Mr & Mrs Peter & Lorna Strong

Parish:
St Cuthberts Without

Date of Receipt:
07/11/2011

Agent:

Ward:
Dalston

Location:
Town Head Farmhouse, Ratten Row, Dalston, Carlisle, Cumbria, CA5 7AY

Grid Reference:
339370 549589

Proposal: Installation Of 16no. PV Panels On Barn Roof (LBC)

Amendment:

Decision: Grant Permission **Date:** 06/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0954

Applicant:
Miss K E Chandler

Parish:
Carlisle

Date of Receipt:
02/11/2011

Agent:
Jock Gordon

Ward:
Currock

Location:
28 Lund Crescent, Carlisle, CA2 4DB

Grid Reference:
340009 554152

Proposal: Erection Of Two Storey Rear Extension To Provide Kitchen And Utility On Ground Floor With En-Suite Bedroom Above

Amendment:

Decision: Grant Permission **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0956

Applicant:
Mr & Mrs Windess

Parish:
Burgh-by-Sands

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
02/11/2011 16:00:27

Agent:
ARP Design

Ward:
Burgh

Location:
Marsh View, Dykesfield, Burgh by Sands, Carlisle, CA5 6AG

Grid Reference:
330610 559157

Proposal: Erection Of Agricultural Building

Amendment:

Decision: Refuse Permission **Date:** 29/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0957

Applicant:
Mr Carroll

Parish:
Carlisle

Date of Receipt:
23/11/2011

Agent:

Ward:
St Aidans

Location:
214 Warwick Road, Carlisle, Cumbria, CA1 1lH

Grid Reference:
341355 555875

Proposal: Change Of Use From 2no. Flats To 1no. Dwelling

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0958

Applicant:
Mr J Deane & Ms G Houston

Parish:
Hethersgill

Date of Receipt:
10/11/2011

Agent:

Ward:
Lyne

Location:
Rigghead Farm, Kirklinton, Carlisle, CA6 6DR

Grid Reference:
344473 566888

Proposal: Installation Of 16No. Solar Photovoltaic Panels To Barn Roof

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 12/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0959

Applicant:
TG & K Fisher

Parish:
Irthington

Date of Receipt:
04/11/2011

Agent:
H & H Bowe Ltd

Ward:
Stanwix Rural

Location:
The Glebe, Hethersgill, Carlisle, CA6 6EZ

Grid Reference:
348853 564982

Proposal: Proposed Roof Over Existing Silage Pit

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0960

Applicant:
Mr J Deane & Ms G Houston

Parish:
Hethersgill

Date of Receipt:
10/11/2011

Agent:

Ward:
Lyne

Location:
Rigghead Farm, Kirklinton, Carlisle, CA6 6DR

Grid Reference:
344473 566888

Proposal: Installation Of 16No. Solar Photovoltaic Panels To Barn Roof (LBC)

Amendment:

Decision: Grant Permission **Date:** 12/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0961

Applicant:
Lovell Partnership Ltd

Parish:

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
03/11/2011 23:00:34

Agent:
Ainsley Gommon Architects

Ward:
Belle Vue

Location:
Site F, Brookside, Raffles Estate, Carlisle, CA2 7JR

Grid Reference:
338187 555851

Proposal: Discharge Of Conditions 3 (Samples/Details Of Materials); 4 (Carriageways, Footways, Footpaths, Cycle Ways); 7 (Parking For Construction Vehicles); 9 (Landscaping Scheme); 12 (Hard Surface Finishes) And 14 (Surface Water Disposal) Of Previously Approved Permission 11/0135

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0964

Applicant:
Dr Wagstaff

Parish:
Castle Carrock

Date of Receipt:
04/11/2011 13:00:35

Agent:

Ward:
Great Corby & Geltsdale

Location:
The Rectory, Rectory Road, Castle Carrock, Brampton, CA8 9LZ

Grid Reference:
354221 555365

Proposal: Installation Of Solar Panels To Roof (Rear Elevation) (LBC)

Amendment:

Decision: Grant Permission **Date:** 05/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0966

Applicant:
Leslie's Nurseries

Parish:
St Cuthberts Without

Date of Receipt:
07/11/2011

Agent:
Higgins Design Services

Ward:
Dalston

Location:
Site Office, Leslie's Nurseries, Durdar Road,

Grid Reference:
340716 551670

Carlisle, Cumbria, CA2 4TR

Proposal: Erection Of General Purpose Building

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0967	Mr Hall	Stanwix Rural
Date of Receipt:	**Agent:**	**Ward:**
08/11/2011	H&H Bowe Ltd.	Stanwix Rural
Location:		**Grid Reference:**
Land to rear of 19 The Green, Houghton, Carlisle, CA3 0NF		340775 559387

Proposal: Erection Of 1No. Dwelling House (Outline)

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0968	PSA	St Cuthberts Without
Date of Receipt:	**Agent:**	**Ward:**
14/11/2011	Pettit Singleton Associates	Dalston
Location:		**Grid Reference:**
Carleton Clinic, Cumwhinton Drive, Carlisle, CA1 3SX		343680 553351

Proposal: Installation Of Photovoltaic Panels On Roof

Amendment:

Decision: Grant Permission **Date:** 19/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0969
Applicant: Mr Martin Bernie
Parish: Kirkandrews

Date of Receipt: 07/11/2011
Agent: Abacus Building Design
Ward: Longtown & Rockcliffe

Location: Sunnyrigg Farm, The Moat, Longtown, Carlisle, Cumbria, CA6 5PQ
Grid Reference: 341772 573728

Proposal: Erection Of Single Storey Extension To Provide 2no. Bedrooms, Bathroom And Family Room; Raising Of Roof And Using Existing Attic Space As Storage

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0970
Applicant: Orton Grange Farm Shop
Parish: Orton

Date of Receipt: 10/11/2011
Agent: Gray Associates Limited
Ward: Burgh

Location: Orton Grange Farm, Dalston, Carlisle, CA5 6LA
Grid Reference: 335212 551975

Proposal: Change Of Use From Bedrooms To Beauty Treatment Room

Amendment:

Decision: Grant Permission **Date:** 05/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0971
Applicant: Mr M Ashworth
Parish: Irthington

Date of Receipt: 09/11/2011
Agent: Hogg & Robinson (Design
Ward: Stanwix Rural

Services) Limited

Location:
The Hollies, Irthington, Carlisle, CA6 4NN

Grid Reference:
350047 561801

Proposal: Raising Roofpitch On Adjoining Log Store To Accommodate New Slate Roof (LBC)

Amendment:

1. Raniwater goods amended to “Legacy” 125mm plain half round cast gutter

2. Use of painted render on front elevation in place of painted brick

Decision: Grant Permission **Date:** 12/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0972

Applicant:
Mr Hinson

Parish:
Cumrew

Date of Receipt:
08/11/2011 13:01:12

Agent:
MMC Engineering Services Ltd

Ward:
Great Corby & Geltsdale

Location:
Turnberry House, Cumrew, Heads Nook, Brampton, CA8 9DN

Grid Reference:
355028 551853

Proposal: Erection Of A 5kW Wind Turbine With A Hub Height Of 12m (Revised Application)

Amendment:

Decision: Grant Permission **Date:** 03/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0973

Applicant:
Mr Richard Sutcliffe

Parish:
Walton

Date of Receipt:
11/11/2011

Agent:

Ward:
Multiple Wards

Location:

Grid Reference:

Sandysike Farmhouse, Walton, Brampton, CA8 2DU — 351583 564085

Proposal: Installation Of Solar Panels (LBC)

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0974
Applicant: Messrs RI & VA Telford
Parish: Stapleton

Date of Receipt: 11/11/2011
Agent: C & D Property Services
Ward: Lyne

Location: Low Dappleymoor, Roadhead, CA6 6NH
Grid Reference: 350300 573912

Proposal: Erection Of Agricultural Workers Dwelling (Outline)

Amendment:

Decision: Grant Permission **Date:** 04/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/0980
Applicant: Mr Barry Anson
Parish: Farlam

Date of Receipt: 21/11/2011
Agent:
Ward: Multiple Wards

Location: 5 Post Office Terrace, Tindale Fell, Brampton, CA8 2QH
Grid Reference: 361725 559421

Proposal: Erection Of Replacement Garage

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0983

Applicant:
Mr & Mrs A Tarn

Parish:
Burgh-by-Sands

Date of Receipt:
22/11/2011

Agent:
Graham K Norman (Architect) Limited

Ward:
Burgh

Location:
Milton House, North End, Burgh by Sands, Carlisle, CA5 6BD

Grid Reference:
332720 559266

Proposal: Two Storey Extension To Provide Enlarged Breakfast Room With Sun Room Above

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0984

Applicant:
Mr Bowers

Parish:

Date of Receipt:
10/11/2011 16:00:24

Agent:
Black Box Architects Limited

Ward:
Castle

Location:
26 Castle Street, Carlisle, CA3 8TP

Grid Reference:
339818 556047

Proposal: Change Of Use From Commercial To Single Private Dwelling (Part Retrospective/Revised Application)

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0985

Applicant:
Mr Bowers

Parish:

Date of Receipt:
10/11/2011 16:00:24

Agent:
Black Box Architects Limited

Ward:
Castle

Location:
26 Castle Street, Carlisle, CA3 8TP

Grid Reference:
339818 556047

Proposal: Change Of Use From Commercial To Single Private Dwelling (LBC) (Part Retrospective/Revised Application)

Amendment:

Decision: Grant Permission **Date:** 20/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0986

Applicant:
Mr Mitchinson

Parish:
Burgh-by-Sands

Date of Receipt:
14/11/2011

Agent:
John Lyon Associates Ltd

Ward:
Burgh

Location:
Croft House, Boustead Hill, Burgh by Sands, Carlisle, CA5 6AA

Grid Reference:
329273 559064

Proposal: Discharge Of Condition 3 (Archaeological Historic Building Recording Survey) Of Previously Approved Appn Ref: 11/0552

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0987

Applicant:
Mr Sellers

Parish:
Irthington

Date of Receipt:
11/11/2011

Agent:
Co-ordinate (Cumbria) Limited

Ward:
Stanwix Rural

Location:
Polperro, Newtown, Irthington, Carlisle, CA6 4PF

Grid Reference:
349880 562670

Proposal: Erection Of Replacement Garage

Amendment:

Decision: Grant Permission **Date:** 23/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0988	Mr Herbert Coulter	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
11/11/2011	GC Building & Plastering	Belle Vue

Location:
36 Grinsdale Avenue, Carlisle, Cumbria, CA2 7LX

Grid Reference:
337226 556237

Proposal: Proposed Extension To Front Elevation To Extend Garage And Provide Porch; Replace Flat Roof With Pitched

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0989	W Bimson & Sons Ltd	Carlisle
Date of Receipt:	**Agent:**	**Ward:**
21/11/2011	Planning Branch Ltd	Harraby

Location:
Land adjacent 4b Brunel Way, Durranhill Industrial Estate, CA1 3NQ

Grid Reference:
341619 554681

Proposal: Discharge Of Condition 6 (External Lighting) Of Previously Approved Permission 11/0582

Amendment:

Decision: Grant Permission **Date:** 28/12/2011

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0990

Applicant:
Mr & Mrs White

Parish:
Carlisle

Date of Receipt:
17/11/2011

Agent:
Tsada Building Design Services

Ward:
Harraby

Location:
42 Mallyclose Drive, Carlisle, CA1 3HH

Grid Reference:
342502 553383

Proposal: Erection Of Single Storey Side And Rear Extension To Provide Extended Kitchen And Dining Room, Erection Of Porch To Front Elevation Together With Pitched Roof Above Garage

Amendment:

Decision: Grant Permission **Date:** 04/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0992

Applicant:
Ms S Little

Parish:
Arthuret

Date of Receipt:
18/11/2011

Agent:
TSF Developments Ltd

Ward:
Longtown & Rockcliffe

Location:
Cullen Lea, Carlisle Road, Longtown, Cumbria, CA6 5SQ

Grid Reference:
338183 568216

Proposal: Erection Of Detached Garage

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0994

Applicant:
Mr A Grainger

Parish:
Beaumont

Date of Receipt:
15/11/2011

Agent:

Ward:
Burgh

Location:
Lock House, Beaumont, Carlisle, CA5 6ED

Grid Reference:
334425 559023

Proposal: Discharge Of Conditions 3 (Environmental Risk Assessment); 4 (Drainage); 5 (Landscape); 7 (Tree Protection); 8 (Level 2 Survey) And 11 (Materials) Of Previously Approved Appn Ref: 11/0662

Amendment:

Decision: Partial Discharge of Conditions **Date:** 05/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0995

Applicant:
Mr D Kemp

Parish:
Brampton

Date of Receipt:
16/11/2011

Agent:
Northdale Properties Ltd

Ward:
Brampton

Location:
Croft End, Longtown Road, Brampton, CA8 1AN

Grid Reference:
352762 561162

Proposal: Discharge Of Conditions 3 (Samples/Details Of Materials); 4 (Surface Water Drainage); 6 (Landscaping Scheme); 8 Root Protection Barrier) And 9 (Screen Walls And Boundary Fences) Of Previously Approved Permission 11/0478

Amendment:

Decision: Partial Discharge of Conditions **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/0997

Applicant:
Mr & Mrs P McCallum

Parish:
Cumwhitton

Date of Receipt:
28/11/2011

Agent:
HTGL Architects Ltd

Ward:
Great Corby & Geltsdale

Location:
The Paddock, Townfoot, Cumwhitton, Carlisle, CA8 9EX

Grid Reference:
350690 552373

Proposal: Non Material Amendment Of Previously Approved Planning Application 07/0165 To Relocate WC Into Utility Space And Reconfiguration Of Door And Window Positions On Side And Rear Elevation

Amendment:

Decision: Amendment Accepted **Date:** 09/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0998	Mr R Rhodes	Castle Carrock
Date of Receipt:	**Agent:**	**Ward:**
01/12/2011	Sawyers Construction Limited	Great Corby & Geltsdale

Location:
The Croft, Castle Carrock, Brampton, CA8 9NE

Grid Reference:
354525 555292

Proposal: Erection Of Conservatory To Rear Elevation

Amendment:

Decision: Grant Permission **Date:** 13/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:	**Applicant:**	**Parish:**
11/0999	Mr Chapple	Solport
Date of Receipt:	**Agent:**	**Ward:**
16/11/2011	MMC Engineering Services Ltd	Lyne

Location:
Mallshill, Roweltown, Carlisle, CA6 6LR

Grid Reference:
347684 573888

Proposal: Erection Of 1No. Wind Turbine (5kW) On 10 Metre Pole (12.25 Metre To Tip) (Revised Application)

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 30/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1000

Applicant:
Virgin Trains

Parish:
Carlisle

Date of Receipt:
21/11/2011

Agent:
Strategic Team Group

Ward:
Currock

Location:
Virgin Trains, Citadel Railway Station, Court Square, Carlisle, CA1 1QZ

Grid Reference:
340237 555535

Proposal: Replacement Of Existing Counter With Split Level Counter To Comply With Disability Discrimination Act Regulations (LBC)

Amendment:

Decision: Grant Permission **Date:** 10/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1003

Applicant:
Vale Uk Ltd

Parish:

Date of Receipt:
22/11/2011

Agent:
Vale Uk Ltd

Ward:
Castle

Location:
Kennedy Centre, 27-29 Lonsdale Street, Carlisle, CA1 1BJ

Grid Reference:
340358 555909

Proposal: New Shop Front Including Relocation Of Shop Entrance Door

Amendment:

Decision: Grant Permission **Date:** 13/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1006

Applicant:
Mr Andrew Corrieri

Parish:
Carlisle

Date of Receipt: 17/11/2011
Agent:
Ward: Belah

Location: 13 Troon Close, Carlisle, CA3 0EL
Grid Reference: 339433 558131

Proposal: Two Storey Side Extension To Provide Replacement Garage And Utility Room On Ground Floor With 1No. En-Suite Above; Replace Conservatory With Sun Room (Revised Application)

Amendment:

Decision: Grant Permission **Date:** 03/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/1007
Applicant: Ms Vanessa McViety
Parish: Carlisle

Date of Receipt: 30/11/2011
Agent:
Ward: Stanwix Urban

Location: 71 Scotland Road, Carlisle, CA3 9HT
Grid Reference: 339978 557289

Proposal: Change Of Use Of Guesthouse To Beauty Salon And Retail (Revised Application)

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/1009
Applicant: Mrs Fiona Findley
Parish: Carlisle

Date of Receipt: 28/11/2011
Agent:
Ward: St Aidans

Location: 179 Warwick Road, Carlisle, CA1 1LP
Grid Reference: 341187 555931

Proposal: Change Of Use Of Ground Floor Living Room To Hairdressers

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1012

Applicant:
Mr Mossop

Parish:
Arthuret

Date of Receipt:
24/11/2011

Agent:

Ward:
Longtown & Rockcliffe

Location:
Land to Rear of 1 Moor Place, Longtown, Carlisle, CA6 5US

Grid Reference:
338492 568922

Proposal: Discharge Of Conditions 2 (Material Samples); 3 (Hard Surfaces) And 4 (Screen Walls And Boundary Fences) Of Previously Approved Permission 09/0995

Amendment:

Decision: Grant Permission **Date:** 08/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1013

Applicant:
Nestle UK Ltd

Parish:
Dalston

Date of Receipt:
22/11/2011

Agent:
Ashwood Design Associates Ltd

Ward:
Dalston

Location:
Nestle UK Limited, Dalston, Carlisle, CA5 7NH

Grid Reference:
337355 550756

Proposal: Erection Of Replacement Stair Extension As Enabling Works To Extension Of Existing Egron 2 Tower Approved Under Application 11/0713

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1016

Applicant:
Mr D Clark

Parish:
St Cuthberts Without

Date of Receipt:
22/11/2011

Agent:

Ward:
Dalston

Location:
Holmwood, 403 Durdar Road, Carlisle, Cumbria, CA3 3TR

Grid Reference:
340576 551641

Proposal: Single Storey Rear Extension To Provide En-Suite Bedroom

Amendment:

Decision: Grant Permission **Date:** 10/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1017

Applicant:
Mr Derek Thompson

Parish:
Dalston

Date of Receipt:
22/11/2011

Agent:

Ward:
Dalston

Location:
Lakerigg Barn, Lakerigg, Dalston, Carlisle, Cumbria, CA5 7BS

Grid Reference:
336462 548173

Proposal: Change Of Use Of Outbuilding To 2No. Holiday Units

Amendment:

Decision: Grant Permission **Date:** 30/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1019

Applicant:
Mr W Bainbridge

Parish:
Carlisle

Date of Receipt:

Agent:

Ward:

29/11/2011 Upperby

Location:
2 Uldale Road, Carlisle, Cumbria, CA2 4PP

Grid Reference:
340838 553543

Proposal: Erection Of Ground Floor Extension To Provide Extended Garage And Passageway With First Floor Extension Above To Provide 2no. Bedrooms (1no. En-Suite)

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1020

Applicant:
Mr & Mrs Stanton

Parish:
Castle Carrock

Date of Receipt:
23/11/2011 13:00:27

Agent:
RodneyJeremiah

Ward:
Great Corby & Geltsdale

Location:
1 The Glebe, Castle Carrock, Brampton, CA8 9LX

Grid Reference:
354198 555363

Proposal: Erection Of Two Storey Side Extension To Provide Kitchen And Utility Room On Ground Floor With En-Suite Bedroom And Bathroom Above

Amendment:

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1023

Applicant:
Mr Russell Donaldson

Parish:

Date of Receipt:
25/11/2011

Agent:

Ward:
Upperby

Location:
Uma Buddhist Centre, Lynwood House, St Johns Close, Upperby, Carlisle, CA2 4JH

Grid Reference:
341012 553857

Proposal: Change Of Use From Buddhist Centre/Residential To Full Residential

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission **Date:** 06/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1030

Applicant:
Mrs Jeanette Henderson

Parish:
Orton

Date of Receipt:
24/11/2011

Agent:
Abacus Building Design

Ward:
Burgh

Location:
The Limes, Great Orton, Carlisle, CA5 6NA

Grid Reference:
332823 554202

Proposal: Discharge Of Conditions 5 (Screen Walls And Boundary Fences); 8 (Construction And Drainage Of Access Area) And 9 (Surface Water Drainage) Of Previously Approved Permission 10/0997

Amendment:

Decision: Grant Permission **Date:** 19/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1033

Applicant:
Mr Graham

Parish:
Dalston

Date of Receipt:
25/11/2011 13:01:15

Agent:
Myriad CEG

Ward:
Dalston

Location:
Cumdivock Farm, Cumdivock, Dalston, Carlisle, CA5 7JJ

Grid Reference:
334342 548864

Proposal: Erection Of 2no. Wind Turbines (11kW) Height 18m (To Hub) On A Concrete Base

Amendment:

Decision: Grant Permission **Date:** 13/01/2012

Between 03/12/2011 and 13/01/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No: 11/1034
Applicant: Mr Nicholas Brown
Parish:

Date of Receipt: 28/11/2011
Agent:
Ward: Yewdale

Location: 138 Yewdale Road, Carlisle, Cumbria, CA2 7SD
Grid Reference: 337291 555456

Proposal: Erection Of Two Storey Side And Single Storey Rear Extension To Provide Study, WC, Kitchen/Dining Room With En-Suite Bedroom Above Together With Replacement Garage

Amendment:

Decision: Grant Permission **Date:** 21/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/1045
Applicant: Mr & Mrs P McCallum
Parish: Cumwhitton

Date of Receipt: 30/11/2011
Agent: HTGL Architects Ltd
Ward: Great Corby & Geltsdale

Location: The Paddock, Townfoot, Cumwhitton, Carlisle, CA8 9EX
Grid Reference: 350690 552373

Proposal: Discharge Of Condition 2 (Materials) Of Previously Approved Planning Permission 07/0165

Amendment:

Decision: Grant Permission **Date:** 13/01/2012

Between 03/12/2011 and 13/01/2012

Appn Ref No: 11/1048
Applicant: Stewart Willamson Limited
Parish: Kingmoor

Date of Receipt: 01/12/2011
Agent:
Ward: Stanwix Rural

Location:
Pacific House, Fletcher Way, Parkhouse, Carlisle, CA3 0LJ

Grid Reference:
338742 559873

Proposal: Non Material Amendment Of Previously Approved Permission 11/0780

Amendment:

Decision: Amendment Accepted

Date:
28/12/2011

Between 03/12/2011 and 13/01/2012

Appn Ref No:
11/1049

Applicant:
Stewart Williamson Limited

Parish:
Kingmoor

Date of Receipt:
01/12/2011

Agent:

Ward:
Stanwix Rural

Location:
Atlantic House, Fletcher Way, Parkhouse, Carlisle

Grid Reference:
338797 559873

Proposal: Non Material Amendment Of Previously Approved Permission 11/0779

Amendment:

Decision: Amendment Accepted

Date:
28/12/2011