

# Development Control Committee

## Schedule of Applications for Planning Permission



**14th December 2001**

## The Schedule Of Applications

This schedule is set out in five parts:

**SCHEDULE A** - contains full reports on each application proposal and concludes with a recommendation to the Development Control Committee to assist in the formal determination of the proposal or, in certain cases, to assist Members to formulate the City Council's observations on particular kinds of planning submissions. In common with applications contained in Schedule B, where a verbal recommendation is made to the Committee, Officer recommendations are made having regard to material planning considerations pertaining to the specific proposal and in particular to:-

- relevant planning policy advice contained in Government Circulars, Planning Policy Guidance Notes, Development Control Policy Notes and other Statements of Ministerial Policy;
- the adopted provisions of the Cumbria and Lake District Joint Structure Plan;
- the City Council's own statement of approved local planning policies including the Carlisle District Local Plan;
- established case law and the decisions on comparable planning proposals including relevant Planning Appeals.

**SCHEDULE B** - comprises applications for which a full report and recommendation on the proposal is not able to be made when the Schedule is compiled due to the need for further details relating to the proposal or the absence of essential consultation responses or where revisions to the proposal are awaited from the applicant. As the outstanding information and/or amendment is expected to be received prior to the Committee meeting, Officers anticipate being able to make an additional verbal report and recommendations.

**SCHEDULE C** - provides details of the decisions taken by other authorities in respect of those applications determined by that Authority and upon which this Council has previously made observations.

**SCHEDULE D** - reports upon applications which have been previously deferred by the Development Control Committee with authority given to Officers to undertake specific action on the proposal, for example the attainment of a legal agreement or to await the completion of consultation responses prior to the issue of a Decision Notice. The Reports confirm these actions and formally record the decision taken by the City Council upon the relevant proposals. Copies of the Decision Notices follow reports, where applicable.

**SCHEDULE E** - is for information and provides details of those applications which have been determined under powers delegated by the City Council since the previous Committee meeting.

The officer recommendations made in respect of applications included in the Schedule are intended to focus debate and discussions on the planning issues engendered and to guide Members to a decision based on the relevant planning considerations. The recommendations should not therefore be interpreted as an intention to restrict the Committee's discretion to attach greater weight to any planning issue when formulating their decision or observations on a proposal.

If you are in doubt about any of the information or background material referred to in the Schedule you should contact the Development Control Section of the Department of Environment and Development.

This Schedule of Applications contains reports produced by the Department up to the 05/12/2001 and related supporting information or representations received up to the Schedule's printing and compilation prior to despatch to the Members of the Development Control Committee on the 07/12/2001.

Any relevant correspondence or further information received subsequent to the printing of this document will be incorporated in a Supplementary Schedule which will be distributed to Members of the Committee on the day of the meeting.

# **DEVELOPMENT CONTROL MONITOR**

## Planning Applications

From a total of 247 outstanding planning applications (at 5th December 2001) it is clear that 117 will not be determined within two months of receipt in the Department: -

- 21 of these are included in this Schedule or appear as Agenda Items.

*Of the remaining 94:-*

- 70 are awaiting information from applicants
- 10 are awaiting completion of a legal agreement
- 8 are expected to be withdrawn
- 3 are awaiting issue under delegated powers
- 3 are to be considered at a special meeting

## Enforcement 24<sup>th</sup> October 2001 until 5th December 2001

The Enforcement Officer investigated 61 complaints and enquiries.

- 24 of these were found to involve a breach of planning control which require submission of planning applications or compliance with conditions.
- 29 cases were resolved as a result of a single visit and interview or telephone call
- 8 cases involve continuing action including removal of unauthorised advertisements without recourse to formal enforcement procedures.

## CITY OF CARLISLE

Applications Entered on Committee Schedule - Date of Committee 14/12/2001

Item No.	Applic. Number/ Schedule	Location	Page No.
1	01 /0100 A	171 Brampton Road, Carlisle Cumbria	1
2	01 /0638 A	L/A Field 3644 adj Cairn Bridge, Heads Nook, Carlisle, Cumbria	39
3	01 /0735 A	Ghyll Bank, Harker, Carlisle Cumbria	115
4	01 /0800 B	Site 25 Wakefield Road, Kingstown Industrial Estate Carlisle, Cumbria	155
5	01 /0840 B	No. 3 Barrel House, Caldew Maltings, Carlisle Cumbria	174
6	01 /0854 B	93 Tribune Drive, Ashleigh Park Houghton, Carlisle	190
7	01 /0856 A	St Elizabeth's Church, Arnside Road, Harraby Carlisle, Cumbria	222
8	01 /0787 B	Holme Eden Abbey, Warwick Bridge, Carlisle Cumbria	243
9	01 /0788 B	Holme Eden Abbey, Warwick Bridge, Carlisle Cumbria	245
10	01 /0869 B	L/A walled gardens - Holme Eden, Warwick Bridge, Cumbria	271
11	01 /0870 B	L/A walled gardens - Holme Eden, Warwick Bridge, Cumbria	321

## Applications Entered on Committee Schedule - Date of Committee 14/12/2001

Item No.	Applic. Number/ Schedule	Location	Page No.
12	01 /1004 A	Petteril Bank School, Burnett Road, Old Harraby Carlisle, Cumbria	325
13	01 /1013 A	Lime House School, Greensyke Farm, Cumdivock, Dalston, Carlisle, Cumbria	347
14	01 /1043 A	Lime House School, Greensyke Farm, Cumdivock, Dalston, Carlisle, Cumbria	354
15	01 /1099 A	Lime House School, Greensyke Farm, Cumdivock, Dalsto Carlisle, Cumbria	359
16	01 /1049 A	203 Newtown Road, Carlisle, Cumbria	363
17	01 /0819 A	L/A former Builder Yard (Fld 2872), Cumwhinton, Carlisle, Cumbria	368
18	01 /0838 A	Lonsdale Fisheries, Cumwhinton, Carlisle Cumbria	380
19	00 /0246 A	Mossgrove, Roweltown, Roadhead Cumbria	391
20	00 /0898 A	Lane End Inn, Hayton Lane End, Hayton Carlisle, Cumbria	400
✓ 21	01 /0596 A	L/A Scotby House, Park Road, Scotby Carlisle, Cumbria	415
22	01 /0691 A	L/A plots 11-16 The Limes, Durranshill Road, Durranshil Carlisle, Cumbria	476

## Applications Entered on Committee Schedule - Date of Committee 14/12/2001

Item No.	Applic. Number/ Schedule	Location	Page No.
23	01 /0767 A	L/Adj Brunstock Cottage, Brunstock, Carlisle Cumbria	485
24	01 /0785 A	24 Berkeley Grange, Carlisle Cumbria	494
25	01 /0867 A	L/A part field 7900, Brockleworth Farm, Great Corby, Carlisle, Cumbria	510
26	01 /0885 A	L/A Longthwaite Farm, Warwick Bridge, Carlisle Cumbria	526
27	01 /0887 A	Sunny Barns, Farlam Farm, Farlam, Brampton Cumbria	532
28	01 /0907 A	Wm Armstrong Ltd., Townfoot, Longtown Carlisle	541
29	01 /0915 A	L/A Hillcrest Avenue, Carlisle Cumbria	547
30	01 /0942 A	129 Newlaithes Avenue, Morton Park Carlisle, Cumbria	574
31	01 /0950 A	L/Adj Southmarsh, High Road, Carlisle Cumbria	599
<del>32</del>	<del>01 /0962 A</del>	<del>24 Botchergate, Carlisle Cumbria</del>	609
33	01 /0963 A	L/A part field 3230 Gilsland, Cumbria	614

## Applications Entered on Committee Schedule - Date of Committee 14/12/2001

Item No.	Applic. Number/ Schedule	Location	Page No.
34	01 /0969 A	L/Adj The Far Boot, Townhead, Houghton Carlisle, Cumbria	624
35	01 /0970 A	L/A Stile Farm, Linstock, Carlisle Cumbria	632
36	01 /0981 A	24 Scotch Street, Carlisle Cumbria	639
37	01 /0982 A	24 Scotch Street, Carlisle Cumbria	645
38	01 /0986 A	97 Botchergate, Carlisle Cumbria	647
39	01 /1010 A	Arc Car Wash, Kingstown Road, Kingstown Carlisle, Cumbria	655
40	01 /1011 A	ARC Car Wash, London Road, Carlisle Cumbria	662
41	01 /1022 A	Crown & Thistle, Rockcliffe, Carlisle Cumbria	668
42	01 /1038 A	171 Brampton Road, Carlisle Cumbria	674



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Applications Entered on Committee Schedule - Date of Committee 14/12/2001

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Item No.	Applic. Number/ Schedule	Location	Page No.
43	01 /1047 A	Windyke, 10 Houghton Road, Houghton Carlisle, Cumbria	681
44	01 /1050 A	14 High Street, Longtown, Carlisle, Cumbria	692
45	01 /1056 A	21 Harold Street, Currock Carlisle, Cumbria	698
<del>46</del>	<del>01 /1060 A</del>	<del>60 Blackwell Road, Currock Carlisle, Cumbria</del>	
47	01 /1071 A	Field 4228 adjacent to the M6, Scotby, Carlisle Cumbria	705
48	01 /1072 A	Ferndale, Corby Hill, Carlisle Cumbria	713
49	01 /1086 A	10 Holme Close, Scotby Carlisle, Cumbria	718
50	01 /0366 B	L/A buildings at Heads Lane, Carlisle Cumbria	730
51	01 /0789 B	Plot 2 & 3, Baron Way, Kingmoor Park North Kingmoor, Carlisle	762
52	01 /0936 B	L/A Lough Farm, Brisco, Carlisle Cumbria	793
53	01 /1002 B	L/A Barn-Shepherds View, Castle Carrock, Cumbria	798

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Applications Entered on Committee Schedule - Date of Committee 14/12/2001

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Item No.	Applic. Number/ Schedule	Location	Page No.
54	00 /0605 C	L/A Scotby House, Park Road, Scotby Carlisle, Cumbria	810
55	00 /0836 C	L/A bounded by Rome St/Currock St & Railway Line, Carlisle, Cumbria	811
56	00 /0876 C	Cumbria Park Hotel, Scotland Road, Carlisle Cumbria	812
57	00 /0913 C	L/Adj The Elms, Plains Road, Wetheral Carlisle, Cumbria	813
58	01 /0060 C	L/Adj The Elms, Plains Road, Wetheral Carlisle, Cumbria	814
59	01 /0140 C	L/A Fld 4070 Sleetbeck, Roadhead, Cumbria	815
60	01 /0262 C	Wm Coulthards, site 20 Stephenson Road, Durranhill Carlisle, Cumbria	816
61	01 /9002 C	L/A to rear of 35 & 37 Lonsdale Street, Carlisle Cumbria	817
62	01 /9008 C	Michael Thompson Ltd, St Ninians Road, Upperby Carlisle, Cumbria	819
63	01 /0117 D	42-48 Scotch Street, Carlisle Cumbria	823
64	01 /0118 D	42-48 Scotch Street, Carlisle Cumbria	824

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Applications Entered on Committee Schedule - Date of Committee 14/12/2001

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Item No.	Applic. Number/ Schedule	Location	Page No.
65	01 /0512 D	L/Adj The Elms, Plains Road, Wetheral Carlisle, Cumbria	825
66	01 /0518 D	Hempsgillhow, Stockdalewath, Carlisle Cumbria	826
67	01 /0676 D	07-09 Fisher Street, Carlisle Cumbria	827
68	01 /0677 D	07-09 Fisher Street, Carlisle Cumbria	828
69	01 /0678 D	07-09 Fisher Street, Carlisle Cumbria	829
70	01 /0728 D	L/A site 1A Cumberland Infirmary, Newtown Road, Carlisle, Cumbria	829

***SCHEDULE A***

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***SCHEDULE A***

***SCHEDULE A***

## SCHEDULE A: Applications with Recommendation

ITEM NO. 1

Date of Committee: 14/12/20

APPN REF NO:  
01/0100 /

APPLICANT:  
Mr N Harrison

PARISH:  
Carlisle

DATE OF RECEIPT:  
13/02/2001

AGENT:

WARD:  
Stanwix Urban

LOCATION:  
171 Brampton Road, Carlisle Cumbria

GRID REF:  
340791 557522

PROPOSAL: Erection of extension to form bedroom, bathroom, garage and kitchen

AMENDMENT: i) Revised plans showing a hipped roof on extension received 15th May.

ii) Revised plans received 16th October.

Angus

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### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E26

Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable adverse impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY - No objection.

COUNTY ARCHAEOLOGIST - No wish to make any comments.

#### SUMMARY OF REPRESENTATIONS:-

The application was originally advertised in the form of the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0100 /

direct notification of the occupiers of five neighbouring properties. The neighbours have subsequently been re-notified with regard to the revised plans. In response a total of seven letters of objection have been received. The concerns raised are: the scale of the proposal; the impact of the proposal upon the amenities currently enjoyed; the impact of the proposal upon the levels of daylight and sunlight; the effect upon the character of the property and the area; the adverse effect upon views of the Vallum and mature trees; reduction in privacy; lead to an increase in on-street parking; and, this application may open the floodgates which will lead to the detrimental appearance of the front elevation of the houses on the northern side of Brampton Road, thereby creating a row of terraced houses.

At a site meeting, the occupiers of a neighbouring property also informally raised concerns over: the alleged oppressive nature of the side wall, the loss of light would lead to the use of more electricity; there would be a loss of light not only in the house but also occur with regard to the patio/garden; unclear whether the existing garage would be retained; the building operations will lead to dust which is an important consideration because a neighbour suffers from asthma; the building works may affect the neighbouring house structurally; and, with the extension there would be limited space to get out of a car if parked on the driveway.

The neighbouring residents have been re-notified concerning the latest plans received on the 16th October. In response two letters of objection have, to date, been received. The points raised being:

- Concerned about the implication of the proposal on their residential amenity.
- Believe it would be unfair if a decision was to be taken by the Committee based upon further information that they had not been given the opportunity to consider. No observations have been received at the time of writing the report.
- The shadowlines illustrate the dramatic effect of the proposed extension on the neighbours garden and the windows to the rear of the property.
- The shadowlines apparently fail to consider the effect upon the side elevations of the property and the windows within them which is fundamental to an assessment of the loss of daylight and sunlight.
- Members should visit the site to fully appreciate the consequences of this proposal.
- The extensive size of the planned extension combined with the elevated site will mean that it will overshadow the neighbouring house.
- Concerned that privacy will be infringed upon.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0100 /

- Concerned about the noise, dust and disruption that will occur during such a large extension and would appreciate assurances that building work will be carried out only during daylight hours.
- The extension up to the first floor may also effect the amount of light that the neighbouring dwelling will receive.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1941, under application reference number 18030, planning permission was given for a kitchen extension.

In 1965, under application number 27566, permission was granted for the construction of a bay window.

#### DETAILS OF PROPOSAL

Members will recall that they deferred consideration of the proposal in order to allow them to undertake a site visit.

This application and the following item, application number 01/1038, relate to a two storey semi-detached house located on the northern side of Brampton Road approximately 150 metres to the east of the junction with Croft Road. The house has a slated hipped roof with brick walls. There are also a flat roofed single storey kitchen extension (subject to application 18030), and, a conservatory on the "rear"/northern elevation the subject of application 01/1038. A double garage has been removed and replaced by a garden shed. A wall topped by fencing runs along the boundary with 173 Brampton Road. The Vallum runs parallel to the northern boundary of the site.

The proposal, as revised, involves the erection of a two storey side extension which is set back 1.8 metres from the front of the house and comprises a garage and kitchen on the ground floor with two bedrooms and a bathroom above. The design is based on continuing the proposed roof in a monopitch from the eaves of the existing house.

When considering this application and the comments made by third parties it should be noted from the outset that Ministerial advice contained in Annex C of PPG1 "General Policy and Principles" emphasises that the planning legislation should not normally be used to secure objectives achievable under other legislation. For example, dust nuisance from building operations is controlled under Environmental Health legislation by the Clean Air Act and the Environmental Protection Act 1990 whilst any "Rights to Light" are mainly subject to the provisions of the Prescription Act of 1832. Whilst, any damage caused by building work to a neighboring property would be a civil matter.

At a general level, paragraph 64 of PPG1 also identifies that

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0100 /

the planning system does not exist to protect the private interests of one person against the activities of another, although private interests may coincide with the public interest in some cases. PPG1 continues "it can be difficult to distinguish between public and private interests, but this may be necessary on occasion. The basic question is not whether owners and occupiers of neighbouring properties would experience financial or other loss from a particular development, but whether the proposal would unacceptably affect amenities and the existing use of land and building which ought to be protected in the public interest. Good neighbourliness and fairness are among the yardsticks against which development proposals can be measured, for example, it might be material to consider the question of 'overlooking' or loss of privacy experienced by a particular resident".

In effect, there is no reason why the loss of amenity suffered by occupiers of a single dwelling (which may be a step in the degradation of a residential area) cannot be considered as a material planning consideration. For this reason it is normally accepted that there is no private right to a view that the planning system should protect. However, the loss of a view from a public vantage point is a material consideration.

In line with the forgoing it is felt that the two fundamental issues are: a) whether the proposal can be considered detrimental to the amenity of neighbours; and, b) whether the proposal is detrimental to the character of the area including the setting of Hadrian's Wall.

### a) WHETHER DETRIMENTAL TO THE AMENITY OF NEIGHBOURS

In considering this issue it is felt that the following points need to be kept in mind:

- With the exception of a ground floor kitchen window, the windows on the western side of the neighbouring house at 173 Brampton Road are obscurely glazed and serve a hallway, stair landing, porch/store, toilet and bathroom. The effect on outlook from the hall, landing, store, toilet and bathroom are not felt to be of significance.
- In relation to the kitchen window it is appreciated that the proposed extension would be built up to the boundary and measure 4.3 metres to the eaves. It is also recognised that the proposed extension would be set back from the front of the house and viewed across an existing drive. When compared to the present outlook, it is not considered that any perceived overdominance from the kitchen window is a significant enough reason to withhold permission.
- Because of the design of the existing semi-detached houses, there is already overlooking of neighbouring gardens. The proposed extension will not make the situation worse. A condition concerning the insertion of additional windows to serve the rear bedroom could also be imposed to safeguard privacy.



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0100 /

- The City Council's Architect has provided a series of plan for the 21st March showing the shadow cast by the existing buildings and the additional shadow created by the proposed extension at 10.00, 12.00, 14.00, and 16.00 hours. From the outset it should be noted that the plans show a garage at 171 Brampton Road which is no longer in existence. This aside it is felt that the plans show: a) a significant degree of overshadowing already takes place at 173 Brampton Road which would be expected for a north-facing garden; b) the major impact of the proposal in terms of overshadowing would be between 14.00 and 16.00 hours; c) the additional overshadowing is in the minority when compared to the extent of the existing shadow lines.

### b) WHETHER DETRIMENTAL TO CHARACTER OF THE AREA

It is appreciated that if the occupiers of 173 Brampton Road decided to build a similar extension the physical gap between the properties would be lost. However, in mitigation, the design of the current proposal is based on the existing form of the houses at 143-165 Brampton Road, the proposed extension is set back from the front wall, and, is not at the same height as the original house. The neighbouring property at 173 Brampton Road is at a lower level and further forward in comparison to 171 Brampton Road. The aforementioned factors would count against any impression of continuous building.

Brampton Road also consists of a mixture of house types whether semi-detached or detached with restricted views of the countryside beyond. The design of the proposed extension is in the same idiom to complement the original house.

In overall terms it is considered that the proposal would not harm the character or appearance of the area. In the context of the existing properties along Brampton road, it is also felt that the proposal would not harm the setting of Hadrian's Wall.

Members are thus in the unenviable position of having to make a choice between the wishes of the applicants and the objections by the neighbouring residents. In considering the proposal the principal judgement that Members have to make is whether, bearing in mind all the relevant factors relating to light and design, the proposal will lead to either a significant reduction in the level of amenity that any occupier of an adjoining property could reasonably expect to enjoy, or, be detrimental to the character of the area. In relation to the first issue it is considered that any perceived overdominance from the ground floor kitchen window and additional overshadowing/loss of light experienced by the residents of 173 Brampton Road are not of such a significance or scale as to warrant refusal of permission.

It is also felt that the proposal will not harm the character and appearance of the area.

In conclusion the rights of the objectors are respected but in

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0100 /

overall terms the proposal is neither considered detrimental to the amenities of the neighbouring residents sufficient to warrant refusal, nor detrimental to the character of the area.

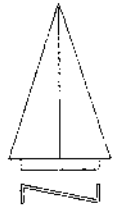
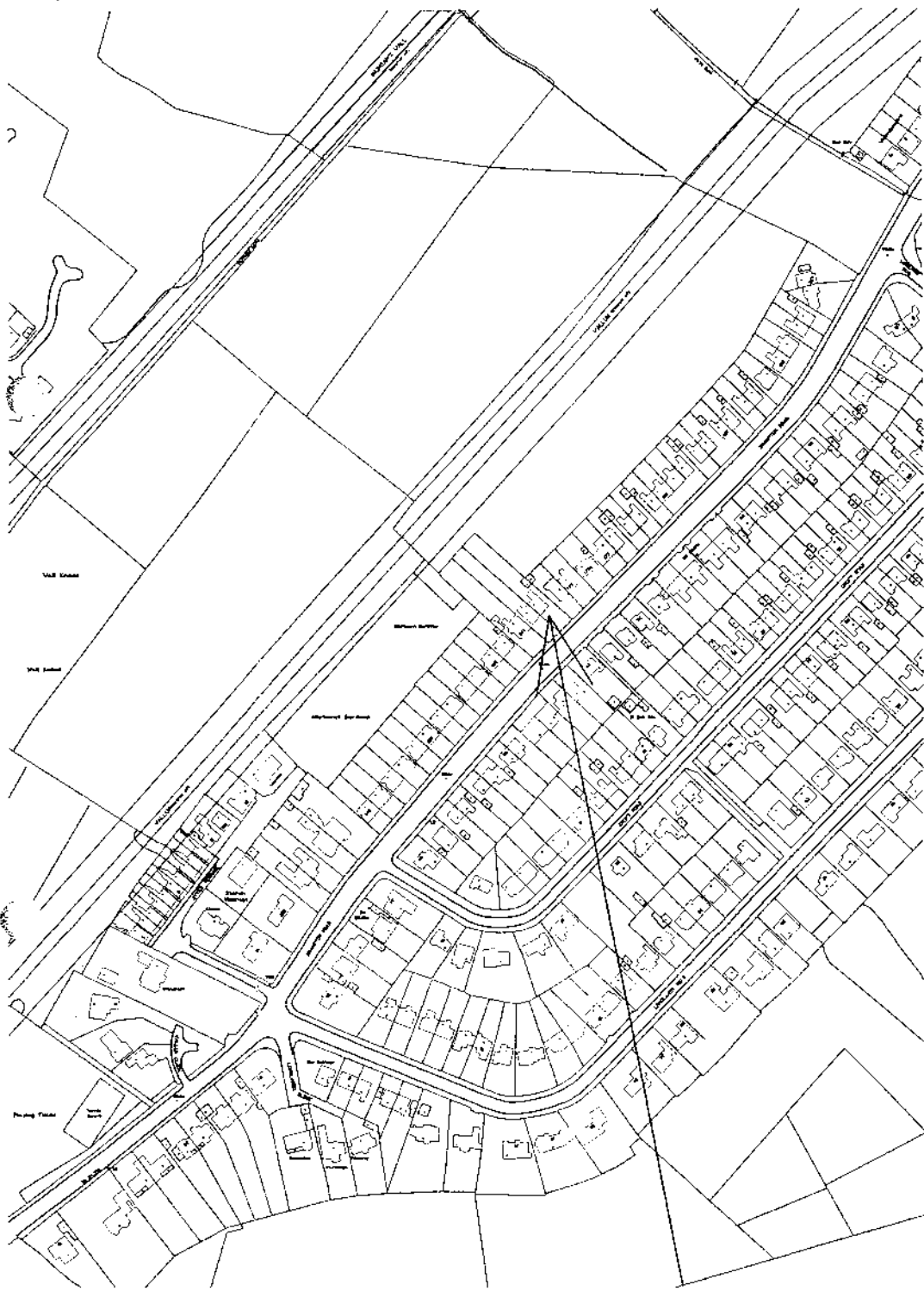
### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. Materials to match existing
3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no additional windows, skylights or dormers shall be inserted above the ground floor on the western and eastern elevations without the prior consent of the local planning authority.

P39 →

Supp Schedule :  
pages 1-5



171 Brampton Road

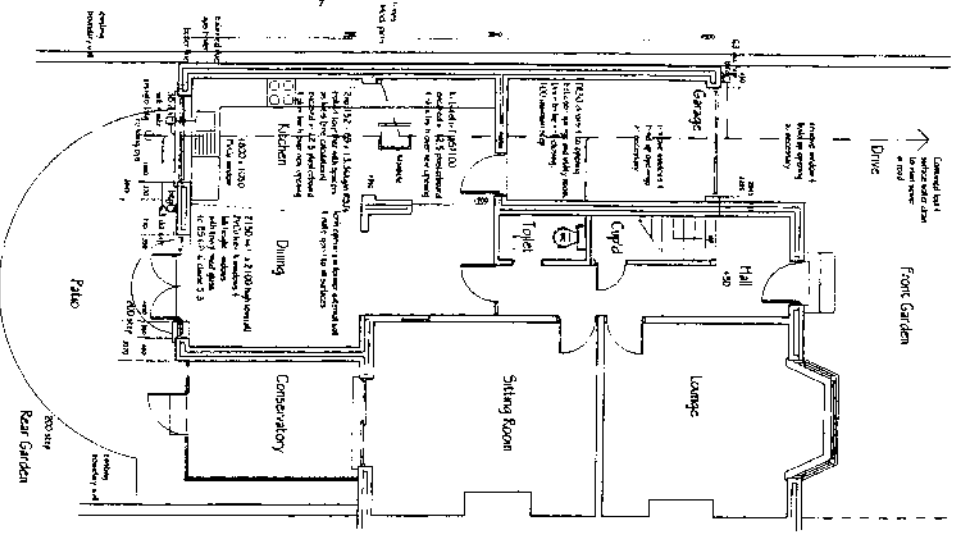
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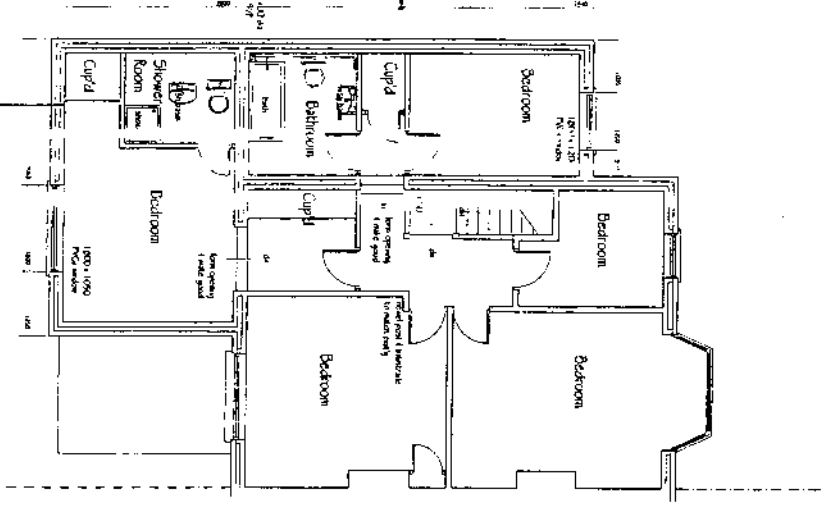
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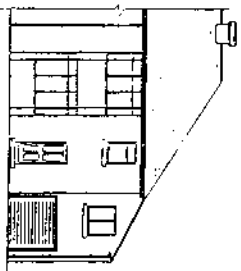
**GROUND FLOOR PLAN**



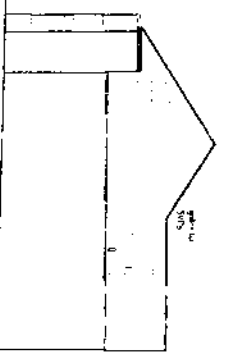
**FIRST FLOOR PLAN**



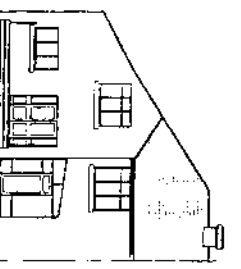
**FRONT ELEVATION**



**SIDE ELEVATION**



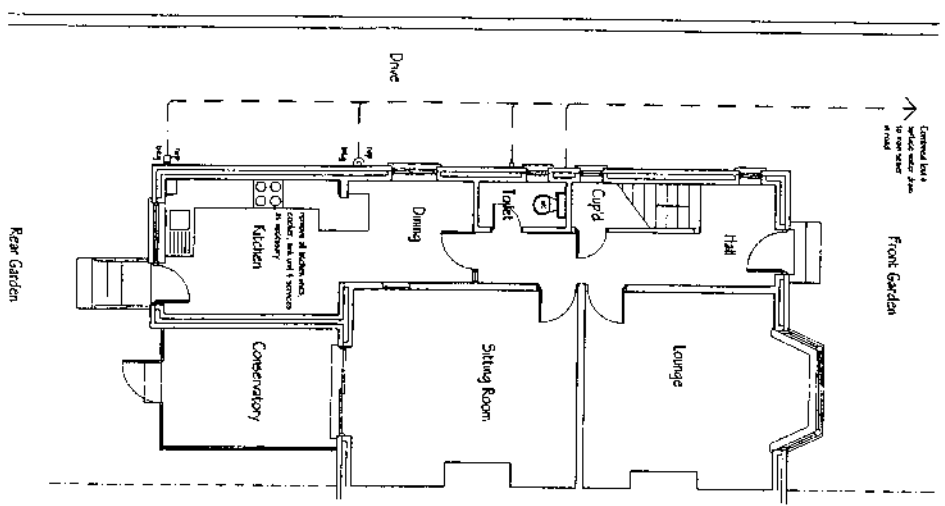
**REAR ELEVATION**



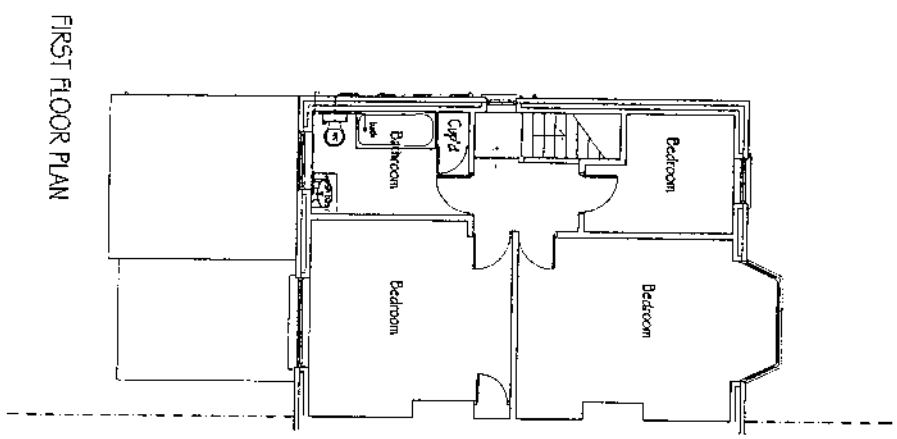
**STAIRCASE**

Staircase  
1.0m x 1.0m  
1.0m x 1.0m

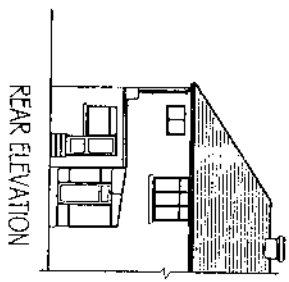
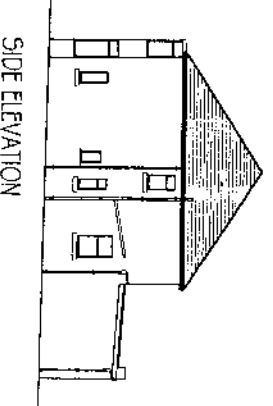
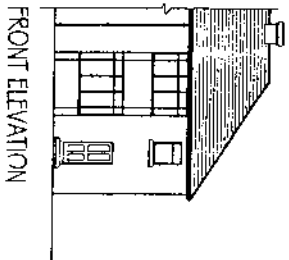
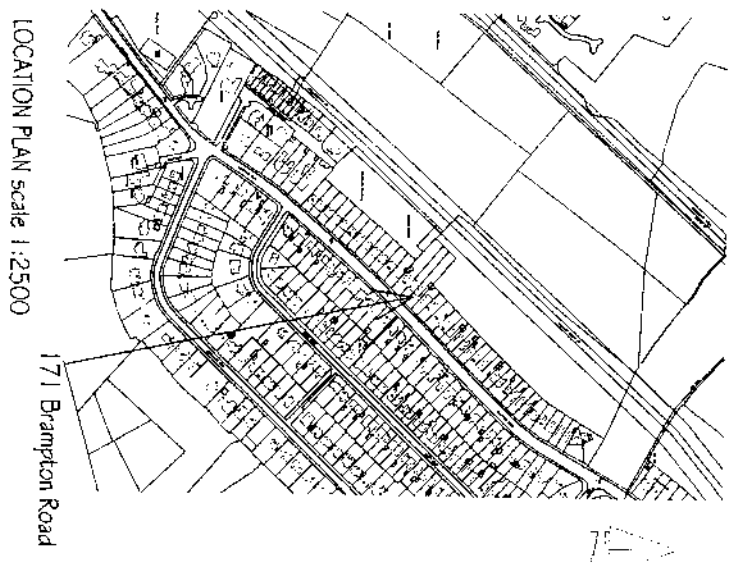
Client: MRS & MRS N. HARRISON  
Project: TWO STOREY EXTENSION  
171 BRAMPION ROAD  
CARLSLE  
Floor Plans & Elevations: 2001  
Scale: 1:100  
Drawing No: 1/01 2/0



GROUND FLOOR PLAN



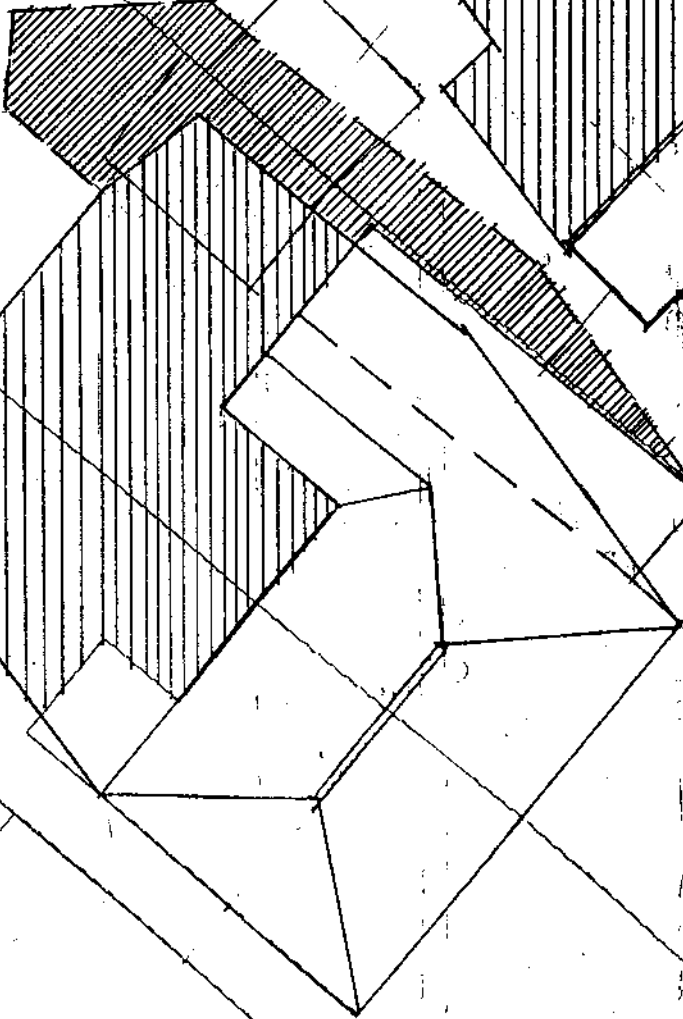
FIRST FLOOR PLAN



RECEIVED  
17 FEB 2001  
RSC/SL/SP

Client: MR & MRS N HARRISON  
Project: TWO STOREY EXTENSION  
171 BRAMPTON ROAD  
CARLISLE  
Floor Plans & Elevations  
As Existing  
Location Plan  
Scale: 1:500  
Date: Jan 2001  
Drawing No: NH 1

ADDITIONAL AREA  
OF SHADOW DUE  
TO NEW EXTENSION



175

167

SHADOW LINES  
AT 10am.  
21 MARCH.

ADDITIONAL AREA  
OF SHADOW DUE  
TO NEW EXTENSION



175

167

SHADOWS  
AT 2 pm.  
21 MARCH.

ADDITIONAL AREA  
OF SHADOW DUE  
TO NEW EXTENSION



175

167

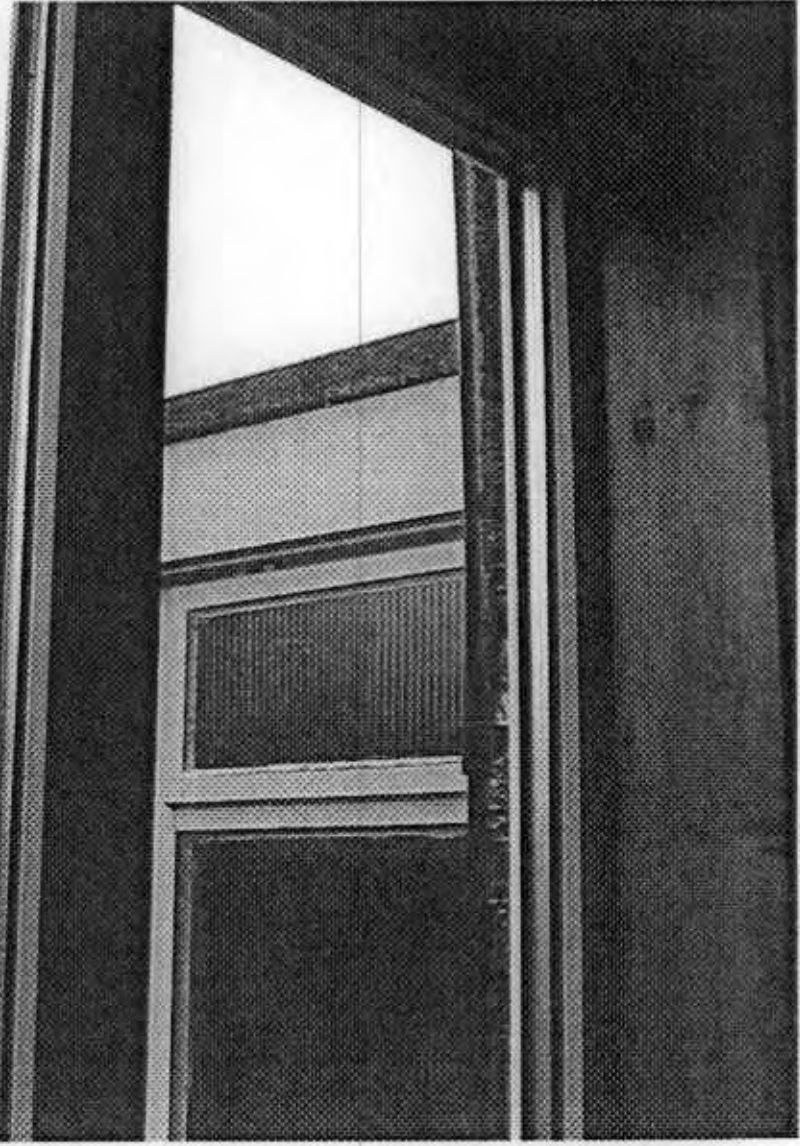
SHADOW LINES  
AT 4 PM  
21 MARCH













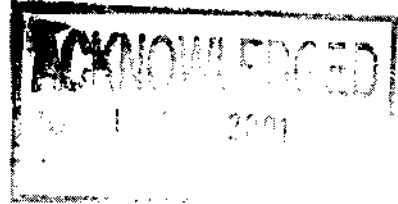




Our Ref : RT/J/C01/025

Your Ref : MS/DC/01/0100

Chief Development Control Officer,  
Planning Services Division,  
Department of Environment and  
Development,  
Carlisle City Council,  
Civic Centre,  
CARLISLE.  
CA3 8QG



28<sup>th</sup> February, 2001

For the attention of Mr. A.M. Hutchinson

Dear Mr. Hutchinson,

**ERECTION OF AN EXTENSION TO DWELLING**  
**171 BRAMPTON ROAD, CARLISLE**

I refer to our recent conversation concerning the above and am writing to confirm that we represent Mr. and Mrs. S. Train of 173 Brampton Road, Carlisle who wish to object to the above development.

My Clients are concerned about:

- the scale of the proposal;
- the impact of the proposal upon their residential amenity;
- the impact of the proposal upon the levels of daylight and sunlight that they enjoy;
- the effect upon the character of the property and the area.

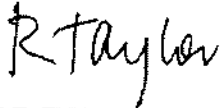
They also have concerns about the manner in which the development would be constructed. Would it be necessary for access to be gained to their land in order to construct the proposal and its foundations? I appreciate that these concerns may be more relevant to any Building Regulations Application and I would be grateful if you could let me know whether any such application has been submitted.

As you will know, Policy H14 in the Carlisle District Local Plan is relevant and requires consideration of the effect upon the amenities of adjacent properties by, amongst other things, the loss of daylight and sunlight. I understand from our conversation that you are taking advice on this aspect from the Architects' Section. Once you are in a position to discuss this aspect I would be grateful if you could let me know.



If this application is to be considered at the next meeting on 16<sup>th</sup> March 2001, please take this letter as a formal intention to speak on my Clients' behalf at that meeting.

Yours sincerely,



**BOB TAYLOR**

70 Brampton Road  
Carlisle  
Cumbria  
CA3 9AU

2<sup>nd</sup> June 2001

A M Taylor  
Chief Development Control Officer  
Carlisle City Council  
The Civic Centre  
Carlisle

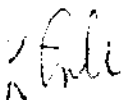
PLANNING SERVICES	
REF	01/100
- 5 JUN 2001	
RECEIVED	
SEARCHED	
PASSED	ARM
ACTION	


Dear Mr Taylor

Proposed extension 171 Brampton Road, Carlisle

The revised proposals for an extension etc., at 171 Brampton Road has not changed the fact that it will adversely affect our view through to the Vallum and will have a detrimental effect on the townscape and landscape.

Yours truly,



John Forde 



Ms ANN TAYLOR  
CASE OFFICER  
MR. M. SAUNDERS  
REF. MS/DC/01/0100

74 BRAMPTON RD  
CARLISLE  
CA3 CIAU

With regard to the planning application for 171 Brampton Road I wish to object on the following basis.

I note that in your letter with guidelines for objections to the proposed works there seems to be little to what one can object. Objections that could be levied, unreasonable loss of daylight, view or even value, falls into insignificance when one considers the detrimental effect these proposals could ultimately promote on the area.

We are considering extensions to the side of a semi-detached house. Houses which were planned as the name implies, two houses joined together but with adequate spaces inbetween (surely the whole point of a semi-detached house) as opposed to a street or terrace.

What is planned must be seen to be contrary to this ethos and against the holistic plan that the original architects had envisaged. To use your own planning department's phrase, it is surely "out of keeping" with the rest of the houses and aesthetically unsound.

One has only to look at the rear of many houses in the city where the effects of indiscriminate building extensions, with little regard for the overview of the area, has resulted in an eyesore and yet in all cases individual planning permission will have been granted. This application may open the floodgates which will lead to the detrimental appearance of the front elevation of the houses on the northern side of Brampton Road, thereby creating a row of terraced houses. It would be ironic if you as a planning committee in some future debate were to be held responsible for the downgrading of one of the nicest main roads leading into the city.

I hope the day never arrives when one sees Brampton Road ~~is~~ developing into one long terrace.

Yours faithfully

B. Johnson

(MRS)

PLANNING SERVICES	
01100	
- 5 MAR 2001 3	
	MS

PLANNING SERVICES	
REF	01/100
- 2 MAR 2001 ✓	
FILED	
DATE	
INITIALS	MS
ACTION	

169 Brampton Road  
Carlisle  
CA3 9AX

2 March 2001

Your Ref MS/DC/01/0100

Chief Development Control Officer  
Planning Services Division  
Department of Environment  
and Development  
Carlisle City Council  
Carlisle  
CA3 8QG

For the attention of Mark Saunders

Dear Mr Saunders

I wish to object to the proposed extension to 171 Brampton Road Carlisle on the following grounds:-

- 1) loss of light and
- 2) reduction of privacy.

I am also concerned about the size of the development extension as this seems inappropriate to the house, its design and surrounding area.

Yours sincerely

*Margaret Roberts*

Margaret Roberts (Miss)

70 Brampton Road  
Carlisle  
Cumbria  
CA3 9AU

27<sup>th</sup> February 2001

A M Taylor  
Chief Development Control Officer  
Carlisle City Council  
The Civic Centre  
Carlisle

PLANNING SERVICES	
REF	01/100
- 2 MAR 2001 \	
RECORDED	
SCANNED	
PASSED TO	MS
ACTION	

Dear Mr Taylor

Appx Ref 01/0100/

The proposed extension etc., at 171 Brampton Road will adversely affect our view through to the Vallum and will have a detrimental effect on the townscape and landscape.

Yours truly,



John Forde

72 Brampton Rd.

Carlisle CA3 9A

Planning Services  
Carlisle City Council.

Attention of Mr. M. Sawden  
Ref. 2001/0100.

Dear Sir, 171 Brampton Rd.

RECEIVED	21/01/00
RECORDED	21/01/00
SCANNED	21/01/00
PASSED TO ACTION	MRS

In reply to your recent letter I make the following comments:-

The proposal will remove about 25 feet of existing space on the house drive at present used for parking vehicles.

This could result in an increase in on street parking already used by the proposer.

It would increase the difficulty in getting my car from my drive on to the busy road.

No. 171 has a long rear garden and I would have thought that an extension

P.T.O.

to the back of the house  
might be more appropriate.

Also the proposals will  
restrict my view of mature  
trees on land beyond the  
house.

Yours faithfully

J. S. Willis



# Pauline L. Butler

SOLICITORS

Our Ref: RC/PLB/R1067/001

Your Ref:

Please Ask For: Mr. R. Cherry

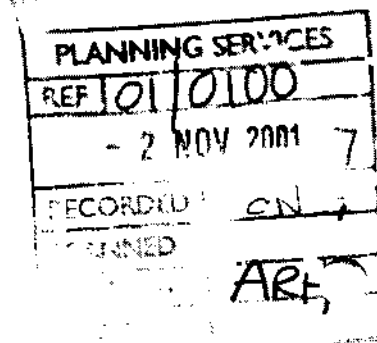
Date: 2 November, 2001

Exchange Buildings,  
14 Lowther Street,  
Carlisle CA3 8DA

Tel: 01228 819326

Fax: 01228 819327

Email: pbutlerc@globalnet.co.uk



FAO The Planning Committee  
Carlisle City Council  
The Civic Centre  
CARLISLE  
CA3 8QG

Dear Sirs,

**Our Client: Miss Margaret Roberts, 169 Brampton Road, Carlisle**

**Proposal: Erection of extension to form bedroom, bathroom, garage and kitchen**

**Location: 171 Brampton Road, Carlisle**

**Appn Ref: 01/0100**

Our client, Miss Roberts has instructed us, to write to the Planning Committee on her behalf in order to raise her concerns regarding the application for planning permission at the above property.

My client is concerned by the extensive size of the planned extension, which she considers will detrimentally overshadow her home, as it appears from the disclosed plan that the extension will amount to an approximately 50% increase in the size of the property.

Also, as the property to be extended is slightly elevated compared to my client's home, this increases the impression that her property will be detrimentally overshadowed.

Further, my client is concerned that her privacy will be infringed upon by the very size of the planned extension and by the number of windows facing into her garden and home, which is again exacerbated by the elevated position.

My client is also concerned about the noise, dust and disruption that will occur during such a large extension and would appreciate assurances that building work will be carried out only during daylight hours.

My client also considers that the extension up to the first floor may also effect the amount of light that she will get through the rear of her property. As the rear of her property faces in a northerly

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Principal Pauline L Butler LLB SFLA Accredited Specialist & APII Member  
Member of the Law Society Family Panel

Assistant Solicitors Clare Golding LLB SFLA Member  
Victoria Watson LLB APII Member  
Claire Rawsthorn BA SFLA Member

Also at 1 Esk Street  
Longtown, Carlisle  
CA6 5PU  
Tel: 01228 791209  
Fax: 01228 791680

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Legal Service



Family  
LAWYERS



PAULINE  
L BUTLER

Member of

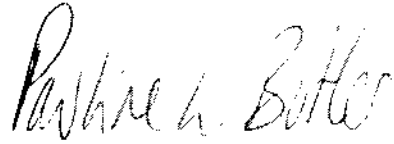


QUALITY SOLICITORS

direction, the amount of light is already limited and this extension may reduce it even further which is an evident concern.

The Planning Committee is also requested to consider the precedent this may set in the size of extensions that would be allowed in the neighbourhood. This would be detrimental to the aesthetic value of the area.

Yours faithfully,



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Member of the Law Society Family Panel

Assistant Solicitors Clare Golding LLB SFLA Member  
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Fax: 01228 791680



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Legal Service



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LAWYERS



PAULINE  
I. BUTLER

Member of



QUALITY GUILDS

9 Finkle Street  
Carlisle  
Cumbria CA3 8UJ

# TAYLOR & HARDY

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Chartered Town Planners

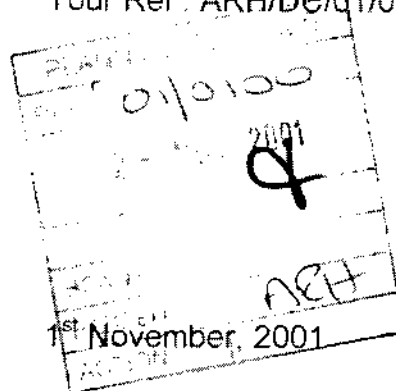
**BY FAX AND POST**

\*\*\*\*\*

Our Ref : RT/J/C01/025

Your Ref : ARH/DC/01/0100

Chief Development Control Officer,  
Planning Services Division,  
Department of Environment and  
Development,  
Carlisle City Council,  
Civic Centre,  
CARLISLE,  
CA3 8QG



**For the attention of Mr. A.M. Hutchinson**

Dear Mr. Hutchinson,

**ERECTION OF AN EXTENSION TO DWELLING**  
**171 BRAMPTON ROAD, CARLISLE**

I refer to our recent discussion concerning the above matter.

I have now had the opportunity of considering your Report together with the Shadowline diagrams prepared by the Council's Architect. Your Report identifies that further information on this aspect will be presented to the Committee at the meeting on Friday.

My clients remain very concerned about the implications of this proposal on their residential amenity. They believe it would be unfair if a decision was to be taken by the Committee based upon further information that they had not been given the opportunity to consider.


The Shadowlines illustrate the dramatic effect of the proposed extension on my client's small garden and the windows to the rear of the property. What they apparently fail to consider is the effect upon the side elevations of the property and the windows within them. Surely this is fundamental to an assessment of the loss of daylight and sunlight.

In the circumstances my client's request that the application be deferred and a site visit arranged so that the Members can fully appreciate the likely consequences of this proposal.

I appreciate that the application was originally submitted in February 2001. The latest amendment was, however, notified to us as recently as the letter dated 17<sup>th</sup> October 2001. The notification was received on the 19<sup>th</sup> October. The latest Shadowlines were received on the 31<sup>st</sup> October and appear to us to fail to address a crucial matter as discussed above.

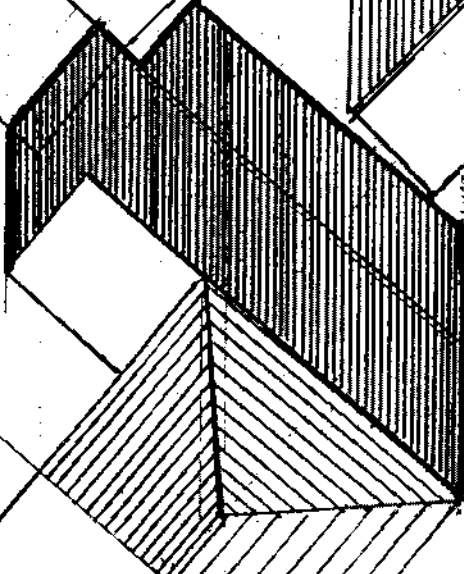
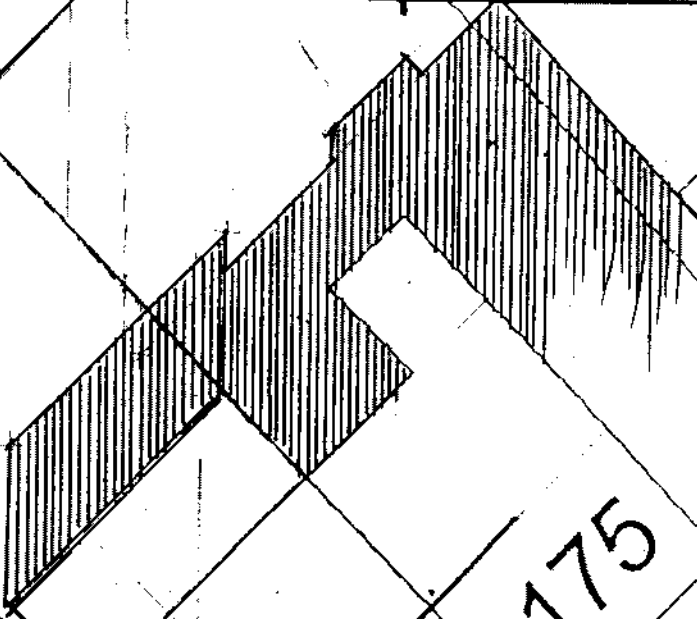
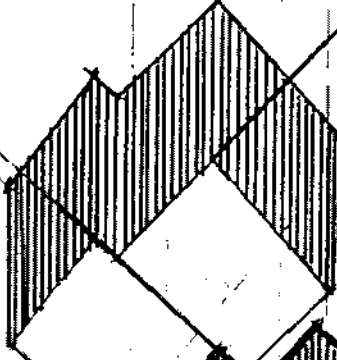
My clients do not wish to speak on Friday but reserve the right to address the Committee in the future.

Yours sincerely,

A handwritten signature in black ink that reads "Bob Taylor". The signature is written in a cursive, slightly slanted style.

**BOB TAYLOR**

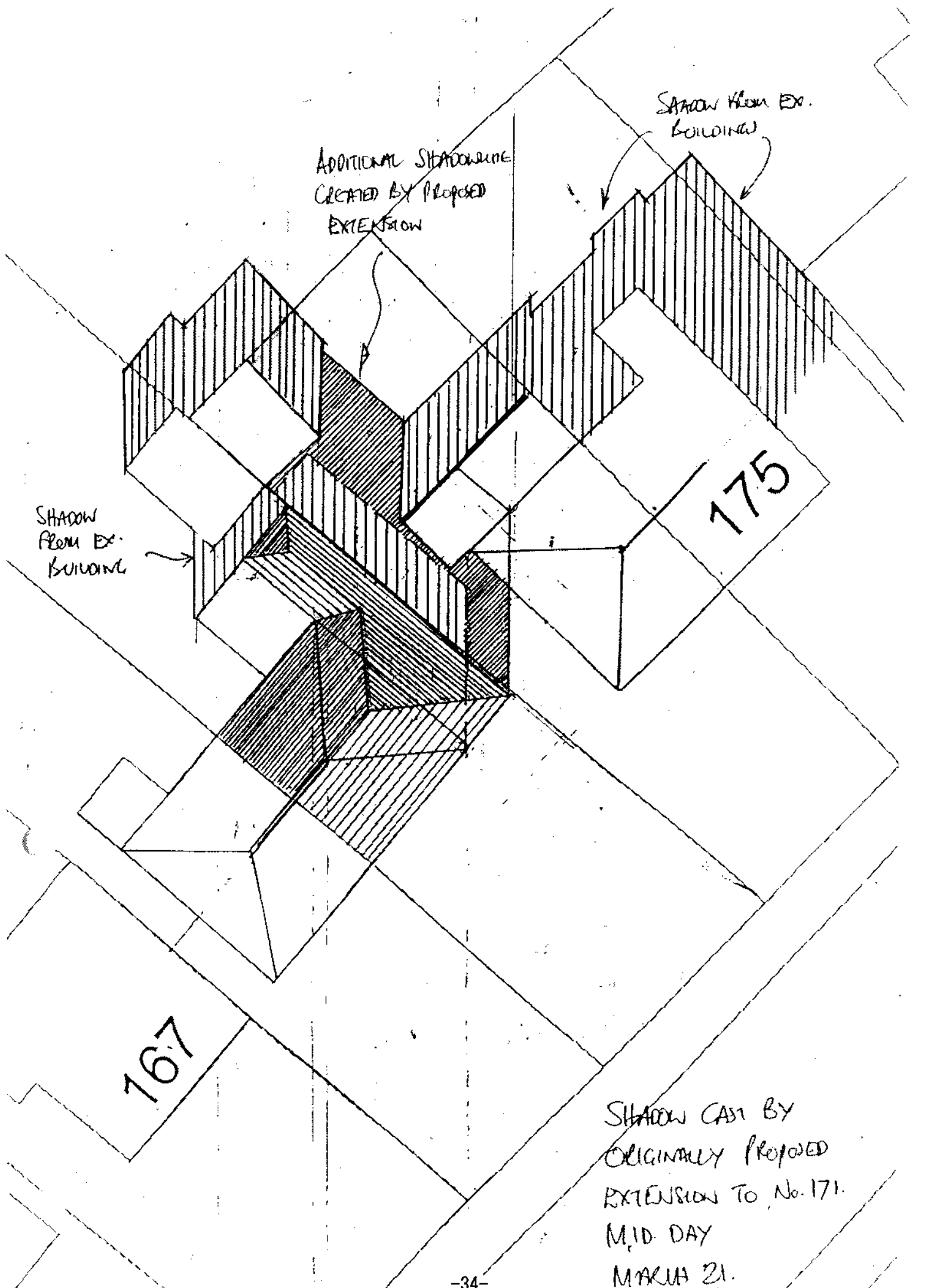
01/0100  
SCHEDULE A  
PAGE 1  
ITEM 1



175

167

SHADOW CAST BY  
EXISTING BUILDINGS  
AT No. 171  
MID. DAY  
MARCH 21.



ADDITIONAL SHADOWLINE  
CREATED BY PROPOSED  
EXTENSION

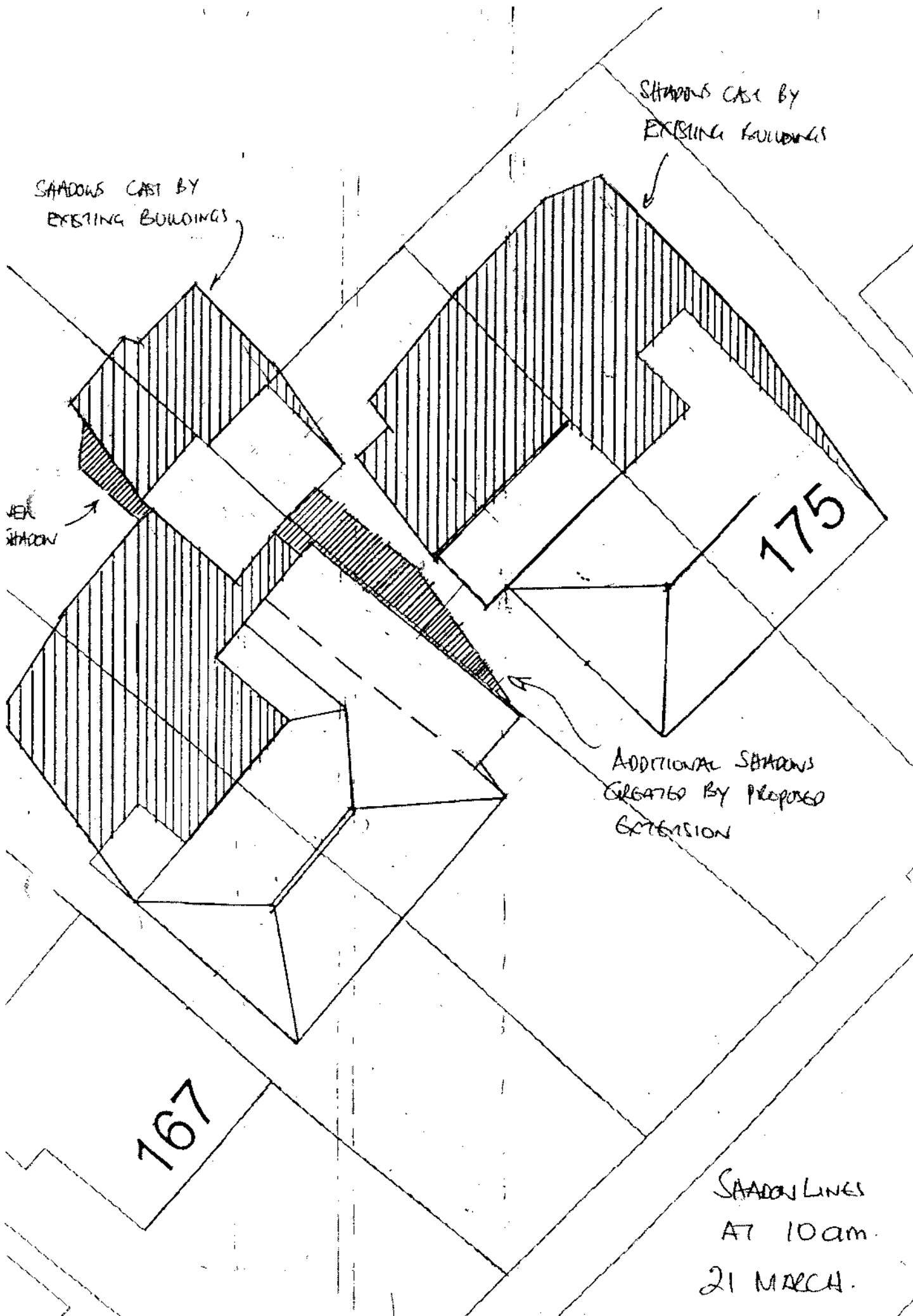
SHADOW FROM EX.  
BUILDING

SHADOW  
FROM EX.  
BUILDING

175

167

SHADOW CAST BY  
ORIGINALLY PROPOSED  
EXTENSION TO No. 171.  
MID DAY  
MARCH 21.



SHADOWS CAST BY  
EXISTING BUILDINGS

SHADOWS CAST BY  
EXISTING BUILDINGS

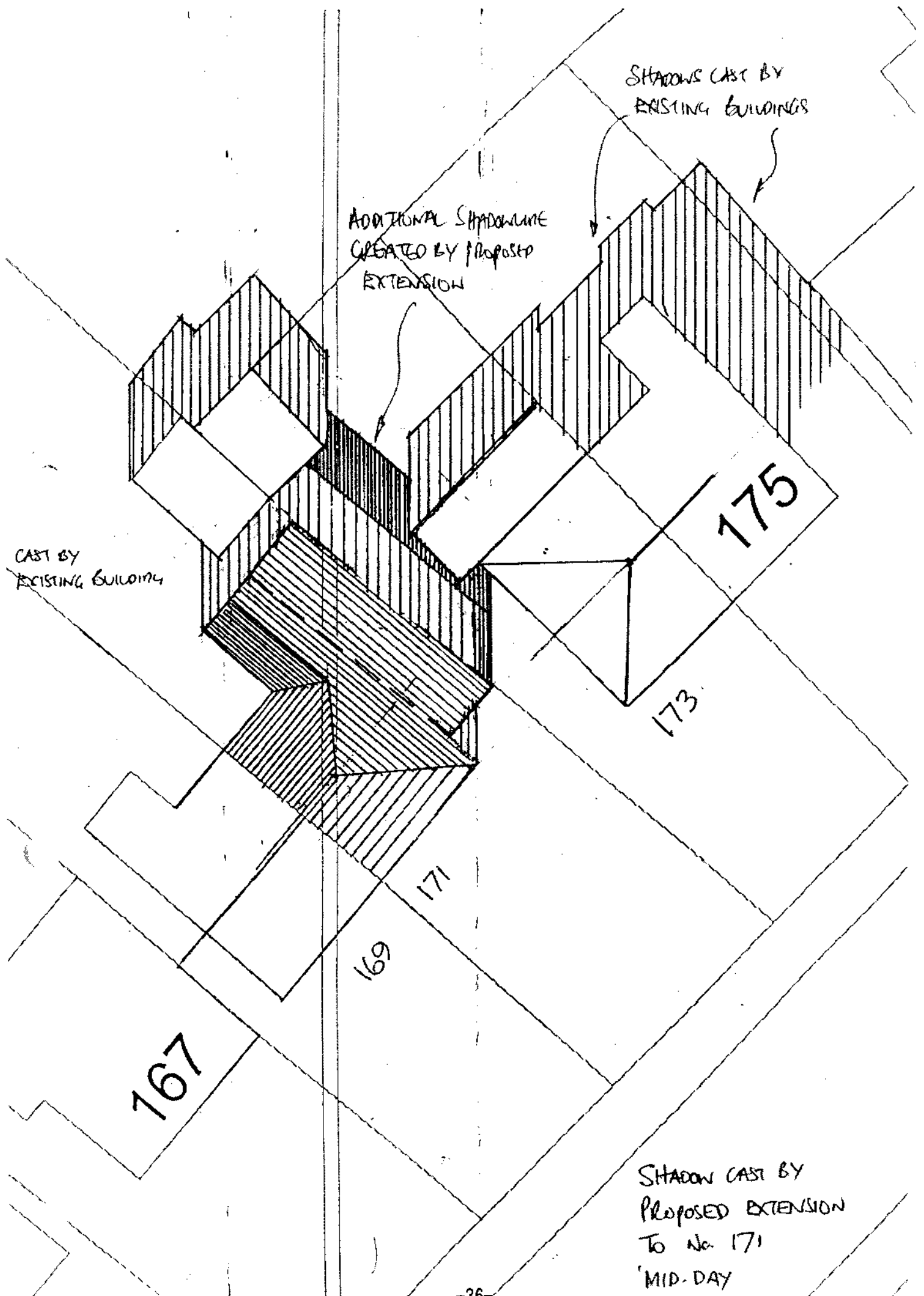
NEW  
SHADOW

175

167

ADDITIONAL SHADOWS  
CREATED BY PROPOSED  
EXTENSION

SHADOW LINES  
AT 10am.  
21 MARCH.



SHADOWS CAST BY EXISTING BUILDINGS

ADDITIONAL SHADOWING CREATED BY PROPOSED EXTENSION

CAST BY EXISTING BUILDING

167

169

171

173

175

SHADOW CAST BY PROPOSED EXTENSION TO No. 171 'MID-DAY MARCH 21



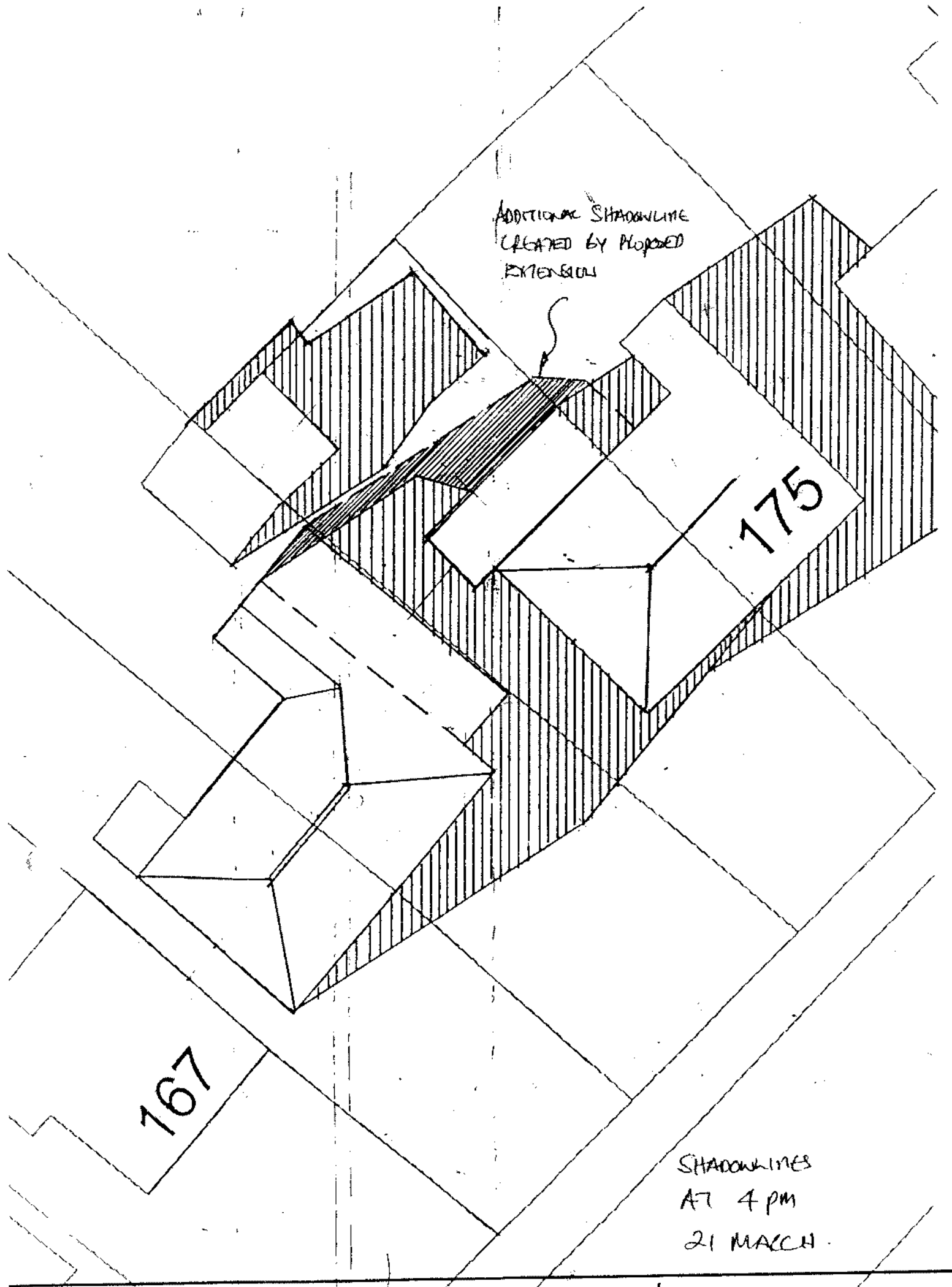
ADDITIONAL SHADOWLINE  
CREATED BY PROPOSED  
EXTENSION

175

167

SHADOWLINES  
AT 2 pm.  
21 MARCH.

ADDITIONAL SHADOWLINE  
CREATED BY PROPOSED  
EXTENSION



175

167

SHADOWLINES  
AT 4 PM  
21 MARCH

## SCHEDULE A: Applications with Recommendation

ITEM NO. 2

Date of Committee: 14/12/20

APPN REF NO: 01/0638 /  
APPLICANT: Cairn Bridge Ltd  
PARISH: Hayton

DATE OF RECEIPT: 20/07/2001  
AGENT: Carrock Construction-Malcolm Iredale  
WARD: Hayton

LOCATION: L/A Field 3644 adj Cairn Bridge, Heads Nook, Carlisle, Cumbri  
GRID REF: 350300 554450

PROPOSAL: Erection of agricultural building

AMENDMENT: 1) Revised plans received 26th October 2001 with original description changed from "erection of agricultural building to water cattle, water treatment and storage piped to sheep troughs" to "erection of agricultural building" by agent's letter received on 23rd November 2001.

Angus

### REPORT

#### PLANNING POLICIES:-

##### CUMBERIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 3

The diversification of the rural economy and the maintenance of the vitality of rural life will be assisted through a favourable response to developments which provide local benefits and are sensitive to the local environment.

##### CUMBERIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E2

Proposals for new farm buildings and extensions to existing agricultural buildings and other farm structures will be permitted, providing that:

1. the building or structure is sited where practical to integrate with existing farm buildings and/or take advantage of the contours of the land and any existing natural screening; and
2. the scale and form of the proposed building or structure relates to the existing group of farm buildings; and
3. within AONBs and Conservation Areas, the design and materials used reflect the overall character of the area; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0638 /

4. the proposal would not have an unacceptable adverse effect on any adjacent properties.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and
3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### SUMMARY OF CONSULTATION RESPONSES:-

COUNTY LAND AGENT: In relation to the originally submitted proposal it is evident that apart from the further storage, the purpose of this building was mainly to provide a pure supply of continually running water to a proposed building to house pedigree sheep.

I am aware that sheep prefer to drink from running water. Some installations involve tapping a supply from a spring or stream and piping that supply through a channel through the sheep housing thereby providing a continuous supply of fresh water. However, this is the first time I have seen a proposal to purify the water prior to channeling it through the sheep housing.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0638 /

It is important to be aware that of the sheep housed in this county, the majority are only housed probably from around Christmas until they have lambed in March/April or perhaps only for a few weeks during lambing. The rest of the year they are at grass.

Turning to the capacity of the plant, the drinking water requirement of a breeding ewe whilst housed varies between 2.4 and 4.5 litres per day. If an average of 3.5 litres per day is taken for the proposed 30 breeding ewes, this gives a daily requirement of 105 litres. I note the combined storage capacity of the tanks within the proposed building is 2700 litres, which is sufficient for around 770 ewes if the existing spring supply is continuous. Clearly this is far in excess of what is actually required.

The applicant puts considerable emphasis on the need for pure water but I am not convinced this is necessary. Many sheep housing enterprises, on a considerably bigger scale than that proposed, successfully use mains water or water from a watercourse.

I have checked the requirements for water housed in sheep in DEFRA's (formerly MAF) "Codes of recommendations for the welfare of livestock - sheep" revised in March 2001. The guidance there states:

"Water bowls and troughs should be constructed and sited so as to avoid fouling and to minimise the risk of water freezing in cold weather. They should be designed and installed in a way that will ensure small lambs cannot get into them and drown. They should be kept thoroughly clean and should be checked at least once daily and more frequently in extreme conditions to ensure that they are in working order".

I have also checked the guidance given in ADAS publication P3128 published in 1987 which states:

"Water is best provided in small troughs or self-filling water bowls. Insulate the water supply well against frost damage, fix the troughs at a height to avoid sheep fouling the water and ensure trough size or the number of bowls is sufficient for the ewes in the pen".

In conclusion therefore, I advise:

1. The capacity of the treatment plant considerably exceeds the daily requirement of the livestock proposed and which the owned land can carry.
2. I am of the view that the purification of water proposed is not essential for the enterprise proposed.

I can confirm that due to the very small area of land held on a secure basis, the ability to carry stock will be very limited

## SCHEDULE A: Applications with Recommendation

Schedule continued for C1/0638 /

and as a result the proposed enterprise will not be financially viable and will have a very low labour requirement.

When considering the revised proposal my further comments are as follows:

1. I note the revised proposed building at approximately 10.4 metres long x 5.7 metres wide is the same size as the originally proposed building and at the same location. It has an external floor area of 59 square metres. It is now about 4.4 metres to the eaves and 5.6 metres to the ridge (previously 4.6 metres and 6.3 metres respectively). The proposed method of construction appears to be more in keeping with a modern farm building compared with the previous proposals.
2. The area available for housing livestock which appears to be the centre and eastern bays measures approximately 6.5 metres x 4.0 metres. At 26 square metres this will provide sufficient space to house about only 15 breeding ewes. There are no details as to the proposed feeding arrangements. The original proposals were to house around 30 ewes so this building has insufficient capacity.
3. A significant floor area of the building on the ground floor, around 9 square metres or about 16% of the building is unusable space due to the presence of existing water troughs. In addition, by seeking to build over the existing water troughs, the building has to be built into the steep roadside embankment. This will result in the rear wall and part of the side walls having to be retaining walls. This will considerably increase the cost of the structure. More importantly, as the walls appear to be single 230mm wide block work with earth up against them they will be continuously damp which will not be conducive to the good health of the livestock within the building. The continual dampness will also be detrimental to the storage of animal feedstuffs.

In my view it is unnecessary to locate the proposed agricultural building so the existing troughs are within the building.

4. The proposed layout of the livestock area is unusual in that purpose made building for housing sheep are normally of portal steel or timber construction. The usual layout is to have a central passage usually about 4 or 5 metres wide with pens off to each side. Between each pen at right angles to the central passage are feeding troughs so the sheep can feed on concentrates and hay etc from the pens on each side. The proposal at Cairn Bridge does not lend itself to ease of operation for feeding the proposed livestock.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0628 /

5. One of the most important aspects of sheep housing is good ventilation. The layout of the purpose made building described above is to provide a light and airy building with a rapid flow of air coming in from the sides of the building and out through the ridge. You will appreciate a sheep's natural habitat is outdoors. It does not require a warm environment as it has a thick insulation layer in its wool but does benefit from having a shelter from rain and snow. This is particularly important for newborn lambs. The building at Cairn Bridge, as now proposed, has solid block walls to the livestock area and is lofted above to store bedding and animal feeds. The only ventilation will be from the gated south elevation. It is therefore possible that the flow of air through this area could be poor, with stagnant air away from the south elevation. Coupled with dampness from the large surface area of water in the troughs and the damp retaining walls, any livestock within the building could suffer, with pneumonia being a possible result.
6. In my original report I commented on the lack of land available to carry the stock numbers proposed i.e. 30 breeding ewes. I reiterate this view in that the usable land owned at about 3 acres is insufficient to carry the stock numbers proposed. I appreciate, however, that hay and straw can be brought in and additional land rented on a reasonable basis.
7. Again in my original response I commented on the financial viability and labour requirement of the proposed enterprise. It is very difficult to estimate the financial viability of a pedigree flock. All I can advise is that the returns from agriculture and in particular livestock farming, are at the lowest they have been in many years. The annual labour requirement of the proposed number of sheep will again be very low.
8. I note there is also a proposal to base up to 5 touring caravans on the site if Camping and Caravanning Club consent is granted. Clearly the use of part of the site for this purpose will reduce the already limited acreage available of grazing the sheep in the summer months. I would envisage use by touring caravans to be of a seasonal nature i.e. mostly from April to October. Problems could occur if breeding ewes are kept in close proximity to such a site as visitors may bring dogs which could cause distress to pregnant ewes or ewes with young lambs.
9. I find it difficult to see how pedigree animals can be housed at this location and cared for correctly with the applicant residing in Wigton. If these are to be quality animals then they will be valuable and at this location they must be vulnerable to theft. There could also be problems in caring for sick or pregnant animals. In addition I find it difficult to understand

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0638 /

how a touring caravan site can operate without someone being on the site to deal with clients arriving in the afternoons/evenings and leaving in the morning.

In conclusion I therefore advise as follows:

- a) The building as proposed, although more in keeping with modern farm buildings than originally proposed, is in my view of inappropriate design and location for the proposed sheep housing enterprise.
- b) The proposed enterprise will have a small labour requirement and its financial viability may be in some doubt.
- c) The proximity of the proposed enterprise of the proposed enterprise to a proposed touring caravan site may cause problems in relation to livestock husbandry.
- d) The security of the livestock with the applicant living at a distance from the holding may give rise to problems of theft. Problems may also arise in caring for sick animals.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: In relation to the originally submitted proposal we consider this to be a substantial new building in such a rural location. We would therefore question whether or not such a large building is necessary for the intended agricultural use. The application fails to provide details of the agricultural holding that the building is proposed to service. The red lined drawing only shows a small area of land as part of the application. We would therefore raise concern that this elaborate development may be required as part of a commercial bottling plant operation, rather than simply to provide water for livestock. Furthermore, the proposed building has an appearance more akin to a private residential dwelling rather than agricultural use. We would therefore express concern about the scale and bulk of the building, and the proposed end use. We do not consider that there are any justifiable planning reasons for the development, and consider that it would result in a substantial new building in the open countryside. If the reason for the building were essentially for safe secure storage, then its isolated location may make the building more vulnerable to theft. Furthermore, if it were to be used for commercial bottling plant purposes, the use would generate an increase in traffic movements in and out of the site and along narrow country lanes. This would be detrimental to the general amenities of the area, which is located in a quiet rural part of the District. We would recommend refusal accordingly.

In regard to the revised proposal the external appearance of the current proposal has been changed to reflect more of a modern agricultural building, but yet it has similar overall dimensions to the original proposal. In this regard we note that the revised building would measure 10.5 metres long by 5.65 metres wide, by 5.65 metres in height. Thus there would



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0638 /

be only a slight reduction in the height of the ridge line. However, it would now seem that the building would be used principally for housing pedigree Suffolk sheep for the organic meat markets, and not to house cattle as originally submitted. Furthermore, the area identified for the water treatment plant has all but gone from the proposal (i.e. the store rooms and plant rooms). In its place, the applicant proposes largely livestock, bedding, animal feed and storage areas. Thus within a very short space of time, the intended use has changed considerably, and therefore although not necessarily a material planning consideration, we would nevertheless question the motives behind the proposal.

It would seem the building would now be used to house sheep on a parcel of agricultural land of only 6 acres (2.43ha). We note that the T&CP (General Permitted Development) Order 1995 refers in Part 6, Class B, to the carrying out on agricultural land comprising an agricultural unit of not less than 0.4ha but less than 5 hectares in area, to certain forms of permitted development. On land areas of less than 5 hectares, new agricultural buildings are not permitted development under Class B. Hence planning permission is required in this case. In any case, a major requirement of an agricultural development being permitted development is that it must be:

"reasonably necessary for the purposes of agriculture within the unit".

We note that the applicant's agent has referred to the apparent lack of any specific policy direction in PPG7 or the Local Plan relating to the assessment of 'need' in the consideration of planning applications for agricultural buildings. As stated above, the GDPO requires an assessment of 'need' for those agricultural buildings to qualify as permitted development under both Class A and B of Part 6. It must follow that for those buildings that do require planning permission it is reasonable that a fuller consideration of the principle of the development should apply. This must include as to whether or not the building is reasonably necessary for the purposes of agriculture. Otherwise, it also follows that the Planning Authority would then only assess a full planning application on the basis that the principle is already acceptable, and the only matters to consider would be the siting, design, and external appearance as otherwise required under the normal determination procedure. That kind of consideration would defeat the whole object of requiring a full planning application to be made, as the planning system could therefore justifiably rely exclusively upon the determination procedure in all cases. The full merits of the proposal would not therefore need to be assessed, and the need for planning application for agricultural buildings would then be superfluous. In the case of the site at Cairn Bridge, the agricultural unit is extremely small, and there are no existing farm buildings within the planning unit (2.43ha). Hence in our judgement, the proposal must fail to satisfy both criterion 1 and 2 of Policy E2.

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Given the circumstances surrounding the proposal and the inconsistent details submitted with the application, we do not consider that sufficient evidence has been submitted to justify the size and scale of the new building in relation to the size of this small holding. We feel that a much smaller building may possibly be appropriate for the size of the agricultural/planning unit. However, the current proposed development would result in a substantial new building in the open countryside unrelated to the scale and form of any existing farm buildings. Hence we consider there are sufficient planning grounds to recommend refusal.

If as the applicant claims, the pedigree Suffolk sheep require special care and attention, then it is our judgement that it would be inconsistent to then allow the small holding to also be used by holiday makers in such a confined space. The area reasonably capable for sheep grazing and for caravan users is fairly restricted. The two activities would therefore seem to be incompatible, given the apparent requirements of livestock good husbandry. We would therefore suggest that the advice of the County Valuer and that of an independent agricultural should be sought in this case.

Whilst this specific issue may be a matter of good husbandry, we are nevertheless sceptical as to whether or not the two activities could reasonably take place concurrently on this small piece of land. This therefore raises the doubts in our minds about the motives behind the intended use involved in the planning application, especially since the applicant appears to have constantly changed his mind over the use of the site and the building. For this reason, we would question the justification for the building that requires planning permission in this instance.

We would maintain that the size of the proposed agricultural building should still reasonably relate to the scale of the agricultural operation. We remain unconvinced therefore that the proposed two storey building, as submitted, would do that.

One particular point of concern would be if, say, one of the caravans were to be permanently occupied. For some reason, the applicant may then later claim that the residential use of the site within that planning unit benefited from a Certificate of Lawfulness under the four year rule. It is for these reasons that we consider that the reasoned justification for the agricultural building should be properly scrutinised and planning control exercised accordingly.

COUNTY HIGHWAYS AUTHORITY: In relation to the planning application, extremely concerned with regard to works on the embankment within the applicant's site area. The removal of trees, undergrowth etc will cause instability to the embankment could also lead to the subsidence of the existing public highway which would be dangerous for road users. From a highway point of view, no development should be allowed within the site which would involve any works taking place that would affect the stability of the embankment.

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The Highways Authority have also written to the applicant's agent with regard to the proposed caravan site explaining that the the normal requirement for an access serving a caravan site for tourers is 5.5 metres in width, incorporating 11 metre radii kerbs at the junction with the public highway with a visibility splay of 70 metres x 4.5 metres x 70 metres. The existing access falls well below this standard. Consequently drivers of vehicles towing caravans using this access will cause danger to other road users.

Likewise the existing road junction a few metres to the north of the proposed site is substandard with regard to layout and gradient. It would therefore be likely that a vehicle towing a caravan at this location would have to go onto the opposite side of the carriageway when going in a westerly direction which would also be detrimental to the safety of other road users.

In addition, the Highways Authority have written to the Traffic Commissioner concerning the application for a goods vehicle operating licence at Cairn Bridge confirming that the access onto the public highway is substandard with regard to layout, design, construction and visibility. As a consequence, drivers of goods vehicles using this access will cause a danger to other road users.

ENVIRONMENT AGENCY: Under the Water Resources Act 1991, for agricultural purposes, abstraction from a surface contiguous source of less than 20 cubic metres per day, does not require an abstraction licence. However, the plans submitted and the proposed treatment facilities shown, indicated an intention to use the water for human consumption such as water bottling, which would require an application for an abstraction licence. Please be aware that to abstract water without a licence or in breach of a licence is a criminal offence and may lead to prosecution.

Any effluent discharged to a river from a bottling plant would be classed as trade effluent and would require a consent under the terms of the Water Resources Act 1991. Such Consents must comply with the requirements of the Groundwater Regulations 1998 including prior investigation, technical precautions and requisite surveillance and may be withheld. (Controlled waters include rivers, streams, groundwater, reservoirs, estuaries and coastal waters).

The developer should be advised that the granting of permission does not remove the need to obtain the relevant statutory Agency licence/consent. Permission should be gained prior to any work commencing.

The Environment Agency have also written to the Camping and Caravanning Club raising concerns with the proposed caravan site on the basis that potential flooding cannot be ruled out due to the proximity of Cairn Beck.

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HAYTON PARISH COUNCIL: In relation to the originally submitted plans the Council would wish to know where all the sheep and cattle that would necessitate such provision going to graze as the area is not much larger than a lawn.

We would also query the need for stock to have "treated" water at all and wonder whether the long-term use of this site might be for a different purpose all together. For example, are caravans to be sited here or could it be converted into a water bottling plant, perhaps even a residential dwelling?

In conclusion expressions of concern centre upon the future plans for the site. Residents would like to be reassured that any such possibilities could be uncovered before any development proceeds.

In regard to the revised details the Parish Council have the following comments:

The Council wishes to express its grave concerns about this proposal as previously expressed when the original application was received. It would appear in the light of further consideration from the application that concerns about the true purpose of the proposal were not unfounded as we now know that the applicant has indeed also applied to the Camping and Caravanning Club for a 5 Caravan Certificate.

Whilst we appreciate that he does not require Planning Permission for the certification, Council is of the opinion that common courtesy would necessitate a polling of public opinion. Both Parishioners and Councillors alike are strongly of the view that this site is completely inappropriate because of the a) extremely hazardous entrance/exit to the site and b) because it is small and close knit community at Cairn Bridge, the residents themselves are not happy at the prospect of having strange families in their midst and feel there are not really amenities to support them, albeit on a temporary basis. Residents also feel that they should have been consulted and I understand, will be writing to the Camping and Caravanning Club to make this same point.

With regard to the further intentions of the applicant, so far the proposal has been presented as an agricultural enterprise - for the water/sheltering of cattle in the first instance, amended now to being a high quality breeding establishment for Pedigree sheep. Added to the sheep is now to be a caravan site - though this will not function in the lambing season and the latest development seems to be an application for a licence "to use Cairn Bridge, Heads Nook, Brampton, CA8 9EH as an operating centre for one goods vehicle with no trailers!!" Of major importance is the access onto a narrow road with potentially poor visibility which already supports heavy goods traffic to and from various quarrying/logging enterprises. According to local opinion the entrance to the site is totally inadequate for the turning in of cars and caravans let alone heavy goods vehicles and one cannot help but wonder about the "organic" status of the Pedigree sheep, once there grazing has been

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contaminated by diesel from a heavy goods vehicle and the other potential refuse left by caravanners.

We understand that one of the criteria for the certification of a caravan site is that there should be drinking water fit for human consumption which explains the need for the water treatment plant. Council remains very concerned that the proposed building could in due course be converted into a permanent shower/toilet block, and the idea would be to make the site available to rather more than 5 caravans.

In conclusion, Council is most concerned as to the future intentions of the applicant and cannot see that the proposal as it currently stands i.e. agricultural building/water treatment plant/organic sheep breeding project/caravan site/heavy goods vehicle site - is a desirable or acceptable development for this area. Residents would like to be further reassured that any additional possibilities could be uncovered before any of these developments proceed.

HEAD OF ENVIRONMENTAL SERVICES: There are no objections to the above proposal. However I have been informed that enquiries have been made to use the (spring) water for human consumption. If that were to happen then, the supply would have to be registered under the Private Water Supply Regulations 1991. In addition the water quality would have to be analysed by the Local Authority to ensure that it is fit for human consumption.

CUMBRIA WILDLIFE TRUST: The Trust has no information to show that the site is of particular importance for wildlife, and therefore has no comment to make.

THE CAMPING AND CARAVANNING CLUB: The proposal is for a maximum of 5 caravans at any one time and such sites have normally little or no impact on the local area. The Committee, who discussed the proposal, are all members of the Camping and Caravanning Club and have many years' experience of camping and caravanning. We can assure you that full discussions were held with regard to the proposed site and its location. Following further consultation with our voluntary Site Inspector, we were made aware of an improved access but we feel that the present access would be adequate for the expected number of units. We are also aware that the proposed site is very well screened due to its location within an area of a disused limestone quarry and is surrounded by high mature trees and hedges.

The site must provide basic facilities as follows:

- i. a suitable Chemical Disposal Point which contains the waste from chemical toilets with an associated water supply to allow members to swill out their containers.
- ii. A separate drinking water supply via tap.
- iii. Dustbin/s for the containment of rubbish.

The proposal for agricultural use on the area has no interest

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with the proposed area (minimum 1/2 acre) for the 5 caravans, and we feel that would not cause any detrimental affect on the site. Certainly, if the uses do cause some conflict and the site area is compromised in the future, when the site is revisited during the Summer of next year, this will be given consideration.

We note that although the applicant Mr Wilson does not reside at the proposed location, we are aware that he does live and work within the local area and arrangements could be made for pre-booked pitches, via an advance booking system within a site listing in our publication, and Mr Wilson may also arrange for someone locally to supervise the site on his behalf.

The water supply is via a mains supply and two standpipes are to be sited within the location. The location of the chemical disposal point is as marked on the attached site plan.

UNITED UTILITIES: There is already a mains water supply to the site and it is noted that the developer may intend to also use spring water for supply. It is also noted that a site infrastructure has been laid out with taps set out as if for camping/caravanning.

One of our conditions of supply of potable water is that "all internal pipework must comply with current Water Supply (Water Fittings) Regulations 1999. Whilst the application is for an "agricultural building" there are great concerns that the mains supply may be subject to contamination which could contaminate our general supply for the area.

If the applicant was intending to use the current water supply for more than the apparent use for an "agricultural building" then the adequacy of the current supply would be in question.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of an adjoining property. In response to the original scheme five letters of objection have been received. The issues raised being:

- The purpose for which the developer intends to use the land appears very different from the plans actually submitted;
- The area provides a natural habitat for deer and red squirrel. Clearance of this site endangers the future of both animals;
- Access to the site is very poor, being located on a severe bend to a T-junction on the incline of Cairn Bridge;
- The introduction of casual residents with no interest in preserving the environmental and community interests of the area will reduce the sense of security permanent residents currently live with;

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- Cairn Bridge is most definitely an area of natural beauty and every effort should be made to protect this fact;
- The applicant has been extracting stone from the site;
- The applicant appears to hope to eventually get a building site of some sort on the land. Any building on this site could open the way to building in-fill applications for ribbon development from Faugh to Heads Nook.

The neighbouring residents have been re-notified concerning the revised plans. At the time of preparing the report two letters of objection and a petition with 154 signatures have been received on the basis that:

- The development of the site appears to be for a caravan site and not concerned with the rearing of livestock. The site is small and would not appear to justify the development. It is also noted that six stand pipes have been installed on the site at intervals that would suggest services for caravans;
- If the the intention is to use the property for a caravan site, wish to object on grounds that the access is dangerous; the liability of the site to flooding; the risk of pollution to the river from the site;
- the caravan site and "agricultural" building will be detrimental to highway safety and the visual appearance of this rural area.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Members will recall that prior to their Meeting in November the applicant withdrew application number 01/0626 for the siting of a steel storage container on the grounds that his agent considers the proposal to be permitted development.

In August of this year this Section was consulted by the Camping and Caravanning Club because it had received an application from Mr R M Wilson for the issue of a 5 Caravan Certificate of Exemption under the Caravan Sites and Control of Development Act 1960. In response to the consultation misgivings were raised because the applicant, who resides in Wigton, has no apparent on site supervision of the property; the existing access is considered poor whilst the proposed access, for which the necessary permission has not been granted, would be detrimental to the safety of other road users; and, in such a sensitive site the proposal is likely to be detrimental to the character of the area. The concern is that the proposal would be contrary to the objectives of Policy EM15 of the Local Plan.

On the 1st November the Camping and Caravanning Club wrote to confirm that their Exempted Camping Committee had decided to

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proceed with the application. The Camping and Caravanning Club have yet, however, to issue an Exemption Certificate. The Club have also agreed not to issue an Exemption Certificate until the opportunity has been given to consider any formal observations on the proposal from the Development Control Committee of the City Council.

The 10th November edition of the News and Star contained a notice advertising the fact that a Mr J Carrick had applied to the Traffic Commissioner in Leeds to use the site as an operating centre for one goods vehicle.

### DETAILS OF PROPOSAL

Members will recall that this application was deferred to allow the receipt and consideration of responses following the re-notification/consultation of interested parties concerning the revised details.

The application relates to approximately 2.5 hectares of land to the immediate west of the Cairn Bridge junction with the Heads Nook/Faugh road. In the north-western corner there is a redundant quarry and former shipping container measuring approximately 12.5 metres by 2.5 metres.

The application site has been owned by Cairn Bridge Ltd since April/May 2001. The surface of the track shown on the location plan has been resurfaced with hardcore and most of the area between the track and Cairn Beck, which flows through the site, has been cleared of growth and sown with grass. There is a very steep slope between the track and the public road, which retains the existing shrub vegetation. The land to the south of Cairn Beck appears to be part of the adjacent field with an undefined boundary.

It has been intimated by Mr R Wilson, on behalf of Cairn Bridge Ltd, that:

- The area available for grazing livestock would be around 1.25 hectares (3 acres);
- That 2 hectares (5 acres) of agricultural land was also owned at Wigton (about 16 miles from Cairn Bridge);
- About 12 hectares (30 acres) was taken each year on seasonal grazing lets;
- His family farmed at Allonby and Cumwhitton and he had access to fell grazing rights at Uldale;
- The intention would be to rent further seasonal grazing in the vicinity of Cairn Bridge;
- Mr Wilson has no livestock at the present time, these having been sold prior to the current Foot and Mouth restrictions. In the past, about 20 Limousin cross bullocks were kept, which were sold as strong store cattle. Twenty breeding



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- ewes had also been kept. He currently has no ewe quota or suckler cow quota allocated to him;
- No crop was taken off the land with all feedstuffs bought in. This included big round bales of hay and concentrates. The hay was stored in a building on the land at Wigton;
  - There is a block built general purpose building measuring 18 metres x 6 metres (60' x 20') on the land at Wigton; and,
  - Mr Wilson advised that he worked about 40 hours/week on his agricultural holdings. His son, who works full time off the holdings, also helps at weekends. Mr Wilson lives off the holdings at 53 High Street, Wigton.

This application, as originally submitted, involved the erection of an agricultural building which on the ground floor had housing for a water treatment plant, storage, two existing water troughs, and, an area for treating and attending to cattle and sheep. The first floor of the proposed building was a further store room and a water storage and treatment plant.

On the 26th October the applicant submitted a revised plan showing the erection of a building with breeze block and timber boarded walls and a sheeted roof. The building measures 5.6 metres by 10.4 metres with eaves and ridge heights of 4.8 metres and 6.0 metres respectively. The ground floor incorporates a natural spring water trough, storage room and a livestock area. The first floor consists of floorspace marked for bedding and animal feed storage.

The revised plan was accompanied by a letter from the applicant's agent and a report from the applicant's accountant. The agent's letter highlights that:

- The revised details show the building would be sited on the same footprint as that previously proposed but significantly reduced in height. In addition the design of the building has been simplified and would be constructed of a mixture of concrete blockwork and Yorkshire boarding under a profiled steel roof, similar in appearance to more modern agricultural buildings commonly found elsewhere in the District.
- The ground floor of the building would provide storage space for implements as well as animal housing with the roof space used for storage of bedding and animal feed. In addition to the reduction in height, the rear of the building would be dug into the embankment further reducing any visual impact.
- The proposed agricultural business will initially be based on a small stock of high quality pedigree sheep which will be sold or hired to other farmers for breeding purposes.
- The stock will be housed at Cairn Bridge but it is intended that additional land will be acquired in the vicinity to

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enable numbers to be increased and to grow organic fodder with the intention of eventually producing organic meat.

- Whilst concerns have been expressed in respect of the scheme originally submitted, the agent feels that the revised details are acceptable and appropriate to this location. The building is required to support a small scale agricultural business venture in direct response to the effects on the industry caused by the current Foot and Mouth epidemic. The company considers that changes in the agricultural sector will be inevitable with a move away from mass meat production and an increase in demand for high quality organic meat produced under strictly controlled conditions.
- Whilst the need for the building has been questioned I would point out that the Governments own planning policy advice contained in PPG7 acknowledges that changes in the agricultural sector are required to adapt to new environmental hygiene and welfare legislation as well as changing market requirements. The guidance note specifically advised that in response local planning authorities should take account of the need to maintain an efficient and flexible agricultural industry and it should be noted that in neither the Government' guidance note nor the Council's own Local Plan is there any specific requirement to justify the need for an agricultural building other than where a new agricultural dwelling is proposed.

The accountant's report also states:

- Cairn Bridge Ltd originally acquired the site in early 2001 and have maintained it as grazing land. It has a 40 year history of being used solely for sheep grazing. Additional land in the vicinity will be leased/purchased for cropping and grazing purposes.
- With respect to the expertise of the owners and associates, the directors of Cairn Bridge Ltd are all involved in the agricultural sector and have in-depth knowledge and experience of farming both on the Solway Plain and in the Lakeland Fells, utilising a mix of owned and rented land.
- The objective at Cairn Bridge is to rear and breed a stock of pedigree Suffolk sheep to generate profit. The company has already purchased an initial stock of 20 which is awaiting collection from various farms as soon as the movement restrictions are lifted. From a trading point of view, orders have been placed with the company for breeding rams. In the future, as well as rearing breeding stock, it is intended to produce high quality organic meat, as demand for such products is likely to increase significantly.
- The company directors have vast experience of both sheep and cattle breeding and there also exists a bank of related farmers who will act as consultants on an ongoing basis.

Ewe quota will initially be leased.

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- The company will grow organic crops of the highest quality. This produce will be used both to feed the sheep stock and to make up casual sales.
- When not grazing, the sheep will be housed in a purpose built agricultural building measuring approximately 10 metres x 5 metres. The building will be fabricated to traditional structure using high grade materials. Clinical cleanliness will exist within the building and drinking water will be solely from fresh running spring water. Organic food will be used at all times.
- We have not been advised to provide detailed financial projections at this stage. However, in discussions with the directors of Cairn Bridge Ltd, we have established that the project should at least break even in one year if it does not yield a marginal profit. In years two and three we would expect profits healthy enough to allow the distribution of a dividend to the company directors.
- The overriding aim of the project is to provide high quality storage and housing which will enable the company to rear and breed top-quality Suffolk sheep with a view to re-establishing the Cumbria region as a world-leader in the market place.

In relation to the matter of the proposed dual use of the site, the applicant's agent has also submitted a separate letter which highlights:

- The use of part of the land as a certificated caravan site was seen by our clients as a form of diversification which could run concurrently with the agricultural use. This is because as a certificated site the maximum number of touring units allowed is only five in total. Even with the maximum number of units on site the area of land used would therefore be minimal with little if any impact on the overall agricultural operation.
- The land would not be used as a certificated site during the winter months or at lambing time when both the building and land would be used intensively for over-wintering, feeding and lambing purposes and for looking after the new born lambs. It is envisaged that during the summer months only the prize stock will be kept at Cairn Bridge with less valuable stock being put on to the grazing land which will be leased in the vicinity.
- The building will however still be required during the summer months for general animal husbandry and welfare purposes such as blood sampling, dosing, feet clipping and wool clipping. You will appreciate that the Suffolk sheep, around which the business will be based, require far more care and attention than other breeds and this will be particularly so at Cairn Bridge given that the aim is to produce high quality pedigree stock.

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- As you are already aware there will also be an ongoing need to provide secure storage for agricultural implements, equipment and machinery as well as provision for the dry storage of good quality fodder.

At an Officer level it is felt that the following seven points need to be kept in mind when considering this application:

- a) Members will be aware that Class B of Part 6 of the (General Permitted Development) Order 1995 permits certain development to take place on agricultural land comprised in an agricultural unit of not less than 0.4 but less than 5 hectares where the development is reasonably necessary for the purposes of agriculture within the unit. Part 6 makes it clear that the term "agricultural land" means land which, before the development permitted by this Part is carried out, is used for agriculture for the purpose of a trade or business. Prior to the purchase of the land by Cairn Bridge Ltd and the subsequent clearance of growth it appears that the land was occasionally used for the grazing of a pony, and as such, there was no significant agricultural use of the land for a trade or business purpose. If the land is subject to a MAFF/DEFRA holding number it is not felt to have any greater significance than as a source of administrative reference.
- b) Ministerial advice contained in PPG7 "The Countryside - Environmental Quality and Economic and Social Development" points out in paragraph 2.1 that the aim of the planning system is to reconcile the needs of development and conservation, and secure economy, efficiency and amenity in the use of land. Paragraph 2.3 of PPG7 goes on to say that the guiding principle in the countryside is that development should both benefit economic activity and maintain or enhance the environment. "New development should be sensitively related to existing settlement patterns and to historic, wildlife and landscape resources. Building in the open countryside, away from existing settlements or from areas allocated for development in development plans, should be strictly controlled".

Paragraph 2.8 of PPG7 also states that local planning authorities should weigh the need to: encourage rural enterprise; protect landscape, wildlife and historic features; safeguard best agricultural land; have regard to the quality and versatility of land for forestry and other rural enterprises; protect non-renewable resources; strengthen rural communities; achieve good quality development which respects the character of the countryside; and, secure safe development by taking account of the stability of the land.

The Government's policy is "that the countryside should

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be safeguarded for its own sake and non-renewable and natural resources should be afforded protection" (paragraph 2.14).

In addition, paragraph 3.4B states that it "is usually preferable for farm diversification schemes to re-use good quality existing buildings and put them to a new business use, rather than build new buildings in the countryside. New buildings, either to replace existing buildings or to accommodate expansion of enterprises, may also be acceptable provided that they satisfy sustainable development objectives and are of a design and scale appropriate to their rural surroundings."

- c) The development plan comprises the Cumbria and Lake District Joint Structure Plan (SP) and the Carlisle District Local Plan (CDLP). SP Policy 13 and CDLP Policy E8 establish that in the undeveloped open countryside, development will not normally be permitted. CDLP Policy E2 relates to agricultural buildings, and makes it clear that they will be permitted, but only if certain criteria are met.
- d) The applicant's agent has argued that in neither Ministerial guidance nor the Carlisle District Local Plan is there a specific requirement to justify the need for an agricultural building. Although there is no advice in PPG7 relating to the viability testing of proposals for agricultural buildings, reference can be made to paragraph E9 that "the purpose of a viability test is not to judge the likely present or future financial viability of the enterprise as such, since this is not a proper concern of the planning system, but to consider the land use implications for the site, which may include the likelihood of the proposed development being carried into effect..". Members need also to appreciate the advice contained in paragraph 50 of PPG1 "General Policy and Principles" which states that "Material considerations must be genuine planning considerations, i.e. they must be related to the purpose of planning legislation, which is to regulate the development and use of land in the public interest. The considerations must also fairly and reasonably relate to the application concerned ..".

When assessing the likelihood of the proposed development being carried into effect, and how far this may be material to the planning decision there has to be a consequential linkage to land use planning matters. In terms of this application the obvious linkage is that if the proposed enterprise is of doubtful viability, the results of failure would leave a building in the open countryside which would remain either unused or re-utilised for a less suitable purpose.

In addition, and following the evidence submitted on

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behalf of the applicant concerning the alleged benefits to the local economy of the proposal, it seems material to consider the reasonable likelihood of the postulated economic consequences of the development coming into being.

- e) When considering the viability of the proposal agricultural enterprise the applicants accountants have stated that in "years two and three we would expect profits healthy enough to allow the distribution of a dividend to the company directors" although earlier in the report it is pointed out that they have not been advised to provide detailed financial projections at this stage. The concern being that making a future profit is not necessarily the same as the business being viable. This concern is reinforced by the comments of the County Land Agent who believes that: the usable land owned at about 3 acres is insufficient to carry the stock numbers proposed, unless hay and straw can be brought in and additional land rented; at a time when the returns from agriculture are at the lowest they have been for many years, the proposed agricultural enterprise is unlikely to be viable although it is difficult to estimate the viability of a pedigree flock. The local planning authority also finds itself in the position of an applicant already seeking to diversify an agricultural enterprise which has yet to be established.
- f) Whilst Mr Wilson has said that the holding may be enlarged by taking additional land on a license basis, there is no security of tenure. It is recognised that because of where Mr Wilson lives, there could be particular problems in establishing an enterprise in the absence of any building. Conversely, the County Land Agent finds it difficult to see how pedigree animals can be housed at this location, cared for and not subject to problems of theft with the applicant residing elsewhere. The proximity of the proposed agricultural enterprise to a proposed touring caravan site may also cause problems in relation to livestock husbandry.
- g) In relation to the design of the proposed building, the County Land Agent feels that, although it is more in keeping with modern farm buildings than originally proposed, it is of an inappropriate design and location for the proposed sheep housing enterprise. Whilst the proposed building has the immediate backdrop of the embankment leading to the main road, it is also considered that the building's size and isolated location would make it look incongruous.

In conclusion it is considered that there does not appear to be a reason to justify an exception to SP Policy 13 and CDLP Policy E8 which, in line with FPG7, seeks to restrict development in the open countryside. If an exception was to be

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made in this particular case, then it would make it hard for the Council to resist similar applications elsewhere in the countryside. This would lead to the gradual erosion of the openness of the rural area. In addition, it is considered that the proposed agricultural enterprise is of doubtful viability the results of which would lead to a building, if approved, either being unused or re-utilised for a less suitable purpose, for example in association with the use of the property as a caravan site, for the bottling of spring water, and/or, the siting of HGVs.

At the time of preparing the report further information has been sought from the applicant on the extent of the expected profits referred to in the accountant's report; whether any additional land has been secured; the proposed HGV centre; and, the unauthorised work taking place with regard to the erection of a boundary fence and apparent formation of a new vehicular access.

The applicant's rights are respected but in light of the above and the available information, it is considered that the agricultural considerations do not out-weigh the harmful effect on the character and appearance of the surrounding area and, therefore, would be contrary to the objectives of Policy 13 of the SP and Policy E8 of the CDLP.

NS ✓  
The opportunity also exists for the Committee to make formal observations on the proposed caravan site to forward on to the Camping and Caravanning Club.

### RECOMMENDATION: -

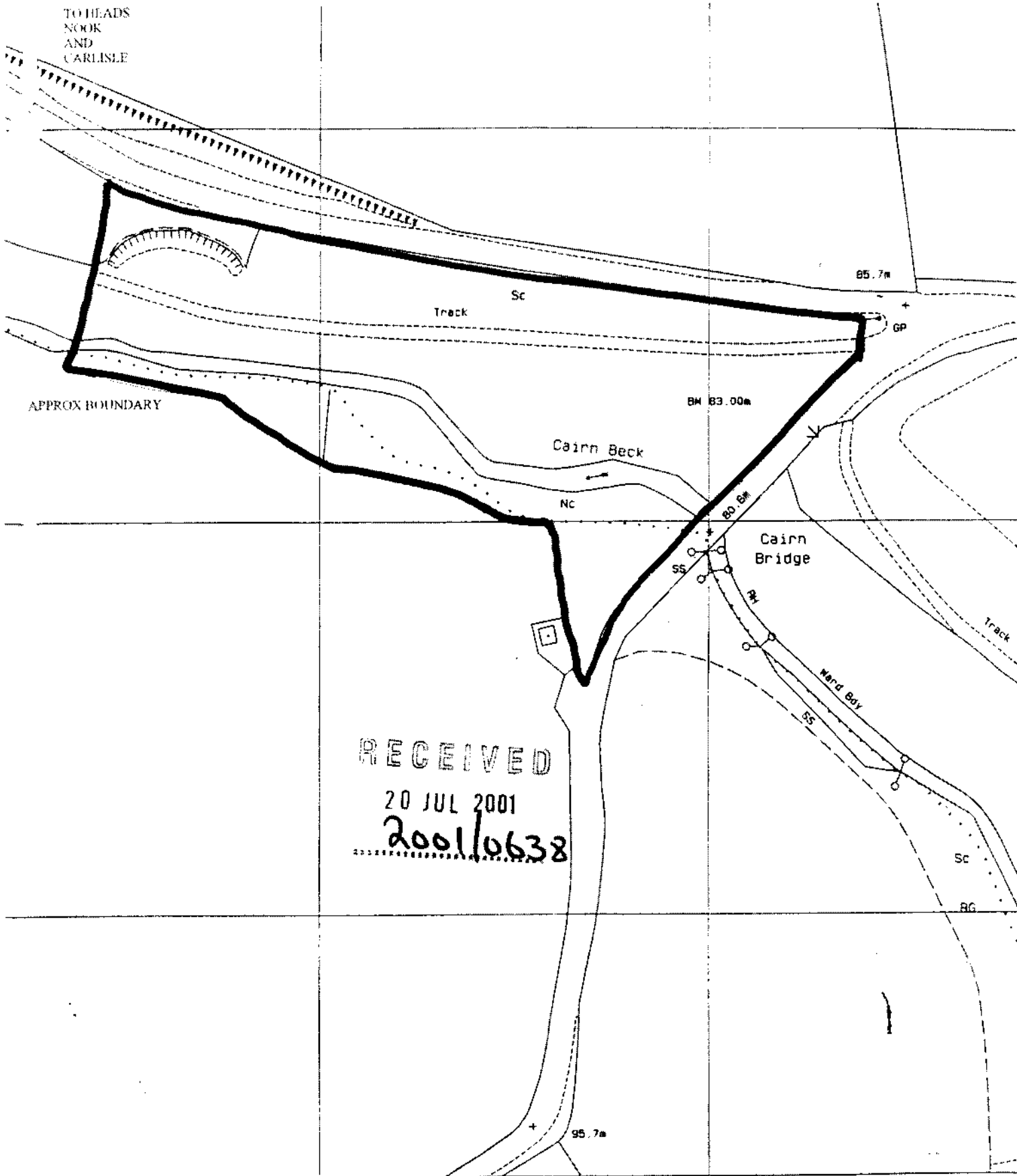
REFUSE

WITHDRAWN ✓

1. REASON: The site of the proposed development is in a prominent and attractive open area of countryside unrelated to any existing settlement or group of farm buildings. In such a sensitive location the proposed agricultural building is not only considered to be of an inappropriate design but also for a proposed agricultural enterprise of doubtful viability. The proposal is therefore considered contrary to the objectives of Policy 13 of the Cumbria and Lake District Joint Structure Plan and Policy E8 of the Carlisle and District Local Plan.

P115 ⇒

See Supp comments pages 6-13



**CARROCK CONSTRUCTION SERVICES**  
CARROCK HOUSE, HOW HILL, HUTTON ROOF, PENRITH, CUMBRIA, CA11 8XY.

WEB: [WWW.CARROCK.CO.UK](http://WWW.CARROCK.CO.UK)  
E.Mail: [MALCOLM@CARROCK.CO.UK](mailto:MALCOLM@CARROCK.CO.UK)  
TEL: 01768 484 484 or 0771 5011 309

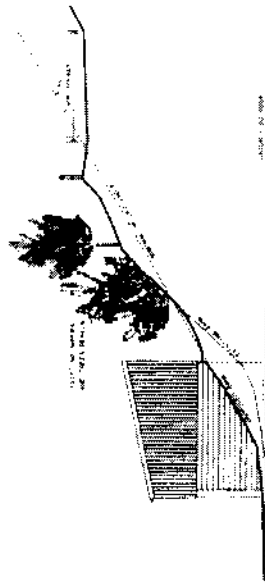
Proposed change of use for land adjacent  
Cairn Bridge, Heads Nook, Carlisle  
for Mr R. Wilson.

M2533/1

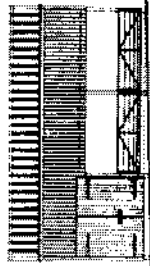
Location plan

Scale Approx 1:1250 Date 20 June 2001

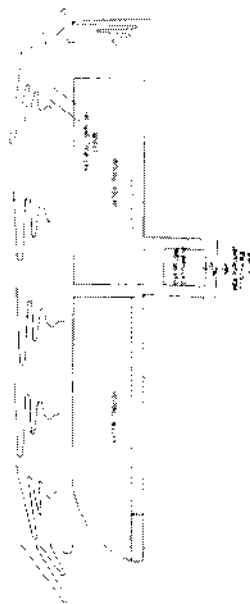




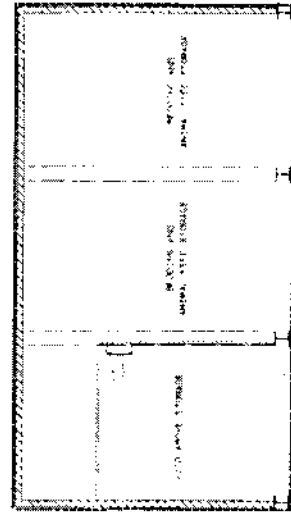
PROPOSED EAST ELEVATION



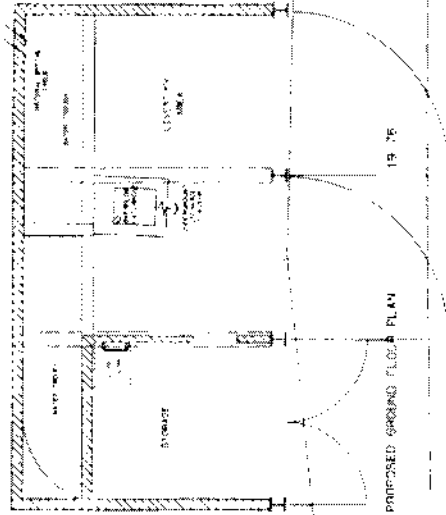
PROPOSED SOUTH ELEVATION



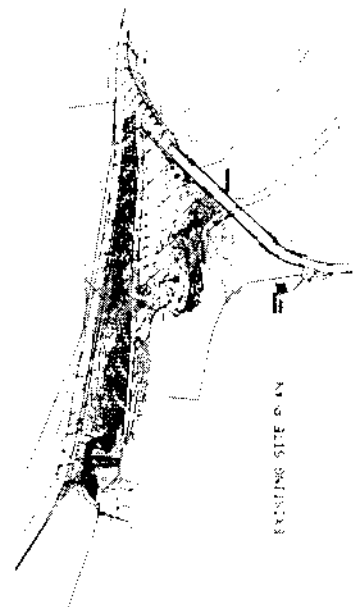
EXISTING GROUND FLOOR PLAN  
EXISTING WATER TOWER AND TOWER



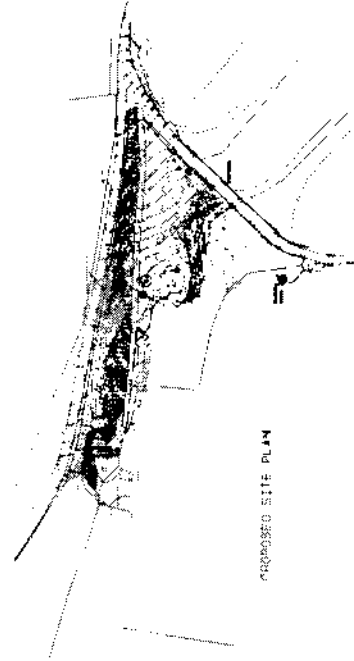
PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN



EXISTING SITE PLAN



PROPOSED SITE PLAN

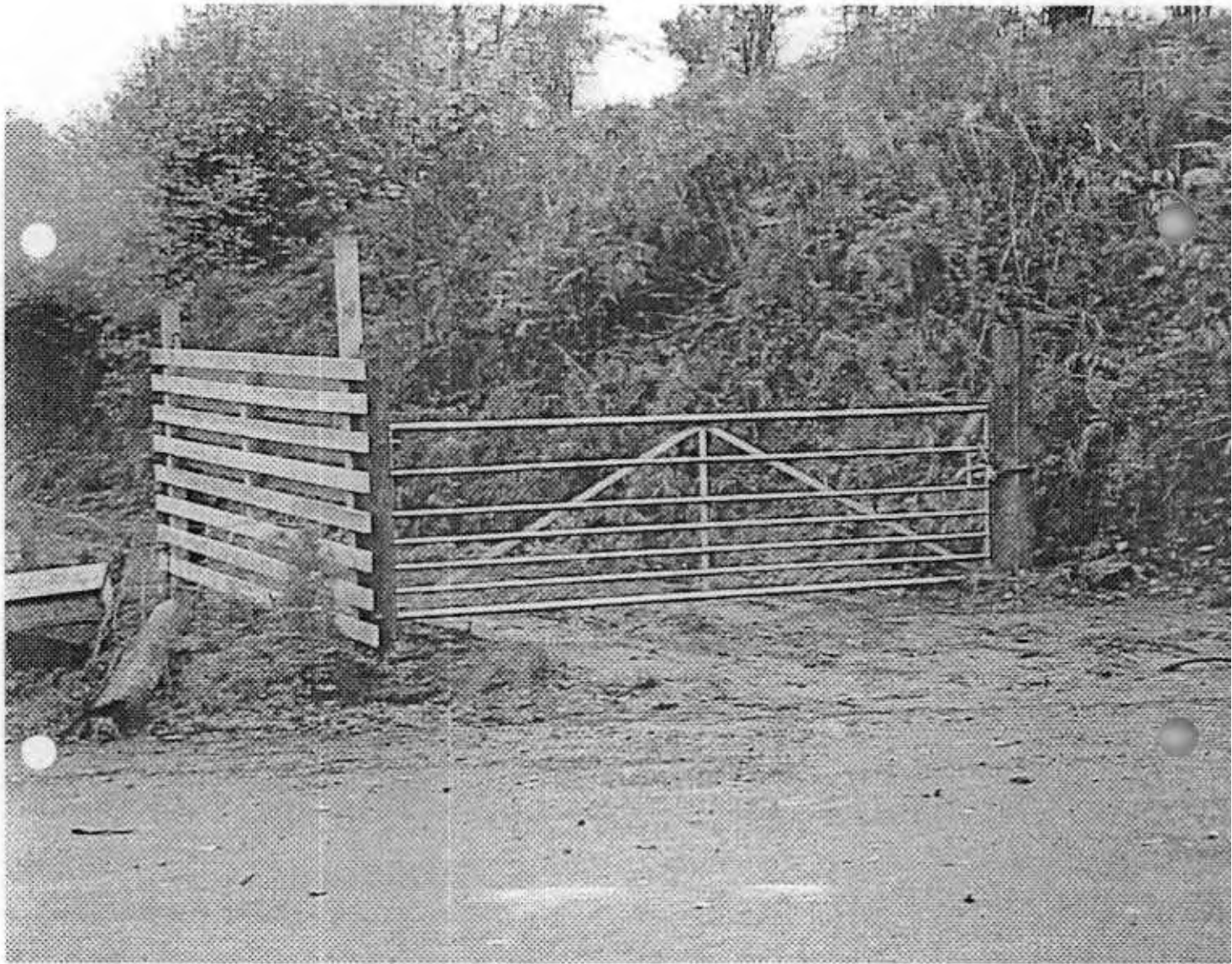


PROFESSIONAL

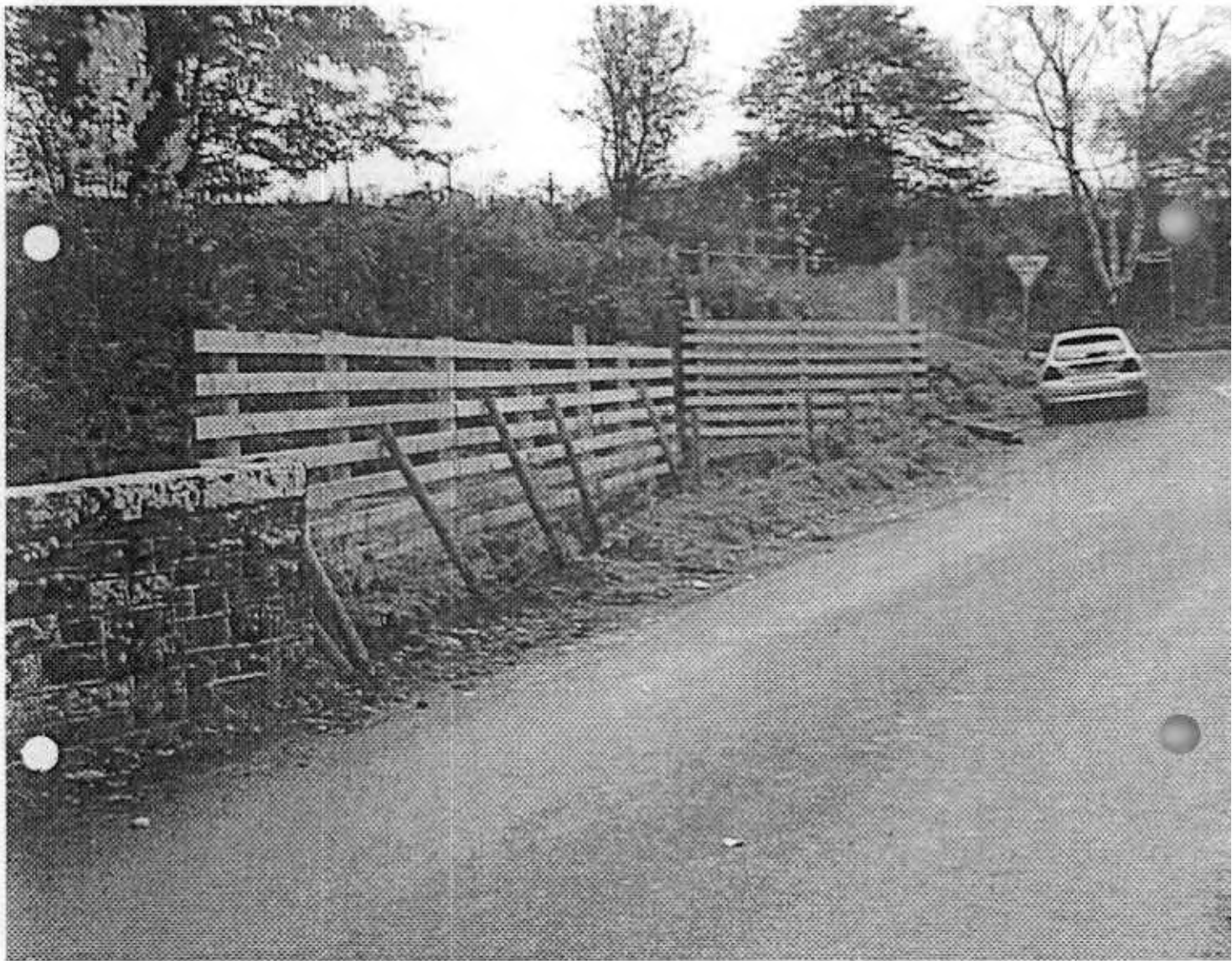
GARRICK CONSTRUCTION  
10000 W. 110th Street, Suite 100  
Overland Park, KS 66204-4400  
Tel: 913-661-1100 Fax: 913-661-1101  
www.garrickconstruction.com Email: info@garrickconstruction.com

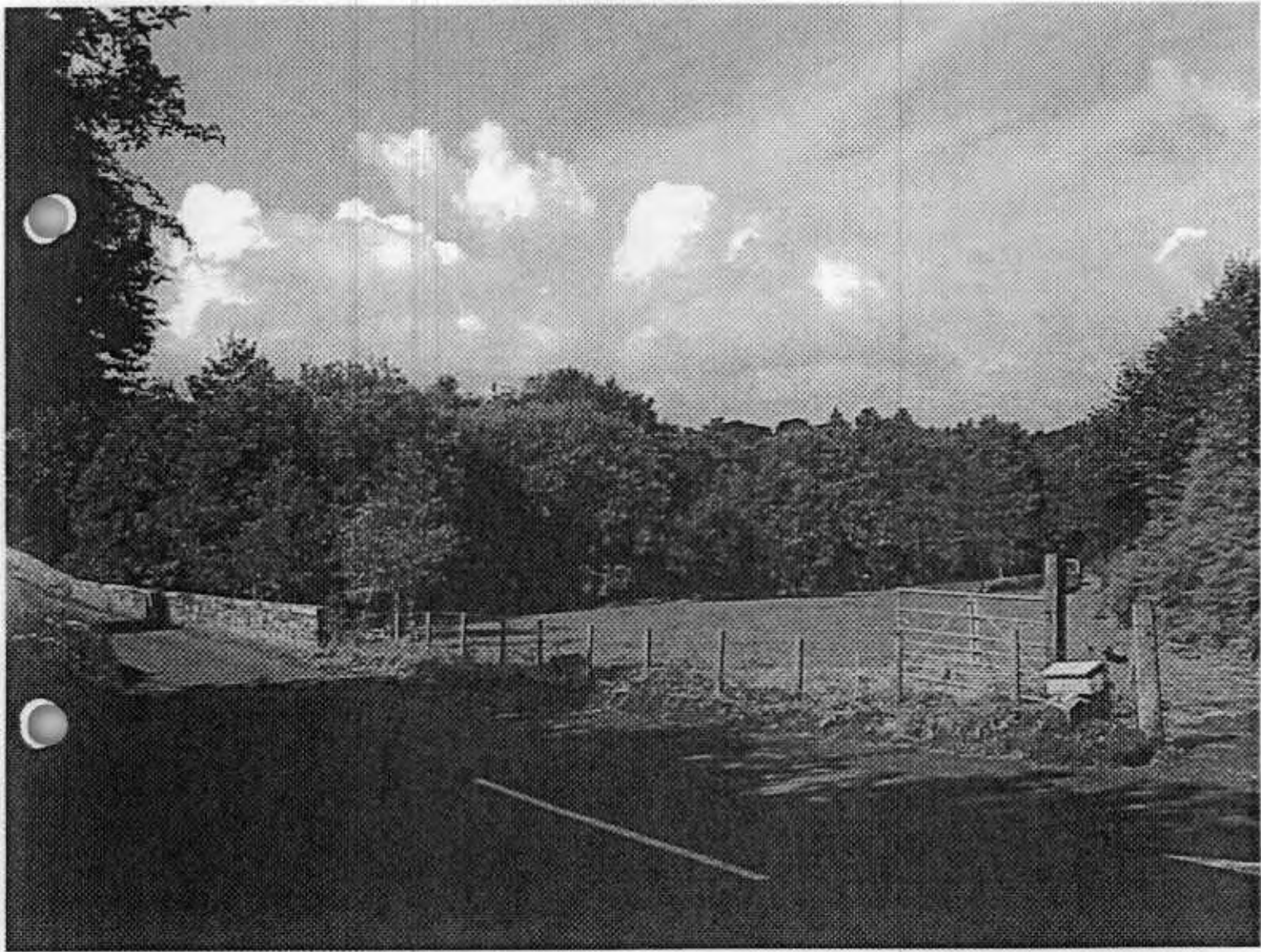
19/4H



















01/0638





Stamper House  
27-29 King Street  
Wigton  
Cumbria CA7 9DT

Specialist Agricultural Division

Re: Cairn Bridge Ltd, Heads Nook, Field No: 3644

Proposed Agricultural Building

## Contents

1.	Introduction .....
2.	Stock .....
3.	Cropping .....
4.	Sheep Building .....
5.	Financial .....
6.	General .....
7.	Summary .....

## 1. Introduction

This report has been prepared on behalf of Cairn Bridge Ltd to support a planning application for an agricultural building to house sheep at site number 3644, Heads Nook.

In our capacity as agricultural accountants we have spoken to all parties concerned with the project and are familiar with the land in question and the type of building required for the purpose.

The site measures approximately six acres in total and is clearly marked in red on site plan number M2533/1. The boundaries are clearly visible and we are advised that there are no disputes pertaining to land or boundary ownership. Cairn Bridge Ltd originally acquired the site in early 2001 and have maintained it as grazing land. It has a 40 year history of being used solely for sheep grazing. Additional land in the vicinity will be leased/purchased for cropping and grazing purposes.

With respect to the expertise of the owners and associates, the directors of Cairn Bridge Ltd are all involved in the agricultural sector and have in-depth knowledge and experience of farming both the Solway Plain and the Lakeland Fells, utilising a mix of owned and rented land.

## 2. Stock

The objective at Cairn Bridge is to rear and breed a stock of pedigree Suffolk sheep to generate profit. The company has already purchased an initial stock of 20 sheep which is awaiting collection from various farms as soon as the movement restrictions are lifted. From a trading point of view, orders have been placed with the company for breeding rams. In the future, as well as rearing breeding stock, it is intended to produce high quality organic meat, as demand for such products is likely to increase significantly.

The company directors have vast experience of both sheep and cattle breeding and there also exists a bank of related farmers who will act as consultants on an ongoing basis.

Ewe quota will initially be leased.

## 3. Cropping

The company will grow organic crops of the highest quality. This produce will be used both to feed the sheep stock and to make up casual sales.

Cont'd.

**4. Sheep Building**

When not grazing, the sheep will be housed in a purpose-built agricultural building measuring approximately 10 metres x 5 metres. The building will be fabricated to traditional structure using high grade materials. Clinical cleanliness will exist within the building, and drinking water will be solely from fresh running spring water. Organic food will be used at all times.

**5. Financial**

We have not been advised to provide detailed financial projections at this stage. However, in discussions with the directors of Cairn Bridge Ltd, we have established that the project should at least break even in year one if it does not yield a marginal profit. In years two and three we would expect profits healthy enough to allow the distribution of a dividend to the company directors.

**6. General**

The overriding aim of the project is to provide high quality storage and housing which will enable the company to rear and breed top-quality Suffolk sheep with a view to re-establishing the Cumbrian region as a world-leader in the market place.

**7. Summary**

The outline information provided to us clearly shows that the project is viable both in terms of future financial reward to the company and creation of employment short and longer term. The construction of the sheep housing building is an essential pre-requisite to the success of the project.

*Stamper & Co. Accountants*

Our Ref. AR/RCB/01/0084

Your Ref. 01/0638

Date. 7<sup>th</sup> November 2001

The Head of Planning Services  
Carlisle City Council  
Planning Division  
The Civic Centre  
Carlisle  
CA3 8QG

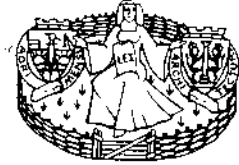
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FAO: Mr A R Hutchinson

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**ARMSTRONG  
PAYNE  
ASSOCIATES**  
Planning & Development  
Consultants



Chartered Town Planner

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Dear Sir

**PROPOSED AGRICULTURAL BUILDING  
LAND AT CAIRN BRIDGE, HEADS NOOK, CARLISLE**

I refer to our recent telephone conversation regarding the above planning application which is currently being considered by your Council.

You raised the question as to how our clients intended use of part of the land at Cairn Bridge as a certificated caravan site would affect the intended agricultural use of the land and the proposed agricultural building.

Firstly the use of part of the land as an certificated caravan site was seen by our clients as a form of diversification which could run concurrently with the agricultural use. This is because as a certificated site the maximum number of touring units allowed is only five in total. Even with the maximum number of units on site the area of land used would therefore be minimal with little if any impact on the overall agricultural operation.

In addition the land would not be used as a certificated site during the winter months or at lambing time when both the building and land would be used intensively for over-wintering, feeding and lambing purposes and for looking after the new born lambs. It is envisaged that during the summer months only the prize stock will be kept at Cairn Bridge with less valuable stock being put on to grazing land which will be leased in the vicinity.

The building will however still be required during the summer months for general animal husbandry and welfare purposes such as blood sampling, dosing, feet



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Registered Number 10553 England

Registered Office: Agricultural Hall, Skirsgill, Penrith, Cumbria CA11 0DN  
Telephone 01768 862323

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35 King Street, Penrith  
Cumbria, CA11 7AY

Tel. (01768) 890140  
Fax. (01768) 890141

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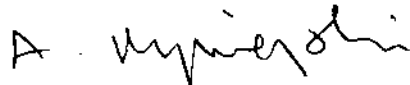
clipping and wool clipping. You will appreciate that the Suffolk sheep, around which the business will be based, require far more care and attention than other breeds and this will be particularly so at Cairn Bridge given that the aim is to produce high quality pedigree stock.

As you are already aware there will also be an ongoing need to provide secure storage for agricultural implements, equipment and machinery as well as provision for the dry storage of good quality fodder.

Given the above our clients see no difficulty in running a certificated caravan site during the summer months in conjunction with the agricultural operation and the applicants, like many farmers, see the operation of a certificated caravan site as a means of providing a valuable source of additional income which will help to support their overall agricultural operation.

I trust this answers your query.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A. Ryniejski', written in a cursive style.

Tony Ryniejski

c.c. Cairn Bridge Limited



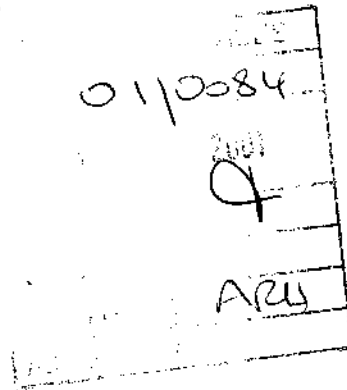
**Our Ref.** BCAP/RCB/01/0084

**Your Ref.** 01/0638

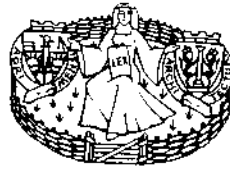
**Date.** 22<sup>nd</sup> December 2001

Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG

FAO: Mr A Hutchinson



**ARMSTRON  
PAYNE  
ASSOCIATE**  
Planning & Development  
Consultants



Chartered Town Planner

Dear Sir

**PROPOSED AGRICULTURAL BUILDING  
LAND AT CAIRN BRIDGE, HEADS NOOK, CARLISLE**

I refer to your letter dated the 19<sup>th</sup> November 2001 regarding the above planning application. In answer to your specific questions I can respond as follows:-

- a) The applicants no longer propose to provide any water treatment facilities within this building and therefore this should be deleted from the application description. We therefore request that the application description be amended to state "Erection of agricultural building".;
- b) The proposed building will not be used ancillary to the operation of the certificated caravan site and will be used solely for the agricultural purposes stated in our previous correspondence;
- c) The only work that has recently been carried out at this site was undertaken to conform to the caravan and camping club regulations. This involved the provision of a sealed plastic tank to receive the contents of chemical toilets together with the provision of a mains water standpipe.

With regard to the comments made by Capita DBS I would suggest that most of the points raised have already been covered through our previous correspondence and with the report prepared by the applicant's accountants. I see little point therefore in going over the same ground.

I would however wish to comment further on the question of viability and its relevance to the consideration of the planning application. The applicants, having taken account of the recent Foot & Mouth crisis and the consequent



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Cumbria, CA11 0JY

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Fax. (01768) 890141


changes in the agricultural sector, clearly believe that such a venture will be viable. Nonetheless I trust you will agree that the question of viability is a purely commercial consideration on the part of the applicants and should not be material to the consideration of the planning application.

In respect of detailed comments regarding the use of the building and the appropriateness of the building itself clearly there is a difference of opinion between the applicants and Capita DBS. On this matter I think it is sufficient to say that our clients have extensive knowledge and experience of animal husbandry and animal welfare on which to base their own judgements as to how the agricultural enterprise should operate. The applicants also point out that it is outdated intensive farming methods which contributed to the outbreak of the recent Foot & Mouth epidemic in the first place and that their proposed venture, unlike previous farming practices, will be based on a well cared for, high value, stock of pedigree Suffolk sheep.

Finally, as far as security is concerned this would be no different to any other farming operation. In this case however, due to their value, the sheep will be 'tagged' and 'chipped'.

I trust the above answers your questions and will now enable you to recommend the proposal favourably at the next appropriate meeting of the Council's Planning Committee. In the meantime however should you require any additional information or wish to discuss any aspect of the proposal further do not hesitate to contact me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A. Ryniejski', with a stylized flourish at the end.

Tony Ryniejski

c.c. Cairn Bridge Limited.

**Our Ref.** BCAP/RCB/01/0084

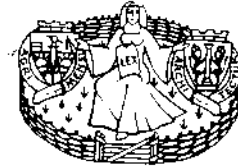
**Your Ref.** 01/0626 & 01/0638

**Date.** 25<sup>th</sup> October 2001

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**ARMSTRONG  
PAYNE  
ASSOCIATES**  
Planning & Development  
Consultants



Chartered Town Planners

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The Head of Planning Services  
Carlisle City Council  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG

01/0626 / 01/0638	
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FAO: Mr A R Hutchinson

Dear Sir

### **LAND AT CAIRN BRIDGE, HEADS NOOK, CARLISLE**

I refer to the above planning applications which were deferred at the last meeting of the Council's Development Control Committee.

Firstly with regard to the proposed agricultural building I attach 4 copies of a revised plan and would request that this be substituted for that previously submitted and the application considered on the basis of the amended details.

You will see that the revised details show the building would be sited on the same footprint as that previously proposed but significantly reduced in height. In addition the design of the building has been simplified and would be constructed of a mixture of concrete blockwork and Yorkshire boarding under a profiled steel roof, similar in appearance to more modern agricultural buildings commonly found elsewhere in the District.

The ground floor of the building would provide storage space for implements as well as animal housing with the roof space used for storage of bedding and animal feed. In addition to the reduction in height, the rear of the building would be dug into the embankment further reducing any visual impact.

As well as the amended plans a report is attached from the applicant's accountant's specialist agricultural division. The report outlines the proposed agricultural business which will initially be based on a small stock of high quality



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pedigree sheep which will be sold or hired to other farmers for breeding purposes.

The stock will be housed at Cairn Bridge but it is intended that additional land will be acquired in the vicinity to enable numbers to be increased and to grow organic fodder with the intention of eventually producing organic meat.

Whilst concerns have been expressed in respect of the scheme originally submitted it seems to us that the revised details are acceptable and appropriate to this location. The building is required to support a, small scale, agricultural business venture in direct response to the effects on the industry caused by the current Foot & Mouth epidemic. The company considers that changes in the agricultural sector will be inevitable with a move away from mass meat production and an increase in demand for high quality organic meat produced under strictly controlled conditions.

Whilst the need for the building has been questioned I would point out that the Government's own planning policy advice contained within PPG7 acknowledges that changes in the agricultural sector are required to adapt to new environmental hygiene and welfare legislation as well as changing market requirements. The guidance note specifically advises that in response Local Planning Authorities should take account of the need to maintain an efficient and flexible agricultural industry and it should be noted that in neither the Government's guidance note nor the Council's own Local Plan is there any specific requirement to justify the need for an agricultural building other than where a new agricultural dwelling is proposed.

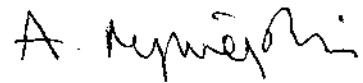
In this case the proposal does not seek consent for residential accommodation but simply seeks permission for a small scale agricultural building to house and provide handling facilities for a small herd of valuable pedigree sheep which will require special care and attention.

With regard to the existing storage container we are still not convinced that planning permission is required for its siting. This is because the container is used in connection with the agricultural use of the land and is designed to be easily transportable. No engineering operations are required and as such we would argue that its siting does not constitute development. In any case the container is merely intended to be a temporary measure until such time as permanent accommodation becomes available.

On that basis therefore I am instructed by the applicants to withdraw the current application for the re-siting of the container and would appreciate it if you would now arrange for application Ref No. 01/0626 to be treated as formally being withdrawn.

I trust that additional information will now enable you to recommend to your Development Control Committee that consent should be forthcoming for the agricultural building but in the meantime should you require any additional information or wish to discuss any aspect of the proposal further, prior to the application being considered, do not hesitate to contact me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'A. Ryniejski', written in a cursive style.

Tony Ryniejski

Enc.

c.c. Cairn Bridge Limited

**SPECIALISTS IN:**

Architectural Services  
to the Construction Industry  
Building design/planning

Community Village Halls  
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Our Ref: A2533/MI

Armstrong Payne Associates  
35 King Street  
Penrith  
Cumbria  
CA11 7AY

FAO Tony Ryniejski

15 November 2001

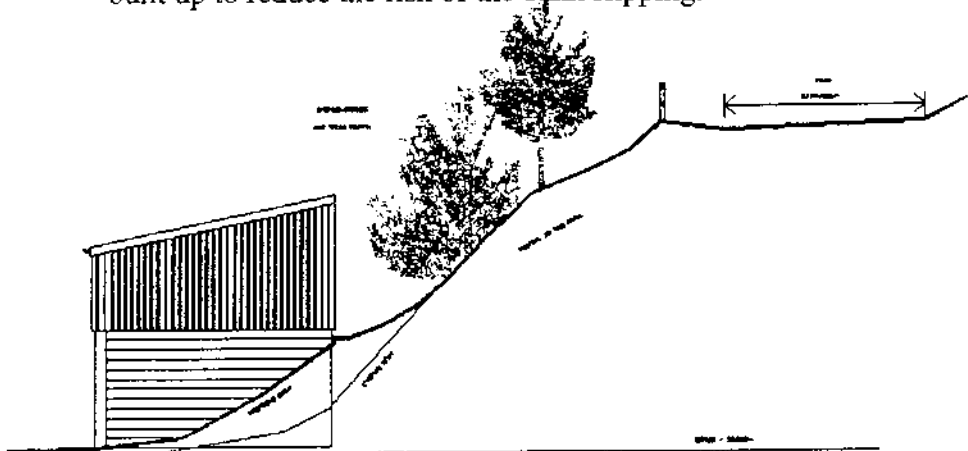
Dear Tony,

**Proposed agricultural building - Cairn Bridge.**

With regard to recent correspondence and County Highways concerns over stability of the highway.

We have previously discussed this with planning officers and our client assures us of the following facts:

- No work to remove existing shrubs; trees or undergrowth will be carried out during the construction of the proposed development.
- It can clearly be seen from the Proposed East Elevation on drawing /4B that the slope of the existing banking will in fact be slacked and built up to reduce the risk of the bank slipping.



Carrock Architects  
CARROCK HOUSE,  
HOW HILL,  
HUTTON ROOF  
PENRITH,  
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E-Mail mail@carrock.co.uk  
Ww. W. carrock.co.uk

Malcolm Iredale BA(Hons);Dipl.Arch;R.I.B.A.  
Gillian Mary Iredale, BTEC NDA



Member of the  
Royal Institute of British  
Architects.



Member of the  
National Farmers Union  
-82-



The Guild of  
Master Craftsmen  
SERVICE & RETAIL

- It is in our client interest to ensure the stability of this banking with such a valuable natural asset at its base.
- No new foundations will be dug directly under the banking. The existing structure will be stabilised/repaired and the new building extended upwards from this existing brickwork.

I trust the above assurances will confirm that the proposed development presents no enhanced risk of subsidence to the banking and highway. In fact if the building is developed as above, the bank stability should be increased.

Yours sincerely,

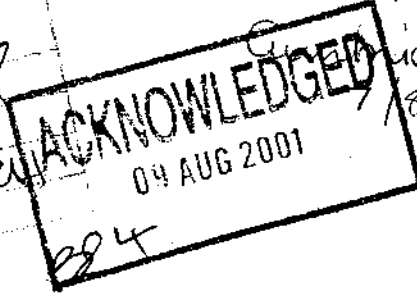


Malcolm Iredale.

Mr. A. R. Hutchinson  
~~Head of Planning Services~~  
Civic Centre  
ARRH:SH

PLANNING SERVICES
REF: 01/0638
- 9 AUG 2001
Division
PREPARED BY
AZ
ACTION

Eden Holme,  
Heads Hook,  
Glenelg  
18/2001



Dear Sir,

Appl. L/A Field 3644 adj. Cairn Bridge, Heads Hook.

Ref. 01/0638

wish to object to this application on the following grounds.

① A previous (retrospective) application was made for a steel storage container on the site (Cumb. News July 20th). I had already shown the City Council and then Kendal as the applicant had been extracting stone at the site.

② This further application would seem rather extraordinary, as cattle and sheep do not need a building to be watered in, nor treated water. The land is bordered by the Cairn Beck.

③ I have heard that the applicant has said he hopes to have a caravan site on the land. As the site has been enlarged by the stone extraction, it would appear that the applicant hopes to eventually get a building site of some sort on the land. Any building on this site could open the way to building in-fill applications for ribbon development from Fough to Heads Hook.

④ Apart from any other consideration the entrance to the site is at an extremely hazardous road junction. I have lived in Heads Hook since 1952 and know of numerous "near squeaks" at this place.

Yours sincerely,

Rosemary Dias (Mrs)



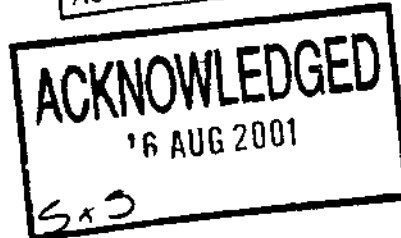
Mr A. Hutchinson  
Planning Services  
Civic Centre  
Carlisle  
CA3 8QG.

PLANNING SERVICES	
REF	0110626 + 0438
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Cairnbridge Barn  
Heads Nook  
Brampton  
CA8 9EH.

6<sup>th</sup> August 2001

Tel: 01228 561457



Dear Mr. Hutchinson

Re: Objection to Plans in relation to Cairnbridge.

I write to show concern over planning applications for Cairnbridge. The plans refer to use of the site for storage of water for farm animals. To my knowledge, the developer only owns the land to which the plans refer and has no animals in surrounding fields which are owned and used by local farmers. It would be interesting to see how the developer could possibly accommodate livestock on his own land given the level of road building and landscaping currently under way.

In addition, I had a conversation with a man who claimed to be employed by the developer to provide gardening services to the caravan park that was being built. When I asked him exactly where this was, he confirmed the site to be at Cairnbridge. Having discussed this with you, it appears that no plans have been submitted for a caravan park.

P.T.O.

My objections are as follows:-

1. The purpose for which the developer intends to use the land appears very different from the plans actually Submitted.
2. The area provides a natural habitat for Deer and Red Squirrel. Clearance of this Site endangers the future of both animals.
3. Access to the Site is very poor, being located on a Severe bend to a T Junction on the incline of Cairnbridge. Visibility for Site and highway traffic is impaired by the position of the entrance, which will present an increased risk of accident or injury to an already dangerous section of highway.
4. The Site is positioned on a section of highway used largely by local people who understand and respect the hazards present. An increase of traffic comprising of vehicles unfamiliar with this road will:-
  - accelerate wear and tear of the road and bridge.
  - Increase the risk of other road users.
  - Place demands on the council to provide a higher level of highway maintenance, including regular gritting, which is not currently available.
5. Although Small in population, Cairnbridge thrives on a strong spirit of community. The introduction of casual residents with no interest in preserving the environmental and community interests of the area will reduce the sense of security permanent residents currently live with.

6. Finally, Cairnbridge is most definitely an area of natural beauty and every effort should be made to protect this fact.

Whilst I appreciate that not all of my objections refer directly to the plans you have, in view of the conversation had regarding a caravan site, a full investigation of the developers proposal would be greatly appreciated.

Should you wish to discuss any element of this letter in greater detail please do not hesitate to contact me.

Yours sincerely

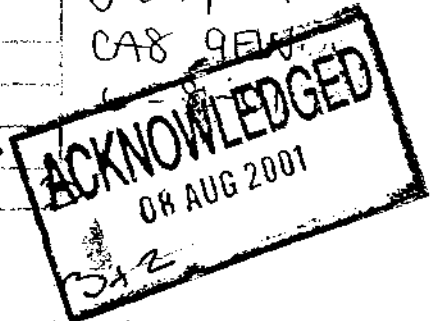


Jayne Ford

PLANNING SERVICES	
REF	01/0626 +
	01/0638 -A 2001
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2 Rosebank  
Heads Nook  
Brampton  
CA8 9EW

RE: - APPN. No. 01/0626  
APPN. No. 01/0638



Dear Sir,

We would like to bring to your attention our concerns and the possible intentions of the owner of the land concerned with these applications.

Although he has applied for planning permission for a barn to store water for animals & a steel tool container we do not believe these are his true intentions.

Caravan site, water bottling business and a site for travellers could be possible uses for the land, which have been brought to our attention. We also believe someone has been staying on the land in the container and has been referring to it as a caravan park already.

We also know the gentleman who owns the land has said he is now going to build a 'chalet' on the land for himself to live in. When questioned as to what planning permission he required his answer was he wouldn't need any once

he got these 2 applications through!

Our main opposition to any of the uses for this land, either applied for or not are as follows:-

- 1/ Access - the junction of the Cambridge Road with the Heads Nook road is extremely dangerous. It would be impossible to get a large vehicle out of this land and then get it to turn left towards Heads Nook, especially if one vehicle was towing another.
- 2/ If it does become a caravan site there aren't any provisions for sanitary conditions.
- 3/ If these applications are genuine what animals will be wanting water - he hasn't got any and Foot + Mouth Disease wiped out the entire sheep population for about a 4 mile radius.  
Why has he had this land landscaped?
- 4/ Impact on wildlife - especially the deer.

We and all our neighbours are extremely concerned that both of these applications could go along way to affecting the general area.

Numerous people have approached the owner of this land as to what he intends to use it for, and it seems each person has been given a different answer - none of which seem relevant to these applications. If one thing can be sure this gentleman ~~and~~ <sup>has</sup> some kind of hidden agenda.

We hope you will take our concerns into account when processing these applications.

Yours sincerely,

John and Amanda Hill.

PLANNING SERVICES	
REF	01/0638
- 7 AUG 2001	
R.	
S.	
P.	
ACTION	

Cairnbridge House  
Heads Nook  
Brampton  
Cumbria  
CA8 9EH  
3<sup>rd</sup> August 2001

Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG



To Mr. M. Battersby

Re: Planning Applications at Cairnbridge

01/0626 - Retrospective steel storage container.

01/0638 - Agricultural building to house and water cattle, water treatment & piping of water to sheep troughs.

This letter is to express our concerns and objections in respect of the above planning applications proposed at Cairnbridge, Heads Nook, close to our property. Our main concern and that of our neighbours is that the developer is not being truthful about what he is applying for in this planning application. The developer does not own any other land local to this site to move animals from and the site to graze animals would be restrictive for them. Our neighbours and other local farmers own all the land around the site. We cannot see how it can be an economical agricultural development thus raising our suspicions that he is trying to pull off some underhand deal.

My neighbour Mrs. Jane Ford had spoken to a worker from the site who told her that the developer was planning a caravan park and that he would be looking after the gardens. The worker also said "you're not going to object are you". My neighbour expressed concern that the developer was not planning a site local to his home, but the worker told her "it was posher around this area than Wigton". Other local people have also heard rumours that the site is to be developed for caravans. However, since the planning application has been declared as agricultural, some locals may be being hoodwinked and feel less threatened by this development in what is, after all, a farming community and may therefore have less cause to object.

If the developer is planning an agricultural development it is suspicious that he is lawning the area and landscaping the site with cobbled areas around the trees.

A major concern is that if the developer is intending to develop this site into a caravan park, he is placing the community at risk because of its location. It is on the corner of a

very dangerous bend on the road between Heads Nook and Faugh. Despite attempting a right hand turn with extreme caution, I was recently nearly involved in a serious accident when a car travelled around the bend at speed. In the winter the road is treacherous because there is a steep incline from Cairnbridge onto the Heads Nook road. I am aware that planning permission is not required for up to five mobile caravans. If the developer is planning this then the frequency of mobile caravans accessing the site will undoubtedly increase the risk of a tragic accident, particularly if the developer is proposing this site for "travelers" who move sites frequently.

I have been informed by the local community that there used to be a quarry there many years ago and that there has previously been an access point here. However, as we are all aware the amount of traffic on the road has greatly increased since this entrance was last in use.

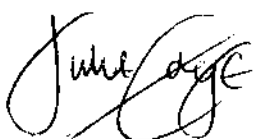
From an environmental perspective, the developer has shown no respect for the land he has purchased and has stripped it of its natural cover in advance of getting planning approval. There were deer and other wildlife in this woodland area and their habitat is being largely destroyed. There is also a small river/ stream that runs along Cairnbridge. If a caravan park is planned for here, pollution may become an issue with further deleterious effects on wildlife.

I contacted the planning department today and spoke to Richard Mansell, as the developer has now made another entrance site next to the water pumping station on the south side of the bridge and is cutting down trees to clear a road down to the river, this is also in a dangerous spot on a bend on a narrow road. I do feel that the planning department should monitor this developer closely, because even if he does not get permission, he is destroying the countryside and he will not easily be able to restore the land to its original state.

We have a young family and moved to this house less than two years ago because the quiet and anticipated safe rural location attracted us. Because we are unsure of the developers intentions and rumours that a caravan site is proposed, we feel our security and the value of our property is threatened.

In summary our chief concern is that the developer is not being honest about his intentions and we hope that the planning committee will seriously oppose this application, which is not, I fear in the best interests of the local community.

Yours sincerely



Mrs. J.A.B. Edge



Dr. J.M.H. Edge



01/0638
✓
AR11
✓

MR & Mrs R. Howther  
 5 Rosebank  
 Heads Rook  
 Brampton CAS 9EW  
 0779 6616 120  
 20th November, 2001

Dear Sir,

RE Proposed Erection of Agricultural Building to water Cattle, water treatment and storage piped to sheep troughs. L/A FIELD 3644 Cairn Bridge, Heads Rook, Carlisle, Cumbria. Application Ref. 01/0638.

Please note our objections to the above proposal:

We believe the application lacks veracity inasmuch that the development of the site is for a caravan site and not concerned with the rearing of livestock. The site is small and would not appear to justify the development in the above proposal. It is also noted that six stand pipes have been installed on the site at intervals that would suggest services for caravans.

Should the intention be found to be the development of the site for a caravan site we would further object on the grounds that:-

- access is dangerous owing to the close proximity of the entrance to a 'T' junction, the steep incline of the road at that point and the increasing amount of traffic using the junction.
- The liability of the site to flooding from the river adjacent to the site
- The risk of pollution to the river from the site.

Please note that these matters have been brought to the attention of the Camping and

Caravaning club to whom the applicant has made  
application for a <sup>2</sup> certificate for the site.

Yours sincerely

Mr. Routh

Mrs. Hall

PLANNING SERVICES	
REF	01/0638
- 7 AUG 2001	
FILED	
SEARCHED	
PASSED TO	
ACTION	

Cairnbridge House  
Heads Nook  
Brampton  
Cumbria  
CA8 9EH  
3<sup>rd</sup> August 2001

Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG



To Mr. M. Battersby

Re: Planning Applications at Cairnbridge

01/0626 - Retrospective steel storage container.

01/0638 – Agricultural building to house and water cattle, water treatment & piping of water to sheep troughs.

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If the developer is planning an agricultural development it is suspicious that he is lawning the area and landscaping the site with cobbled areas around the trees.

A major concern is that if the developer is intending to develop this site into a caravan park, he is placing the community at risk because of its location. It is on the corner of a

very dangerous bend on the road between Heads Nook and Faugh. Despite attempting a right hand turn with extreme caution, I was recently nearly involved in a serious accident when a car travelled around the bend at speed. In the winter the road is treacherous because there is a steep incline from Cairnbridge onto the Heads Nook road. I am aware that planning permission is not required for up to five mobile caravans. If the developer is planning this then the frequency of mobile caravans accessing the site will undoubtedly increase the risk of a tragic accident, particularly if the developer is proposing this site for "travelers" who move sites frequently.

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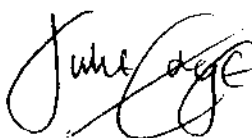
From an environmental perspective, the developer has shown no respect for the land he has purchased and has stripped it of its natural cover in advance of getting planning approval. There were deer and other wildlife in this woodland area and their habitat is being largely destroyed. There is also a small river/ stream that runs along Cairnbridge. If a caravan park is planned for here, pollution may become an issue with further deleterious effects on wildlife.

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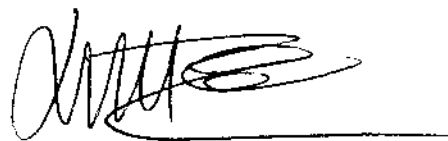
We have a young family and moved to this house less than two years ago because the quiet and anticipated safe rural location attracted us. Because we are unsure of the developers intentions and rumours that a caravan site is proposed, we feel our security and the value of our property is threatened.

In summary our chief concern is that the developer is not being honest about his intentions and we hope that the planning committee will seriously oppose this application, which is not, I fear in the best interests of the local community.

Yours sincerely



Mrs. J.A.B. Edge



Dr. J.M.H. Edge

PLANNING SERVICES	
REF	01/626
31 JUL 2001 2.	
RECORDED	CN
SCANNED	
PASSED TO	ARH ?
ACTION	

1 Rosebank  
Heads Nook  
Brampton  
Cumbria  
CA8 9EW

27<sup>th</sup> July 2001



Carlisle City Council  
Environmental & Planning Services Division  
Civic Centre  
Carlisle  
CA3 8QG

Dear Sirs

**Steel Container & Erection of Agricultural Building L/A field 3644  
Cairn Bridge Heads Nook**

I write to express my concerns relating to the requests for permission to site a steel container on the above land, together with the proposed agricultural building, in what until recently was an unspoiled natural habitat for a variety of wild life.

Please will you ascertain whether the steel container is to become a permanent feature & if so can covenants be put in place regarding up keep & screening of the container from the roads?

Please will you ascertain / consider where are the cattle & sheep troughs that require water, & why will there be a need to treat & store the water on a site where beast could have direct access to the Cairn beck. If it is proposed to transport the water from the site, access to the land is restricted & any traffic entering the site will pose a hazard.

I trust that the directors of Cairn Bridge Limited will co-operate with you fully to establish the longer-term plans for the land & if permissions were to be granted are they consistent with those plans. In particular please will you pose questions as to further development of the site & whether it is proposed to park caravans on the land.

In summary, I have concerns that the true purpose of the planning applications may be at odds with what may become the reality.

Yours faithfully

D R Thompson

Cc Hayton Parish Council

PLANNING SERVICE	
REF	01/0638
26 NOV 2001	
FILE	Q
RE	
PREP	ARLH
APPRO	1-

15 Stonesby Close  
Oakwood  
Derby  
DE21 2EB

22nd November 2001.

Angus Hutchinson  
Planning Dept.  
Civic Centre,  
Carlisle

Dear Mr Hutchinson,

Re: Land adjacent to Headsnook-Faugh road, at 'T' junction turn-off road towards Cumwhitton. The land including that from the Cairn bridge towards Headsnook (as far as the old disused quarry), and being predominately between the Cairn beck and the Headsnook-Faugh road.

My farther, George Parkinson, purchased this land together with further adjoining lands in the early 60's. My farther sold all other land apart from this in 1984, and after my fathers death in 1999 I arranged for the sale of this remaining land. The purchaser was unknown to me as an agent in Carlisle carried out the sale on my Mothers behalf.

I understand that the new purchaser has sought certain planning permissions for this land, and that previous uses of the land have been alleged.

Since my father purchased the land in question, it was for the most part unused. In the last 20 years of our ownership it has been completely unused and had become very overgrown. It has certainly never been used for grazing sheep within the last 40 years.

Please don't hesitate to contact me if you need any further information (Tel: 01332 835746).

Yours Sincerely



Andrew Parkinson

# The Camping and Caravanning Club

(Limited by Guarantee)

Greenfields House, Westwood Way, Coventry CV4 8JH

Telephone: (024) 7669 4995

Fax: (024) 7669 4886



Your Ref:

Our Ref:

Direct Line: 02476 856752

ARH/BP/DC/01/0638

ch/AG/CS/086/140

26/11/2001

Mr A Hutchinson - Asst. Development Control Officer  
Carlisle City Council  
The Civic Centre  
Carlisle  
Cumbria  
CA3 8QG

PLANNING	NOTICES
	01/0638
	Q
	ARH

Dear Mr Hutchinson

**Re: Certificated Site Application No. 086/140 at Land adj. to Cairn Bridge, Heads Nook, Carlisle**

We acknowledge receipt of your further correspondence of 21 November 2001.

The plan was submitted by the applicant, Mr Wilson, and the services marked by our voluntary site inspector.

If a Certificate is granted to land at the above address, a unit may only stay for up to a maximum of 28 days at any one time. The site may operate for a 12 month period, or reduced opening dates if the owner wishes.

Your further comments have been taken into consideration, and we shall await the outcome from the Development Control Committee when they hold their meeting on 14 December 2001.

If you have any further queries please do not hesitate to contact the undersigned.

Yours sincerely

A Gow (Mrs)  
Exempted Camping Secretariat

1 Rosebank  
Heads Nook  
Brampton  
Cumbria  
CA8 9EW

15<sup>th</sup> November 2001

Mr A R Hutchinson  
Carlisle City Council  
Environmental & Planning Services Division  
Civic Centre  
Carlisle  
CA3 8QG

PLANNING SERVICES
REF 01/0626/03
- 3 DEC 2001 -
ON
ARH

Dear Mr Hutchinson

**Steel Container & Erection of Agricultural Building L/A field 3644  
Cairn Bridge Heads Nook  
App. 01/0626/**

I refer to your letter dated 30<sup>th</sup> October 2001 advising the City Council's decision on the application – withdrawn by applicant/ or by default.

I understand that at the above application is to now to be considered at a meeting in December 2001.

My concerns remain and would ask that you consider:

- Where are the cattle & sheep troughs that require water, & why will there be a need to treat & store the water on a site where beast could have direct access to the Cairn beck? If it is proposed to transport the water from the site, access to the land is restricted & any traffic entering the site will pose a hazard.
- I trust that the directors of Cairn Bridge Limited will co-operate with you fully to establish the longer-term plans for the land & if permissions were to be granted are they consistent with those plans. I have concerns that the true purpose of the planning applications may be at odds with what may become the reality.
- Development of the site continues and I understand that an application has been submitted to the caravan club for membership with a view to caravans being sited on the land. Please will you advise whether planning permission would be required to use the land as a caravan site?

Yours faithfully



D R Thompson


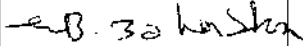
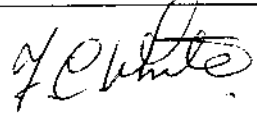
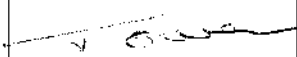
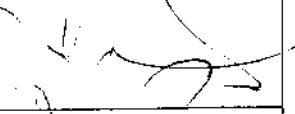
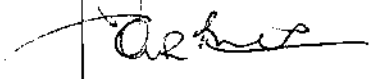
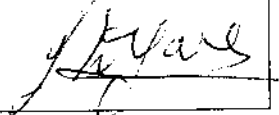


We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

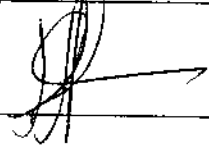
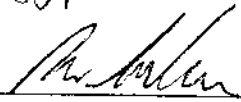

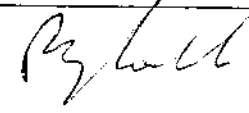
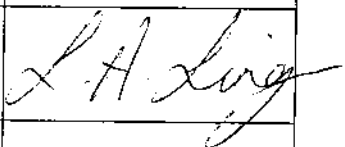
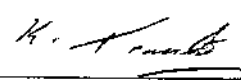
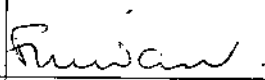
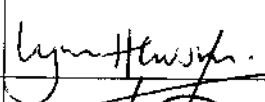

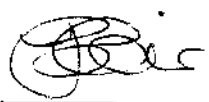

REF	01/0638
	03 DEC 2001
RECORDED	CN
PASSED TO	ARH
ACTION	

Name	Address	Signature
W. J. GRAHAM	16 CAIRN CRESCENT, COCOT HILL	[Signature]
G. YARE	57 CAIRN WOOD HEADS NOOK	[Signature]
E. Wadson	55 CAIRN WOOD HEADS NOOK	[Signature]
A. WAWWICK	60 CAIRN WOOD HEADS NOOK	[Signature]
E. BEVERIDGE	TRYSTING, HEADS NOOK	[Signature]
K. EDGE	'BRAMPETH', HEADS NOOK, EARLISLE,	[Signature]
B. WESTON	CHARWOOD, HEADS NOOK, BRAMPTON	[Signature]
L. WALSH	THISLEDOWN HEADS NOOK, BRAMPTON	[Signature]
P. RICHARDSON	Beechwood, Heads Nook, Brampton	[Signature]
J. GIBSON	Fenken, Heads Nook Brampton	[Signature]
Sue Macgregor	Winstan, Head Nook Cumbria	[Signature]

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
A E Anderson	41 Cairn Wood H/Nook	A E Anderson (Ms)
M. JESSUP	42 Cairn Wood	
P. Johnston	43 Cairn Wood	
U M WHITE	44 Cairn Wood	U. White
FC WHITE	" " "	
I IRVING	45 CAIRNWOOD	I Irving
J IRVING	45 CAIRNWOOD	J Irving
E D MAUGHAN	46 CAIRNWOOD	E Maughan
T OWEN	47 CAIRNWOOD	
E. OWEN	47 CAIRNWOOD	E. Owen.
T TANTON	48 CAIRNWOOD	
J. K. BARKER	53 Cairn Wood	
M Allen	54 Cairn Wood	M. Allen
J YARE	57 CAIRNWOOD	

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Name	Address	Signature
NICK JOHNS	24 CAIRNWOOD, HEADS NOOK	
ROD ANDERSON	25 CAIRNWOOD, HEADS NOOK	
Sybil Twitchin	26 Cairn Wood H/Nook	Sybil Twitchin
Rollo Twitchin	26, Cairn Wood, Heads Nook	
P. COOK	27 Cairn Wood Heads Nook	
J. COLE	27 Cairn Wood, Heads Nook, Carlisle	J. Cole
L. A. LING	28 Cairn Wood Heads Nook	
K. TUNSTON	29 CAIRNWOOD HEADS NOOK	
Mrs G. Ridley	30 Cairnwood	G. Ridley
F. WALKER	32 CAIRNWOOD	
L. HENSON	35. CAIRNWOOD	
N. NORTH	33. CAIRNWOOD	
J. Blair	39. CAIRNWOOD	
T. COLE	41 CAIRNWOOD	

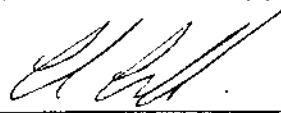
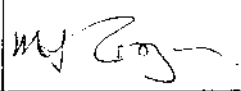
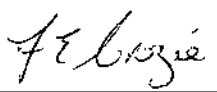
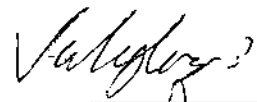
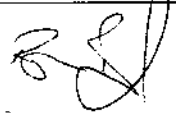


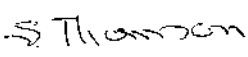
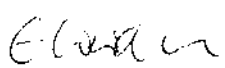

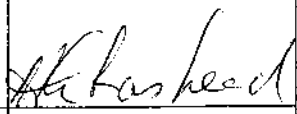

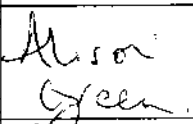
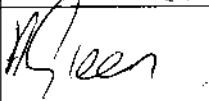
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Name	Address	Signature
P. E. MOORE	2 Cairnwood Heads Nook	Patricia E Moore
B. R. Moore	"	B. R. Moore
B. Donnelly	4 Cairnwood	B. Donnelly
J. E. THOMPSON	6 CAIRN WOOD HEADS NOOK	J. E. Thompson
M. THOMPSON	6 Cairn Wood Heads Nook	M. Thompson
C. LAWRENCE	8 CAIRN WOOD HEADS NOOK	C. Lawrence
Ron Rigby	9 Cairn Wood Heads Nook	Ron Rigby
Alice Rigby	9 Cairnwood Heads Nook	A. Rigby
A. McAdam	12. CAIRN WOOD HEADS NOOK	A. McAdam
H. MATTINSON	14 CAIRN WOOD HEADS NOOK	Hazel Mattinson
A. MIDDLETOWN	18 CAIRN WOOD HEADS NOOK	A. Middleton
A. Howe	22 CAIRN WOOD HEADS NOOK	A. Howe
N. L. Howe	— 1 —	N. L. Howe
J. B. TWEDDLE	23 CAIRN WOOD	J. B. Tweddle

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
B. BEAZLEY	HIGH RIGG FAUGH	Sabara Beazley
M.A. FRANCIS	Fow Winds, Faugh.	M.A. Francis
R.M. FRANCIS	— " —	<del>R.M. Francis</del>
A. DICKERSON	HOLY BANK, FAUGH, HEADS NOOK.	A. Dickerson
J. Thornton	April Cottage Faugh Heads Nook	J. Thornton
G. Finch	East View Faugh Heads Nook	G. Finch
Lee Turner	SOUTH VIEW FAUGH.	Lee Turner
J.M. LEAN	WEST VIEW, FAUGH.	J.M. Lean
K. McLENNAN	" "	K. McLeenan
K. THOMPSON	BROOMHILL HEADS NOOK	K. Thompson
A. MARSTON	THE BARN, FAUGH.	A. Marston
J. MARSTON	THE BARN FAUGH	J. Marston
D. Cransby	Sundance Faugh	D. Cransby
L. Curye	Sundance Faugh	L. Curye

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
ELIVE HARKER	SCHOOL HOUSE FAUGH	
JOANNE CROZIER	FAUGH BEECHES HEADS NOOK	
Ed CROZIER	FAUGH BEECHES HEADS NOOK	
Vicky CROZIER	FAUGH BEECHES HEADS NOOK	
BEN BUSH	5 FLOWER ST CARLISLE	
NEL BLOCK	12 CURRUCK ST CARLISLE	
ROBERT COGAN	Merritt, Faugh.	
S. Thomson.	Sandyhill, Faugh.	
E. WYAN	Merritt, Faugh	
E. Bore	Ashness, Faugh.	
M. RASHEED	PENNINE VIEW FAUGH	
D A RASHEED	PENNINE VIEW FAUGH.	
<del>MISS GREEN</del> Green.	The Bullows Faugh	
	— 11 —	

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.


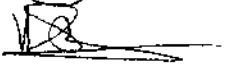
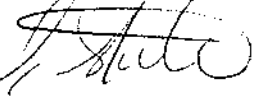
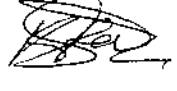
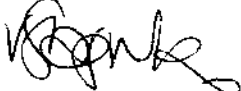
Name	Address	Signature
L Munn	Greendale Faugh	L Munn
J Kirk	"	J Kirk
T. HARRISON	FAUGH	T. Harrison
E. HARRISON	"	E HARRISON
J.H. Discon	"	J.H. Discon
W.M. Irving	"	W.M. Irving
D. THORNTON	Faugh	D. Thornton
K. Thwaiter	Faugh	K. Thwaiter
S. Searle	Faugh	S. Searle
P. Donnelly	Faugh	P. Donnelly
C. Donnelly	Faugh	C. Donnelly
P. HAYTON	Faugh	Paul Hayton
R.A. Hayton	Faugh	R.A. Hayton
John Beazley	Faugh	BEAZLEY

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
J. LAUNDER	PARK HOUSE HEADS NOOK	J. Launder
C. H. LAUNDER	Park House Heads NOOK	C. H. Launder.
C. LAUNDER	Park House, Heads Nook	C. Launder
P. ARMSTRONG	JUNIPER GREEN, FAUGH	P. Armstrong
D. ARMSTRONG	JUNIPER GREEN, FAUGH	D. Armstrong
FK PRUDHAM	Sunny Rigg HEADS NOOK	FK Prudham
M. JACKSON	Moss Nook, Faugh.	M. Jackson
J. JACKSON	Moss Nook, Faugh	J. Jackson
R. H. COOKSON	Barfield Heads Nook	R. H. C.
K. REUSKAW	OAK BANK HEADS NOOK	K. Reuskaw
S. BRAIDWOOD	The Summer House, Heads Nook, Brampton	S. C. Braidwood.
W. RILEY	THE BUTTACRE HEADS NOOK	W. Riley
W. D. RILEY	HALL COTTAGE HEADS NOOK	W. D. Riley
C. JOHNSTONE	THE MANOR HOUSE, HEADS NOOK	C. Johnstone



We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
MRS WEIGHMAN	THE ACRES FAUGH CARLISE	E WEIGHMAN.
A. Pattison	THE ACRES FAUGH	A. Pattison
MRS. J. Fookes	Long meadow FAUGH	Vera Fookes
J. RICHARDS	Knockfield FAUGH	J. Richards
A. NUBER	THE COTTAGE FAUGH	
M. NOLLE	THE Cottage FAUGH	M. Nolle
R Seale	Milburn Cottage FAUGH	R Seale
A STASIUK	THE GRANGE FAUGH	(1)
J. STASIUK	THE GRANGE FAUGH	J. STASIUK
H. Stalker	21 CAIN WOOD HEADS NOOK	
G STAIRRA	21 CAIN WOOD HEADS NOOK	
Kim Stasiuk	The Grange FAUGH	
VICTORIA STASIUK	" " "	

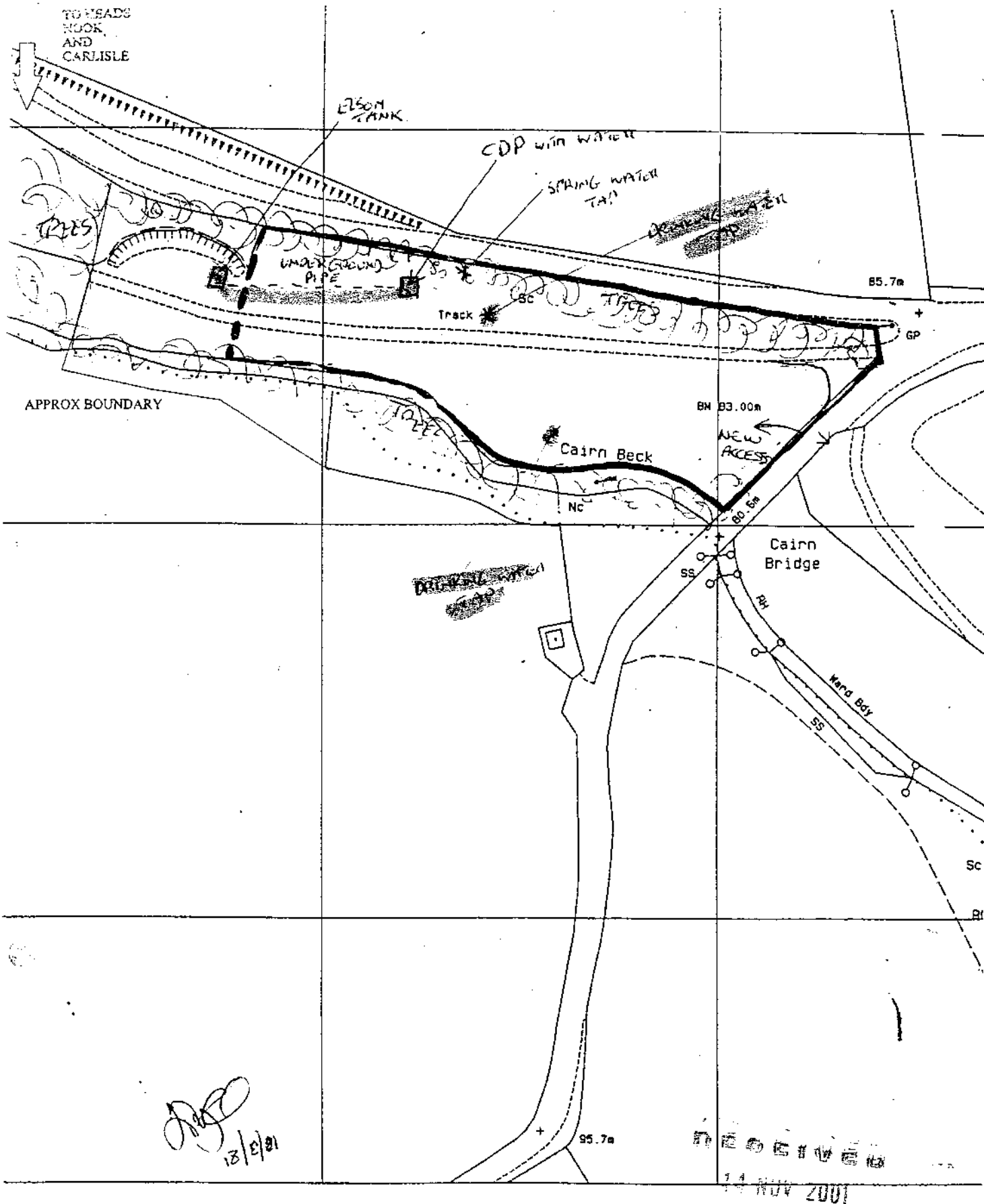
NAME	ADDRESS	SIGNATURE
SARAH DUBARRY	STONEGARTH CUMWHITTON, BRAMPTON	Sarah Dubarry
ANN MAUGHAN	GATE STAN MILL CUMREW, HEADS NOOK	PA Maughan
J. Baker	53, Cain Wood, Heads Nook.	J. Baker.
Jane Allen	54, Cain Wood Heads Nook	J. Allen
V. NORWOOD	40 CAIN WOOD HEADS NOOK.	V. Norwood
J. Wright.	Greenholme Lodge cottage Cortay Hill	J. Wright.
D. ALDERMAN.	Greenfields, Allengrove Heads Nook	D. Alderman.
F GIBSON	Ferlea Heads Nook	F Gibson
K. HOLLIDAY	Broadwath Cott Broadwath Heads Nook	K. Holliday
T. W. Wilson	Prospect View Brampton Heads Nook	T. W. Wilson
JOHN HILL	2 ROSEBANK, HEADS NOOK BRAMPTON	John Hill
John Clark	Ash View Heads Nook	John Clark
C. WILSON	Prospect View, Heads Nook, Brampton.	C. Wilson

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

NAME	ADDRESS	SIGNATURE
WA Watt	CAIRNCROFT, BURNIEG HEADS NOOK, CARLISE	<i>WA Watt</i>
A.G. EDMONDS	THE MANOR HOUSE, STONE RIBB, BROWWORTH, HEADS NOOK, BRAMPTON CB8 9EZ	<i>A.G. Edmonds</i>
A.R. DUNNING	CARRN GARTH, HEADS NOOK, BRAMPTON CB8 9EH	<i>A.R. Dunning</i>
J. H. HICKS	THE LILIES, <sup>10</sup> LEADWORTH, HEADS NOOK, BRAMPTON CB8 9EB	<i>J. H. Hicks</i>

We the undersigned object to the caravan site and "agricultural" building because the proposal(s) will be detrimental to highway safety and the visual appearance of this rural area.

Name	Address	Signature
Wendy Mack Astton	Rose Cottage Heads Nook CA8 9AF	Wendy Mack Astton
Julie Edge	Cairnbridge House Heads Nook CA8 9ET	Julie Edge
Hilson Webster	Glenn Terrace, Heads Nook Brampton, CA8 9AB	Hilson Webster
Stella Ferguson	10 Ave Close, Haydon	Stella Ferguson
Lynne Braidwood	The Summer House Heads Nook Brampton CA8 9AA	L.A. Braidwood
AMANDA HILL	2 ROSEBANK, HEADS NOOK BRAMPTON CA8 9EW	A.J. Hill
John Johnson	3 ROSEBANK, HEADS NOOK BRAMPTON, CA8 9EW	John Johnson
JANE FORD	CAIRNBRIDGE BARN HEADS NOOK BRAMPTON CA8 9ET	Jane Ford
M.A. SMITH	LITTLE CORBY HALL FARM, LITTLE CORBY, CALUSLE CA8 8DS	M.A. Smith
LAVINIA GRANGER JAIN GRANGER	24 BROADWATH, HEADS NOOK CAIRNBRIDGE RD, BRAMPTON	L. Granger
HAZEL LOWTHER	5 ROSEBANK, HEADS NOOK	Hazel Lowther
ROGER LOWTHER	5 ROSEBANK, HEADS NOOK	Roger Lowther
Jean Thompson	1. Rosebank, Heads Nook	J. Thompson
ROBERT DUNNING MURIEL DUNNING	CAIRNGARTH, CAIRNBRIDGE ROAD HEADS NOOK	Robert Dunning



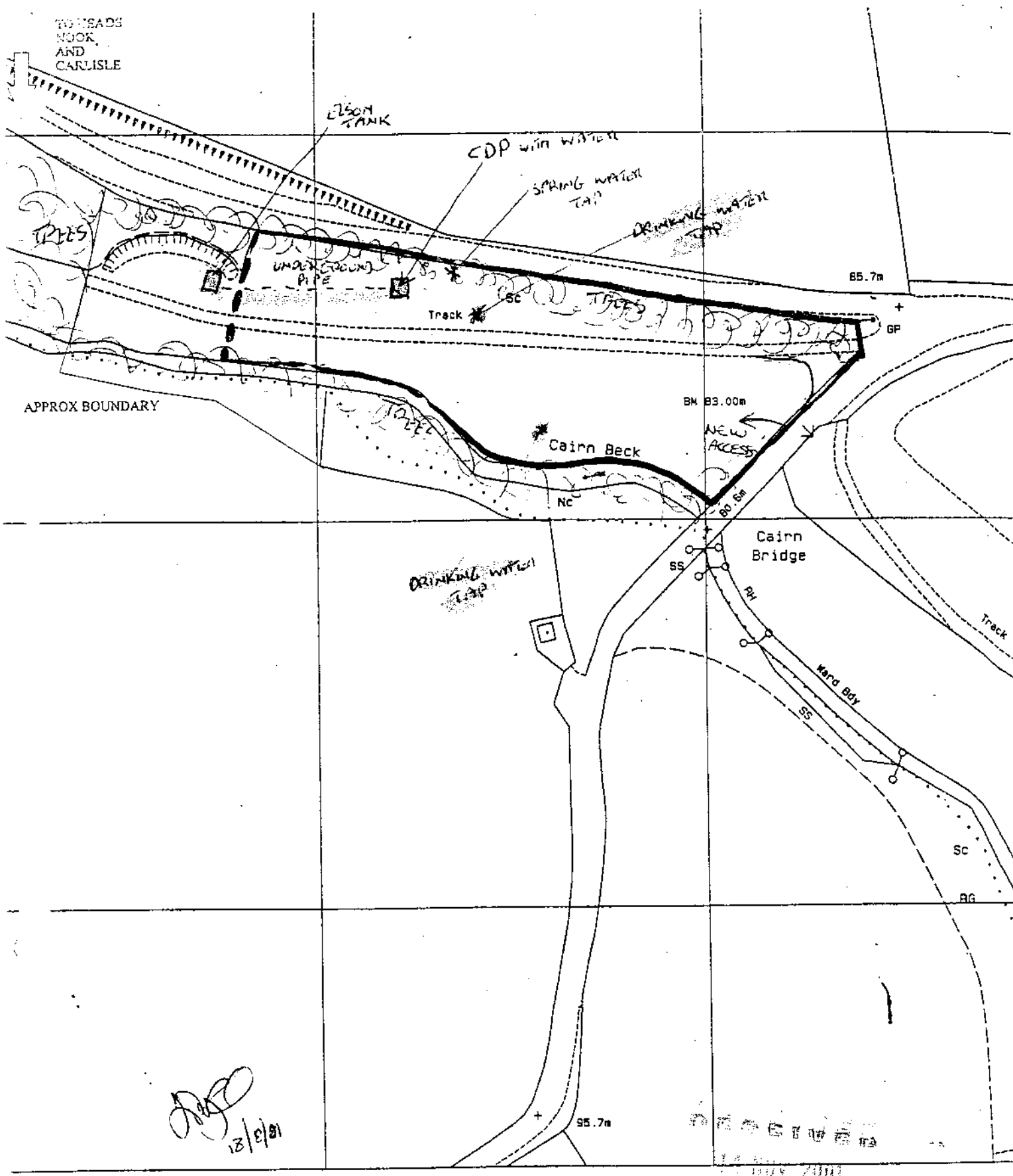
**CARROCK CONSTRUCTION SERVICES**  
 CARROCK HOUSE, HOW HILL, HUTTON ROOF, PENRITH, CUMBRIA, CA11 0XY.

Proposed change of use for land adjacent  
 Cairn Bridge, Heads Nook, Carlisle  
 for Mr R. Wilson.

WEB: WWW.CARROCK.CO.UK  
 E.Mail: MALCOLM@CARROCK.CO.UK  
 TEL: 01768 484 484 or 0771 5011 309

Location plan

M2533/1



**CARROCK CONSTRUCTION SERVICES**  
 1 ROCK HOUSE, HOW HILL, HUTTON ROOF, PENRITH, CUMBRIA, CA11 0XY.

Proposed change of use for land adjacent  
 Cairn Bridge, Heads Nook, Carlisle  
 for Mr R. Wilson.

**M2533/1**

WEB: [WWW.CARROCK.CO.UK](http://WWW.CARROCK.CO.UK)  
 E.Mail: [MALCOLM@CARROCK.CO.UK](mailto:MALCOLM@CARROCK.CO.UK)  
 TEL: 01768 484 484 or 0771 5011 309

Location plan  
 -114-  
 Scale Approx 1:1250 Date 20 June 2001

## SCHEDULE A: Applications with Recommendation

ITEM NO. 3

Date of Committee: 14/12/20

APPN REF NO:  
01/0735 /

APPLICANT:  
Mr W Francis

PARISH:  
Rockcliffe

DATE OF RECEIPT:  
17/08/2001

AGENT:

WARD:  
Longtown & Rockcl

LOCATION:  
Ghyll Bank, Harker, Carlisle Cumbria

GRID REF:  
338457 560799

PROPOSAL: Alterations to existing consent to allow permission for 12no.  
static caravans and 18no. tourers (resubmission)

### REPORT

#### PLANNING POLICIES:-

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H6

Within the remainder of the Plan area, outside areas covered by Proposal H1 and Policies H2-H5, permission will not be given for dwellings, except where applications are supported by a proven agricultural or forestry need.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H20

Where there is an identified need the City Council will consider the provision of Gypsy Caravan Sites. Proposals for Gypsy sites will be acceptable providing that:

1. the proposal is not within an Area of Outstanding Natural Beauty or County Landscape; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0735 /

2. there would be no adverse impact on the local landscape; and
3. appropriate access and parking can be achieved; and
4. the proposed site is reasonably accessible to community services; and
5. the proposal would not adversely affect the amenities of adjacent occupiers by way of noise, vehicle or other activities on site.

CARLISLE DISTRICT PLAN  
EMPLOYMENT - POLICY EM13

Within the Plan area, proposals for the development of caravan sites will be acceptable provided that:

1. the siting and scale of the proposal does not have an unacceptable adverse effect on the character of the local landscape; and
2. the site is adequately landscaped; and
3. the site is contained within existing landscape features; and
4. adequate access and appropriate car parking can be provided.

In addition, the Council will consider the need to impose seasonal restrictions through the use of planning conditions to safeguard the environment and landscape through the winter months.

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

ENVIRONMENTAL SERVICES: No objection.

ROCKCLIFFE PARISH COUNCIL: The Parish Council objects to this application for the same reason as the previous proposal i.e.:

- i. intrusion into open countryside/landscape impact
- ii. the land is not allocated for development, and approval of the application could create a precedent
- iii. all year round occupancy could lead to problems with drainage
- iv. year round occupancy may bring traffic problems

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. In response, 11 letters of objection have been received. These raise concerns relating to the impact of the proposed change on residential amenity, increased traffic, the presence of potentially noisy commercial uses nearby and the fact that in the past development in this area has generally been resisted.



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0735 /

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

This site has a planning history which goes back to 1975, when permission was refused for the erection of two dwellings on the site. Another outline application for residential development was refused in 1980. In 1994, under application 94/0863m permission was granted for the use of the site as a touring caravan site and caravan storage area, subject to conditions which limited the number of touring caravans to 30, and occupation to 14 days. Further conditions prohibited static caravans, and limited the use of the site to March - October.

In June this year, application 01/0091, identical to the current application, was refused for the following reason:

The proposed alterations to the pattern of use of the caravan site would result in the establishment of a separate, permanent residential development in a location distinct from any recognised settlement and contrary to Policies H6 and EM13 of the Carlisle District Plan.

#### DETAILS OF PROPOSAL

This application was deferred at the last meeting of the Committee to enable Members to visit the site. It will be recalled that this application is a resubmission of application 01/0091. It will be noted that that application was refused.

It will be recalled that the application proposes the siting of 12 static caravans, together with the siting of up to 18 touring caravans. Permission for the latter would be unrestricted, with occupation throughout the year. This compares with the existing permission, which is for up to 30 touring caravans with conditions restricting the maximum length of stay to 14 days and limiting the use to March - October inclusive.

In requesting that the application is reconsidered, the applicant has submitted a statement which makes the following points apart from confirming the nature of the proposal as stated above:

1. The applicant would manage the site personally, providing 24 hour supervision.
2. Landscaping can be provided, to be agreed.
3. A site visit by Members would be welcomed.
4. Willingness to accept a temporary approval, after which a further application would have to be submitted.

A further factor to be taken into account in this revised application, is that the applicant no longer controls the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0735 /

adjacent caravan storage area, or the adjacent dwellings. The applicant intends to live in one of the static caravans, and manage the site from there.

In considering this application, Members should take into account the issues regarded as relevant in the context of the previous permission, as well as those now raised by the applicant.

The relevant local plan policies are policies H6, E8, EM13 and H20. Policy EM13 deals with caravan sites generally and identifies landscape impact as an important criterion. The site is not in an area of protected landscape and Policy E8 therefore applies, whereby there is a lower standard of protection than in areas such as Areas of Landscape Significance. Landscape impact was a concern related to the previous application, arising principally from the fact that caravans would be present on the site all year round. Further mounding and landscaping would significantly reduce the landscape impact of the site, and it will be noted that the applicant has agreed to carry this out.

Policy H20 which refers to the housing needs of the traveling community, also refers to landscape impact, but also includes two further criteria relating to access to services and impact on residential amenity. National guidance in the form of Circular 1/94, also refers to access to services and states that sites within a reasonable distance of local services and facilities should be considered. Authorities are also advised that applications should not be refused on grounds that existing provision is adequate.

The previous application was refused because the location was considered inappropriate in terms of access to services. This point remains relevant, and it should be acknowledged that the site is some 1.6km from Cargo and 2km from Rockcliffe, where the nearest school is, on the opposite side of the A74 and 1.5km from the northern edge of the urban area. Members should take this into account but should also consider whether for a site of this size (i.e. thirty units in all), this should be regarded as a reason for the refusal of the application.

The remaining criterion of Policy H20 refers to impact on residential amenity. In this regard, it will be noted that there is one dwelling close to the site entrance, plus the two dwellings to the rear, which are no longer in the applicant's control. Some of the objectors refer to impact on residential amenity from activities which might be likely to take place on the site, and from additional traffic. In relation to the latter, the difference between the present situation, where the use is limited to March - October, and year round operation is not likely to be significant. In relation to the former, the applicant has agreed that further landscaping/mounding could include the creation of a compound. Some objectors also refer to the location of the site close to a transport depot and the Harker electricity switching station. It is not considered that these factors make the site unsuitable, and in fact the

# SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0735 /

landscape impact of these developments as compared with the proposal may be viewed as an argument favouring the application.

In summary therefore it is considered that the arguments in this case are finely balanced. If Members are minded to approve the principle of the proposal, two options may be considered. Firstly, it would be possible to grant a permanent approval, but subject to conditions relating to further landscaping, mounding and creation of a compound etc. It would be advisable to ensure that these details were submitted and approved before the use commenced, and implemented within a specific time period. The second option would be to give permission for a limited period of say two years, during which the impact of the use could be assessed. After the expiry of this period, the issue of a permanent approval would then be considered in the context of a further application. In view of the applicant's willingness to accept a permission for two years only. The latter option is recommended.

## RECOMMENDATION:-

minded to refuse

### APPROVE WITH CONDITIONS

Static

1. This permission shall be in respect of the siting of 12 no. ~~touring~~ caravans and 18 no. touring caravans on the site.
2. The touring caravans to which this permission relates shall be occupied for periods of not more than 21 days at any one time.
3. The use hereby permitted shall be discontinued not later than the 30th day of November 2003 unless in the meantime a further application has been submitted to and approved by the local planning authority.

Supp pages

Page 155 →  
Hodgson. what are static caravans?

14-15

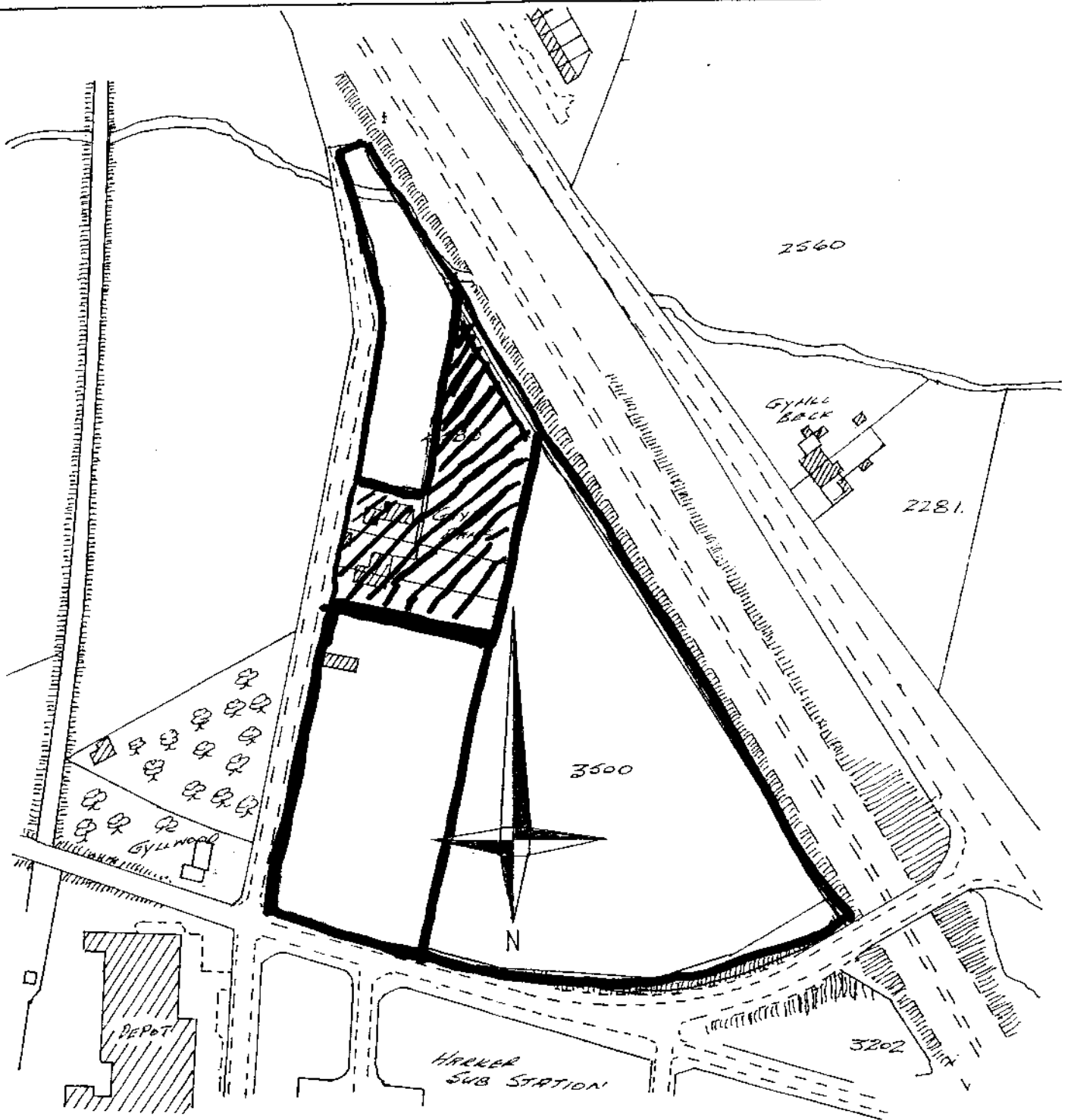
Seconded Ref.

Bloxham - believes inconsistent if permitted.  
no demand  
Road safety  
health + safety - pylons  
school travel, jobs.

Sussex - historical reasons not to be changed. moved Ref.  
- been to static conditions in pleasant rural area.  
- add'l traffic probs.

Prust

- not joining at didn't go on S.U. why?  
-119- he changed - asked off to explain.



LOCATION PLAN

RECEIVED  
24 SEP 2001

20010735  
#####



property & land  
in Mr Addison ownership

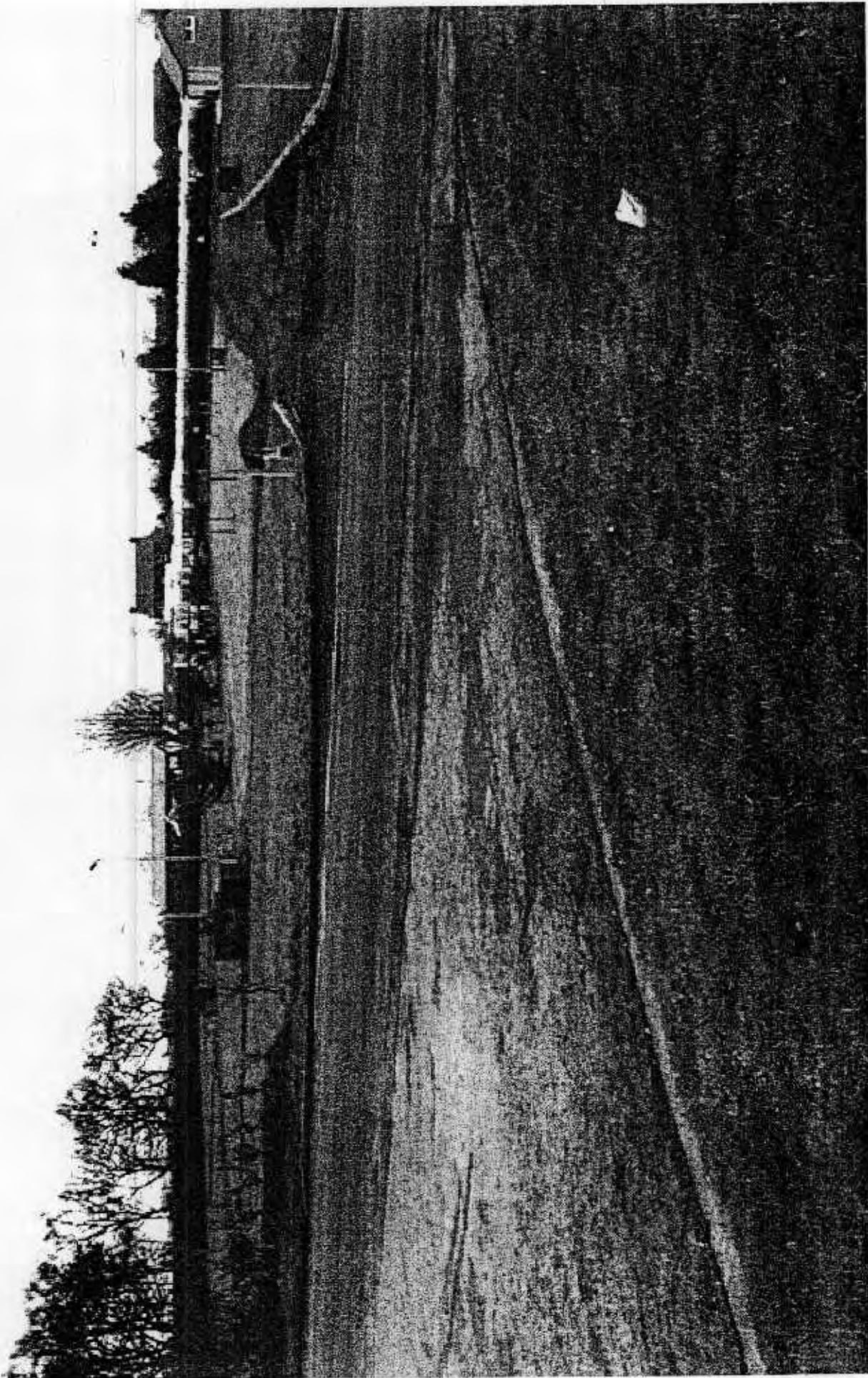
## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0735 /

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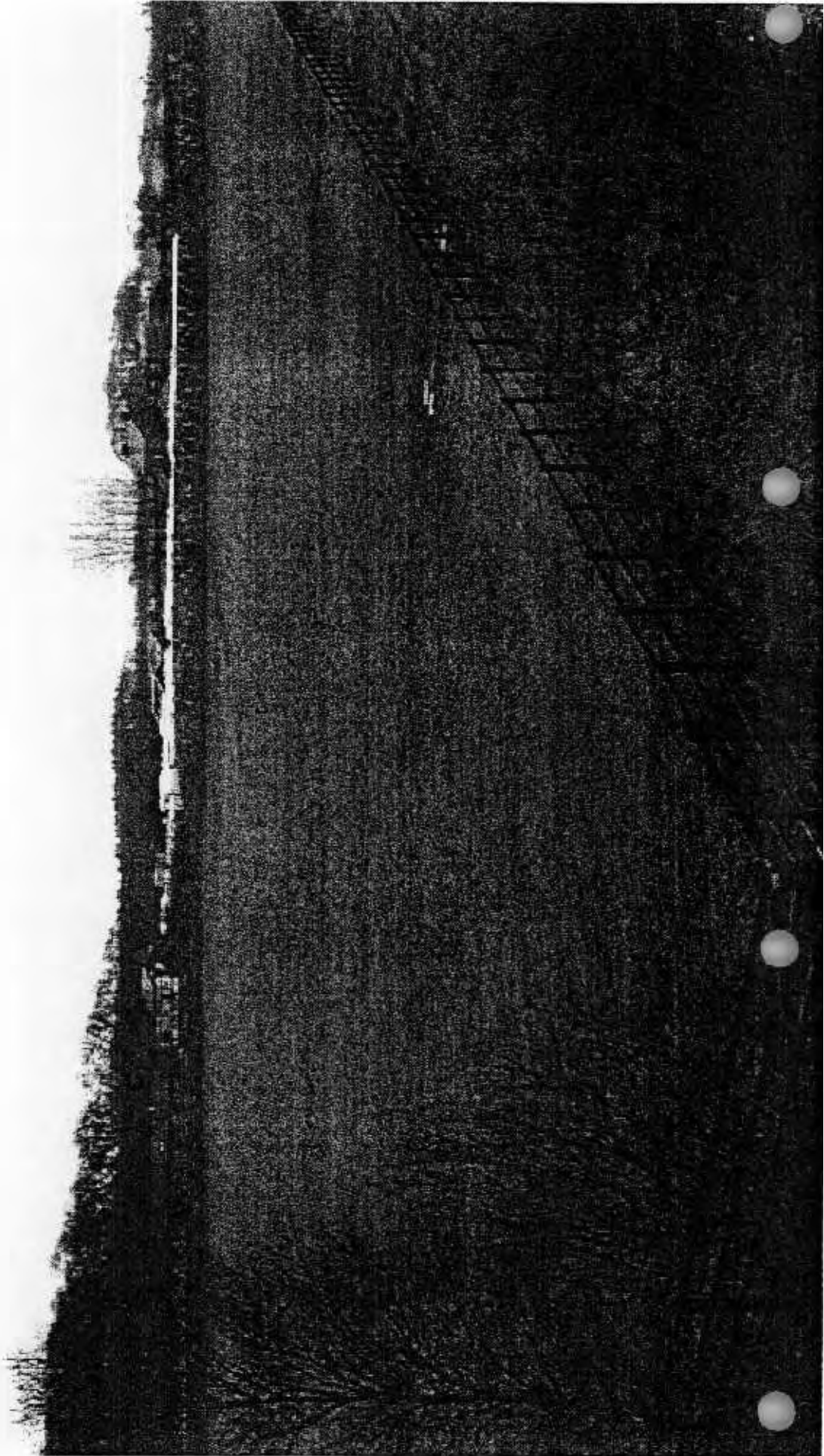
### RECOMMENDATION:-

APPROVE

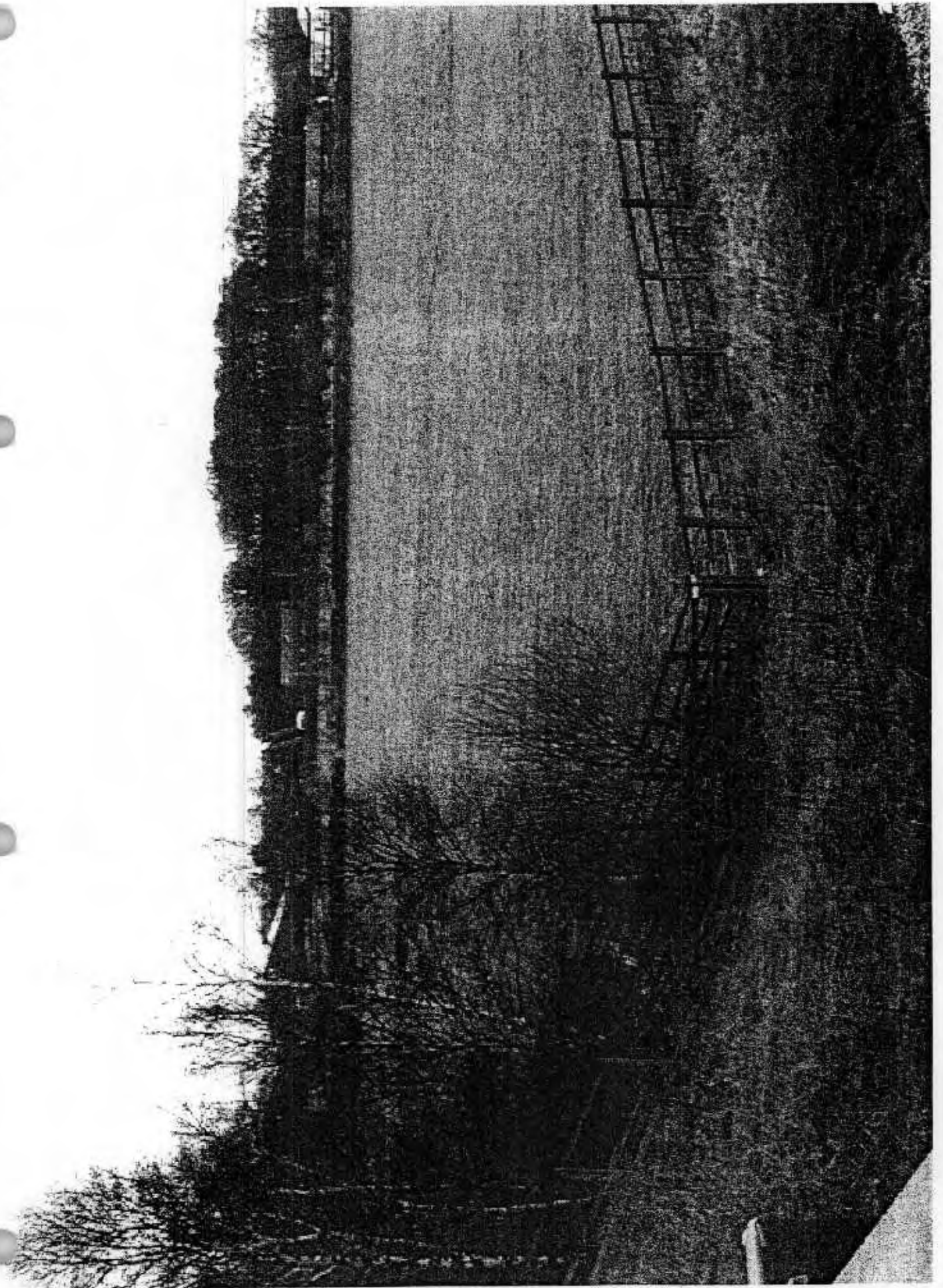


relinquish

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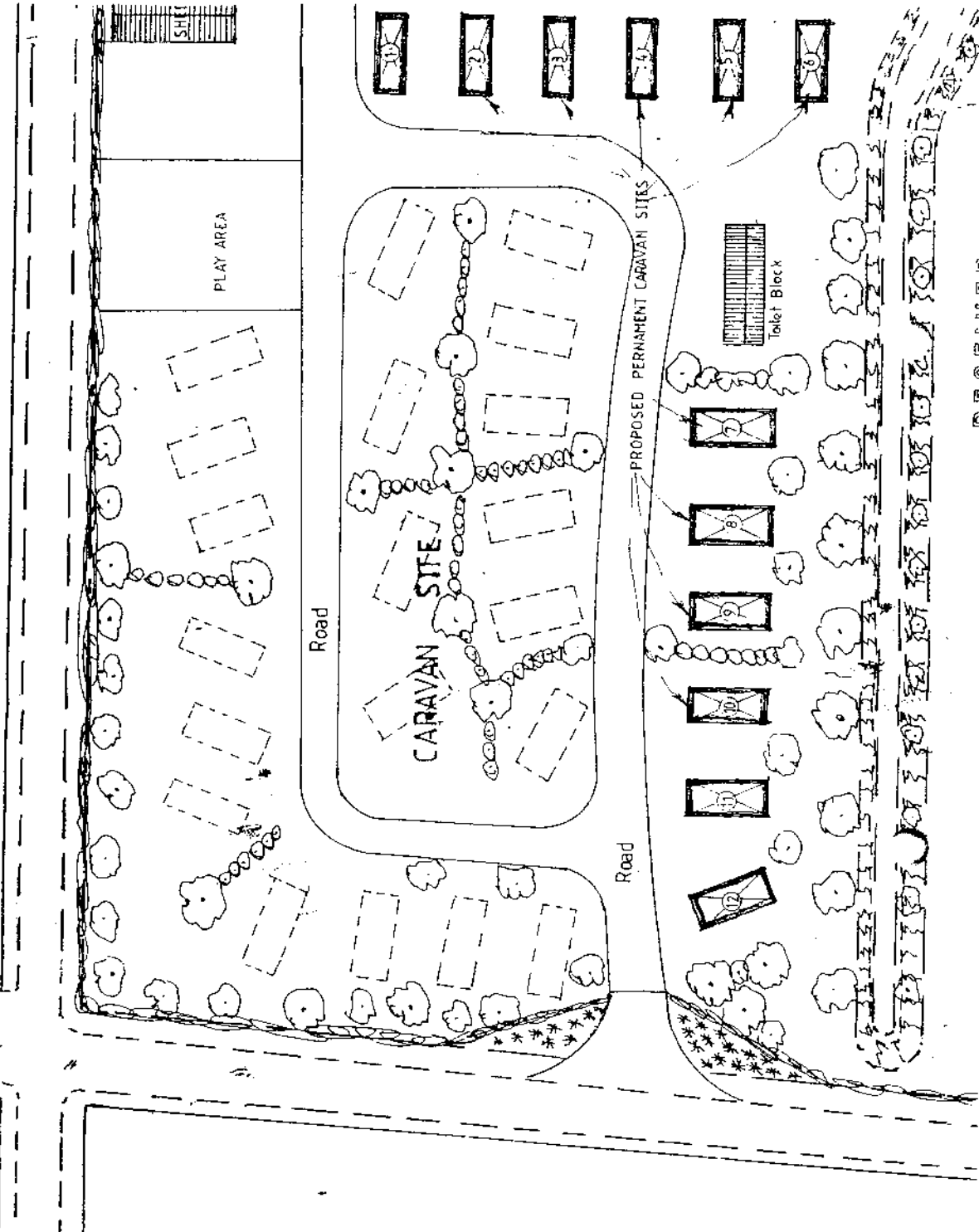


2001/0735





PLAN OF GHYLL BANK CARAVAN SITE, HARKER, Nr. CARLISLE



MR W FRANCIS  
Ghyll Bank Park  
Low Harker  
Carlisle CA6 4DG

Tel: 07979877792

Ref: CJH|BP|DC|01|0735.

Dear Sir,

In answer to your letter of 12th September, 2001, I enclose herewith the amended site plans with the proper ownership boundaries marked on. I would also like a permanent unit of wardens accommodated on my own site.

Yours faithfully,  
WJH

PLANNING SERVICES	
REF	01/0735
24 SEP 2001	
RECORDED	<input checked="" type="checkbox"/>
SCANNED	<input checked="" type="checkbox"/>
PASSED TO	CJH
ACTION	

Mr W Francis  
Ghyll Bank  
Caravan Park  
Low Harker  
CARLISLE

9th August 2001

Mr A C Eales  
Head of PLanning Services  
Planning Services Division  
Carlisle City Council  
The Civic Centre  
CARLISLE  
CA3 8QG

Dear Mr Eales,

**GHYLL BANK CARAVAN PARK, LOW HARKER, CARLISLE**

Following a meeting on 31st July the above site between myself, Mr Martin Tickner and Mr Alan Taylor of your Council, and my receipt of Mr Tickner's letter dated 1st August, I have now had the opportunity to consider my options in respect of my site, and have decided to resubmit a planning application (the original of which was turned down on 22nd June) in consultation with Hughie Smith of the Gypsy Council.

I understand that a number of different issues will need to be considered in the light of my resubmitted application, including proposed management of the site, the numbers of static/touring caravans for which planning permission is being applied for and how long I expect them to remain on site, and landscaping/fencing details. I set out below my proposals as follows:

- (a) Site Management - it is my intention, as site owner, to manage the site personally, together with the assistance of my family, in order to provide 24-hour supervision.
- (b) It is proposed that 12 number static caravans will be accommodated on the site, on a permanent basis.
- (c) It is proposed to accommodate 18 number touring caravans on the site, which will be open for use by both Gypsies and housedwellers. I do not intend to impose restrictions on the length of stay on the touring portion of the site, but leave this to the circumstances of the families themselves; some may only require a period of a couple of weeks' residence, whilst some may require longer. However, that portion of the site will be used for touring caravans only, and no permanent residence will be allowed.
- (d) Any landscaping work at the site entrance which may be necessary can form the subject of discussion and agreement between myself and your Planning officers.
- (e) Similarly, any landscaping/fencing involved with the creation of a compound for travellers' transit vans and equipment can also be agreed upon through discussion - for instance, a fence and hedge planting may be found to suffice.

Prior to their making a decision on my resubmitted application, I would positively welcome a visit by members of the Council's Planning Committee, in order that I can answer in person any questions which they might like to put to me regarding my proposal and they in turn can see my site at first hand.

(Contd...)

RECEIVED  
16 AUG 2001  
2001/0735

...contd)

Page 2

I should, if possible, also like the President of the Gypsy Council, Mr Hughie Smith, to speak on my behalf at the Committee Meeting at which my application is considered. The Gypsy Council do in fact fully support my application, and Mr Smith's experience in dealing with planning issues on behalf of Gypsies like myself will I feel prove a great asset.

I am aware that the current planning permission on my site only allows for the stationing of 30 touring caravans between the dates 1st March - 31st October inclusive, but would ask that this be revised to allow all-year opening, in order to cater for both the static caravans which I intend to accommodate and those transient families who may wish to be accommodated on my site out of season. Additionally, I would also request that the conditions on my site be varied in order to allow families there to remain on site for longer than the period of 14 consecutive nights which applies at the present time. This will be necessary in order to accommodate those families occupying the static units, and also to allow families who may need extra time in the area to be accommodated.

Finally, I am more than willing to accept a temporary approval on my site, in order that the City Council can monitor its usage over a period of time, and would suggest that if such a permission was to be granted, the Council would find it beneficial; given that the Hopesyke Wood official Gypsy site was closed and disposed of by the Cumbria County Council some years ago, the Hespian Wood emergency site is no longer usable and the Hadrians Camp site at Longtown is permanently full with a lengthy waiting list, the provision of my site as proposed would mean that it could be used by Gypsy families who would otherwise be forced to camp illegally within the area, thus benefitting all concerned - the Council, the Gypsies, and the settled community alike - by the reduction in incidents of unauthorised camping in the Carlisle area.

I hope that the above information is sufficient, and that the Planning Committee will favourably consider my resubmitted planning application.

Yours sincerely

Mr William Francis

RECEIVED  
16 AUG 2001  
2001/0735

PLAN	391-1-013
REF	01/0735
DATE	5 - 3 OCT 2001
NAME	Skiddow View
ADDRESS	Low Harker
CITY	Carlisle
POSTCODE	1-9-01
PRINTED	
ACTION	

**ACKNOWLEDGED**  
03 OCT 2001

Mr Harmer

Dear Sir,

Re. caravans at "Chyll Bank"  
Harker, Carlisle.

I do not see the need for this site as I have mentioned in earlier letters we already have plenty of these sites in this area.

I am quite sure the land can be put to better purposes.

Yours faithfully,  
O.S. Tweedale

Skiddaw View  
Low Harker  
Carlisle

Dear Sir-

Re Appn ref. 010435

Regarding land at Ghyll Bank  
I am still very much opposed  
to this land being used for this purpose  
as I feel there is no need as they  
seems to be quite plenty of such sites.  
near by.

PLANNING SERVICES	
REF	01/0735
5 SEP 2001	
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yours faithfully  
O.S. Swindale

PLANNING SERVICES	
REF	01/0735
- 8 OCT 2001 8	
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PASSED TO	CJH
ACTION	

Low Markers Farm,  
 Low Markers,  
 Carlisle. CA6 4DP.  
 3-10-2001.

Dear Mr. Adams.

Re: Gyll Bank, Markers, Carlisle.

Copy/ ref:- 01/0735/

Further to Mr. Taylor's letter dated 24<sup>th</sup> September 2001 we still oppose the use of the above land as proposed, which will result in another 'Madrian' Camp.

Our feelings remain the same as pointed out in our previous 2 letters. There would appear to be sufficient caravan facilities in the area already. This land could be put to better use as a nature reserve which would blend in well with the copse that surrounds the electric sub-station at Markers or used for agricultural/ horticultural business.

Yours sincerely  
 B & M. Tweedale.

**KINGMOOR**  
P A R K

**Kingmoor Park Properties Ltd.** Baron Way Kingmoor Business Park Carlisle CA6 4SJ  
Telephone 01228 674 114 Fax 01228 674 117 email:info@kingmoorpark.co.uk

Department of Environment and Development  
Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG

24<sup>th</sup> August 2001

**ACKNOWLEDGED**  
29 AUG 2001

REF	01/00910735
DATE	28 AUG 2001
BY	ew
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PASSED TO	CJH
ACTION	

Dear Sir

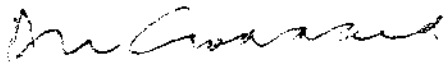
**RE: APPLICATION FOR 12 STATIC AND 18 TOURER CARAVANS ALL YEAR ROUND APPLICATION NO 2001/0091**

I refer to the above application and write to register a formal objection on behalf of Alard Properties Ltd, owners of Kingmoor Park Harker Estate.

One of the main advantages for our on site tenants is the provision of a 24 hour security service which we believe would be seriously affected by the closeness of this encampment. This would also have an aesthetic effect on potential lettings for the site with the risk that such use may encourage other caravan tourers to come to the area.

There is, as you know a problem with such caravan occupants on the Parkhouse Road site, which I am sure you would not like repeated elsewhere.

Yours sincerely



A W Goddard

DEPT. ENV & DEV
PLANNING
FILE
28 AUG 2001
PLANNING
1000



# Haulage Express Ltd.

Directors: B.C. Proudfoot : W.J. Proudfoot (Sec.)

TELEPHONE: 01228 74797  
FAX: 01228 74451

F.P.L. BUILDINGS  
LOW HARKER : CARLISLE : CA6 4DP

Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG

21<sup>st</sup> August 2001

Your Ref: CJH/DC/01/0735

Dear Sir

**Re: Application Ref: 01/0735 Planning Proposal at Ghyll Bank, Harker, Carlisle.**

My concerns with regard to static caravans and tourers on the site adjacent to ours have not changed since the original application on the 30<sup>th</sup> April.

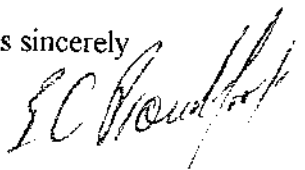
We have a business that has been in existence for sixty years. In that time we have had to move a number of times because of problems

1. The need for 24 hour 7 day's a week operation in our business created noise and nuisance. We moved to Harker to avoid these problems. This application is creating the potential for this to re-occur in the future from the residents of the caravan park.
2. The problem of security of our site and danger to children playing next to a transport depot must be considered. This area with the massive Harker sub station and our site is more industrial than residential.

If necessary we think the entrance should be moved from the main road to the side entrance next to the house so that children would not have access to the main road.

The concerns may appear to be petty but we feel they have to be aired before these problems occur.

Yours sincerely



B.C.Proudfoot.

PLANNING SERVICES	
REF: 01/0735	
24 AUG 2001 10	
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Mr. J. Hamer,  
 Dept. of Environment,  
 Civic Centre,  
 Carlisle, CA3 8QG  
 CTH/DC/O/FOI356

PLANNING SERVICE  
 REF: 01/07355, 01 Harker,  
 2001, 2 Low Harker,  
 Carlisle CA6 4DR  
 ON

ACTION

ACKNOWLEDGED  
 07 OCT 2001

Dear Mr. Hamer,  
 Re - Proposal for planning  
 consent for caravans at ~~Gliff Bank~~

Thank you for your letter of 24<sup>th</sup> September about submission of revised plans for the above.

I note your comments about only objections relating to the actual land being considered.

I wish to object on Public Health grounds, based on the footprints and other litter left by Travellers with caravans. Last winter outside Aoda after they had been there were hordes of rat prints (feet + tails) in the snow where the Travellers had left litter. We have had a

problem with rats here in Harker only  
2 weeks ago. I fear if Travellers  
become resident on the proposed site  
the rat problem will be exacerbated.

Yours sincerely,

Celia L. Pearson

(MRS. C. PEARSON)

P.S. My worry relates to the land as that is  
where rats have their holes.

Head of Planning,  
Civic Centre,  
Carlisle

PLANNING SERVICES	01 735
	28 AUG 2001
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ACTION	

Old Harker,  
Low Harker,  
Carlisle

CA 6 4 DR

24<sup>th</sup> August 2001.

Dear Sir,

As a resident of Old Harker adjacent to Ghyll Bank I wish to object in the strongest possible terms to the granting of Planning Permission for additional caravans (static) ~~to~~ to be granted for Ghyll Bank.

My objections are :-

1. Threat to security of my property and brand new car garaged opposite
2. Litter as found outside Asda from caravans (horrible).
3. Additional traffic, noise and pollution on the road opposite
4. Possible reduction in the value of my property.

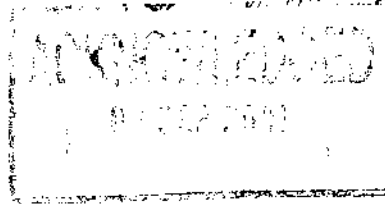
Please could you bear these points in mind when considering Planning Permission.

Yours faithfully,

(Mrs. C. PEARSON)

Celia L. Pearson

Mr & Mrs T Grubb  
Old Swinford  
Harker  
Carlisle  
Cumbria  
CA6 4DS



5<sup>th</sup> Sept 2001

Mr J Hamer  
Case Officer  
Dept. of Environment & Development  
Planning Services Division  
Civic Centre  
Carlisle  
CA3 8QG

PLANNING SERVICES	
REF	01/0091
- 6 SEP 2001 12	
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Dear Mr Hamer,

**RE : Planning Application for alteration to existing consent for caravans at Ghyll Bank , Harker - Appn Ref: 01 / 0091**

We cannot see how the original application has changed and therefore again wish to raise an objection to this application and any further development in this area for the specific reasons previously stated , namely:

An inevitable increase in traffic would result .The B road through Low Harker already has a weight restriction as it is deemed unsuitable for heavy traffic .The bridge over the old railway track is very narrow . The turning into this road from the A7 is hazardous .I experience this every day and have witnessed several near accidents .

This is an area of rich wildlife . Deer and many birds can still be seen here unlike many more urban areas . Increased numbers of people would disturb the wildlife and thus ruin the area for local residents.

Finally the close proximity of the electricity station causes me great concern for any people , children in particular ,living there .Many scientific papers have raised issues of power lines and fast moving traffic combining to have adverse effects on health. We feel it would be shortsighted of the council to grant any further development in this area .

Sincerely

*Thomas Grubb*  
*B.J. Grubb*

Mr T.W. and Mrs B.J.Grubb

**ACKNOWLEDGED**  
14 OCT 2001  
#3

0110735
14 OCT 2001
CSH
5

To Mr A M Taylor  
Chief Development  
Control officer.

Mr T Monaghan.  
Old Harper Cottage  
Low Harper  
Carlisle CB4 4DI  
2. Oct 2001.

Dear Sir

Finally I should like to withdraw my first letter, & replace it with this one, as I now have had more time to think about what form my objections, to the planning application for the proposed development at Ghyll Bank Harper Carlisle.

Over the past number of years, a number of planning applications have been refused along this stretch of road. Two that I know personally of, further along the road, were turned down because it was thought that this would put a undue amount of traffic on the road. I am also told that the previous owner of Ghyll Bank was turned down for 2 Bungalows on the same site. The proposed application is for 12 static caravans & 18 no towers, this is the creation of a village. The minimum number of vehicles extra on that road would be 30, and I take it from what I

2

see at the moment these would be Transit Vans, (Red ones).

This is an area surrounded by farms and I should think that in the present climate, (foot & mouth) the last thing farmers need is people coming from all over Great Britain and Ireland into a farming community, this can only be a recipe for disaster, now or in the future.

Whenever you have up to 30 families living it is inevitable that there will be children, this site could under no circumstances be considered a suitable environment for children to live. The A94 runs parallel to the site, across the road is a massive complex belonging to the National Grid where equipment carrying many 1000's of Volts are kept. This area is fenced but fences are an adventure to children. These massive electric fields have long been thought to emit types of radiation & mobile phones offer no protection from this.

I have seen for myself on many occasions vans pulling large caravans turning right onto the Harker road, the first thing they come to is a hump back

Bridge where they have to drive into  
 the path of oncoming traffic to  
 cross this bridge, this I would  
 take be one of the reasons earlier  
 applications have been refused,  
 that Bridge is still there.  
 Finally I would like to ask  
 why the true purpose of this  
 caravan site was not revealed  
 in the application, I know from  
 people I have spoken to that  
 there would have a lot more  
 protest if it was known that  
 the intention is to create a  
 Gypsy Camp. I feel that before  
 any decisions are made then the  
 rate payers of this area should be  
 fully informed of what is planned.  
 We suffered the last time we had  
 a Gypsy Camp at Kingstown, with  
 endless door knocking & tipping of  
 rubbish. I hope my comments are  
 noted.

yours Sincerely

T. M. J.  
T. M. JONAS



ACKNOWLEDGED  
30 AUG 2001

PLANNING SERVICE	
REF	01/0091
DATE	24 AUG 2001
BY	EN
FOR	CAH
TO	

6 Old Harker  
Low Harker  
Carlisle  
CA6 4DR

24 August 2001

Dear Mr Hamer

**PLANNING APPLICATION NO 01/0091  
GHYLL BANK, HARKER.**

I wish to strongly object to the above Planning Application on the following grounds

- There is a considerable litter problem in this area, which can be evidenced from the bags, cartons etc generated due to people leaving McDonalds and depositing their litter here.
- The road leading past our houses at Low Harker is designated a minor road, and any increased usage would not only have a detrimental effect on the surface, but would also endanger the wide selection of wildlife in the area. If, indeed, the road required to be upgraded, this would put even more pressure on the wildlife.
- It would appear that this site is being considered due to the fact that Hadrians Camp is full to capacity. This is definitely not the case. I have passes Hadrians Camp on numerous occasions and the transit section is constantly virtually empty.
- Travellers have already been using the slip road that used to link up with the A74 and the accumulation of litter and other refuse is a disgrace. If this site is to go ahead, this is a sign of what would happen.
- Notwithstanding the above, we currently live in a quiet, peaceful area, having worked extremely hard to keep our homes and the surrounding areas in good order, and the imposition of this site would almost certainly result in a drop in value of our properties.

Please accept this correspondence as an official objection for the application.

Yours faithfully

  
Miss Dawn Hynes

PLANNING SERVICES	
REF: 01/0735	
28 AUG 2001 13	
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Mr. M. Monaghan  
 1 Old Harker Cott  
 Low Harker  
 Carrislee  
 48N  
 28 2001

**ACKNOWLEDGED**  
 28 AUG 2001

Dear Sir/Madam,  
 I have been informed by my neighbour that Ghyll Wood Caravan Site has applied for permission for 12 Residential sites. I would like to object to this in the strongest terms. This is just a back door route to a permanent Gypsy Camp. Gypsies recently camped on the site for two weeks and we were plagued with

4  
 from knocking on the door to either buy anything from Sunday to furniture, or to fix my roof that does not need fixing. Also they use the old slip road to the A714 to dump what they cannot sell. I feel that the people of Harker should be consulted before any permission are made.  
 Yours sincerely  
 M Monaghan

PLANNING SERVICES	
REF	01/0735
31 AUG 2001H	
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THE WILLOWS  
 HARKEE RADEURS  
 CALISLE  
 CAG4HQ

I am writing this letter of objection to the proposed static caravan site at Ghyll Beck, Harke. I feel this site is not in keeping with the area, also there is already a static site at Hadrian's Camp or an overspill site at Heepin Wood, so there is no need for any other sites

Yours faithfully  
 Owen  
 McJannet

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NO.	01/0735
DATE	14 - 6 OCT 2001
BY	cn
REMARKS	CSY

The Willows  
 Harkes Road Ends  
 Carlisle

Dear Sir

I write to you objecting to the proposal of a transit site at Ghyll Bank, Harkes, well I am objecting again now the revised plans have been submitted

A number of years ago we applied for planning permission to build a house further along the Harkes road, we were turned down on the grounds there would be too much of an increase in traffic, We are one family whereas Mr Francis is applying for permission for 12 permanent dwellings & 18

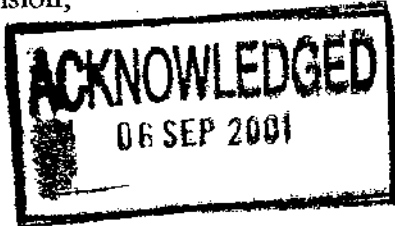
Temporary dwellings, in effect  
creating a village with a lot of  
extra traffic.

As Hesperin Wood is now  
closed it is my belief that the  
Council now don't have anywhere  
to "house" these travellers, so  
if they go to Ghyll Bank it  
solves a Council problem especially  
as no Council members live in  
the area.

yours sincerely  
D McFarlane

Craig & Susan Bowers,  
Sylvan, 6 Meadowfield, Harker Road Ends, Carlisle, Cumbria. CA6 4HE  
Tel: 01228 672129

Department of Environment & Development,  
Planning Services Division,  
The Civic Centre,  
Carlisle. CA3 8QG



PLANNING SERVICES	
REF	01/0091
06 SEP 2001 14	
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4<sup>th</sup> September 2001

Dear Sirs,

Re: Planning Application by Mr. Francis, Ghyll Bank, Low Harker, Carlisle

I note that the above named has made application for planning permission in respect of 12 static and 18 touring caravans at the above address.

I am concerned that the site may become used by itinerant travellers rather than conventional caravaners.

In these circumstances I wish to register an objection to the proposed application.

Yours faithfully,

A handwritten signature in cursive script that reads "S. Bowers".

Mrs. S. Bowers and  
Mr. C. Bowers

PLANNING	
REF	0110735
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THE WILLOWS  
HARKER ROAD ENDS  
CARLISLE  
CUMBRIA  
CA6 4HQ

DEAR SIR,

It has come, to my attention that there is planning application for a static caravan site at harker. In my view there is no need for this site as there is already one at broughton and one at hespin wood. I would just like to give my apposal as i feel that it will affed the area and spoil the neighborhood.

Yours Sincerely  
C. M. Gough

PLANNING SERVICE	
REF:	01/0735
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CRINDLE BANK  
HARKER ROAD ENDS  
CARLISLE  
CA6 4DF

Department of Environment & Development  
Planning Service Department  
Civic Centre  
Carlisle CA3 8QG

6<sup>th</sup> September 2001.

Dear Sir,

We wish to lodge an objection to the planning application reference No. 01- 0735 for a static and touring caravan park at Ghyll Bank, Low Harker, Carlisle.

To allow such a site would be undesirable as the area is already well served by sufficient and adequate facilities, there being numbered at least three such sites within a few miles distance.

The area surrounding the proposed site has been aesthetically challenged several times over the past years :-

- electric substation extensively enlarged
- expansion of haulage business
- development of Kingmoor Park
- upgrade of A74 (under consideration)

No matter how carefully the site is landscaped to conceal, there will still a degree of unsightliness, adding to the problem already experienced. It would add further traffic congestion to a country road which has very poor visibility in parts (humpback bridge and cross roads near proposed site entrance) and could endanger lives.

The surrounding countryside has been continually eroded away. Conservation of the environment should be recognised in the modern world and everything done to preserve it from further degradation. The land in question could be utilised and developed into an interesting, environmentally friendly area of natural beauty for future generations to enjoy.

Yours faithfully,

David Jones  
Sheila Jones

Mr D. and Mrs S. Jones.



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Wk

**Carlisle City Council**

01/0735  
SCHEDULE A  
PAGE 210  
ITEM 8

**INTERNAL MEMORANDUM**

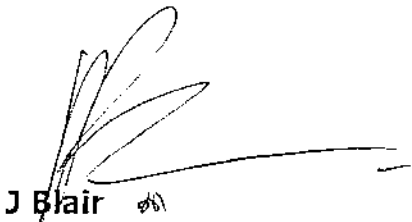
<b>From:</b> HEAD OF ENVIRONMENTAL SERVICES	<b>Please ask for:</b>	Janet Blair
<b>To:</b> HEAD OF PLANNING SERVICES	<b>Extension:</b>	7329
<b>FAO:</b> JOHN HAMER	<b>E-mail:</b>	Janet Blair
	<b>Your ref:</b>	01/0735
	<b>Our ref:</b>	EP 2/5 JB/SLJ
		23 October 2001

**RE: GHYLL BANK CARAVAN PARK, LOW HARKER, CARLISLE**

**Description:** Alteration to existing consent to allow permission for 12 static caravans & 18 tourers (re-submission)

There are no objections to this proposal because a caravan site has been licensed to operate from this area since 1995. During this period no complaints have been received from local residents regarding any form of nuisance.

I trust this information is helpful.



**J Blair**

Assistant Principal Environmental Health Officer

01/0735  
SCHEDULE A 18

PLANNING SERVICE	
REF	2001/0735
26 OCT 2001	
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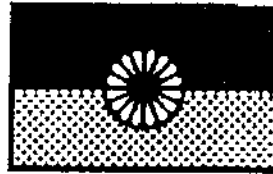
Dear Sir,

I use caravan site on Kingwood  
applying for permission for a static  
caravan site.

As the proprietor of Park House Restaurant  
+ Bar, I am very concerned that  
travelling people (Gypsies) should be allowed  
to live here -

As I have invested a large amount of  
money for my site trying to  
create a nice environment, I would  
strongly object to such a site -  
AWAITING your reply with interest  
yours faithfully  
Giuseppe Guoracino

PRESIDENT: HUGHIE SMITH  
CHAIRMAN: A.J.PENFOLD



(01928) 72  
(0208) 9466...

# THE GYPSY COUNCIL ROMANI KRIS

(Est. 1966)  
GREENACRES CARAVAN PARK  
HAPSFORD  
HELSEBY  
FRODSHAM  
WA6 0JS

31st October 2001

FROM: HUGHIE SMITH, PRESIDENT  
TO: CARLISLE CITY COUNCIL  
ATTENTION OF: MRS DURHAM (SOLICITOR & SECRETARY'S DEPT)  
TOTAL PAGES: THREE (3)  
MESSAGE:

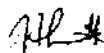
Dear Mrs Durham,

Re: Planning Application by William Francis Jr, Ghyll Bank Caravan Park, Low Harker

Further to your letter of 19th October, I would be grateful if you would tender my apologies to the Chairman and Members of the Development Control Committee for being unable to make the meeting on Friday, for reasons explained in the following letter, and instead ask that they accept my letter in lieu of my being able to give evidence in person.

I am faxing this to you for speed, and am posting the original by first class post today. Please acknowledge safe receipt.

Yours sincerely

  
Hughie Smith  
President

PLANNING SERVICES	
REF	01/0735
31 OCT 2001	
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The Gypsy Council (Est. 1966) has been an all-Gypsy organisation since 1973 and is not part of, or in any way connected with the organisation which describes itself as the Gypsy Council for Education, Culture, Welfare and Civil Rights (GCECWCR), formerly the National Gypsy Education Council (NGEC).

INCORPORATING  
**ROMANI KRIS**  
**WEST EUROPEAN COUNCIL OF GYPSIES**  
GENERAL SECRETARY: AGNES VRANCIKX

PRESIDENT: HUGHIE SMITH  
CHAIRMAN: A.J.PENFOLD



(01928) 723138  
(0208) 9488928

# THE GYPSY COUNCIL

**ROMANI KRIS** 31st October 2001

(Est. 1966)

J M Egan LL B  
City Solicitor and Secretary  
Carlisle City Council  
Civic Centre  
CARLISLE  
CA3 8QG

GREENACRES CARAVAN PARK  
HAPSFORD  
HELSEBY  
FRODSHAM  
WA6 0JS  
TEL/FAX: (01928) 723138

Your Ref: MD

Dear Sir,

**PLANNING APPLICATION 01/0735  
ALTERATIONS TO EXISTING CONSENT TO ALLOW PERMISSION FOR 12 No. STATIC  
CARAVANS AND 18 No. TOURERS (RESUBMISSION), GHYLL BANK, HARKER, CARLISLE**

## **PUBLIC REPRESENTATIONS AT DEVELOPMENT CONTROL COMMITTEE**

I refer to your letter, signed in your stead by Mrs Morag Durham, of 19th October 2001, in which you kindly confirm the Council's invitation to myself to speak at the meeting of the Development Control Committee on Friday November 2nd. Unfortunately, in addition to my role as President of the Gypsy Council (a post which I have held since 1973) I am also a Committee Member of the Council for Planning Aid, a body convened by the Royal Town Planning Institute to assist people from both the Gypsy and settled communities with planning issues, and therefore my services are in great demand. A situation has arisen in Cornwall where my presence is required at a planning Appeal on the day on which Mr Willie Francis's planning application is to be considered - this Appeal involves both detailed legal arguments and evidence which is based on my own experience and knowledge of the situation in that County, and I shall therefore not be able to attend the meeting in Carlisle. I would be most grateful if you would tender my sincere apologies at the Chairman and Members of the Development Control Committee, and ask on my behalf that this letter be accepted in lieu of my presence.

As an all-Gypsy organisation, the Gypsy Council is in fact the originator and strongest advocate of the concept of private site initiatives by Gypsies, and has long stressed to Central Government and Local Planning Authorities the benefits of this type of provision; not only are Gypsies given the security of a legal home and a stable base from which to send their children to school, but such sites are developed and operated at no cost to the Public purse. The situation in this country is such that there are an approximately equal number of Gypsy caravans (@ 5000) on privately-owned sites as there are on Publicly provided ones.

Additionally, because the families on private sites are either related to each other or can live together on the same site in peace and harmony, such sites suffer none of the problems due to incompatibility which can and do arise on Public sites, where differences in family sizes and ways of raising children, values and attitudes towards life, and even differences in social and personal hygiene can cause friction between different groups resident there.

Although the old Cumbria County Council did have a legal responsibility under the Caravan Sites Act

(Contd...)

The Gypsy Council (Est. 1966) has been an all Gypsy organisation since 1973 and is not part of, or in any way connected with the organisation which describes itself as the Gypsy Council for Education, Culture, Welfare and Civil Rights (GCECWCR), formerly the National Gypsy Education Council (NGEC).

INCORPORATING

**ROMANI KRIS**  
**WEST EUROPEAN COUNCIL OF GYPSIES**

GENERAL SECRETARY: AGNES VRANCKX

...contd)

Page 2

1968 to provide adequate accommodation for Gypsies residing in and resorting to its area, their closure and subsequent disposal to a private (non-Gypsy) individual of the Hopesyke Wood site - and the subsequent closure of the Hespim Wood site - created a great deal of pressure in Carlisle in terms of need for official Gypsy accommodation. The site at Hadrians Camp, owned and operated by another of our members, Mr Frank Bowman, operates a selection policy which effectively excludes certain sections of our community from taking up residence there. It is Mr Francis' stated intention that no such policy will be operated on his site, which will be open to all Gypsies as defined in legislation.


Mr Francis' site already has permission for touring caravans, on a limited basis (1st March to 31st October of each year), and his application is to extend that permission in order to allow the stationing on his site of residential caravans in addition to tourers; this will in turn enable Gypsy families who have close links with and wish to make the Carlisle area their home to do so, whilst at the same time providing them with a stable base from which to occasionally travel in order to maintain their Gypsy status. Additionally, Mr Francis intends to open the non-residential element of his site to use by both Gypsies in transit through the area and housedwellers taking caravan holidays in Carlisle, leaving the period of stay to the individual families using that part of the site but ensuring that no permanent residence there is allowed.

Mr Francis has already made it clear in correspondence with the Council's Planning Services department that he is quite prepared to undertake any landscaping work which the Council may deem necessary in connection with his site, such work to be agreed with the Council through discussion, as he has also stated his willingness to accept a short-term planning permission on his site in order that the Council can then monitor both the use and effectiveness of his site. For my part, I would respectfully request that the Committee gives serious consideration to granting permanent planning permission, but if they are so minded to grant short-term permission would suggest that a period of three to five years be considered appropriate, in order to allow Mr Francis time to fully establish his site.

Although not directly connected with planning, I believe that the Human Rights Act 1998 is relevant in this case; the Act has been quoted in connection with planning applications and Appeals throughout this country, and embodies within its provisions Article 8 of the European Convention on Human Rights. Article 8 deals with the right to respect for family life, and certainly if planning permission was to be given to Mr Francis the Development Control Committee would be conferring this right upon Gypsies who are currently being denied it by the fact that they have nowhere they can legally station their caravans.

Given that Mr Francis is following Government advice - in itself based upon advice which this organisation has given to successive Governments over the years - that as many Gypsies as possible should be advised and even encouraged to provide their own sites, and given also that Mr Francis intends to provide the site not only for himself but for use by other members of his community currently denied accommodation within Carlisle by the lack of Public sites and the selection policy operated by Mr Bowman, this organisation firmly supports him in his endeavours. As President of the Gypsy Council, I would on behalf of the organisation respectfully request that the Development Control Committee treats his application sympathetically.

Yours faithfully,



Hughie Smith  
President of the Gypsy Council  
and Committee Member, Council for Planning Aid

## DEE & LISA ADDISON



Ghyll Bank, Low Harker, Carlisle, CA6 4DG  
Phone 01228 674077 Fax 01228 674639  
Email - lled@enterprise.net  
Mobile 07802 400483

The Planning Committee  
C/O Mr. John Hamer  
Principal Assistant Development Control Officer  
Carlisle City Council  
Planning Services  
Department of the Environment and Development  
Civic Centre  
Carlisle  
CA3 8QG

PLANNING SERVICES	
REF	01/0735
28 NOV 2001	
ON	
COH	

Dear Sirs,

**REF: Planning application by Mr W. Francis for planning permission for static caravans at Ghyll Bank**

My husband and I reside in the house known as Ghyll Bank, Low Harker and we wish to object to the above application listing the following reasons.

- On the 20<sup>th</sup> July of this year we purchased the house of Ghyll Bank along with the caravan storage facility from Mr W. Francis. During our negotiations with him we asked him what his plans were for the caravan site he was retaining, specifically asking him if he intended to turn the caravan site into another Hadrian's camp. On each occasion he was asked this question he clearly stated that he intended to use the caravan site for holidaymakers only. With his application currently being supported by the Gypsy council and his statement to the press of earlier this month it is clearly his intention to turn this site into an over spill site for Hadrian's camp a matter about which we are both most unhappy about.
- Having lived in Low Harker for the past 6 years specifically at Old Harker, we are aware that there is effectively a planning embargo on new residential development in this area. This application is attempting to circumnavigate this embargo and provide low cost housing in an area that currently does not have or locally require such accommodation.
- Since we have owned and run the caravan storage business many of our customers have expressed concern at the prospect of low cost housing in the form of static caravans adjacent to their stored caravans in our compound, many of which have values in excess of £15,000. We are concerned that if this application were granted it would have a greatly detrimental effect on our customer base and thus affect our business. Should the council wish we could produce a petition to this effect.
- Should this application be granted it would definitely have an impact on our business, diminish the value of our property and jeopardise the commercial viability of what is considered by the caravan clubs in Cumbria to be the most secure storage compound in the area. The service we provide not only assists in crime prevention by removing stored caravans from front driveways etc. it also reduces the blight of touring caravans in the driveways and gardens of the houses in and around Carlisle.
- We also do not feel that Mr W. Francis is a suitable person to run a facility as detailed in the application for the following reasons:-
  1. Since the 20<sup>th</sup> July he has permanently resided in a caravan on the caravan site, which is in direct contravention of the current planning permission for the site which limits the stay of any caravan to a maximum of 14 days. Furthermore 2 other large touring caravans have been situated on the site since that date and at least one of them has been constantly occupied.

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 4

Date of Committee: 14/12/20

APPN REF NO: 01/0800 /  
APPLICANT: McNicholas Construction Services Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 05/09/2001  
AGENT:  
WARD: Belah

LOCATION: Site 25 Wakefield Road, Kingstown Industrial Estate Carlisle, 339457 558815  
GRID REF:

PROPOSAL: Creation of contractors depot for installation of EON communications system (temporary permission for 3 years)

### Amicus REPORT

#### PLANNING POLICIES:-

##### HEALTH & SAFETY EXECUTIVE CONSULTATION

The proposal relates to development involving or affected by hazardous substances or noise.

##### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM2

Within Primary Employment Areas proposals for B1, B2 and B8 uses will be acceptable. Permission will not be given for redevelopment or changes of use within such areas for other purposes. Exceptions may be permitted where:

1. the existing use of the site adversely affects or could adversely affect adjacent residential properties; or
2. the proposed alternative use is essential for the redevelopment of the majority of the site for employment purposes; and
3. the alternative development would be appropriate in terms of scale and design to the surrounding area, and the amenity of adjacent properties would not be prejudiced.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

##### CARLISLE DISTRICT PLAN

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0800 /

### ENVIRONMENT - POLICY E13

The City Council will seek to protect existing and establish additional Local Nature Reserves on areas of land which have ecological or geological value.

### SUMMARY OF CONSULTATION RESPONSES:-

ENVIRONMENT AGENCY: No objection subject to the imposition of conditions re. the storage of any oils, fuels or chemicals, provision of an oil interceptor, and surface water drainage.

CITY COUNCIL'S COUNTRYSIDE OFFICER: It is considered that there will be no real problems from a viewpoint of landscape and impact on adjacent Nature Reserve due to the compound being fenced, lit and with security.

HEALTH AND SAFETY EXECUTIVE: No wish to make any comments within the terms of Circular 04/2000.

HIGHWAY AUTHORITY: No objections.

HEAD OF ENVIRONMENTAL SERVICES: Noise monitoring was undertaken on the 17th November 2001 between 0645 and 0745 hours at a measurement point located on a grass verge approximately 3 metres from the eastern boundary of Number 2 Lowry Hill Road and the southern boundary of the application site (along Lowry Hill Road).

The LA90 av (5 mins) prior to 0700 hours and before site operations commenced measured 43 dB(A) and th LAeq av (5 mins) measured 50 dB(A). Prior to 0700 the noise climate consisted of road traffic on Kingstown Road, bird song and cars passing on Lowry Hill road.

From 0700-0740 hours, noise measurements were taken whilst the site was in operation.

Operations conducted on the application site were clearly audible at the measurement point and dominated the noise climate. Noise consisted of engine and exhaust noise, from both moving and stationery vehicles, loud impact noise (clangs and bangs) associated with loading of equipment and vehicles and from vehicle movement. The specific noise level emitted from the site in LAeq av (5 mins) measured 58 dB(A). It was noted that LA max from 0700 hours onwards increased to a maximum of 79.6 dB(A) which can be attributed to loud impact noise from the site. Prior to 0700 house the LA max measured 67 dB(A).

Monitoring was also undertaken on the 16th November 2001 between 0645 and 0745 hours behind St Peters Close (sheltered accommodation), noise emitted from the site was clearly audible and again dominated the noise climate.

In my opinion the current operations conducted on the site do have a significant impact on the surrounding properties. It is



## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0800 /

apparent that control measures to minimise noise impact have not been taken.

I would suggest that the <sup>application</sup> ~~application~~ is required to submit a scheme for implementing suitable measures to minimise noise emissions from the site.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of 22 properties. In response eight letters of objection and a petition with 21 signatures have been received raising the following concerns: the additional noise created by the 60 lorries loading up on site; doubtful whether the loading and departure of lorries between 0700 and 0900 can be maintained, or the return limited to 1630 until 1800; the southern hedge of Site 25 is deciduous and, therefore, for five or six months of each year the site will be visible; if permission is given could the south-east and west boundaries of the site be marked by a solid fence; the number of lorries leaving and returning to the site at peak times as well as cars will further exacerbate an existing traffic problem on Kingstown Road; when will the lorries be loaded?; what mechanical aids will be used to load the lorries?; the lighting hinders sleep at night; the smell of diesel fumes hangs in the air during certain weather conditions; dust and dirt from the site getting into homes; how can anyone quietly enjoy the wildlife pool with a JCB operating continuously within twenty years; neighbouring residents believed that permission was being sought for limited activity during limited time periods - the reality is neither of these scenarios; and, it is believed that this application clearly breaches the Council's own planning regulations and as such should be refused.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1951, under application reference number TP111, planning permission was given to use the site for general engineering. In 1967, application number 28536, permission was given for an extension to the engineering workshop.

In 1968, application number T91903, permission was given for outdoor storage.

In 1969, application number 29801, permission was granted to use the site for packing case manufacture and joinery.

In 1972 and 1973, application numbers 31676, TP2900 and 32787, permission was given for an engineering store, storage, a fitting shop, and, open storage.

In 1998, application number 98/0151, permission was given for a change of use to classes B1, B2 and B8.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0800 /

### DETAILS OF PROPOSAL

This application relates to the recently cleared site which adjoins the workshop occupied by Titterington's and DCS Auto Electricians. To the immediate west there is Kingmoor Nature Reserve, whilst to the east are St Peter's Church and Council allotments. The southern boundary abuts the verge along Lowry Hill Road.

The submitted layout plans shows the provision of five portakabin offices, materials, storage bins, banded fuel storage, 60 lorry spaces, and, 40 car parking spaces. Seven security light standards, 6 metres high, will be positioned around the boundary.

The application is accompanied by a series of letters from the applicants confirming that:

- the intention is not for any materials to be screened or sorted on the site.
- a solid 2.4 metre high fence painted green will be erected along the eastern, southern and western site boundaries.
- the intention is to work within the stated hours i.e. 0700 to 1900 hours Monday to Friday (1800 hours during the winter months), 0700 to 1500 hours on Saturdays.
- traffic will be routed via Kingstown Broadway to Parkhouse Road rather than straight onto the Kingstown Road.
- the permission sought is for a Contractors Depot/Storage area for the period of the contract only i.e. 3 years.
- approximately 240 workers will be based at the site, most of whom will be locally recruited.
- on completion of the contract a smaller more permanent force will be established at other premises to carry out maintenance work.
- the time scale imposed by the employer requires the applicants to have commenced works in the City on the 1st November 2001.
- the working practice is for lorries to turn left into Kingstown Broadway and join Parkhouse Road.

The employer is a Company called Omne who wish to establish a digital network in competition with BT. The services provided include telecommunications, domestic cable television and internet access.

In considering this application it is felt that the main issue is the potential impact on the amenities of neighbouring properties. The site obviously has a history of industrial purposes and is located within a designated primary employment

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0800 /

area.

In response to the observations of the Head of Environmental Services the applicant's are seeking the advice and recommendations of a noise consultant. A further report will be presented to Members following receipt of the noise consultants report.

RECOMMENDATION:-

DEFERRED

P174 →

~~Approve + H condi~~

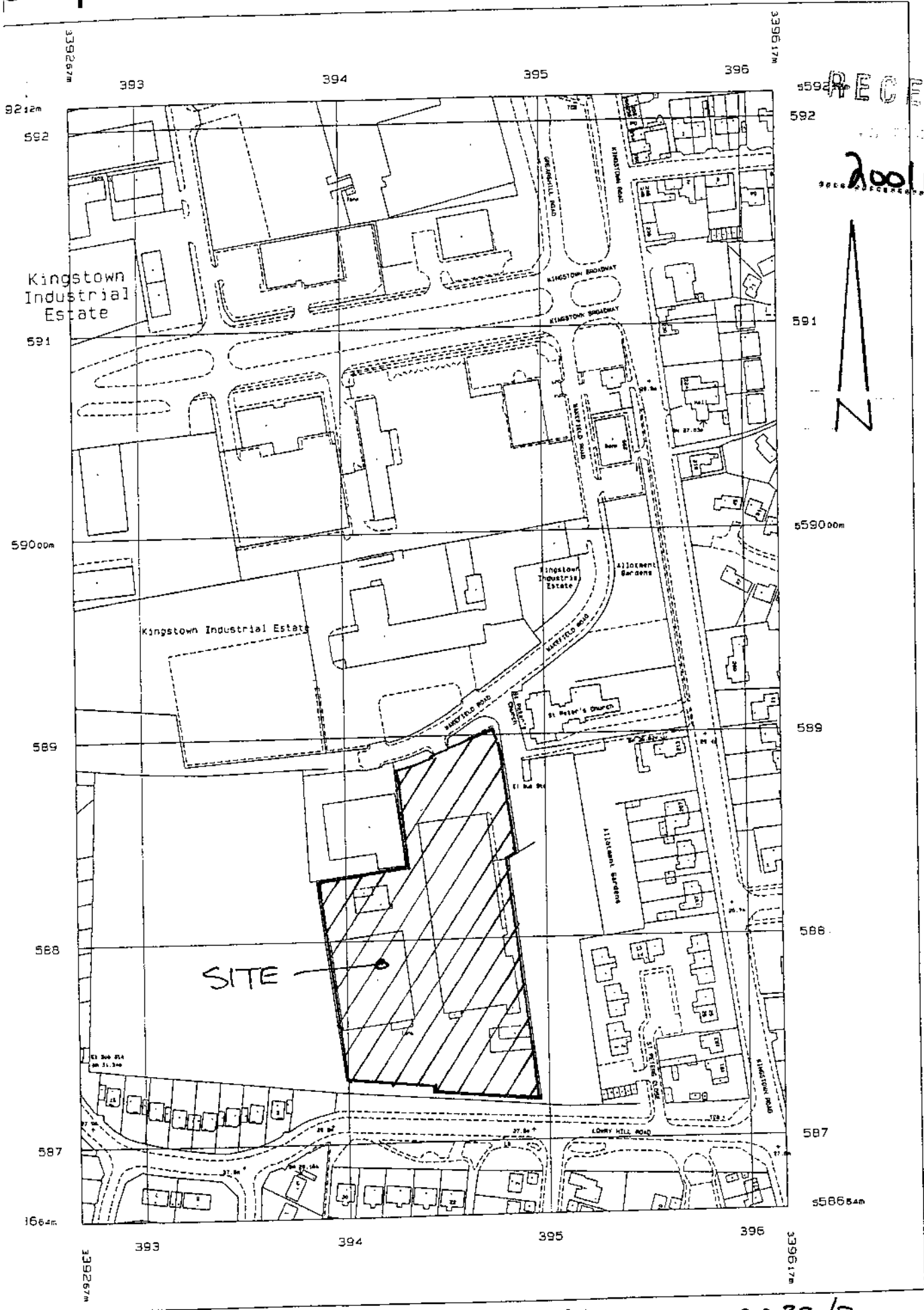
M: Singleton (Mr Nicholas) --

Sub

Pages 16-23

M: Bell

M: Veitch's obj



RECEIVED  
 2001/0800



1:2500. 0033/2  
 MENICHOUS CONSTRUCTION

1 Aug 2001 from Ordnance Survey digital  
 incorporating surveyed revision  
 © Crown Copyright 2001

**Notes**

1. Offices to be partitioned by the contractor. Partitions to be placed only on existing floor slabs.
2. Security light standards to be limited to 8m height and to have shades to direct light downwards and prevent glare.

2.4m high security light standard

**MENICHOLOS CONSTRUCTION SERVICES LTD** Lisimnane Park, Elsterne Rd, Elsterne Works WDC 9LA.

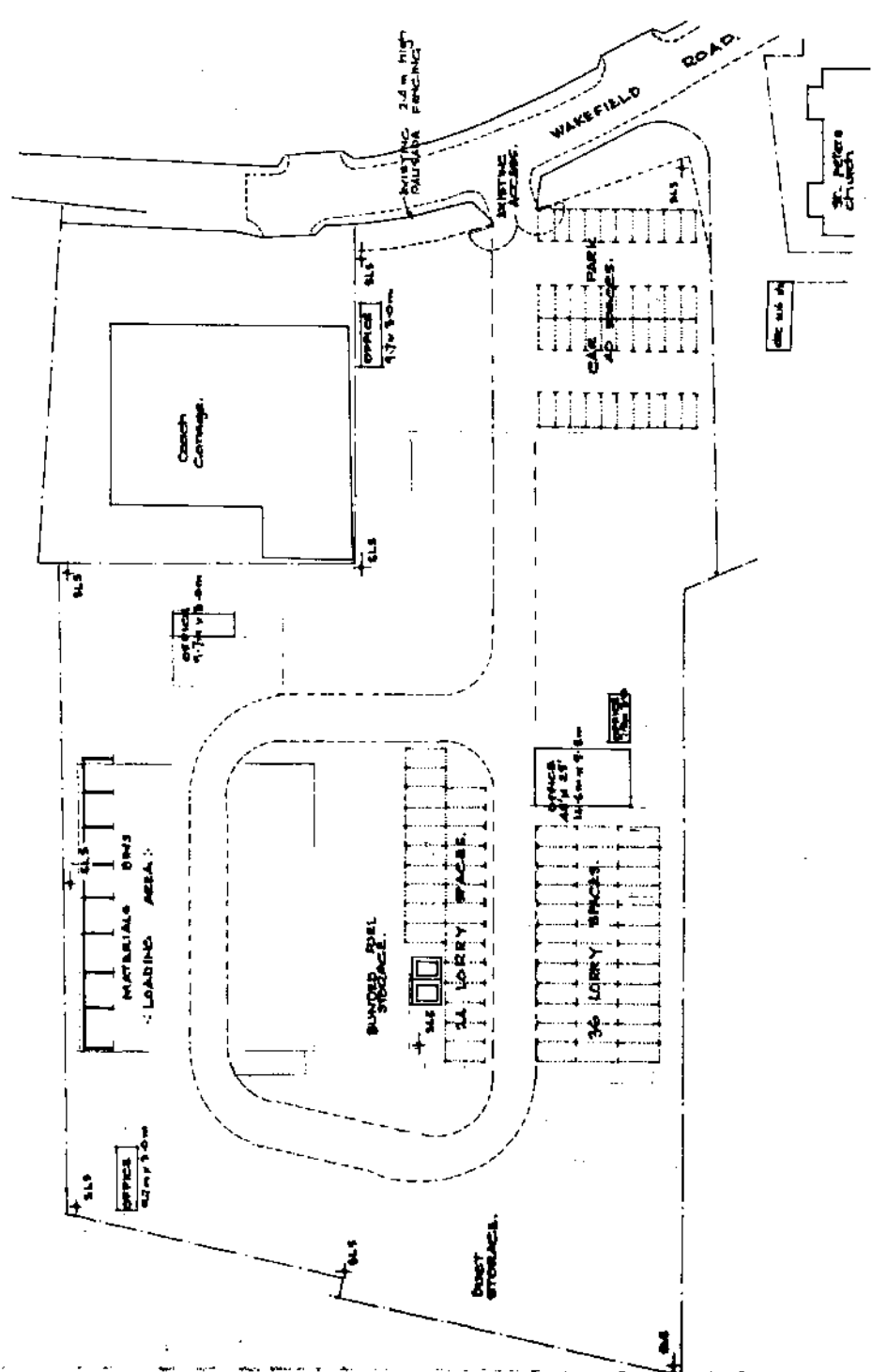
Proposed Depot at Wakefield Rd, Kingeburn Industrial Estate for EON Communications Installation.

Proposed layout of Depot.

SCALE 1:500

DATE Aug 2001

BY MR OCS/J



20010200

30 Lanny Hill Rd.,  
Lanny Hill,  
CARLISLE CA3 0DG.

PLANNING SERVICES	
REF: 01/0800	
- 4 DEC 2001	
RECORDED	EN
SEARCHED	ACT
MR Nicholas	
40 Site Lanny Hill Rd + St Peter's Close	

2nd December 2001.

Dear Sir

I understand that the above site is to be used for 3 years while cable laying is undertaken. Is that how long it will take to do the work in this area, or is this site going to be in use while the whole of Carlisle is "cabled"?

To have this site with many vehicles going in + out + the continuous noise, set so close to houses, gives real cause for concern.

Over the last 20 years the noise from the Industrial Estate has risen dramatically, not to mention flocks of screeching seagulls, which has spoilt any hope of enjoying a

peaceful hours or so in the back gardens, especially in the Summer. The McNicholas site is going to make the situation much worse.

I do hope that your Committee will refuse planning approval, even though on looking at the site, the Company seem to think they already have approval!

Yours faithfully,  
Gleanor P. Bell (Miss)

Mr. A. Hutchinson,  
Planning Services Division,  
Carlisle City Council,  
Civic Centre,  
CARLISLE  
CA3 8QG.

6 Lowry Hill Road  
Kingstown  
Carlisle  
CA3 0DF  
02/12/01

Mr Angus Hutchinson  
Planning Services Division  
Carlisle City Council,  
Civic Centre,  
Carlisle.  
CA3 8QG

Dear Mr Hutchinson,

Re: McNicholas Site

I wish to complain about the proposed planning application by McNicholas Site to the rear of Lowry Hill Road on the following grounds:

- Noise, all day, every day
- Lights Illuminating the rear bedroom at night
- Diesel fumes from plant and vehicles
- Dust and dirt from the site getting into our home

I would be grateful if the resident's views were taken into consideration before the above application is given approval.

Yours sincerely



Barry W. Roberts

Cc; Cllr David Morton

PLANNING SERVICE	
REF	01/0200
- 4 DEC 2001	
BY	CN
BY	ACW



**PROTEST ABOUT THE NUISANCE CAUSED BY McNICHOLAS LTD  
IN THEIR OPERATION OF SITE 25 WAKEFIELD RD, KINGSTOWN.**

We the undersigned are residents of Lowry Hill Rd whose properties back on to the above mentioned site.

We wish to protest about being unable to enjoy normal occupation of our homes because of nuisances caused by McNicholas in their operation of this site.

These include:

**NOISE** from tractors and JCB's loading and unloading wagons all day, seven days per week, which we understand will continue for the next three years.

**BRIGHT LIGHTS** during all hours of darkness which hinder sleep in rear facing bedrooms.

**SMELL** of diesel fumes which hang in the air during certain weather conditions.

We, therefore, implore Carlisle City Council to bring an end this situation as quickly as possible and to refuse the planning permission being sought by this company.

A Bell ..... MR & MRS BELL, 32 LOWRY HILL RD.  
 E. Bell ..... MISS E. BELL, 30 LOWRY HILL RD.  
 J. D. ..... MRS E. DAVIS, 28 LOWRY HILL RD  
 J. Pollock ..... 22 LOWRY HILL ROAD  
 J. M. Bell ..... 20 Lowry Hill Road  
 J. M. Bell ..... 14 LOWRY HILL ROAD  
 J. M. Bell ..... 16 LOWRY HILL ROAD  
 J. M. Bell ..... 12 Lowry Hill Rd  
 J. M. Bell ..... 10 Lowry Hill  
 S. M. Bell ..... 4 Lowry Hill  
 M. E. Wilson ..... 15 Lowry Hill Road  
 E. M. Wilson ..... 15 Lowry Hill Rd  
 S. H. Kelly ..... 26  
 G. R. Gandy ..... 9 Lowry Hill Road  
 H. M. Gandy ..... 9 Lowry Hill Road  
 K. G. Gandy ..... 18 Lowry Hill Road  
 Tom S. Taylor ..... 3 Lowry Hill Rd  
 Myra Moffat ..... 3 NEWPORT DRIVE CARLISLE  
 Mavis Humphrey ..... 8 LOWRY HILL RD CARLISLE  
 J. M. Gandy ..... 10 LOWRY HILL RD CARLISLE  
 T. K. S. Wainwright ..... 2 St Peter Drive Lowry Hill

Mr A. R. HUTCHINSON  
DEVELOPMENT CONTROL SECTION  
THE CIVIC CENTRE  
CARLISLE  
CA3 8QG.

PLANNING SERVICES	
REF	01/0800
	30 NOV 2001
RECORDED	CW
SCANNED	
PASSED TO	ADH
ACTION	

MR & MRS F. HOLMES.

28 Sanderson Close  
Lowry Hill  
CARLISLE  
CA3 0QA

Tel: 01228 528735

OBJECT: SITE 25

WAKEFIELD ROAD, KINGSTOWN INDUSTRIAL ESTATE.

Dear Sir, at about 7AM every morning we are awakened by the clanking of industrial plant "metallic thunder" I call it, and accelerated diesel engines. This is highly unacceptable to people living close by, especially the elderly and/or frail folk, and the three year period which I hear is a trial period is a daunting thought.

Surely there must be some way to abate the present situation by better fencing or a later start. Some personal connections of mine have told me they can hear the noise every morning from Moorville Road when they are walking to work. May I conclude in anticipation of some form of improvement to the present scenario.

Yours faithfully  
F.A. Holmes

24 Sanderson Close  
Lowry Hill  
Carlisle  
CA3 0AA

26-11-01.

MR. A. R. Hutchinson  
Planning Services Division,  
Carlisle County Council,  
Civic Centre  
Carlisle. CA3 8AG  
Ref. ARH/DC/01/0800

Site 25. Wakefield Rd.  
Kingstown Industrial Estate

Dear Sir.

The Southern Boundary of the above site is only 40 yards from the back of my Bungalow. As a pensioner I cannot tolerate the very loud noises, which are pre-dicably being mad since Mc Nicholas moved onto the site in October, and I ask for some action to be taken.

Yours faithfully  
Mrs. Mary J. Sewell

PLANNING SERVICES	
REF	01/0800
28 NOV 2001 30	
RECEIVED	CN
PROJECT	ARH
ACTION	

8 Lowry Hill Road,  
Carlisle,  
CA3 8DF.

25 NOVEMBER, 2001.

MR. ANGUS HUTCHINSON  
PLANNING SERVICES DIVISION  
CARLISLE CITY COUNCIL  
CIVIC CENTRE  
CARLISLE CA3 8QG.

PLANNING SERVICES	
REF	01/0800
27 NOV 2001/6	
RECORDED	CW
SCANNED	
PASSED TO	ARH
ACTION	

Dear Mr. Hutchinson,

I feel I must write personally in support of the petition organised by Henry Bell on behalf of all residents 2 to 32 Lowry Hill Road.

The noise during the daytime coming from the A<sup>c</sup> Nicholas site, I personally can tolerate (NOW WE ARE IN WINTERTIME) Come the Summer when one uses the garden will be another matter altogether!

However during these long winter evenings the site is covered by HIGH VISIBILITY LIGHTING. No account at all has been taken into account by this firm, by disturbing residents

sleep, on top of the NOISE during daylight hours.

Have they also thought about the Senior Citizens residents who occupy the flats at St. Peter's Close? No.

I hereby most strongly object to Planning Permission being given to this firm

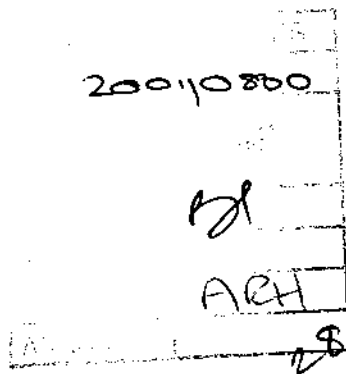
McNICHOLAS SITE

and also to the length of time requested for it.

Trusting you, and the Planning Committee, will give this, your most careful and thoughtful consideration.

Yours sincerely

*C. Humphrey*  
(MRS. C. HUMPHREY)



26, Sanderson Close,  
Carlisle. CA3 0QA.

19th November, 2001.

Mr. A.R. Hutchinson,  
Development Control Section,  
The Civic Centre,  
Carlisle. CA3 8QG.

Dear Mr. Hutchinson,

Site 25, Wakefield Road, Kingstown Industrial Estate, Carlisle.

Further to my letter of 11th November, the McNicholas Construction Services Ltd., planning application specified for lorries leaving the site between 0700 - 0900, and for return between 1630 - 1800.

Whilst the period 0700-0900 is critical with regard to the amount of noise produced, during the seven and a half hours not mentioned in the application there is almost continuous very noisy activity on the site. This noise is sufficient for it to be heard above the passing car traffic on Lowry Hill Road and also the buses arriving and departing from the bus terminus. We find this noise totally unacceptable on the fringe of a housing estate.

Yours sincerely,

E. Veitch.

PLANNING SERVICES	
REF	
20 NOV 2001	
RECORDED	BJ
SCANNED	
PASSED TO	ALH
ACTION	29

32 Lowry Hill Rd,  
Carlisle,  
CA3 0DG

Phone 529976 Home  
606966 Work

20<sup>th</sup> November 2001.

Carlisle City Council,  
Civic Centre,  
Carlisle

Attn Mr Angus Hutchinson,

Dear Sirs,

Planning Application Reference 01/0800. Site 25 Wakefield Road, Kingstown Trading Estate.

Further to the application of Mc Nicholas Ltd to operate a contractors depot on the above site.

**Attached is a protest petition which has been signed by every household on Lowry Hill Road backing onto this site asking the Council to bring an immediate end to the nuisance being caused and to refuse the planning permission sought.**

Please note that this is not in response to your letter ARH/DC of 6<sup>th</sup> September 2001, (as most of us did not receive it) but a protest about the actual operation of the site by McNicholas as it has affected us over the past few weeks.

During this period the normal occupation of our homes has been seriously disturbed. This particularly affects those who are at home during the day time. The major concern is over the noise caused by the operation throughout the day of mechanised plant, ie high revving engines, vibrating equipment and the dumping of materials into wagons, but there are also complaints about the lighting at night and diesel fumes.

My first query is about the actual application by Mc Nicholas. Those who received and followed up your letter were clearly given the impression that vehicle and plant movements would be contained to 07.00 to 09.00 and 16.30 to 18.00 on six days per week. The actual on-site operation has been carried out all throughout the day, every day, from 07.00 to darkness and they have certainly been operating mechanical plant during the last two Sundays.

Could you please clarify this matter because having a JCB dumping stones into wagons at the bottom of our gardens most daylight hours, seven days per week for the next three years is clearly an intolerable prospect.

I personally have lived in this house for thirty years and whilst there has been occasional noise from the various occupants of this site I have accepted that it is an industrial estate and never felt it necessary to complain before. The difference is that this is an outdoor operation and as such it is located too close to residential property on three of its sides for it not to cause unreasonable loss of amenity to neighbouring property.

**It is clearly a use of this site which is wholly inappropriate for residential areas.**

There is mention in the plans of a 2.4 metre (7'10") fence being erected around the site to contain noise. This may (or may not) provide some relief for the low set bungalows on Sanderson Close (who I understand to be making their own protest) but it will be totally ineffectual for the South facing houses on Lowry Hill Rd which are two storey or for the West facing bungalows which are set on higher ground than site 25. This level of noise can not be contained, it must be stopped at source.

Your papers also refer to maintenance staff remaining on site after completion of the construction phase. Could you please clarify if this means **after** the three years of the planning application or does it form **part** of that three year period?

Your report also refers to there being no visual impact on the nature reserve which I would agree with, but what about the noise, the light and the diesel fumes. I understand that the **Council's policy refers to 'the quiet enjoyment of nature reserves'**. How can anyone quietly enjoy the wildlife pool with a JCB operating continuously within twenty yards?

Residents of Lowry Hill Rd have endured significant disturbance over the past few weeks. Most were not aware of what was going on and expected life to return to normal in the near future. Those who had received and followed up your letter believed that permission was being sought for limited activity during limited time periods. The reality is neither of these scenarios.

The nuisance we are now experiencing now, in Winter, is nothing to what we will face in Summer if we decide to open our rear windows or to attempt to enjoy reasonable amenity from the use of our gardens.

We stress that we do not view this as a marginal decision and no fudge on planning conditions or fencing will make any material difference to the detrimental impact this operation is having on the daily lives of ALL those on the attached list.

**We believe that this application clearly breeches the Councils own planning regulations and as such should be refused.**

If you could contact me with reference to the specific queries raised I would be happy to meet with you to discuss your answers.

Yours sincerely



J. H. Bell

cc. COUNCILOR MARTIN



26, Sanderson Close,  
Carlisle. CA3 0QA.

11th November, 2001.

A.R. Hutchinson,  
Development Control Section,  
The Civic Centre,  
Carlisle. CA3 8QG.

Ref.ARH/DC/01/0800.

Dear Mr. Hutchinson,

Site 25, Wakefield Road, Kingstown Industrial Estate, Carlisle.

Thank you for letters from your Department dated 10th October and 2nd November. The latter letter asked for anything to add to my correspondence of 28th September, with a deadline of 24th October. I had nothing further to add by the deadline.

However, during the week ending 3rd November it was evident from observation and noise, that contractors Mc.Nicholas from Elstree, Herts, had occupied Site 25. During week ending 10th November we were made fully aware of the consequences of the site occupation. At 0700 on four mornings out of the five we were wakened and disturbed by lorries etc., loading up for the day ahead. The noise was quite unacceptable. Something more than a fence will be required to nullify it.

Why was the site being put to full use, when the Planning Application was still being considered by the Planning and Land Use sub-committee?

Yours sincerely,



E. Veitch.

27 01/0800

CV

ARH

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 5

Date of Committee: 14/12/2001

APPN REF NO:  
01/0840 /

APPLICANT:  
Mr A Graham

PARISH:  
Carlisle

DATE OF RECEIPT:  
26/09/2001

AGENT:

WARD:  
Castle

LOCATION:

No. 3 Barrel House, Caldew Maltings, Carlisle Cumbria

GRID REF:

339468 556150

PROPOSAL: Insertion of windows into existing openings

*Revised*

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E20

Development which would result in the raising of the floor of the floodplain, or which would have an adverse impact on the water environment due to additional surface water run off, or adversely affect river defences will not be permitted unless appropriate alleviation or mitigation measures are included. This applies to the floodplains of the River Eden, Caldew, Petteril, Esk, Irthing and Lyne and their tributaries which are all subject to periodic flooding.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

ENVIRONMENT AGENCY: The Agency is aware of this application as the work has already been carried out and we have been contacted separately regarding the need for land drainage consent. We have met the Applicant and carried out a site visit.

Windows can be successfully installed in locations where they may be periodically submerged by floodwater, provided they are designed appropriately. However, in this case, an application for land drainage consent has not been submitted and no information has been provided by either the Applicant or his window supplier/ installer to substantiate the structural design and installation of the window. If such an application has been submitted, together with information that substantiated the design and installation, it is likely that consent would have been given. However, land drainage consent cannot be issued retrospectively.

In considering the planning application we believe it needs to be judged against Policy E20 of your adopted local plan. Although this policy is entitled 'Development in Floodplains', it says that development that would adversely affect river defences will not be permitted unless appropriate alleviation or mitigation measures are included. Although the application site is not strictly a flood defence, it does constrain the river and floodwater could enter the building through a window

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0840 /

opening. Therefore detail of the structural design of the window are required to assess whether appropriate alleviation or mitigation measures are included.

Similarly the new Planning Policy Guidance 25 (PPG25) entitled 'Development and Flood Risk', requires applicants to submit a flood risk assessment where development is proposed in a flood risk area. Therefore details of the design and installation of the windows are required to comply with PPG25.

So far the Agency has been unable to obtain information from the Applicant or his window supplier/ installer. Therefore we recommend that determination of the application is deferred until this information is produced. In the meantime you may wish to write separately to the Applicant.

If the information is not produced we may have to raise an objection to the application.

As the River Caldeu forms part of the River Eden candidate Special Area of Conservation, if any further work is required from the riverside, an assessment of significance may be required in accordance with the Habitats Directive.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice and five individual letters to the occupiers of neighbouring properties. One letter of support has been received.

Two letters of objection has also been received and the main issues raised are summarised as follows:

1. The provision of opening windows beneath the property will lead to a flooding of the entire basement area affecting the other five properties including No 2.
2. Even the installation of fixed non-opening windows could be subject to the force of water and floating debris which may break through.
3. The flooding of the cellar area may lead to resultant damage to domestic services i.e. sewerage pipework.
4. There will be a loss of privacy in the basement voids as free access must be maintained along the basement void.
5. The building is located close a major listed building. The provision of a window beneath No. 3 in isolation will destroy the appearance of this building. The installation of these windows in this section of the riverside wall is not in keeping with the overall conversion and contrary to conditions impose by the Local Planning Authority.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0840 /

There are number of planning applications relating to this site. Most relevant to this current application, is an application for planning permission for the conversion of Brewery building to hotel and leisure centre, conversion of barrel house to 6no. apartments and 75 new housing units which was granted on 27 May 1988, under reference 88/0295.

### DETAILS OF PROPOSAL

This application seeks full planning permission for the installation of two windows and replacement of internal doors at number 3 The Barrel House, Caldew Maltings, Carlisle.

The site is the basement to one of six apartments within a building which is located adjacent to the River Caldew.

Planning permission is required following the application made under reference 88/0295 whereby condition number 10 states:

"Notwithstanding the provisions of the Town and Country General Development Orders 1977-87 there shall be no enlargement or alterations to the dwelling units to be formed in accordance with this permission, within the meaning of Schedule 1 Class (1) of these Orders, without the written approval of the City Council."

The reason given states:

"To ensure that the character and appearance of the development and its relationship with the adjoining listed building is not marred by inappropriate or injudicious alterations or extension or unsympathetic screen walls or fences."

The outline of the window openings to the basement can clearly been seen from the photographs which are reproduced following this Report, with the stone header, cills and quoin detail which surround the bricked up openings.

The listed building which is referred to in the reason for the condition and is an issue raised in the correspondence received from the objectors is the Old Brewery Residence. The elevation to which this application relates does not overlook this building and it is considered that the development does not adversely affect the character of this building.

Members will note from the site location plan attached to this report that this building lies to the south of the application site and is now the Old Brewery Residences. The development within number 3 Barrel House faces east and the two buildings would not be seen in juxtaposition.

There is no objection to the principle of the installation of these windows in terms of the aesthetic affect on the character of the building. Of greater concern, as can be seen from the photographs which are reproduced following this report, is the

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0840 /

adverse consequences which may result following high river levels.

Policy E20 of the Carlisle District Local Plan makes specific reference to the fact that development within designated floodplains should not adversely affect river defences or surface water run off. A determination is unable to be made until further information is received.

The applicant has been asked by both the Environment Agency and by Council Officers to submit further information. Greater detail is required regarding the specific construction and materials of the window units, and also the method of installation.

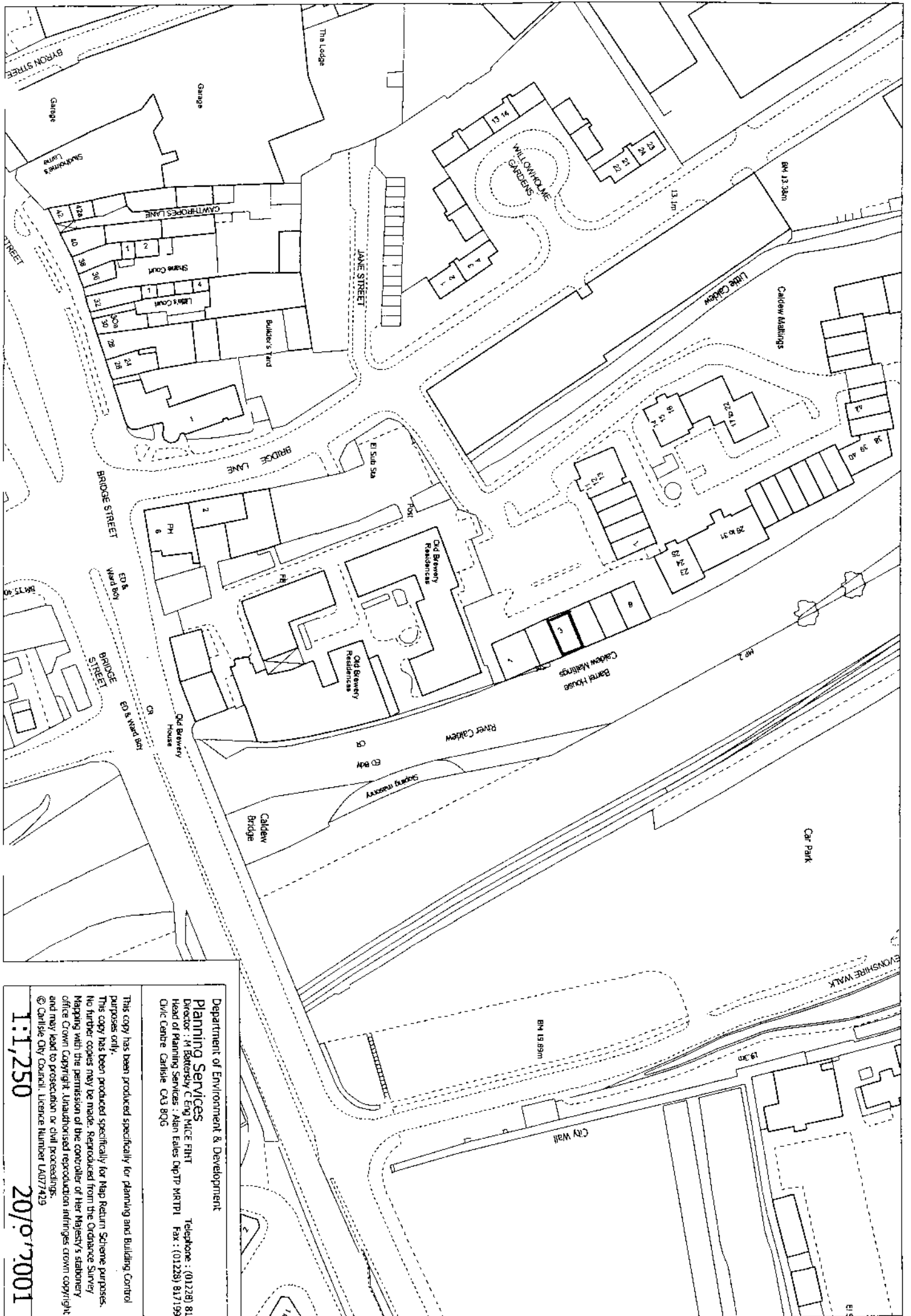
It is understood that the Environment Agency has received further details from the company who installed these windows. However it is also believed that this information is deficient upon which an appropriate assessment can be made and that further information has been requested.

### RECOMMENDATION:-

A full Report and recommendation cannot be made as further details are required to be submitted by the applicant. These will then need to be evaluated by the Environment Agency.

Prob. Rejected ✓

P190 →

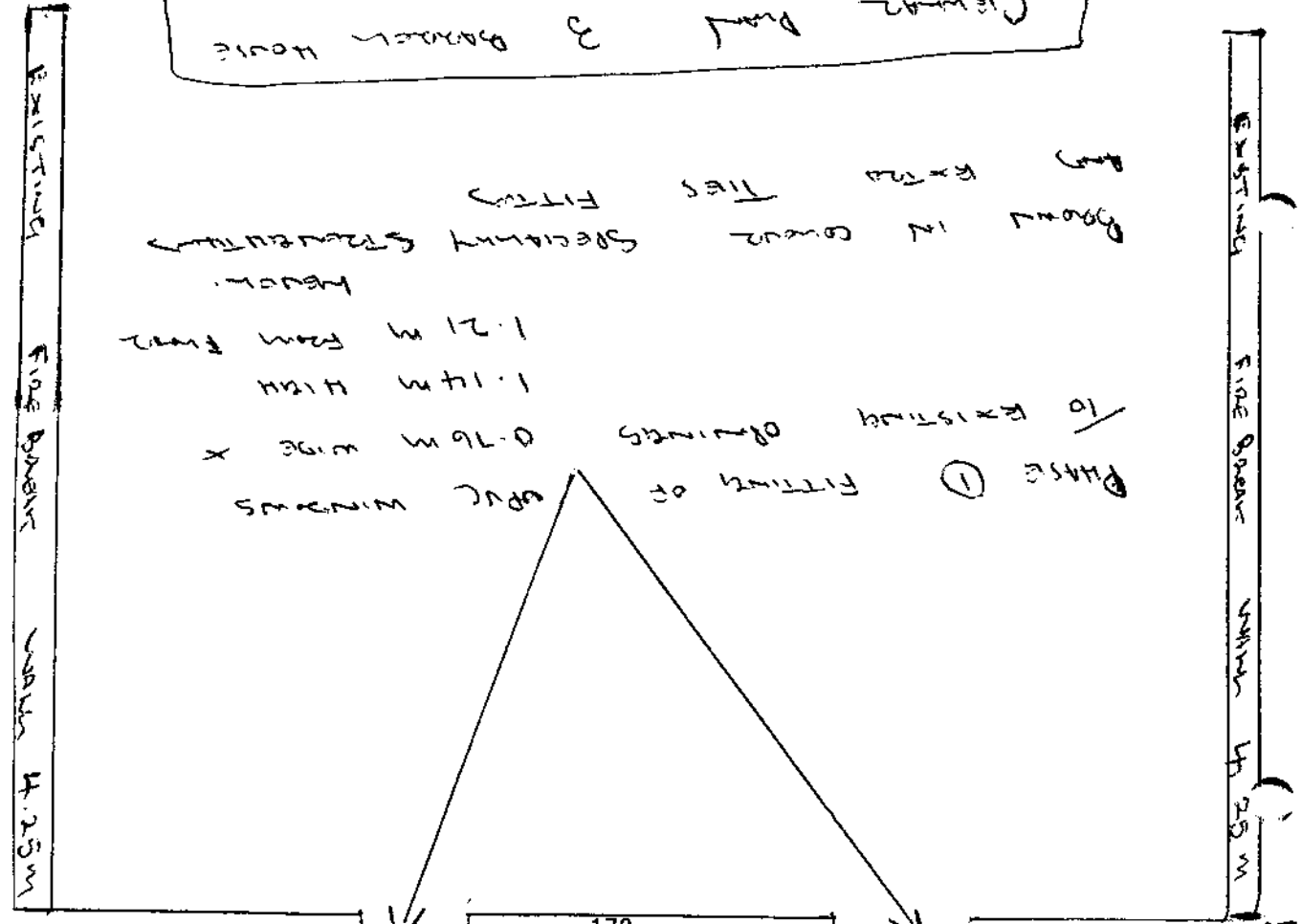
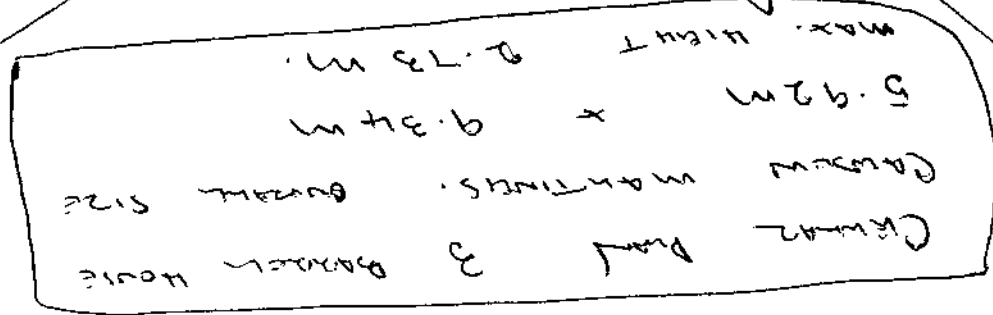
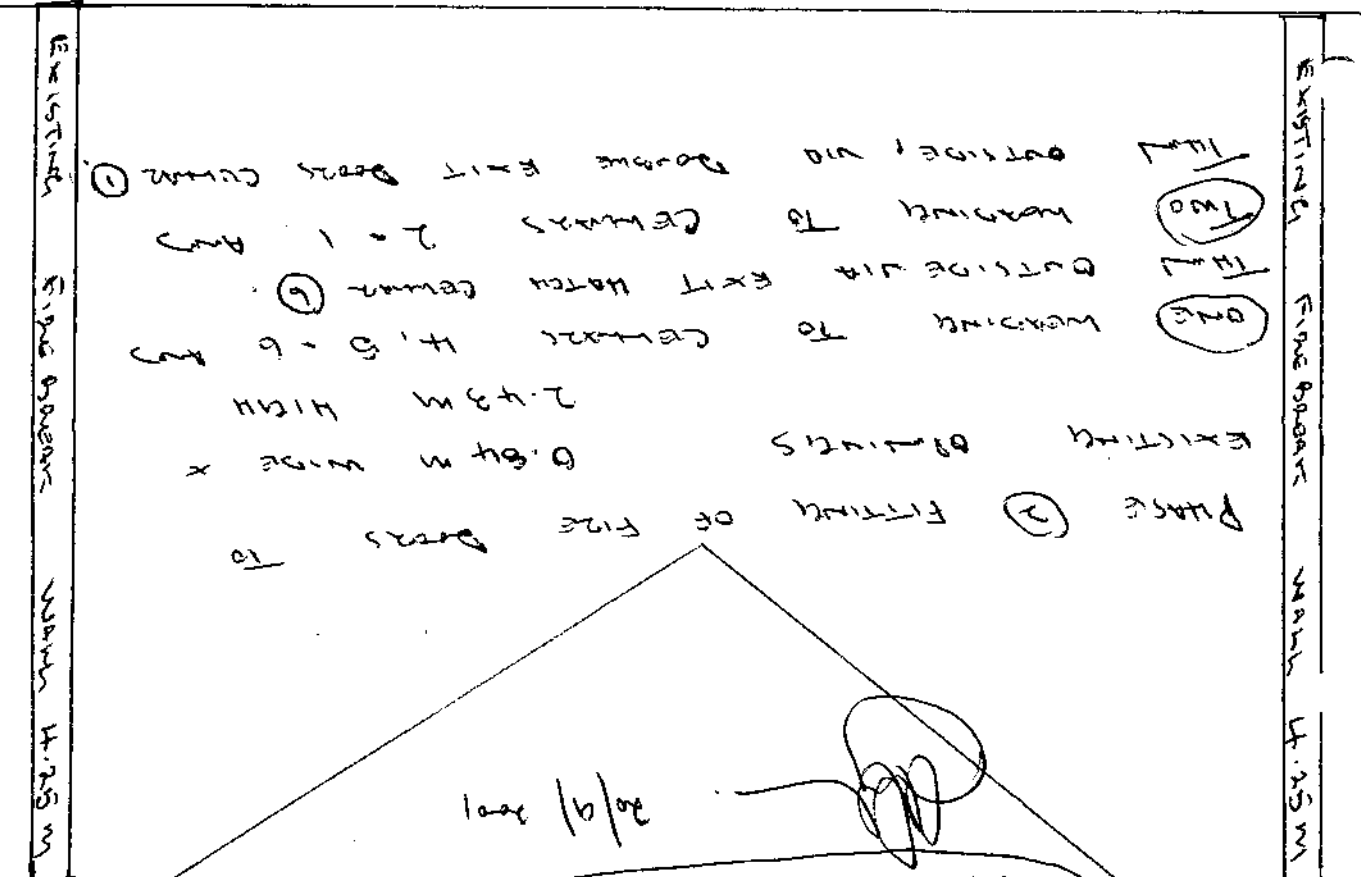


Department of Environment & Development  
**Planning Services**  
 Director : M Battersby C Eng MICE FRHT Telephone : (01228) 817000  
 Head of Planning Services : Alan Eales DipTP MRTP1 Fax : (01228) 817199  
 Civic Centre Carlisle CA3 9QG

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20/01/2001

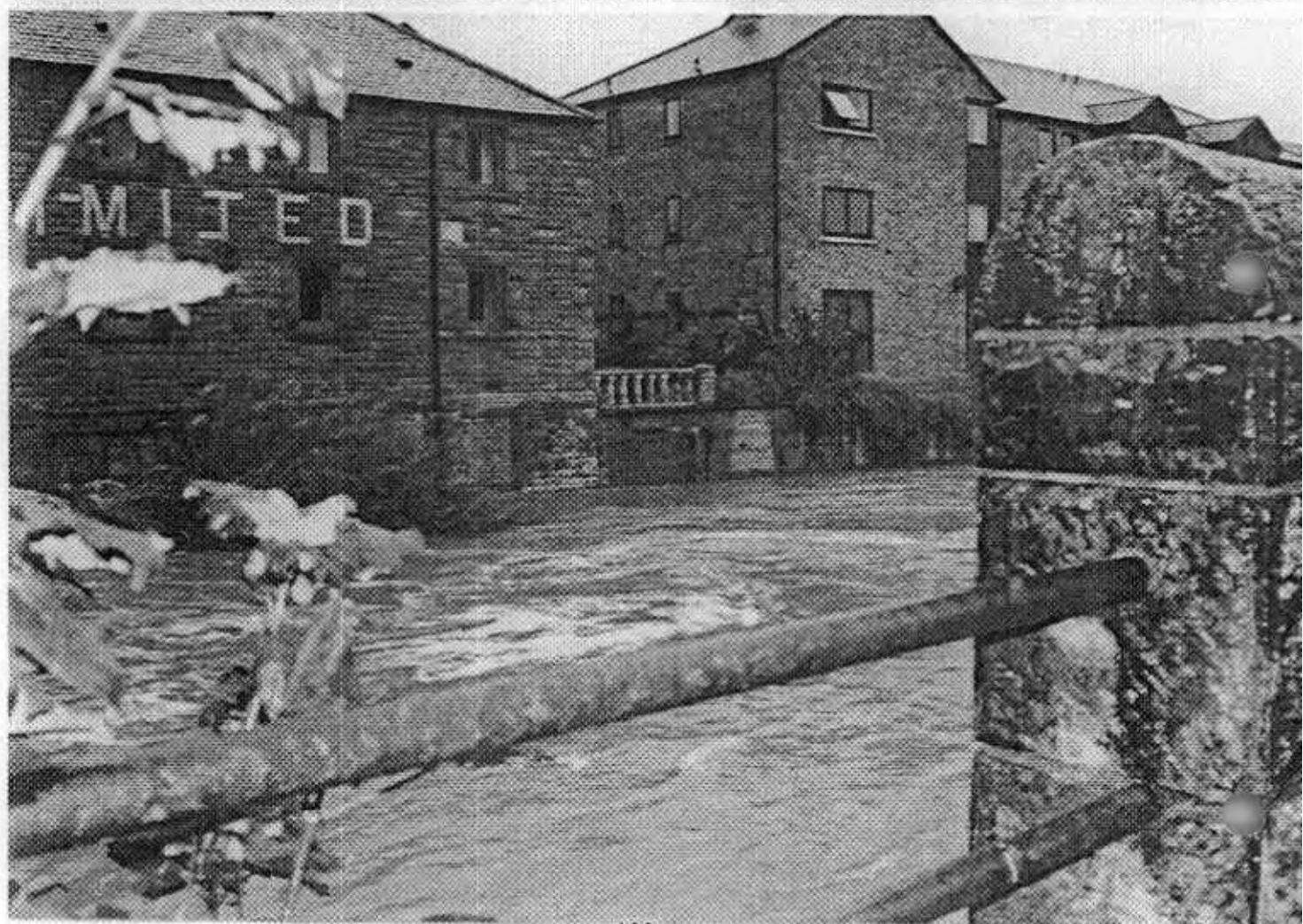












MR. R. MAUNSELL  
DEPT. OF ENVIRONMENT  
& DEVELOPMENT  
PLANNING SERVICES DIVISION  
THE CIVIL CENTRE  
CAZNISSIE

3 BARREN HOUSE  
CANDEW MARTINEUS  
CAZNISSIE  
CA2 5SW  
19 NOV. 2001  
01/0840

DEAR SIR,  
RE APDN No. 2001/0840

1  
CN  
RSM WAD B  
STEP HILL

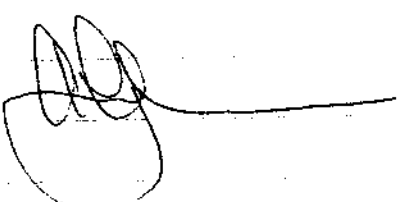
REFERENCE TO YOUR LETTERS DATED  
26 SEPT 2001 AND 06 NOV. 2001

(NB)

I GIVE NOTICE OF 'RIGHT TO SPEAK'  
AND TO RESPOND IF AN OBJECTOR HAS  
TAKEN OPPORTUNITY TO SPEAK, OR IN  
EVENT THAT APPLICATION IS RECOMMENDED  
FOR REFUSAL, TO SPEAK IN SUPPORT  
OF THE APPLICATION.

I ASSUME THIS REFERS TO MATTERS  
BEING PRESENTED TO MEMBERS OF THE  
DEVELOPMENT CONTROL COMMITTEE ON  
WEDNESDAY 14 DEC 2001 OR 02 FEB 2002.

PLEASE NOTE I WILL BE OUT OF  
COUNTRY 27 NOV 2001 - 11 DEC 2001 INCLUSIVE.

YOURS SINCERELY  


MR. A. BRANTON

6 The Barrel House  
Caldew Maltings  
Bridge Lane  
Carlisle CA2 5SW

Alan Eales  
Planning Services  
Carlisle City Council  
Civic Centre  
Carlisle CA3 8QG

16 October 01

01/0840

6  
2  
RJM

Dear Mr Eales

**Appn Ref: 01/0840 Insertion of windows into existing openings, 3 The Barrel House, Caldew Maltings, Carlisle**

I wish to object most strongly to the above application. I occupy property in the same block, which consists of residential units, converted from the former barrel house. The cellar runs beneath all the units and the proposed works will thus affect the property of all occupants.

My grounds for objection are

1. The windows (already installed, thereby making this a retrospective application) are capable of opening. At times during the winter, the river can rise, bringing the water level to about 6 inches below the level of the windows on the ground floor i.e. the windows above the cellar level. This would mean that the cellar windows would be below the water level. A few days ago (while the applicant was away), the river rose to the window level of the cellar i.e. the level where any new windows would be installed. I have enclosed for information photographs taken on 8 October, after only 24 hours of rain which demonstrate how quickly river levels rise at this point. During winter months, the cellar level windows are at times totally submerged.

2. I would also object to fixed, non-opening windows. When the river is in flood, the speed and weight of water must build up a great deal of pressure. I have serious concerns about whether windows in this location could withstand the force of that water, together with the additional problems caused by the various large items of debris (including large logs and tree trunks) carried by the water.
3. Since the cellar lies below the river level, the only way to get rid of water in the cellar would be by pumping it out. If water entered the applicant's cellar, it would obviously also enter the other cellars, where there are domestic services e.g. sewerage pipe work. The presence of this water could lead to damage to the fabric of the whole building, including my own property.
4. I believe that, prior to the building of the railway and the attendant canalisation of the river, the Barrel House stood on a flood plain and was thus not subject to the rise in river levels which have been seen more recently. With the railway construction and restriction of the river, however, the windows were, of necessity, bricked up to protect the cellars from flooding.
5. The cellar currently is one single unit which runs beneath all the properties, separated by fire break walls, and all owners have rights of access via an opening adjacent to 1 The Barrel House. The applicant is proposing to close off completely his section of the cellar, creating access problems for residents in the other units. By installing doors to his cellar, not only will access be denied but it will not prevent flooding into the cellar as a whole as the firebreak walls are very porous.
6. The Planning Authority rightly insisted on conditions to ensure that the Barrel House and other buildings on the site have been sympathetically converted. It is obvious that the installation of these windows in one section of the riverside wall is not in keeping with the overall conversion, especially when the buildings are adjacent to and visible from the major listed building, the castle.

I understand that the applicant proposes using the cellar as a gym/fitness room. I stress that I have no objection to this. I must, however, object most

strongly to a proposal which potentially threatens the fabric of my and my neighbours' property.

Yours sincerely

Elsie B. Martlew.

Elsie Martlew

Department of Environment &  
Development Planning Services  
Carlisle City Council  
The Civic Centre  
Carlisle  
Cumbria CA3 8QG

PLANNING SERVICES	
REF	01/0840
6 - 3 OCT 2001	
al	
RJM	

Mr A G Tucker  
Bunkers Hill West  
Orton Road  
Carlisle  
Cumbria CA2 6RA  
Tel. + 44 (0)1228 819964  
Fax + 44 (0)1228 513282

Dear Sirs

02/10/01

**Your Ref. RJM / DC / 01 / 0840**

The referred planning application relates to the insertion of windows into the basement space below No. 3 Barrel House, Caldew Maltings, Carlisle.

I am the owner of the adjacent property, No. 2 Barrel House.

I am opposed to the above planning application on the following grounds:

- The windows were originally bricked up in an attempt to stop the frequent flooding of the entire basement area in times of high river levels.  
I am concerned that the provision of opening windows beneath No. 3 Barrel House will lead to a flooding of the entire basement area affecting the other five adjacent properties including No. 2.
- The individual basement areas apart from No. 3 are totally unused. (As one of the original developers, I can inform you that the initial plan was for this entire basement area to be converted into a communal gymnasium facility for the benefit of all residents. Because of severe cost and logistical problems, this initial plan was dropped at an early pre-planning stage and the developers' intent was to leave this void simply as an access to services).  
I am therefore concerned about the loss of privacy in the other five adjacent basement voids as clearly free access must be maintained, for the purposes of any necessary maintenance works, along the entire basement void.
- The entire Barrel House block is an attractive building adjacent to a major listed building. The provision of a window beneath the No. 3 property in isolation will destroy the appearance of this building as viewed from the railway side of the development.

Yours faithfully



Alan G. Tucker



Terry Jones

1 Barrel House,  
Caldew Maltings,  
Carlisle,  
Cumbria, CA2 5SW.

Telephone 01226 590175  
E-mail terryjones@cix.co.uk

Dept. of Env., Plan & Development,  
Attn Mr R J Maundell  
The Civic Centre,  
Carlisle, CA3 8QG



28<sup>th</sup> September 2001

Ref. RJM/DC/01/0840

Dear Mr Maundell,

My wife and I support the proposal to insert windows into the existing openings at 3, The Barrel House, Caldew Maltings.

Yours sincerely

A handwritten signature in cursive script that reads "T L Jones". The signature is written in black ink and is positioned above the printed name.

T L Jones

PLANNING SERVICES	
REF	61/0840
1 - 1 OCT 2001	
RECEIVED	W
SEARCHED	
PASSED	EM
ACTION	

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 6

Date of Committee: 14/12/2001

APPN REF NO:  
01/0854 /

APPLICANT:  
Mr & Mrs C Birch

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
19/09/2001

AGENT:  
Mr G R Stephen

WARD:  
Stanwix Rural

LOCATION:  
93 Tribune Drive, Ashleigh Park Houghton, Carlisle

GRID REF:  
341300 558619

PROPOSAL: Erection of two storey extension to provide enlarged garage with lno. en-suite bedroom at first floor

*Richard*

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

#### SUMMARY OF CONSULTATION RESPONSES:-

STANWIX RURAL PARISH COUNCIL: The Parish Council does not object to the enlarged garage and bedroom but is concerned about parking on the highway in this very confined cul-de-sac if vehicles are not parked on driveways.

HIGHWAY AUTHORITY: No objection.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice and thirteen individual letters to the occupiers of adjacent properties. Five letters of objection have been received and

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0854 /

the issues raised are summarised as follows:

1. The design, scale and character of the proposed alteration is not in keeping with the original design of the houses and planning of the estate and it is inappropriate;
2. The development would be an eye sore if constructed as proposed;
3. The proximity of the proposed extension to neighbouring properties would result in loss of daylight;
4. The extension would result in additional on-street parking in a restricted cul-de-sac;
5. The adjacent property would be further 'pinned in' to the corner of the cul-de-sac; and
6. When the building was originally constructed the foundations already had to be moved.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

There are numerous planning records pertaining to the development of the estate as a whole but there are no individual records relating to the application site itself.

#### DETAILS OF PROPOSAL

This application seeks full planning permission for the erection of a two storey extension to number 93 Tribune Drive, Houghton. The property forms one a number of detached two storey dwellings within a cul-de-sac on a modern housing estate. A detached single storey garage is sited to the rear of the property.

The proposal involves the erection of a two storey extension to the north west facing gable. The extension consists of the erection of a replacement garage which would be integral by way of the construction of a passageway between the house and the garage. The frontage of this structure would be set back 5.2 metres from the front elevation of the property and the garage itself would measure 8.5 metres in length by 3.3 metres wide. The adjoining passageway would measure 1.7 metres wide by 6.15 metres in length.

The first floor would consist of an en-suite bedroom over part of the garage and the passageway and would measure 5 metres in width by 6.15 metres in length. A small area of the garage to the rear of the property would not be built over but would instead be covered with a mono pitch roof.

Presently, it is proposed to construct the extension from rendered elevations with brick quoin detail under a modern tiled roof.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0854 /

The original layout of the estate as a whole, has been densely developed, and the issues pertaining to any subsequent planning application are magnified. Accordingly, a number of concerns have been raised by the residents of neighbouring properties. The most relevant issues are the scale and design of the proposed extension, and the resulting loss of daylight.

The resultant building would be on the boundary with the adjacent property, number 95 Tribune Drive, which is itself built at an angle of 45 degrees to the application site. Compounding the issues of amenity, is the fact that the adjacent property is also set back in the corner of the cul-de-sac.

Policy H14 of the Local Plan requires that extensions should be appropriate to the dwelling, its design and setting. As the proposal currently stands, it is considered that the development would not wholly accord with this Policy. Policy H17 also seeks to protect residential amenity. The extension proposed is significant and may result in a detrimental effect on the amenity of the occupier of the neighbouring residential property.

It is considered that a reduction in the width and overall length of the proposal would reduce the impact on the occupiers of the neighbouring properties and improve the appearance, particularly the profile of the resultant building.

With regard to the highway issues, the Authority have raised no objection in their consultation response. Furthermore, the applicants would be retaining their garage and have sufficient length on the driveway on which to park a vehicle.

Officers are currently in discussion with the applicant's agent to negotiate an amendment to the scheme. Further drawings have been received from comment by Officers. These drawings are not considered to wholly overcome the original concerns and further negotiations are taking place.

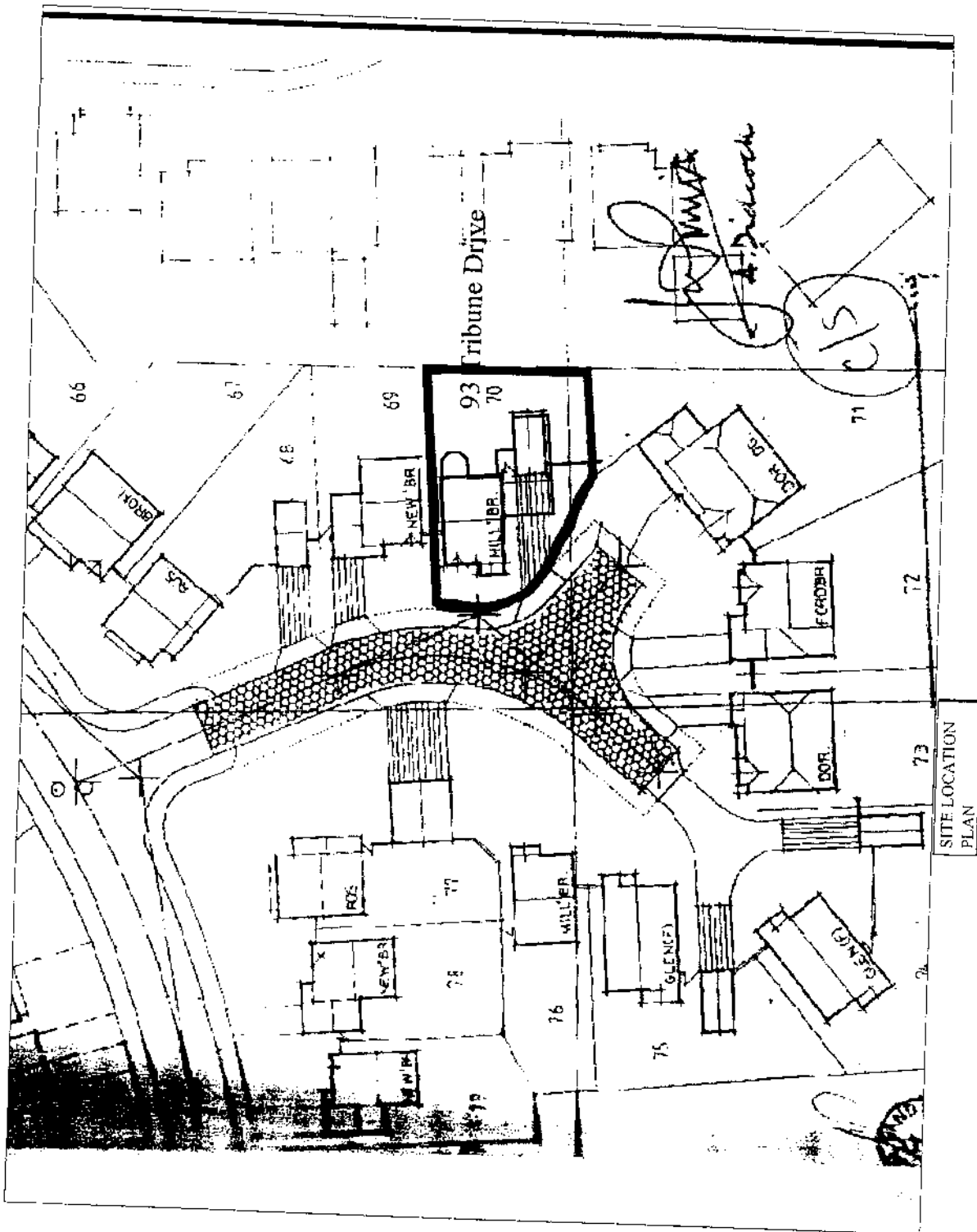
### RECOMMENDATION: -

The Director will report on any amendments submitted by the applicant.

*Deferred  
at app's request*

*P222 →*

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19 SEP 2001  
20010915



SITE LOCATION PLAN

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

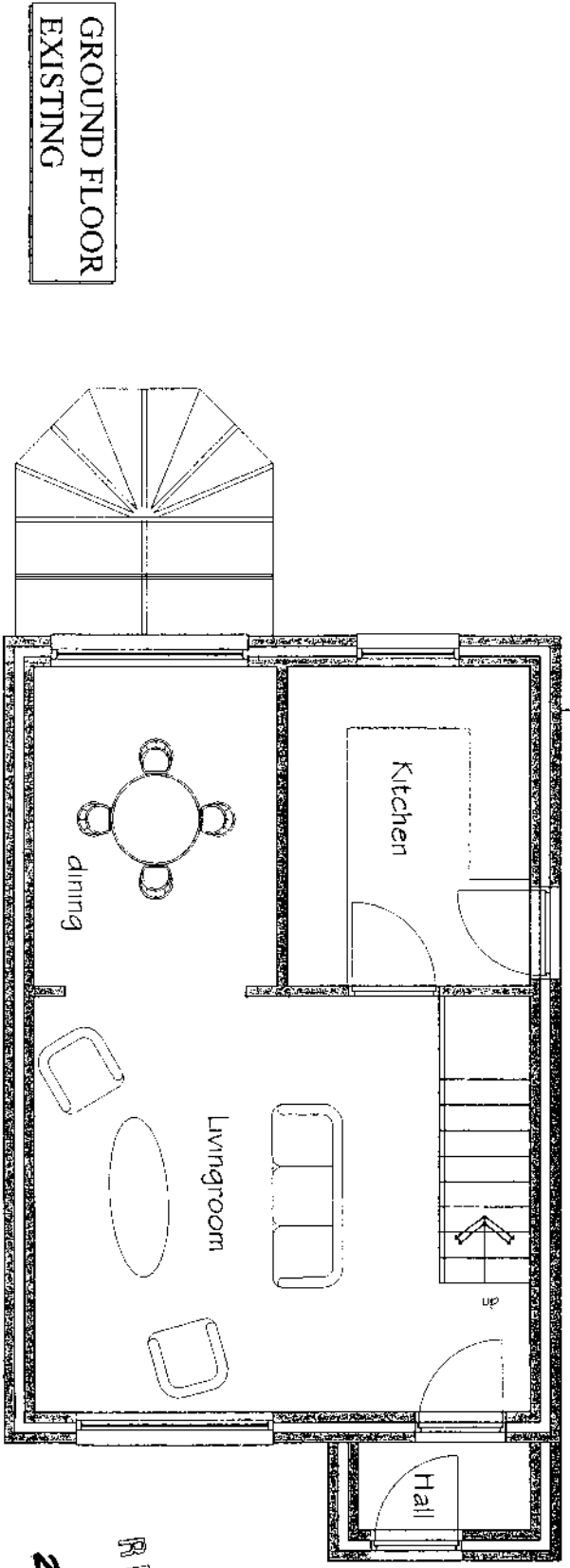
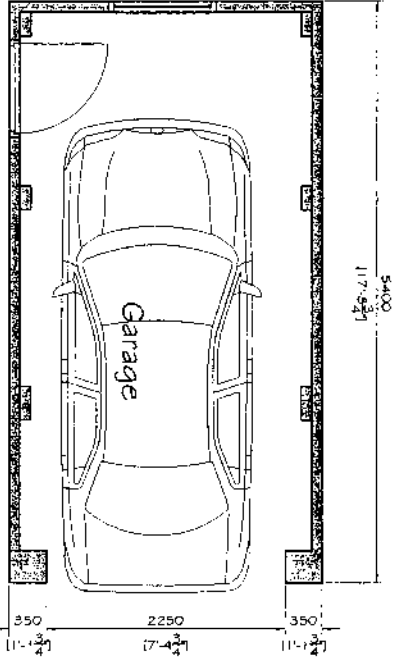
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Job : 01/013  
Date : pt 2001  
Scale : 1 : 250  
Revision :

Plans prepared by  
GR & AJ Stephen  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338

Notes







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19 SEP 2001  
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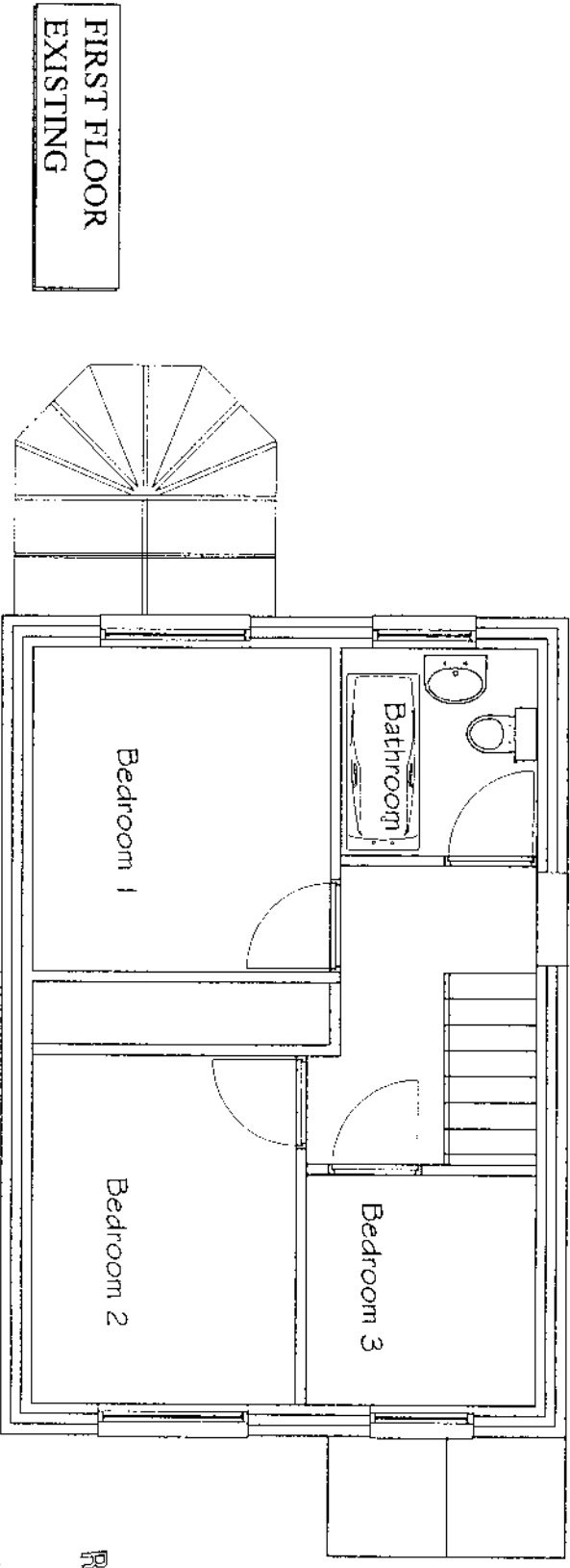
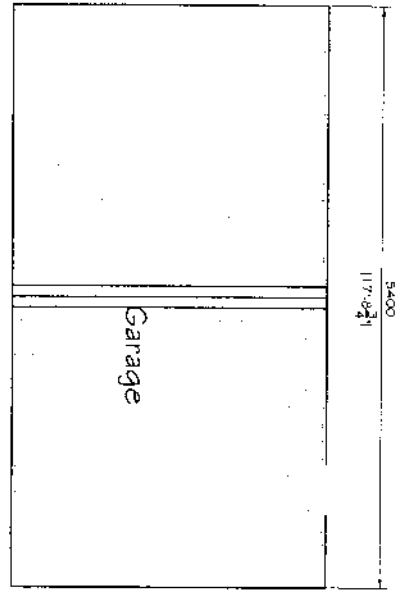
Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Jan 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/010

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

existing ground floor





REGISTERED  
19 SEP 2001  
2001/0854

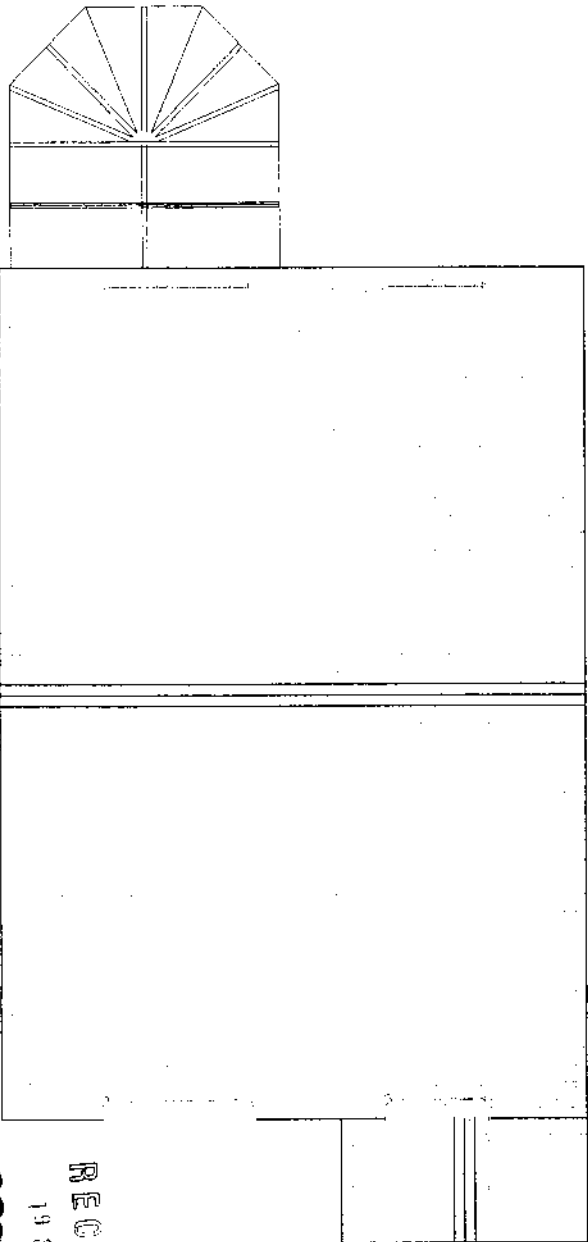
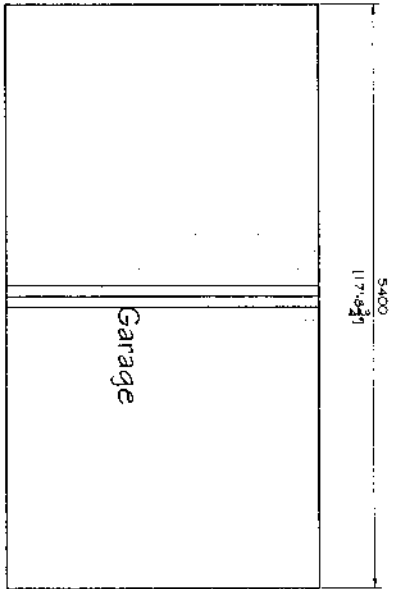
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Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@guisla.net

Drawn : GRS  
Job : 01/013  
Date : Jan 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/011

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

existing first floor



ROOF  
EXISTING

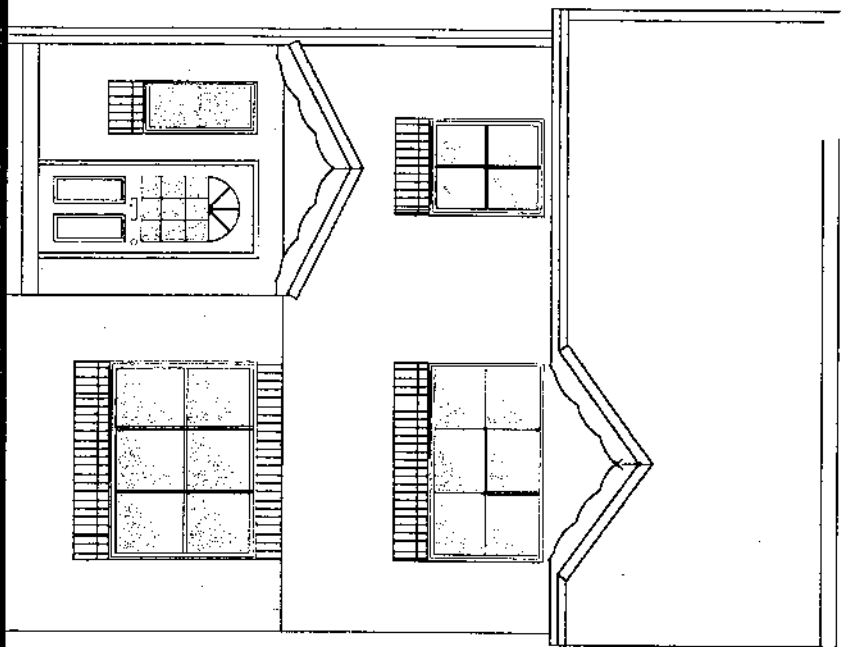
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19 SEP 2001  
2001.10.05

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Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
L . ing No. 013/012

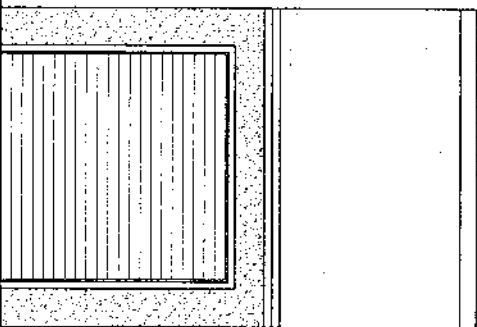
Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch  
existing roof plan



Neighbouring property



EXISTING FRONT  
ELEVATION



**RECEIVED**  
19 SEP 2001  
**20010919**

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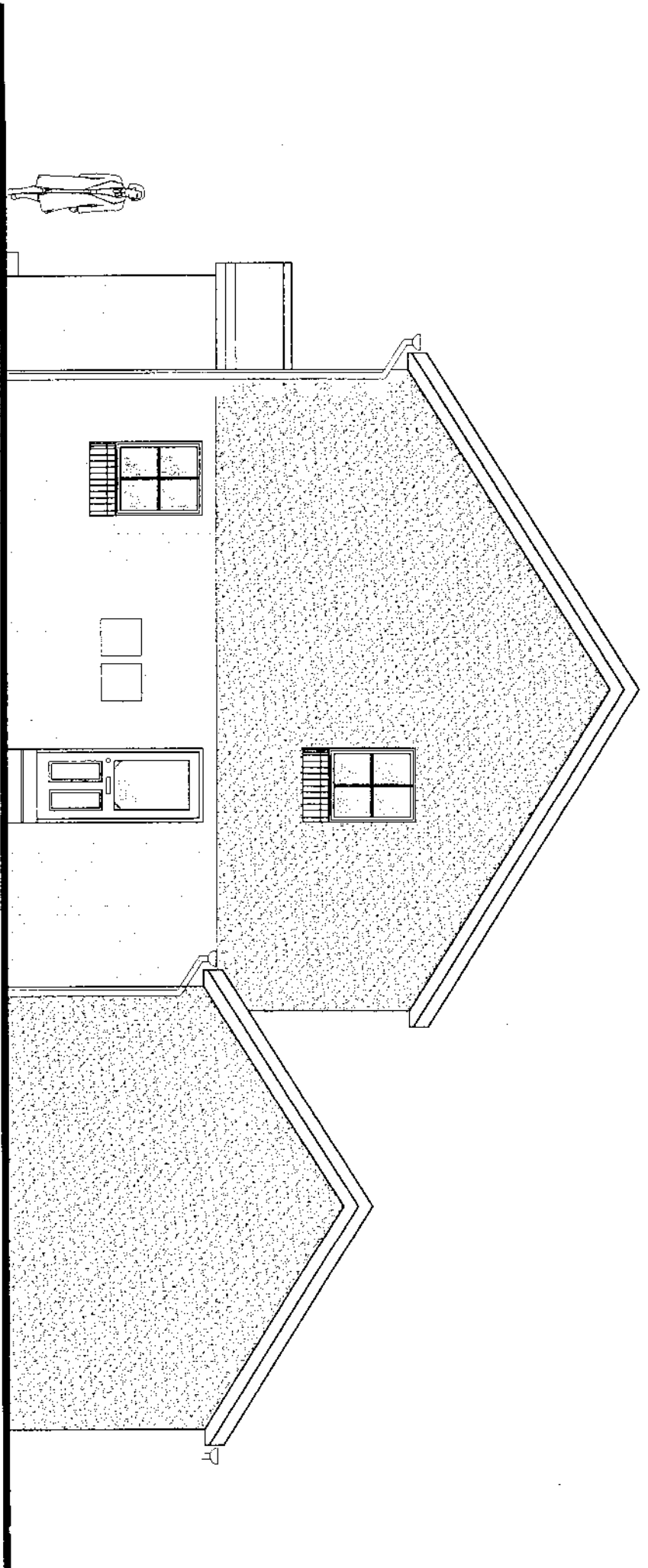
Plans prepared by  
**GR & AJ Stephen**  
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Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/013

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Front Elevation Existing

13



**EXISTING GABLE  
ELEVATION**

**RECEIVED**  
19 SEP 2001  
**20010854**

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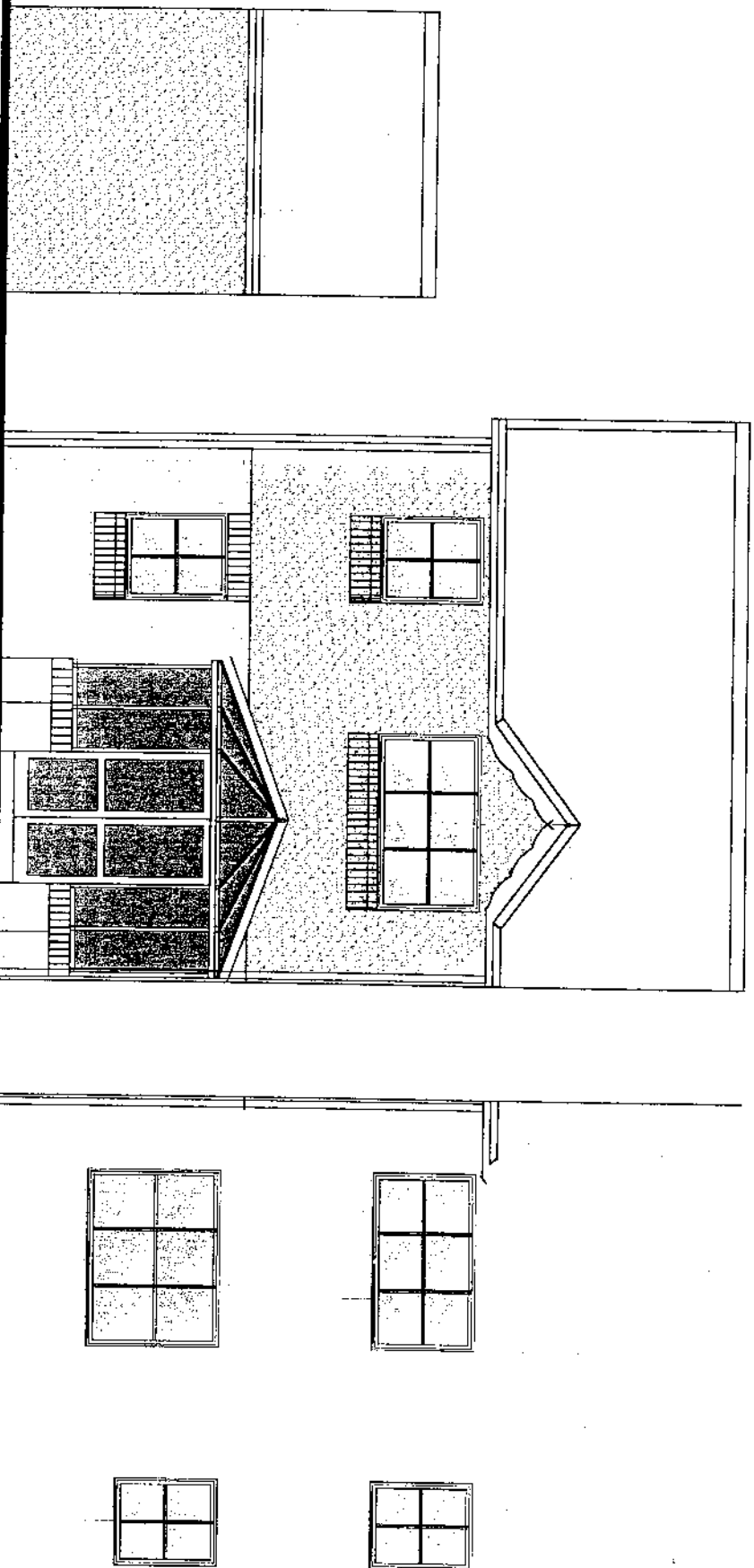
Plans prepared by  
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The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
E .ng No. 013/014

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Existing Gable Elevation

14



**EXISTING REAR  
ELEVATION**

Neighbouring property

**RECEIVED**

19 SEP 2001

**22/01/01**

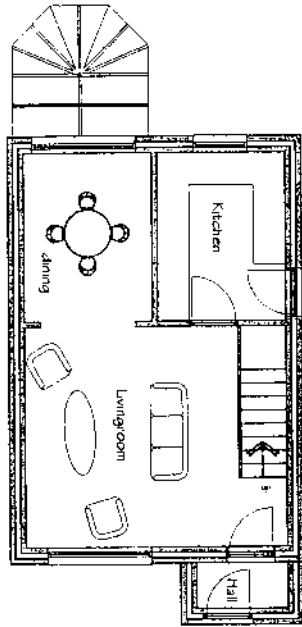
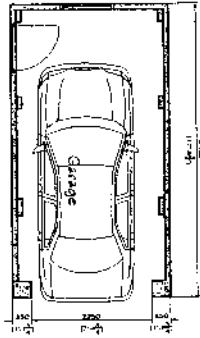
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Plans prepared by  
**GR & AJ Stephen**  
 The Barn, Crooked Holme,  
 Nr, Brampton CA8 2AT  
 Tel. 016977 3338  
 email address: stephens@quista.net

Drawn: GRS  
 Job: 01/013  
 Date: Sept 2001  
 Scale: 1:50  
 Revision:  
 Drawing No. 013/015

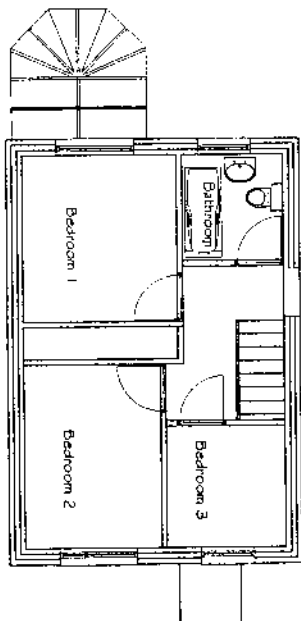
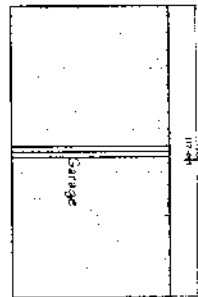
Proposed Extension to  
 93 Tribune Drive  
 Houghton, Carlisle  
 For Mr & Mrs Birch

**Gable Elevation**



GROUND FLOOR  
EXISTING

Neighbouring property



FIRST FLOOR  
EXISTING

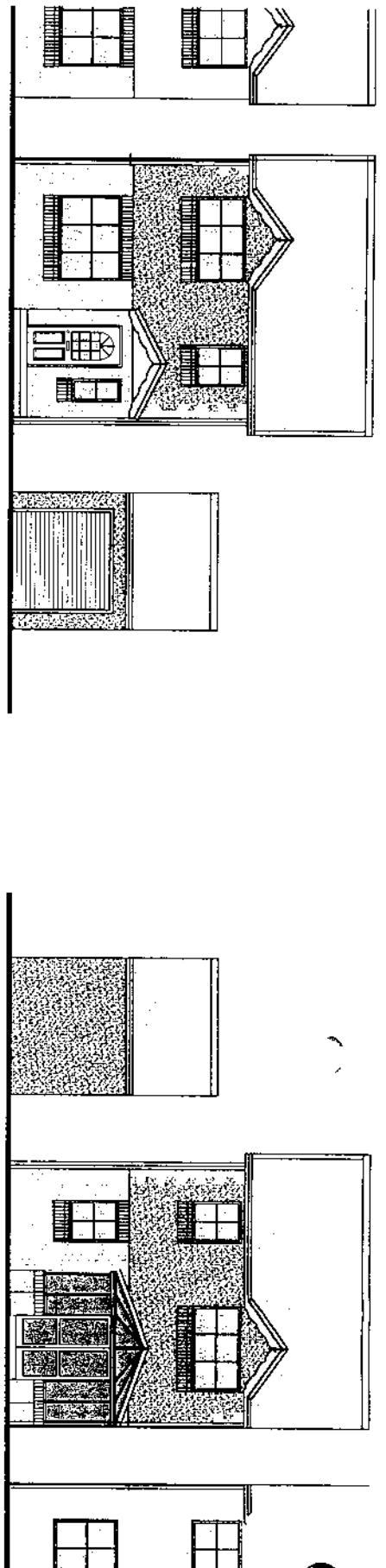
Notes

Plans prepared by  
**GR & AJ Stephen**  
 The Barn, Crooked Holme,  
 Nr, Brampton CA8 2AT  
 Tel. 016977 3338  
 email address : stephens@quista.net

Drawn : GRS  
 Job : 01/013  
 Date : Jan 2001  
 Scale : 1 : 100  
 P ersion :  
 L...wing No. 013/016

Proposed Extension to  
 93 Tribune Drive  
 Houghton, Carlisle  
 For Mr & Mrs Birch

**RECEIVED**  
 19 SEP 2001  
 250010854

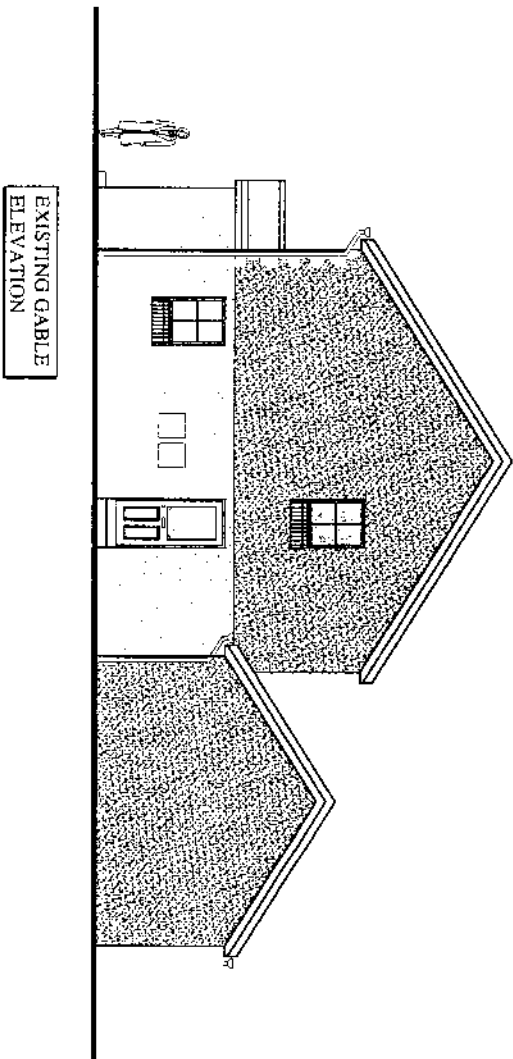


Neighbouring property

EXISTING FRONT  
ELEVATION

EXISTING REAR  
ELEVATION

Neighbouring property



EXISTING GABLE  
ELEVATION

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19 SEP 2001  
**2001/08/54**

Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

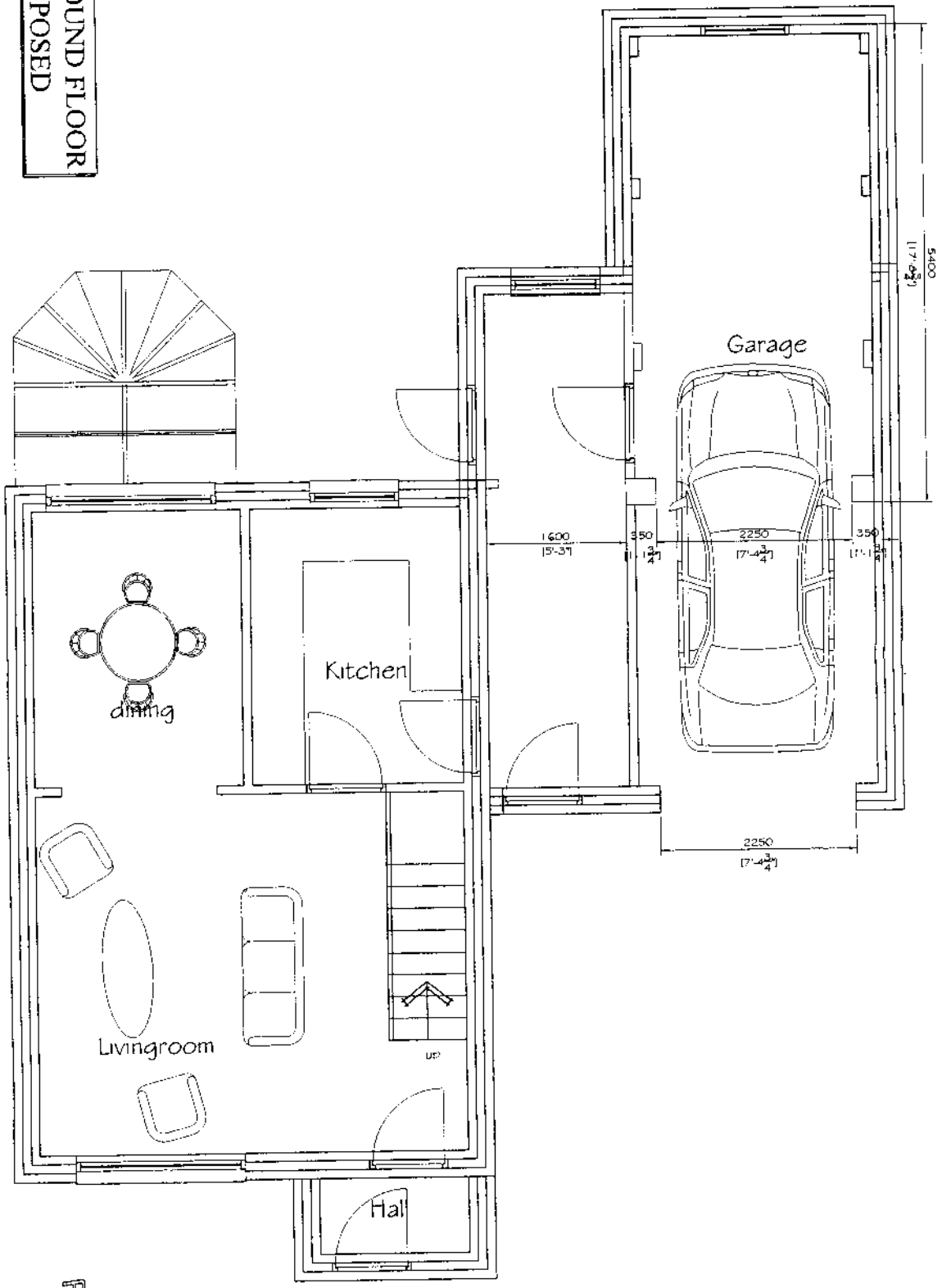
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Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/017

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Existing Elevations

17

**GROUND FLOOR  
PROPOSED**



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*2001/08/24*

Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quistra.net

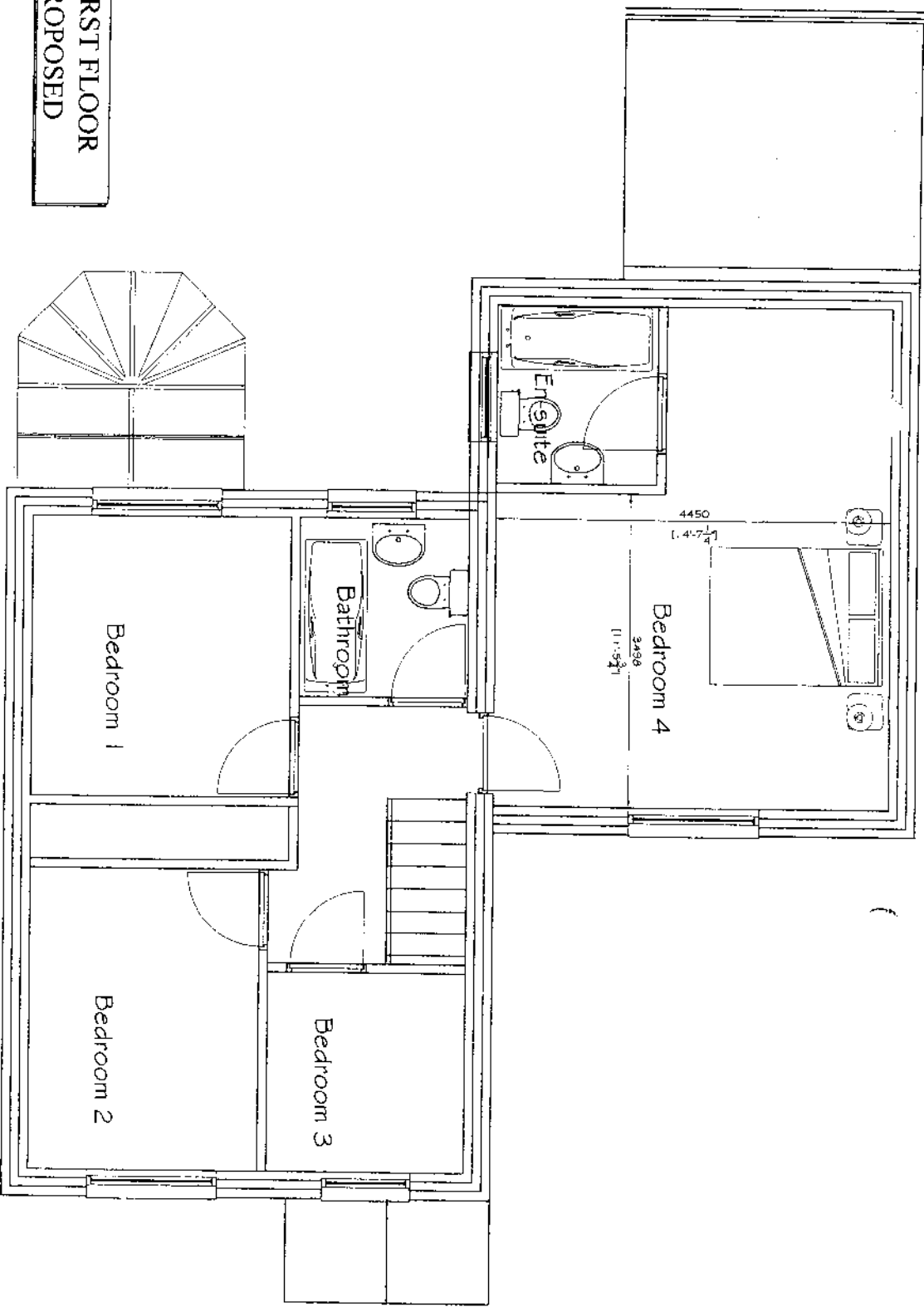
Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
wing No. 013/020

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

proposed ground floor

20





**FIRST FLOOR  
PROPOSED**

**RECEIVED**  
19 SEP 2001  
**22210857**

Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

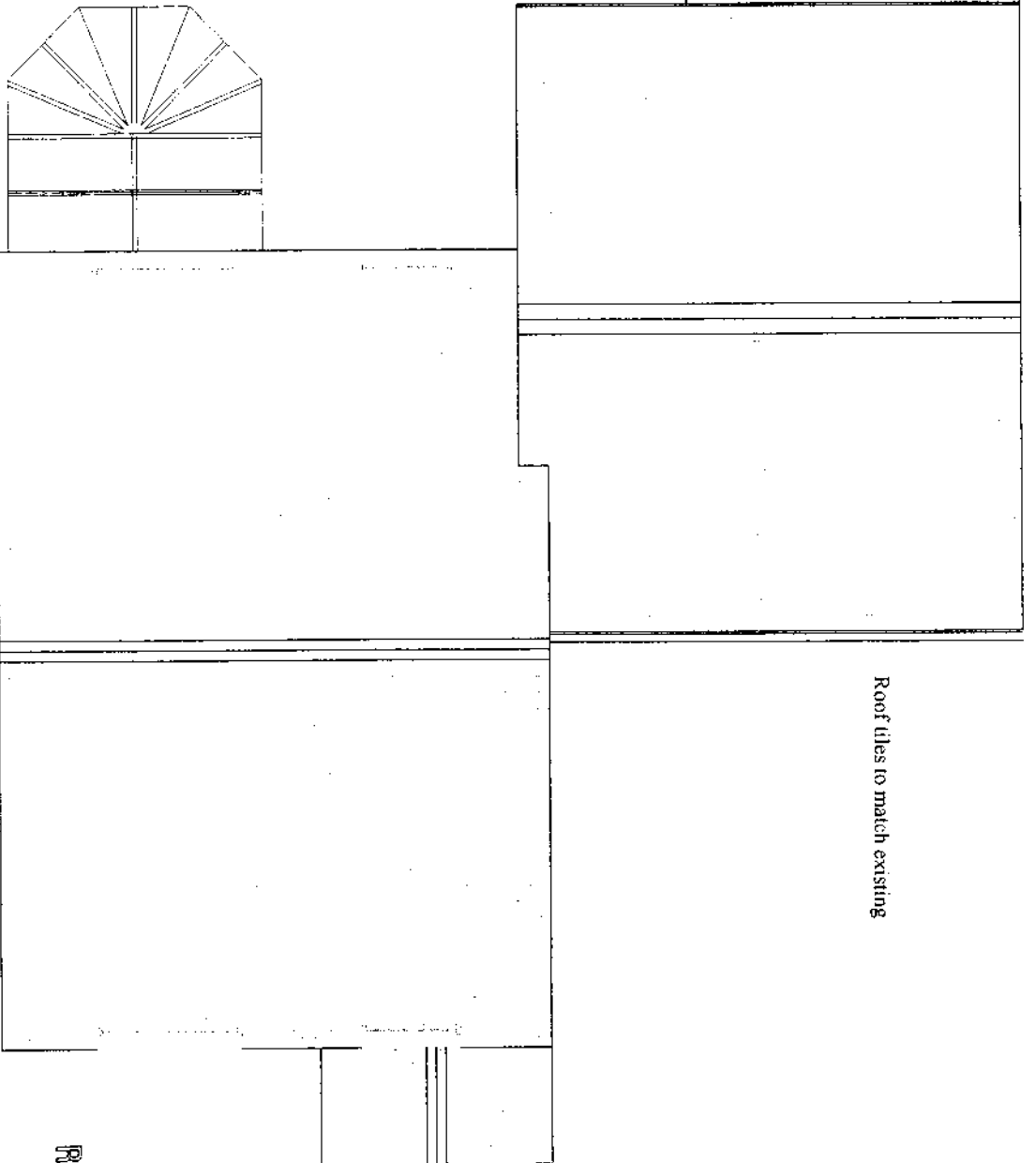
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Job : 01/013  
Date : Sep 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/021

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Proposed first floor

21

ROOF  
PROPOSED



Roof tiles to match existing

RECEIVED  
19 SEP 2001  
22:11:08 Sr

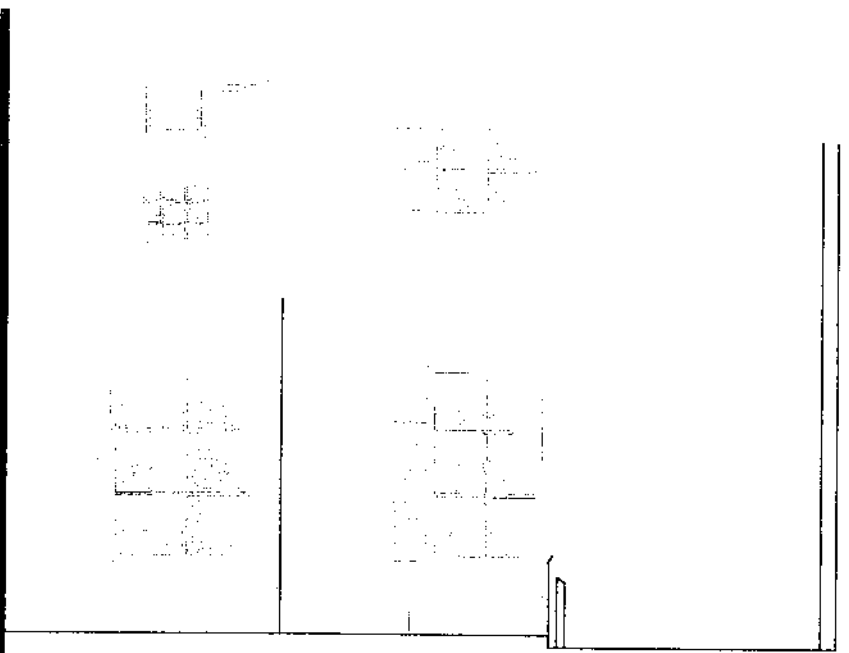
Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/022

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch  
proposed roof plan

22



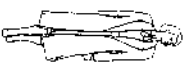
**PROPOSED FRONT  
ELEVATION**



Roof tiles to match existing

Render to match existing

bricks to match existing



**RECEIVED**

14 SEP 2001

**2001/09/14**

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Front Elevation Proposed

23

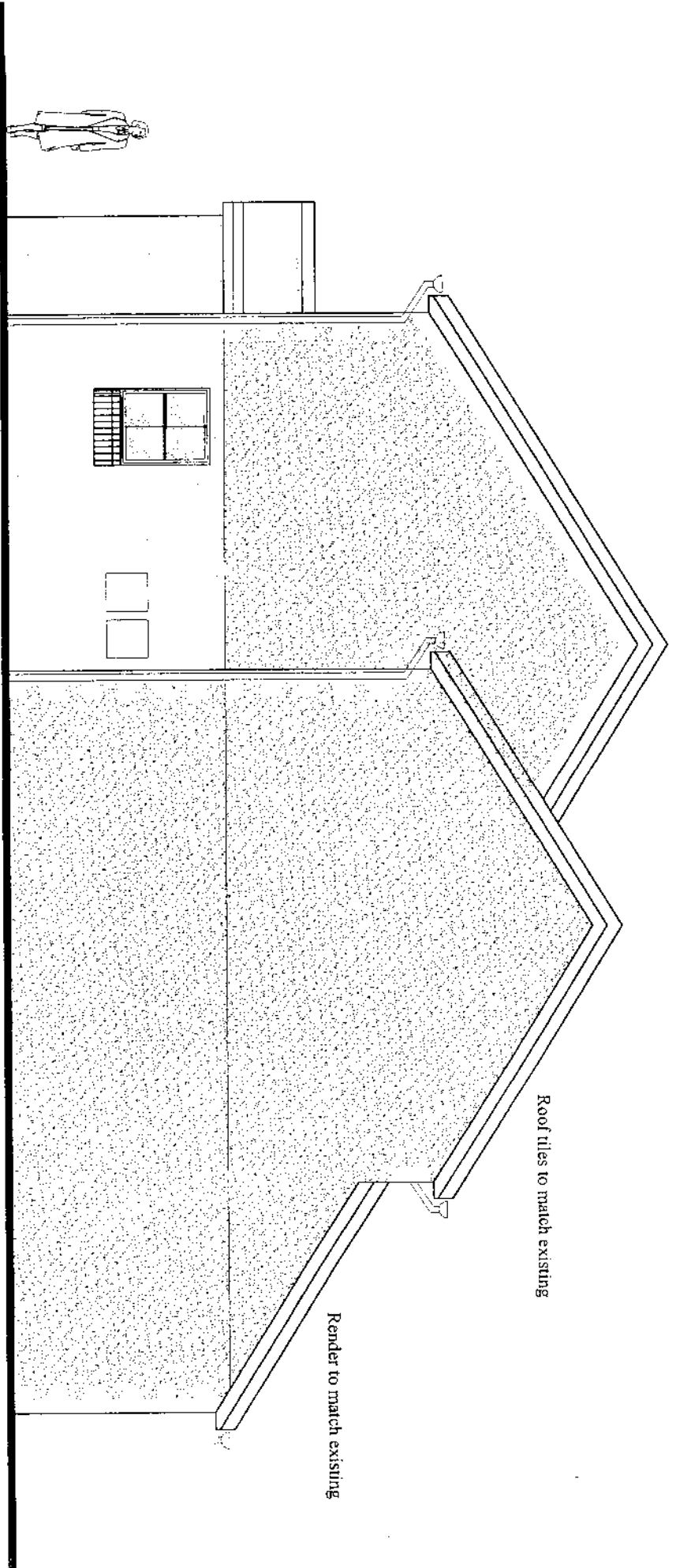
Notes

Plans prepared by

**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@qustia.net

Drawn : GRS

Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/023



**PROPOSED GABLE  
ELEVATION**

**RECEIVED**  
19 SEP 2001  
2001/0854

Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/024

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch  
Proposed Gable Elevat...



**PROPOSED REAR  
ELEVATION**

bricks to match existing

**RECEIVED**  
19 SEP 2001  
**20010854**

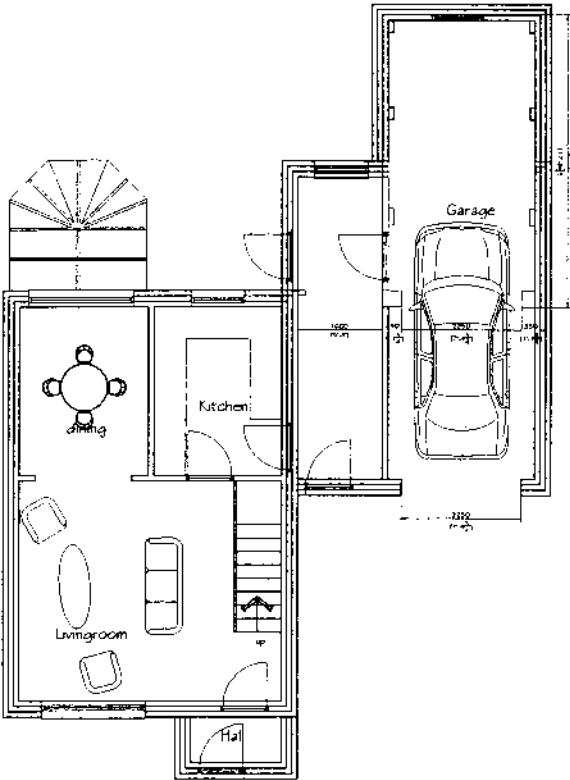
Notes

Plans prepared by  
**GR & AJ Stephen**  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

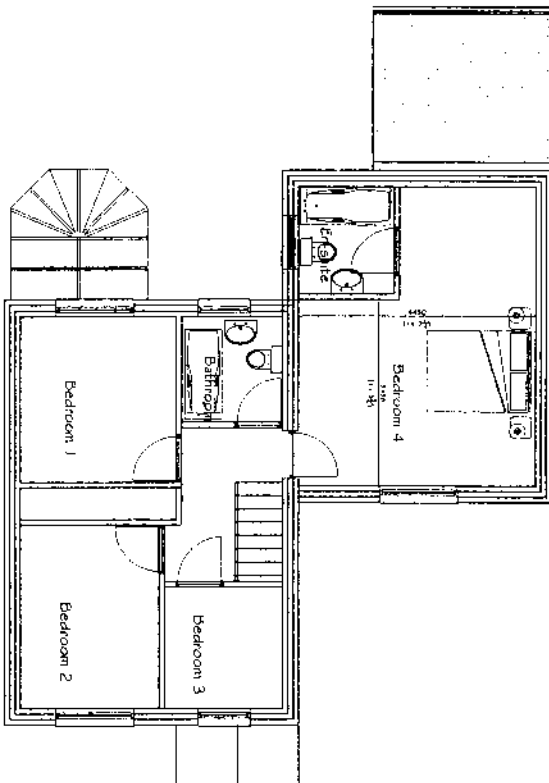
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Job : 01/013  
Date : Sept 2001  
Scale : 1 : 50  
Revision :  
Drawing No. 013/025

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch

Proposed Rear Elevation



GROUND FLOOR  
PROPOSED



FIRST FLOOR  
PROPOSED

RECEIVED  
19 SEP 2001

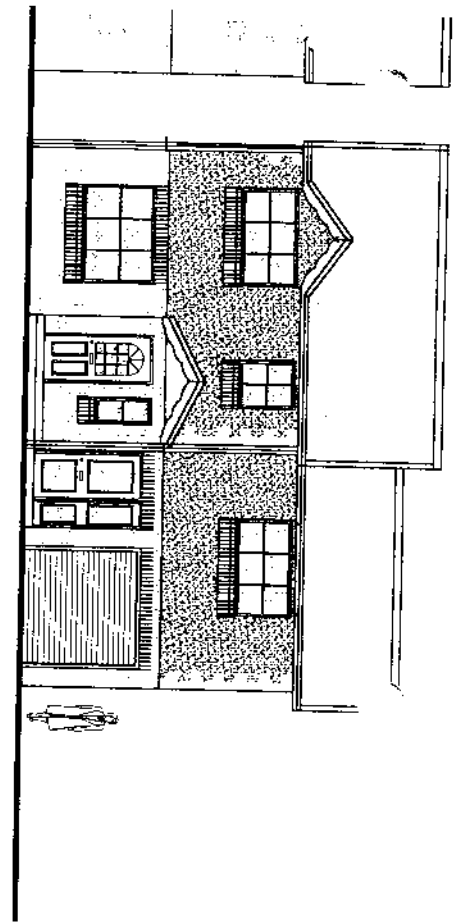
2001/0854

Notes

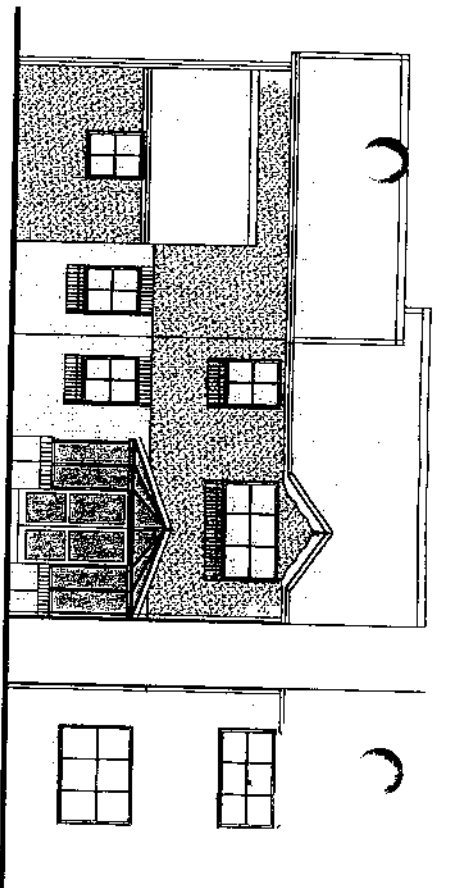
Plans prepared by  
GR & AJ Stephen  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quinta.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 100  
Revision  
Drawing No. 013/026

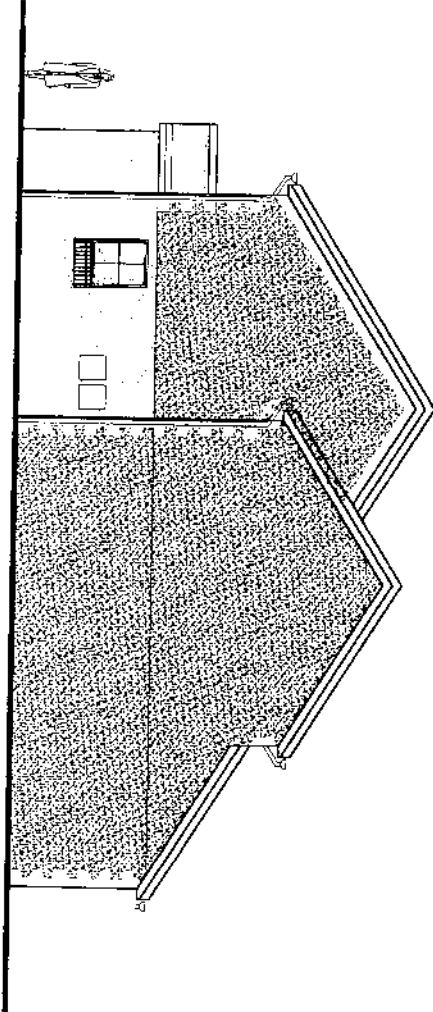
Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED GABLE ELEVATION

RECEIVED  
19 SEPT 2001  
20010854

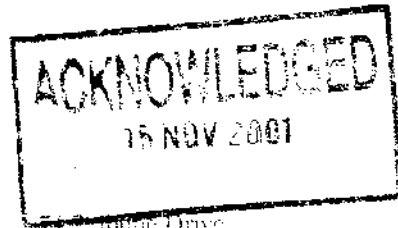
Notes

Notes

Plans prepared by  
GR & AJ Stephen  
The Barn, Crooked Holme,  
Nr, Brampton CA8 2AT  
Tel. 016977 3338  
email address : stephens@quista.net

Drawn : GRS  
Job : 01/013  
Date : Sept 2001  
Scale : 1 : 100  
Revision :  
Drawing No. 013/027

Proposed Extension to  
93 Tribune Drive  
Houghton, Carlisle  
For Mr & Mrs Birch  
Proposed Elevations



Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA1 1YU

15 Tribune Drive,  
Houghton,  
Carlisle  
CA1 1LE  
15 November 2001  
Your ref: RIM/01/11854

Dear Sir

Notification of Planning Proposal

Location: 15 Tribune Drive, Houghton, Carlisle

App Ref: 01/11854

I am writing in response to your letter of 27 October regarding the planning proposal on the above property:

Having inspected the proposed plans at your offices I wish to formally object to the proposed alterations on the following grounds:

1. The close proximity of the proposed extension to my property which will result in a loss of daylight onto my property particularly in the mornings
2. The design, scale and character of the proposed alteration is not in keeping with the original design of the houses and planning of the estate and is inappropriate as currently submitted

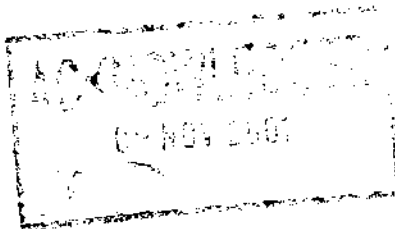
I hope that you will give my objection reasonable consideration and that you will ask for revised drawings to be submitted and approved before granting planning permission for any extension to that property.

Yours faithfully

*Helen S Almeida*

10  
01/03/04  
RM





01/11/01

B

Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
C.A. 800

RJM  
(11)

73 Tribune Drive,  
Houghton,  
Carlisle  
CA5 0LE  
7 November 2001  
Your ref: RJM/DC/01/0854

Dear Sir,

Notification of Planning Proposal

Location: 73 Tribune Drive, Houghton, Carlisle

App. Ref: 01/0854

I am writing in response to your letter of 23 October regarding the planning proposal on the above property.

Having inspected the proposed plans at your offices on 2 November I wish to formally object to the proposed alterations on the following grounds -

1. The close proximity of the proposed extension to my property. I would suggest that a precedent was set in 1991 when the original developer was obliged to move the foundations for 93 Tribune Drive after I asked the planning department to check the original site plans. It would appear that the developer, Hassall Homes, had mis-calculated when putting in the road leading to 93 Tribune Drive and were putting in the foundations for that plot too close to my property. Following a site inspection by your office the foundations were moved away from my property and nearer the road. The current proposal would effectively negate that earlier intervention by the planning department and bring the property too close to my own home again.

2. I would suggest that the design, scale and character of the proposed alteration is not in keeping with the original design of the houses and planning of the estate and is inappropriate as currently submitted. The extension as proposed would considerably alter the aesthetics of the property by not following the lines of the rear elevation of the property.

I hope that you will give my objection reasonable consideration and that you will ask for revised drawings to be submitted and approved before granting a planning permission for any extension to that property.

Yours faithfully,

J.C. B. Duff

Mr R. J. Maunsell,  
Civic Centre.  
CARLISLE,  
Cumbria  
CA3 8QG

PLA	01/015/0852
REF	218 017 2001
DATE	21/10/01
BY	AN

14<sup>th</sup> October 2001

Dear Sir,

**Re: Proposed Extension to 93, Tribune Drive, Houghton, Carlisle**

**Job: ~~01/015~~ - Mr & Mrs Birch**

We write with regard to the above application for a two storey extension. Our property, no.97, Tribune Drive, Houghton overlooks the side of no.93 Tribune Drive and we do have some concerns about the effect the proposed extension, as per the plans deposited, would have on our property, particularly with regard to light.

We have made it clear to Mr & Mrs Birch that we do not hold any strong objections to the general appearance of the extension but we are concerned that the "double Peak" (the existing gable end of the house and the gable end of the proposed extension) would have the effect of cutting out light to the front living room window of our house.

Our living room is already a comparatively dark room and we recently took measures to improve the amount of light coming into the room by removing several coniferous shrubs planted by the previous owners.

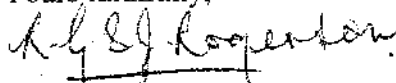
Our concern is therefore that the building of a second gable end may have a further impact on the amount of light .

We have no way of knowing whether our fears would be justified but wished our concerns to be considered **before** the building work goes ahead and it becomes too late.

If we can be re-assured by an independent expert that our light would not be affected, and given a guarantee to this effect, we would be satisfied.

We would therefore be grateful if our concerns could be noted and investigated and we look forward to hearing from you further as to how and when this will be done.

Yours faithfully,



Gerard and Joanne Rogerson,  
97, Tribune Drive,  
Houghton,  
Carlisle,  
CA3 0LE

Tel:01228 593061 (Home)  
01228 822666 (Work)

95 Tribune Drive  
Houghton

CARLISLE  
CA3 0LE

Mr R. Mansell  
Planning Dept  
7th Floor  
Civic Centre  
CARLISLE  
CA3 8QG

S.12.01 01/0854

2001	1
CN	
ESM	

Dear Sir,

Re: Proposed two storey extension  
93 Tribune Drive, Houghton  
Appn. Ref. 01/0854

Further to our recent correspondence regarding the above, we write to advise you that we are prepared to compromise on the above extension in order to try and solve the situation.

If the extension was to follow the roof line (as we were told it was going to), this would be acceptable. Also if the roof could be 'hipped'

so that it does not make it look  
so large.

It is intended that the gable end  
is to be fully pitch dressed -  
this is not in keeping with the  
property, nor the other surrounding  
properties, can this not be half  
brick, half dressed to stay  
in keeping with the property?

Another idea to solve the parking  
would be if they created a  
parking space where the shed is,  
we are prepared to let them  
use our land to access the  
parking space, on the understanding  
that a solicitors letter is  
drawn up stating it is our land  
and should only be used for  
this reason, at no cost to ourselves.

These are obviously suggestions  
to try and help matters, which  
can be discussed further at the

meeting if necessary and we look forward to hearing from you to keep us informed as to the situation.

Yours faithfully,

S Ross.

S. ROSS

T. Ross

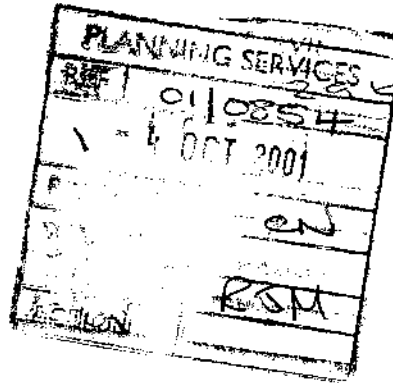
T. ROSS

95 Tribune Drive  
Haughton

CARLISLE

CA3 0LE

Mr R. Mounsell,  
Planning Dept.,  
 Civic Centre,  
(1st Floor),  
CARLISLE.



28th September 2001

Dear Sir,

Re: Proposed extension to No. 93 Tribune  
Drive, Haughton - Job No. 01/013,  
Drawing No: 013/026 for Mr & Mrs Birch

We write to express our objections  
with regard to the above proposed  
extension.

We are of the opinion that the  
extension will block out light to  
one of our bedroom windows and  
greatly spoil the appearance of our  
property, as we will be looking  
at the gable end of the extension  
which is proposed to be a large

which fully possible clashed with  
(not even in keeping with the  
other properties).

The houses in the cur-de-sac are  
already built closely together  
and with our property already being  
'tucked' into the corner, we  
feel the extension will further  
'block' us in and may hinder  
any future sale of our property,  
should we ever decide to sell.

The extension will result in one of  
the owner's cars being permanently  
parked on the road which will  
create problems, as the car parking  
arrangements are already a huge  
problem in the cur-de-sac, due  
to the lack of space available.

We have expressed our concerns to  
Mr & Mrs Birch and having  
heard nothing further from them,  
await their reply through yourselves

if necessary.

We look forward to your comments.

Yours faithfully,

S. Ross  
S. ROSS

T. Ross  
T. ROSS (Mrs)



Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG

75 Tribune Drive,  
Houghton,  
Carlisle  
CA3 0LE  
12 November 2001  
Your ref: RJM/DC/01/0854

Dear Sir,

Notification of Planning Proposal

Location: 93 Tribune Drive, Houghton, Carlisle

App. Ref.: 01/0854

I am writing in response to your letter of 23 October regarding the planning proposal on the above property.

Having inspected the proposed plans at your offices I wish to formally object to the proposed alterations on the following grounds:-

The design, scale and character of the proposed alteration is not in keeping with the original design of the houses and planning of the estate and is inappropriate as currently submitted. The proposed alteration is not in keeping with the character of the original structure and will be an eye-sore if allowed to be constructed as shown on the submitted plans.

I hope that you will give my objection reasonable consideration and that you will ask for revised drawings to be submitted and approved before granting planning permission for any extension to that property.

Yours faithfully,

*MAR*

SEARCHED	INDEXED
SERIALIZED	FILED
01/0854	
13 OCT 2001	
12	
CN	
RSM	
POT	

## SCHEDULE A: Applications with Recommendation

ITEM NO. 7

Date of Committee: 14/12/2001

APPN REF NO:  
01/0856 /

APPLICANT:  
Orange PCS Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
20/09/2001

AGENT:  
Kingfisher Estates Ltd

WARD:  
Harraby

LOCATION:

St Elizabeth's Church, Arnside Road, Harraby Carlisle, Cumbri 342103 554382

GRID REF:

PROPOSAL: Installation of ground based telecommunications equipment in alcoves on both sides of church building, blocked in by brick wall.

*Andy*

---

## REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E51

Within the Plan area, to minimise the visual impact on the surrounding area the Council will seek the most appropriate location for telecommunications apparatus. Conditions may be imposed to require the provision of adequate and suitable screening to alleviate the visual impact of the apparatus.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E52

In considering applications for larger telecommunications development the Council will wish to be satisfied that there is no spare capacity on existing structures or that technical and/or operational difficulties preclude such spare capacity from being exploited. High masts and other large apparatus will only be permitted within AONBs if they are sited and designed to minimise their impact on the landscape, taking into account their technical and locational requirements.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objection.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0856 /

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and the direct notification of 56 neighbouring properties. In response, two letters of objection have been received from the same objector. The issues raised are as follows:  
Location of site notices, risks to health (Children in particular), disfigurement of the church building.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The site has a planning history dating back to 1966, when permission was granted for the erection of a Church. Last year, planning permission was granted for the erection of a roof to provide internal space for telecommunications equipment, together with the installation of 6no. antennae and 4no. dishes under application 00/0827.

Earlier this year, under application 01/0014 TEL, planning permission was granted for the construction of a lean to at the base of the church tower to accommodate internal telecommunications equipment.

#### DETAILS OF PROPOSAL

Full Planning Permission is sought for the installation of ground based telecommunications equipment in alcoves on both sides of the church building. Both of these alcoves are to be blocked in by brick walls. It is proposed that access to the equipment for maintenance purposes is to be obtained via an imitation window to match those existing on the church.

The Church building is made up of three connected sections. The largest section fronts onto the junction of Pennine Way and Arnside Road, and has a pitched tiled roof in the shape of a pyramidean peak. This is linked to a smaller flat roofed building, which is connected to the Bell Tower. The sections subject to this application are the alcoves on either side of the building. These alcoves are formed where the two main buildings, and the connecting corridor between them, meet. The proposal involves the bricking up of these alcoves, and the formation of a flat roof over the top. The design of the enclosure, and the materials proposed are to match those on the existing church building. The proposal includes the installation of rooflights in the roof of the link section. These are to replace the windows to be blocked up by the formation of the enclosures.

The application relates solely to the installation of ground based equipment. Replacement antennae and dishes were granted permission under application 00/0827. This previous application was advertised in the usual manner; by neighbour notification, and the posting of a site notice outside the church.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0856 /

The existing telecommunications equipment on the site delivers mobile phone coverage for the GSM network, utilised by existing mobile phones.

Through discussion with the Agents, Kingfisher Estates, it has been established that the application is necessary to provide 3G mobile network coverage in the area. The technical statement submitted by the applicants is reproduced following this report.

The necessary dishes and antennae for the upgrade of the site to 3G capability already have planning permission, but in order to provide the additional level of data required for the 3G network, additional ground based equipment is needed to compress the data. The ground based equipment is comprised of two sets of electronic housing cabinets, connected via fiber optic cabling to the antennae and dishes positioned on top of the bell tower. These equipment cabinets are described on the plans as being the "cab 10 solution".

In considering this application there are felt to be two interrelating issues raised by the objector: a) impact on health; and, b) impact on amenity.

### a) IMPACT ON HEALTH

1. The Stewart Report of 2000 concluded that the balance of evidence indicated that there is no general risk to the health of people living near to base stations on the basis that exposures are expected to be small fractions of the guidelines.
2. Paragraph 85 of PPG8 recognises the importance of protecting the public where an adverse health risk exists.
3. A precautionary approach was advocated by the Stewart report in relation to the development of telecommunications sites.

It should be noted that the Church site is already the location of an existing telecommunications development. The existing development is acceptable. This application, if successful, will allow for the upgrading of the site to meet the needs of recent advances in communications technology.

### b) IMPACT ON AMENITY

PPG8 on "Telecommunications" (revised August 2001) contained ministerial advice stating that whilst planning authorities are encouraged to respond positively to telecommunications development proposals, they should take account of advice on the protection of urban and rural areas in other planning policy guidance notes.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0856 /

The proposed development will blend in with the fabric of the existing building. Matching materials are to be used, and the proposed development does not stand out from the existing church buildings.

The objectors rights are respected, however, the development is felt to be satisfactory, and there are not felt to be any substantive grounds for resisting the proposal.

The site is already part of a telecommunications development. The masts for the upgrade to 3G capability already have planning permission. The proposed extension has been done in a way which respects the form of the existing buildings on the site.

### RECOMMENDATION:-

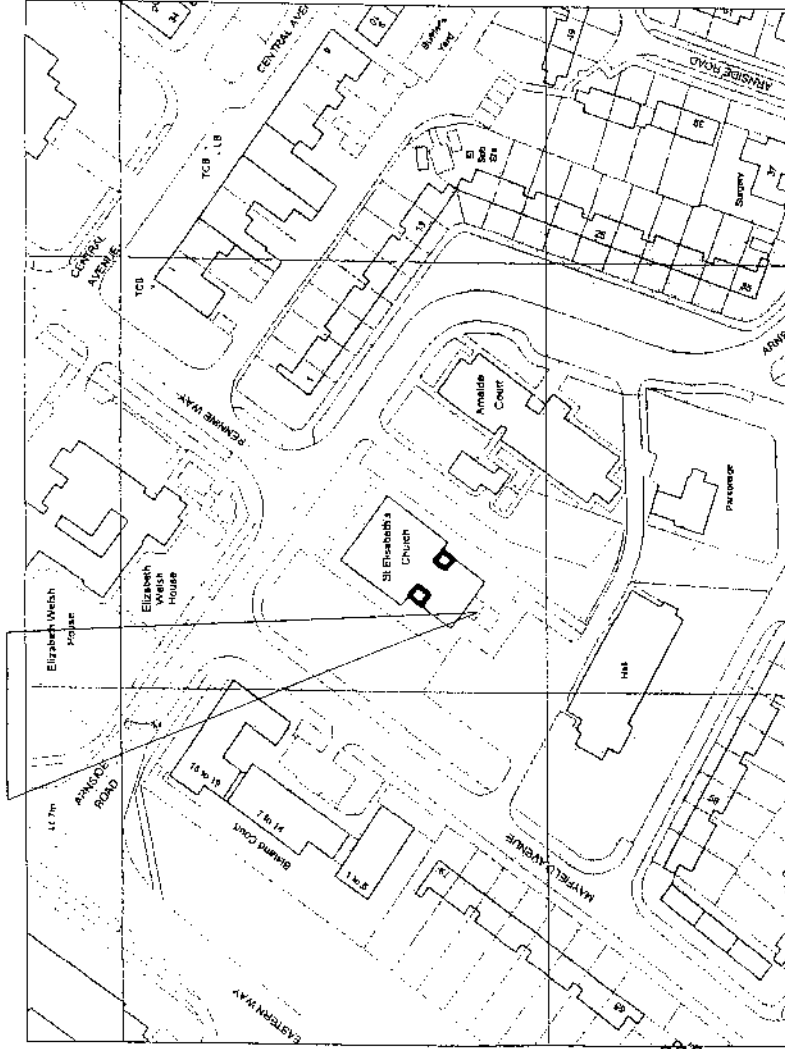
APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. The development shall be carried out in accordance with the approved documents, hereinafter referred to as the approved scheme or any such variation to the approved scheme as may be subsequently approved in writing by the local planning authority prior to the work being carried out.
3. Materials to match existing

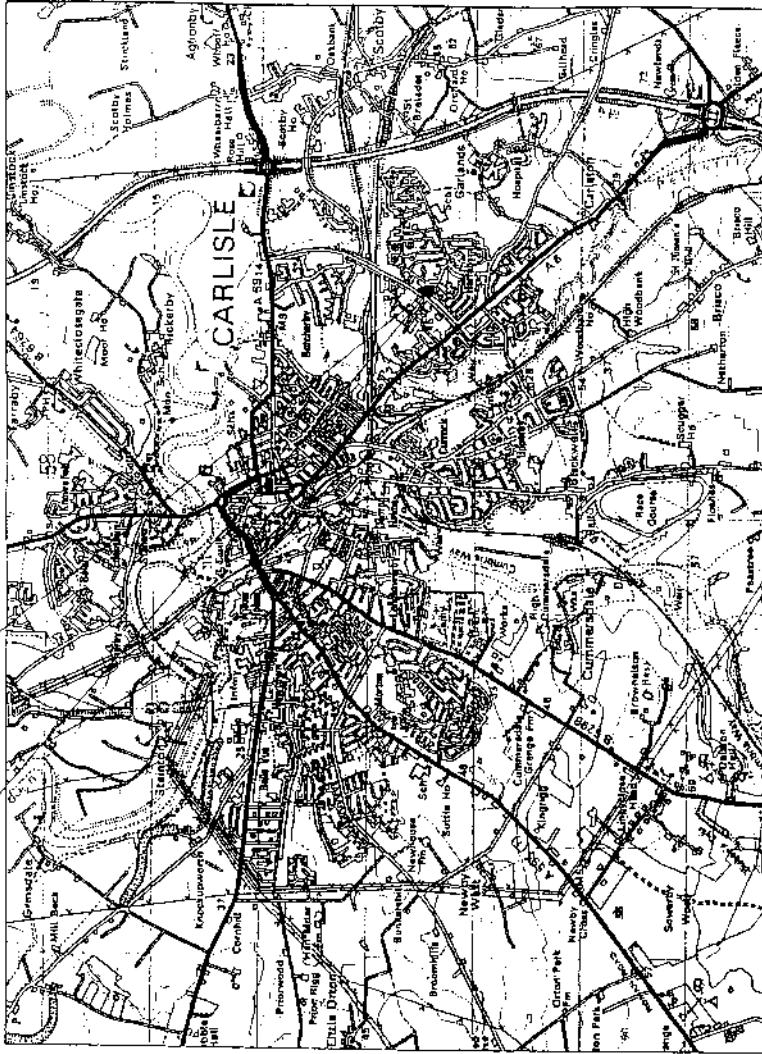
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Pages 24-25

SITE LOCATION



SITE LOCATION



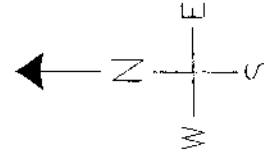
SITE LOCATION PLAN (1:1250)

SITE LOCATION PLAN (1:50000)

RECEIVED

20 SEP 2001

20010830



**Rowlinson**  
Rowlinson Construction (Communications) Ltd  
London House  
Poynton  
SK12 1YP  
Tel: 01625 872 177  
Fax: 01625 858 293

**SITE ADDRESS**  
ST. ELIZABETHS PARISH CHURCH  
ARNSIDE ROAD  
HARRAY  
CARLISLE, CA1 3QA

Ordnance Survey Reference:  
O.S. co-ordinate: E342120 N554420  
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**CARLISLE SOUTH EAST**  
BTS  
SITE LOCATION DRAWING  
3G UPGRADE - TYPE 1A

**ROSCOE CAPITA LIMITED**  
Consulting Civil, Structural & Geotechnical Engineers.  
Surrey House, (0115) 846-1331  
1200 Mill Lane, (0115) 846-1380  
PO Box 110, (0115) 846-1380  
E-mail: info@roscoe.co.uk  
Website: www.roscoe.co.uk  
Tel: No: 0844 (0)1833-817837  
Fax: No: 0844 (0)1833-258518  
E-mail: info@roscoe.co.uk  
roscoe@roscoe.co.uk

DRAWN BY: CHEADLE HULME  
SCALE: AS SHOWN  
DATE: 09/08/01  
CHECKED BY: DPS

CONTRACT NO: M32760  
DRAWING NO: 01

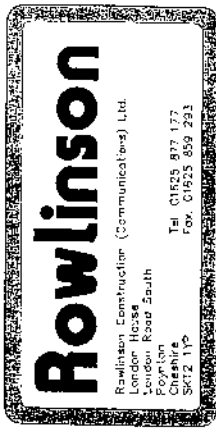
CARLISLE SOUTH EAST

CUM 0016

ORANGE PCS

**GENERAL NOTES**

1. Do not scale dimensions.
2. This dwg to be read in conjunction with R.C.L. drawing No's M3276001, 03, 04, 05, 06, 07, 08, 09, 10 and standard Orange P.C.S drawings.
3. All dimensions are in mm unless noted otherwise.
4. New installation to conform to H.M.L. Lighting Protection Procedure IMPRO/002.



**SITE ADDRESS**  
 ST. ELIZABETHS PARISH CHURCH  
 ARNSIDE ROAD  
 HARRABY  
 CARLISLE, CA1 3QA

REV	DATE	NAME	REVISION	REV. CHECK

**CARLISLE SOUTH EAST 3**  
**BTS**  
**PLANNING DRAWING (1 OF 9)**  
**3G UPGRADE - TYPE 1A**

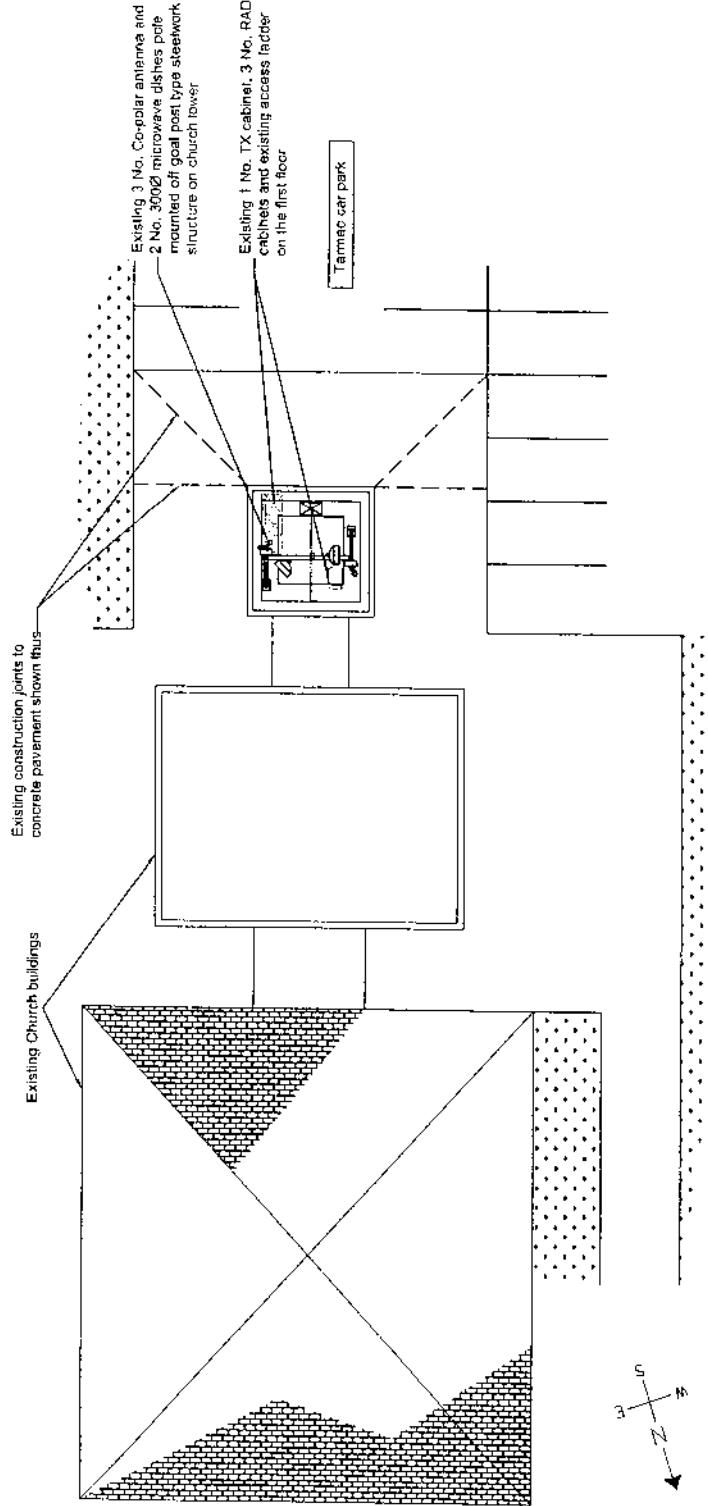
**ROSCOE CAPITA LIMITED**

Consulting Civil, Structural & Geotechnical Engineers.

**Cheadle Hulme**  
 The Mill, 0004, 01527-4881-1521  
 1000, 01527-4881-1520  
 e-mail: address: rai@roscoe.co.uk  
 Edinburgh  
 The Mill, 0044, 011453-817337  
 The Mill, 0044, 011453-288116  
 e-mail: address: rai@roscoe.co.uk  
 Edinburgh  
 The Mill, 0044, 011453-817337  
 The Mill, 0044, 011453-288116  
 e-mail: address: rai@roscoe.co.uk

SCALE	AS SHOWN	DATE	09/08/17	CHECKED BY	
DRAWN BY	CHEADLE HULME	DATE	09/08/17	DPS	

CONTRACT NO. **M32760** DRAWING NO. **02**



**EXISTING PLAN ON CHURCH (1:200)**

ORANGE PCS  
 2001  
 2001/00004

ORANGE PCS CUM 0016 CARLISLE SOUTH EAST 3

**GENERAL NOTES**

1. Do not scale dimensions.
2. This drawing to be read in conjunction with R.C.L. drawing No. M32760/01.02.04.05.06.07.08.09.10 and standard Orange P.C.S drawings.
3. All dimensions are in mm unless noted otherwise.
4. New installation to conform to H.M.L. Lightning Protection Procedure (MIPRO)002.

**Rowlinson**  
 Rowlinson Construction (Communications) Ltd.  
 London House  
 London Road South  
 Plympton  
 Cheshire  
 SK-3 1PP  
 Tel. 01625 877 177  
 Fax. 01625 359 283

**SITE ADDRESS**  
 ST. ELIZABETHS PARISH CHURCH  
 ARNSIDE ROAD  
 HARRABY  
 CARLISLE. CA1 3QA

REV	DATE	NAME	REVISION	REV. USED

**RECEIVED**  
 21 NOV 2001

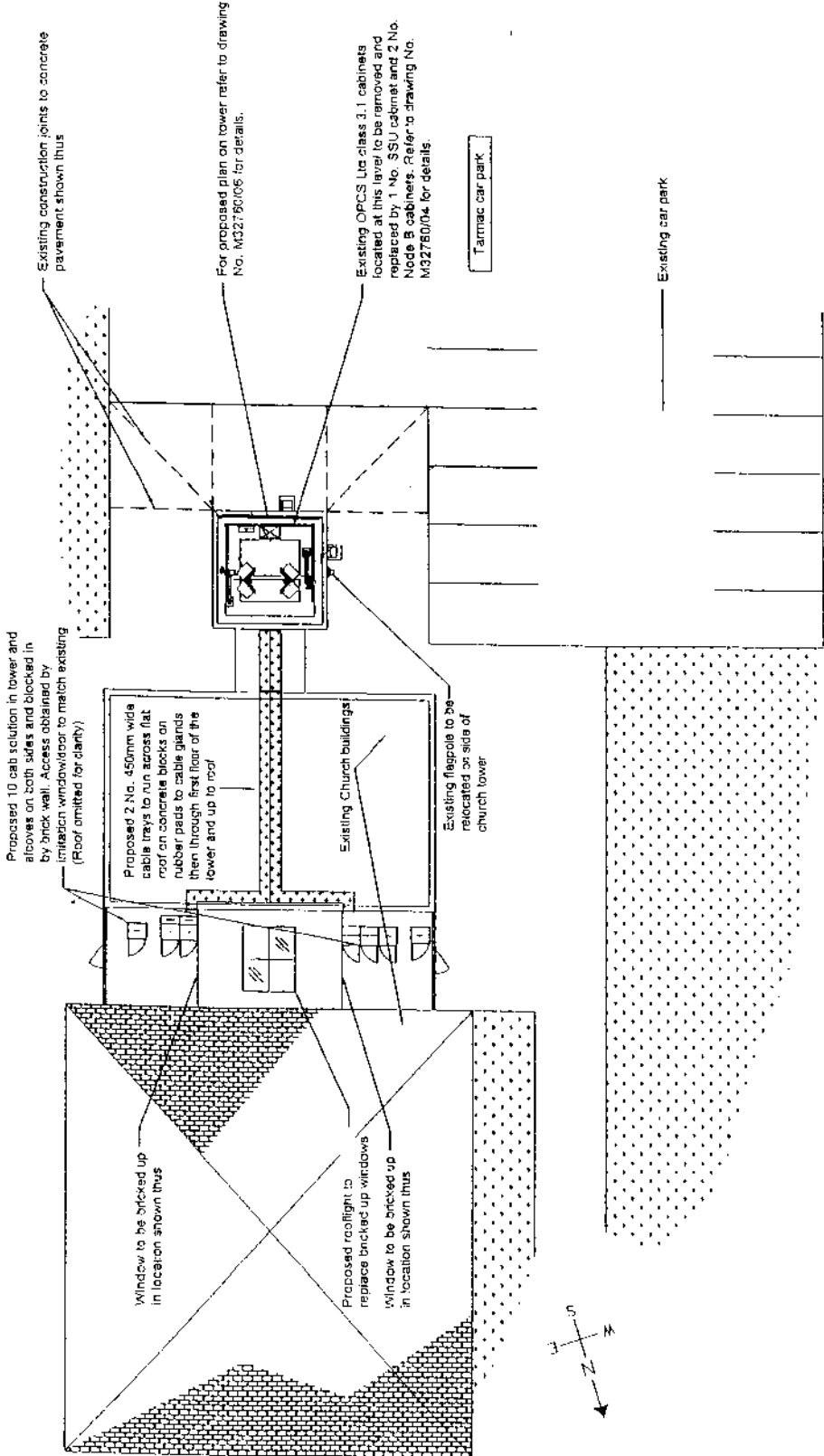
CARLISLE SOUTH EAST 3  
 BTS

PLANNING DRAWING (2 OF 9)  
 3G UPGRADE - TYPE 1A

**ROSCEE CAPITA LIMITED**  
 Consulting Civil, Structural & Geotechnical Engineers.  
 Tel. No 02045 91311  
 Fax No 02045 91311  
 E-mail address: info@rosceecapitalimited.co.uk  
 Roscoe House, 100, Abchurch Lane, London EC4N 3DF  
 Tel: 02045 91311  
 Fax: 02045 91311  
 E-mail: info@rosceecapitalimited.co.uk

DRAWN BY	CHEADLE HULME	CHECKED BY	OPS
DATE	09/08/01		

CONTRACT NO  
 DRAWING NO  
**M32760**      **03**



**PROPOSED PLAN ON CHURCH (1:200)**

CUM 0016

CARLISLE SOUTH EAST 3

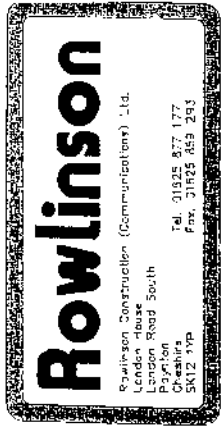
ORANGE PCS





### GENERAL NOTES

1. Do not scale dimensions.
2. This dwg to be read in conjunction with R.C.L. drawing No: M32750/01.02, 03, 04, 05, 07, 08, 09, 10 and standard Crang P.C.S drawings.
3. All dimensions are in mm unless noted otherwise.
4. New installation to conform to H.M.L.C Lightning Protection Procedure IM/PRD/002.



**SITE ADDRESS**  
 ST. ELIZABETHS PARISH CHURCH  
 ARNSIDE ROAD  
 HARRABY  
 CARLISLE, CA1 3QA

REV	DATE	NAME	REVISION	REV
				2001/08/26

CARLISLE SOUTH EAST 3

BTS

PLANNING DRAWING (4 OF 9)

3G UPGRADE - TYPE 1A

ROSCEE CAPITA LIMITED

Consulting Civil, Structural & Geotechnical Engineers.

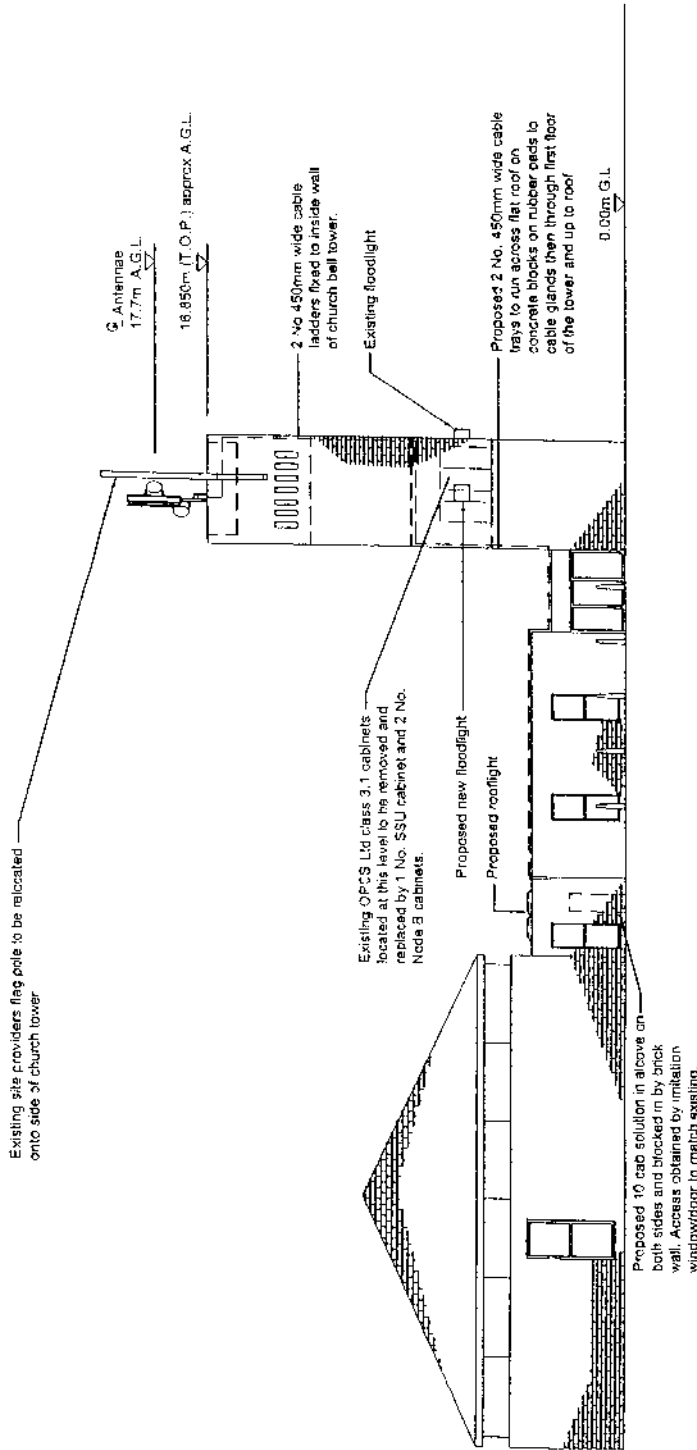
The Hub, Cheede Hulme, 1251  
 Forth Road, Carlisle, Cumbria, CA1 1QD  
 E-mail address: r.capita@rosceecapita.co.uk

Weyford, 200, South Street, Carlisle, Cumbria, CA1 1LH  
 E-mail address: r.capita@rosceecapita.co.uk

SCALE: AS SHOWN DATE: 09/08/ DATE CHECKED BY: DATE DRAWN BY: OFFICE: DRAWN BY: CHECKED BY: C.A.O.

CHEADLE HULME DPS

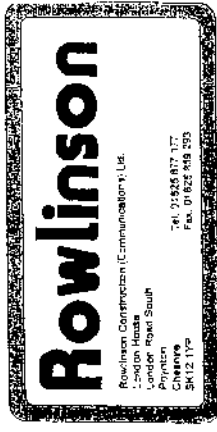
CONTRACT NO: M32760 DRAWING NO: 05



PROPOSED WEST ELEVATION (1:200)

**GENERAL NOTES**

- 1. Do not scale any dimensions from this drawing
- 2. This drawing to be read in conjunction with RCL drawings M32760/01, 02, 03, 04, 05, 06, 07, 08, 09 and standard Orange PCS drawings.
- 3. All dimensions in millimetres unless stated otherwise.
- 4. New installation to conform to HML lightning protection procedure IM/PRO/002.



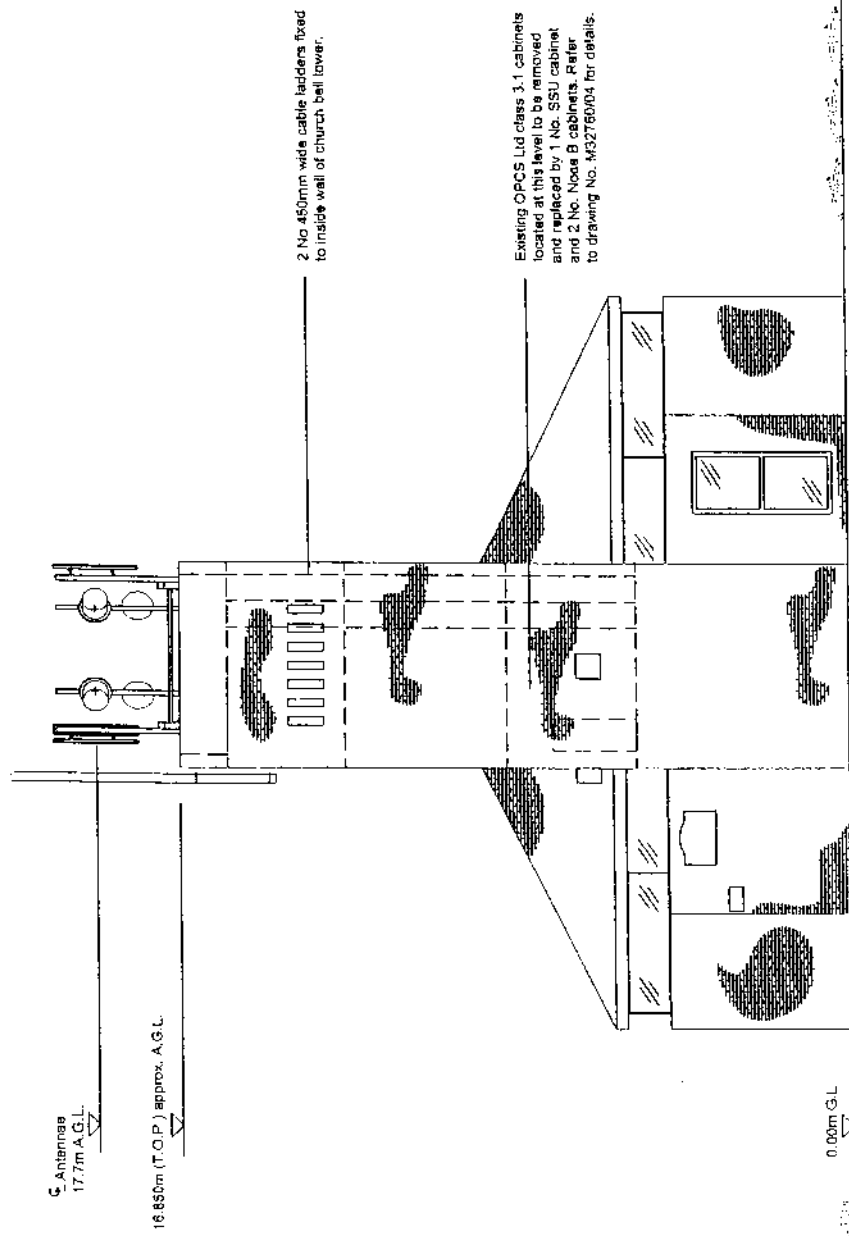
**SITE ADDRESS**  
 ST. ELIZABETHS PARISH CHURCH  
 ARNSIDE ROAD  
 HARRABY  
 CARLISLE. CA1 3QA

REV	DATE	NAME	REVISION	REV	DATE
				2001/08/06	

**CARLISLE SOUTH EAST 3**  
**BTS**  
**PLANNING DRAWING (9 OF 9)**  
**3G UPGRADE - TYPE 1A**

**ROSCOE CAPITA LIMITED**  
 Consulting Civil, Structural & Geotechnical Engineers.  
 Roscoe Name: 01151 488 121 | Sheffield office: 0114 278 2200  
 Fax: 01151 488 196 | Fax: 0114 278 2200  
 Email: info@roscoe.co.uk | Email: info@roscoe.co.uk  
 Website: www.roscoe.co.uk | Website: www.roscoe.co.uk  
 Roscoe Office: 01151 488 121 | Roscoe Office: 01151 488 121  
 Email: info@roscoe.co.uk | Email: info@roscoe.co.uk

SCALE	AS SHOWN	DATE	09/08/01	CHECKED BY	DPS
CONTRACT NO	M32760	DRAWING NO	10		




**PROPOSED SOUTH ELEVATION (1:125)**

**ORANGE PCS** **CUM 0016** **CARLISLE SOUTH EAST 3**



**GENERAL NOTES**

- 1. Do not scale any dimensions from this drawing
- 2. This drawing to be read in conjunction with RCL drawings M32783/01/02, 03, 04, 05, 06, 07, 08, 10 and standard Orange PCS drawings.
- 3. All dimensions in millimetres unless stated otherwise.
- 4. New installation to conform to HML lightning protection procedure MIPRO0002.



**Rowlinson**  
Rowlinson Construction (Communications) Ltd.  
London Office  
London Road Shop  
Haringey  
Middlesex  
UK  
Tel: 020 858 571 77  
Fax: 02082 859 790

**SITE ADDRESS**  
**ST. ELIZABETHS PARISH CHURCH**  
**ARNSIDE ROAD**  
**HARRABY**  
**CARLISLE. CA1 3QA**

REV	DATE	NAME	REVISION	CHKD	CHKD BY

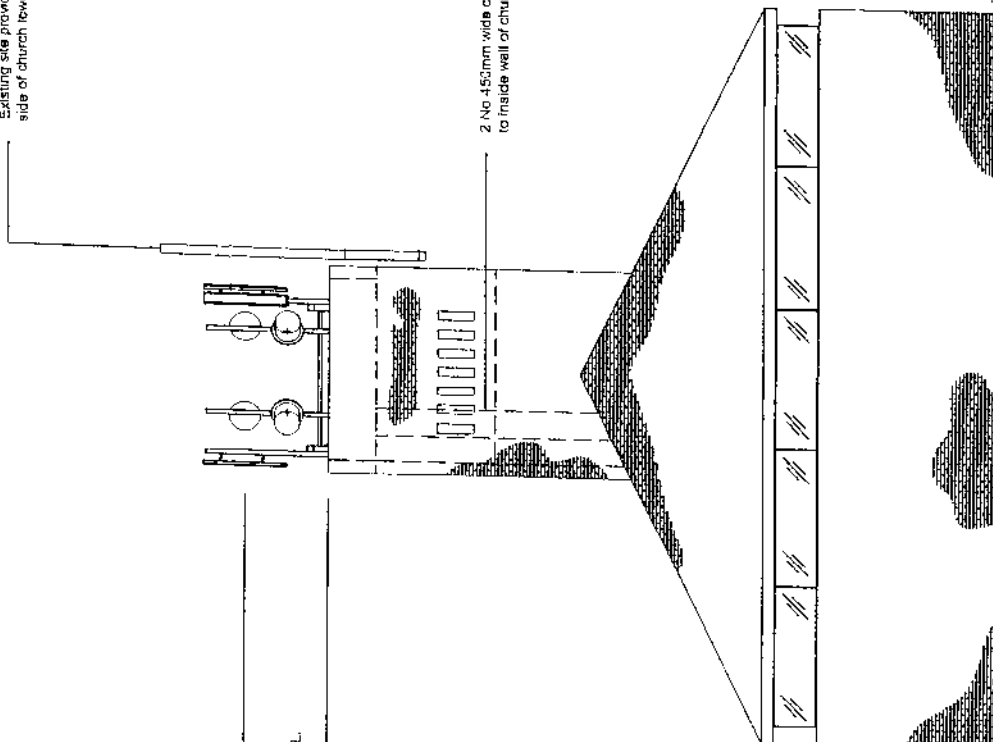
**CARLISLE SOUTH EAST 3**  
**BTS**  
**PLANNING DRAWING (8 OF 9)**  
**3G UPGRADE - TYPE 1A**

**ROSCEE CAPITA LIMITED**  
Consulting Civil, Structural & Geotechnical Engineers.  
Contract No: 3001/08/25  
Drawing No: 0044 (0115)-1737  
Project No: 3001/08/25  
Contract No: 3001/08/25  
Drawing No: 0044 (0115)-1737  
Project No: 3001/08/25  
Contract No: 3001/08/25  
Drawing No: 0044 (0115)-1737

DRAWN BY CHEADLE HULME	OFFICE DATE	DRAWN BY DPS	CHKD BY
AS SHOWN	09/08/11		

CONTRACT NO  
**M32780**  
DRAWING NO  
**09**

Existing site providers flag poles to be relocated onto side of church tower



Antennae  
17.7m A.G.L.

16.850m (T.O.P.) approx A.G.L.

0.00m G.L.

**PROPOSED NORTH ELEVATION (1:125)**

**ORANGE PCS**

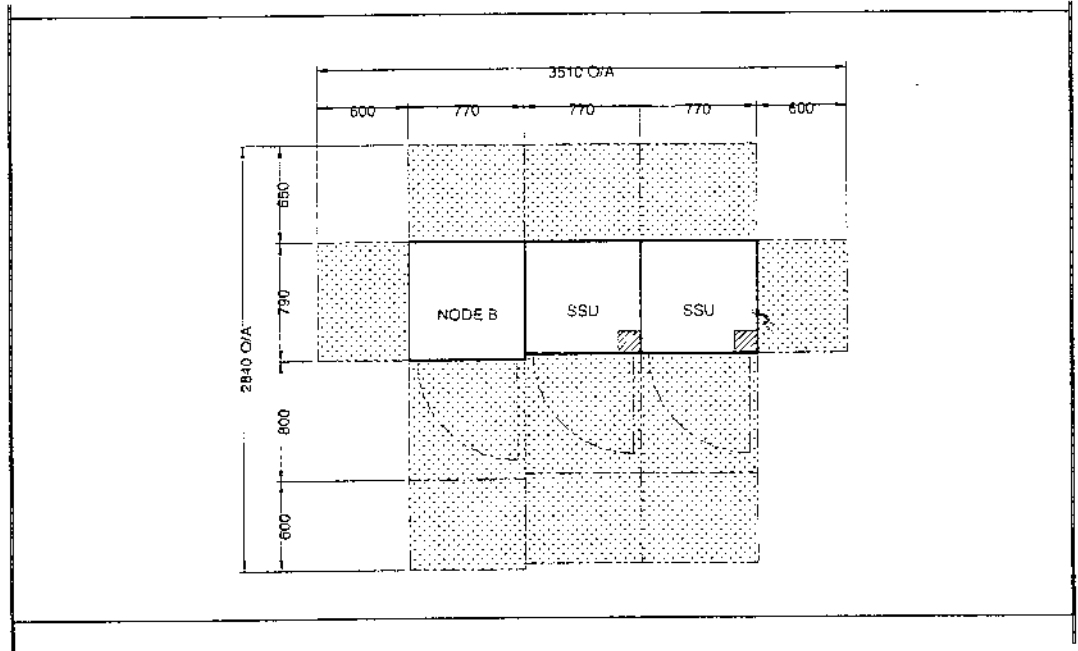
**CARLISLE SOUTH EAST 3**

**CUM 0016**

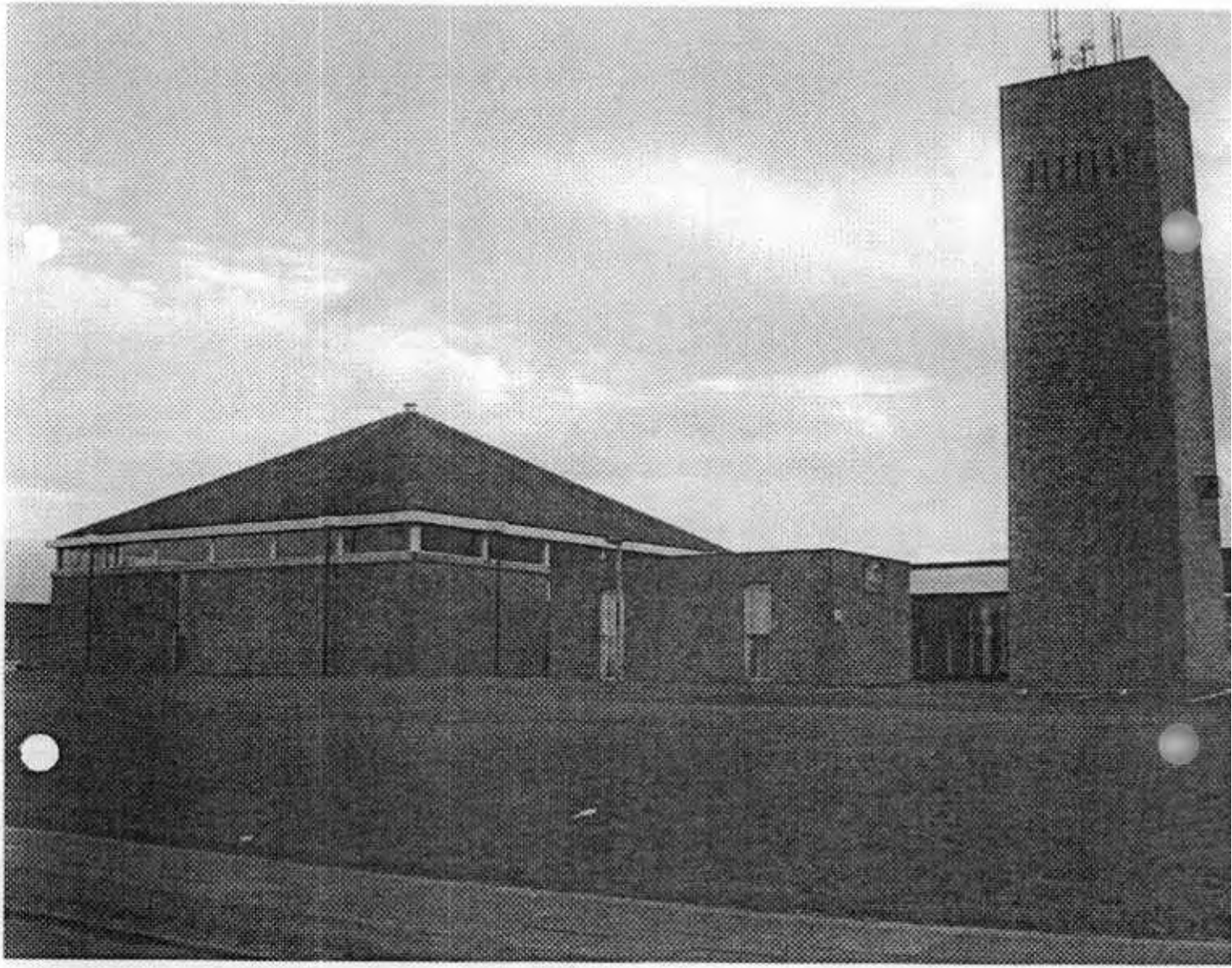
St Elizabeth's Church

Maraby.

01/0856

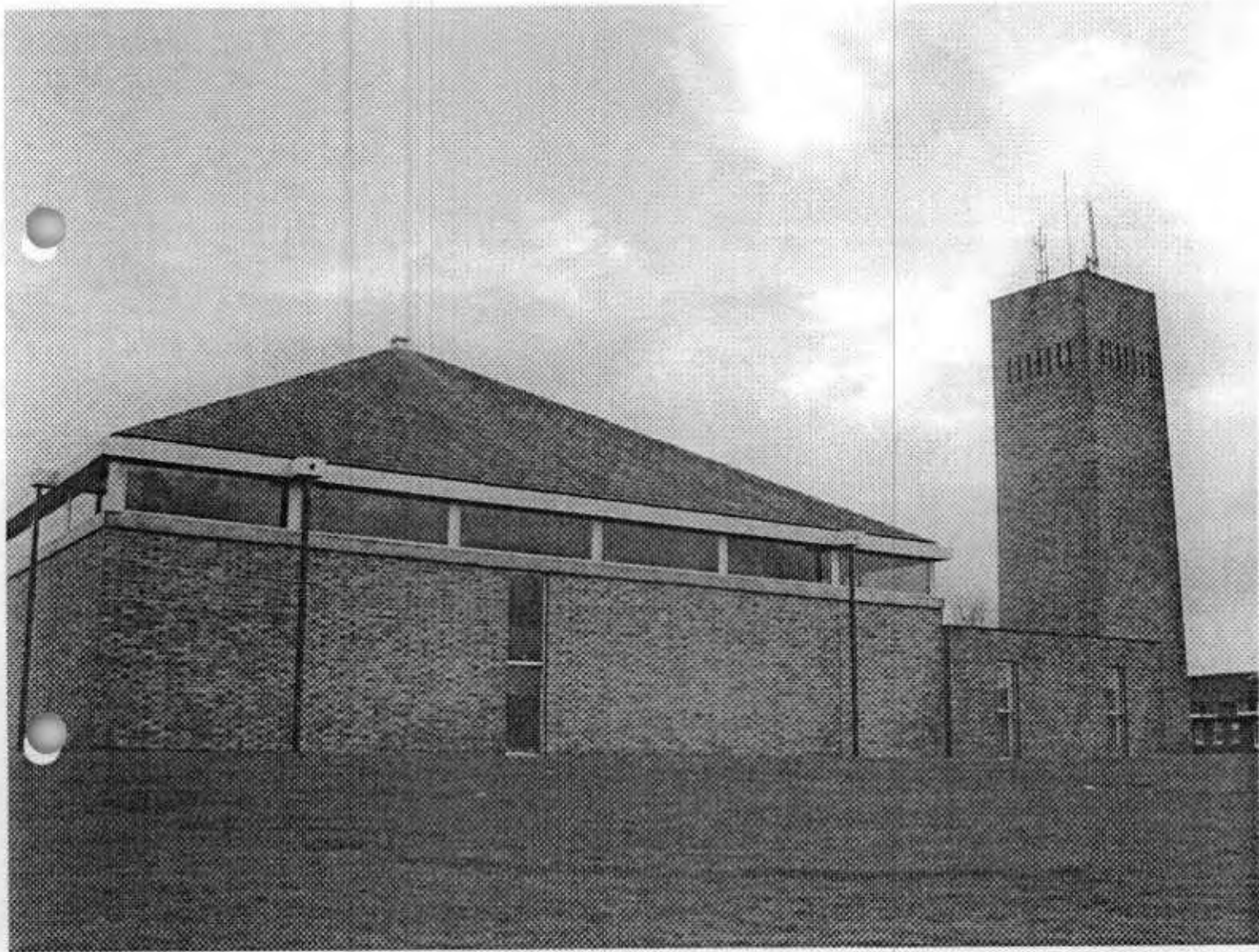


Each Alcove will be set out as above.



RECEIVED  
3 - DEC 2001

2001/0856

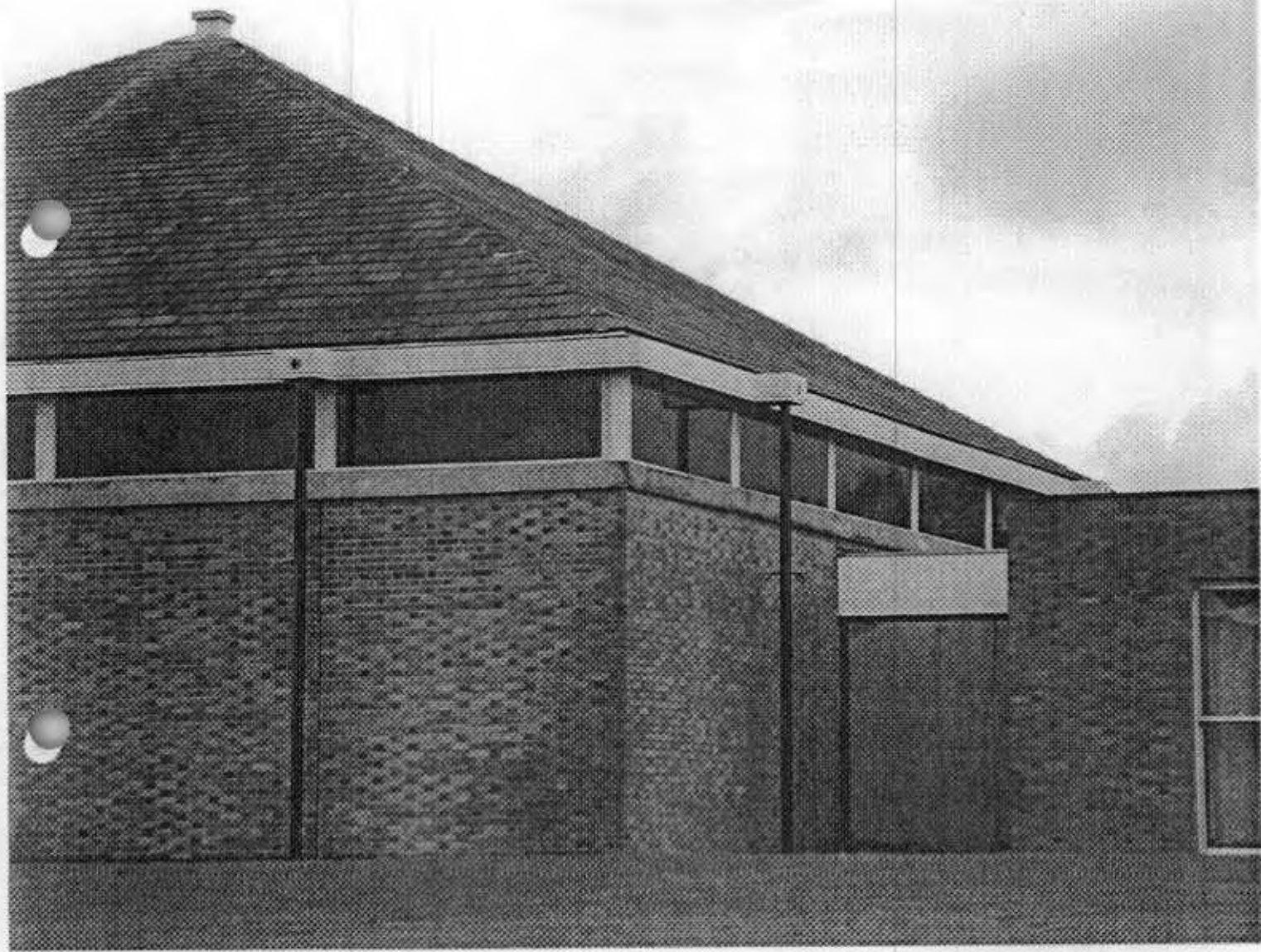


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3 - DEC 2001

2001/0856

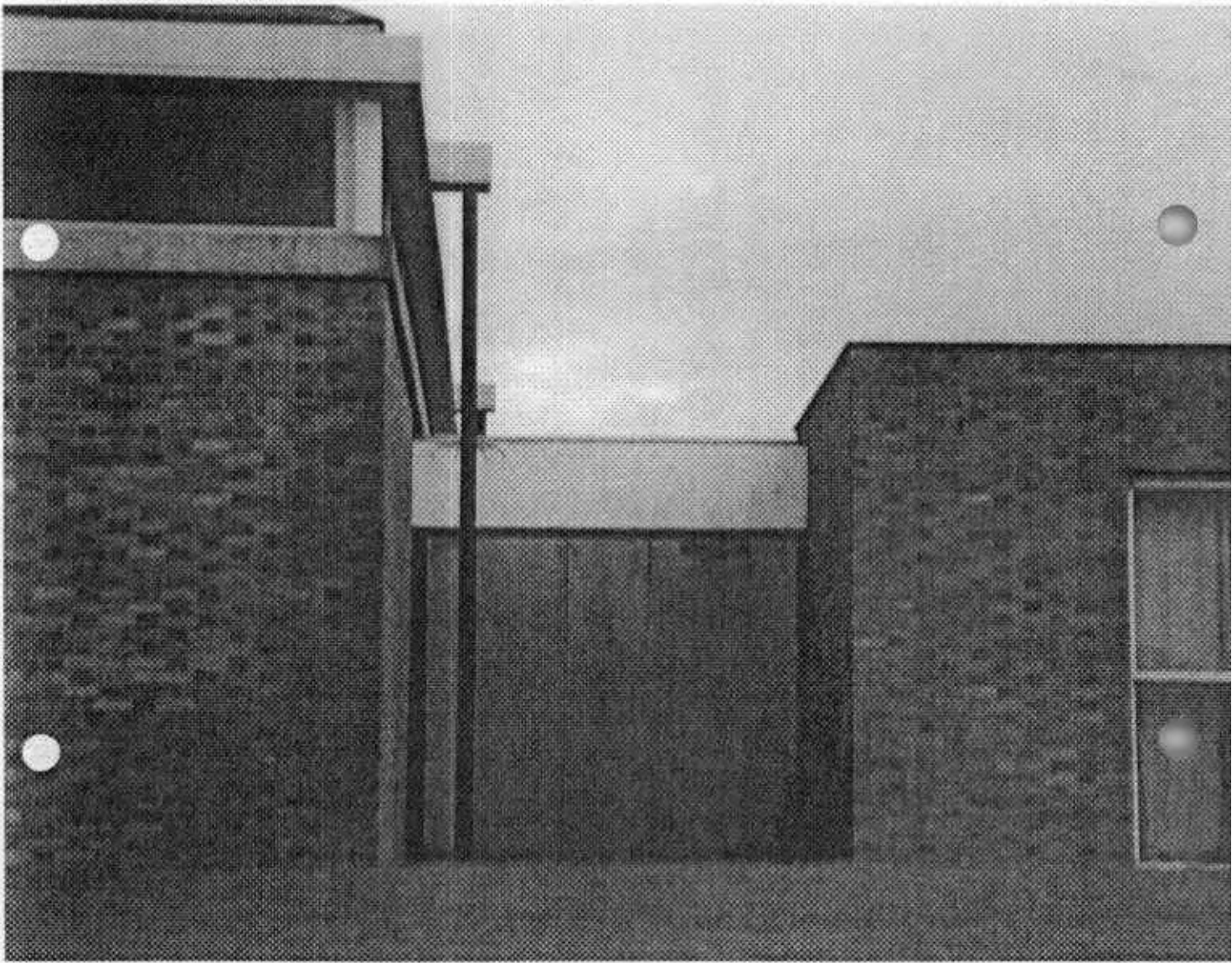


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3 - DEC 2001  
2001/0856



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3 - DEC 2001  
2001/0856





RECEIVED  
3 - DEC 2001

2001/0856

Direct Dial: 0161 831 6512  
E-Mail: s.rider@kingfisherestates.com

Our Ref: Cum0016/FPL/SCR  
Your Ref:

19 September 2001

Head of Planning  
Carlisle City Council  
Planning Division  
Civic Centre  
Carlisle  
CA3 8QG

**By Recorded Delivery**

Dear Sirs,

**Re: Orange Personal Communications Services Ltd  
Planning Application: Ground Based Telecommunications Equipment at the Existing  
Installation, St Elizabeth's Church, Arnside Road, Harraby, Carlisle, CA1 3QA**

We act on behalf of Orange Personal Communications Services Ltd (Orange). In this connection we are instructed to submit a planning application for the installation of ground based telecommunications equipment at St Elizabeth's Church.

We enclose the following:

1. 4 no. copies of the planning application form.
2. Certificate B under Article 7 of the Town & Country (General Development Procedure) Order 1995.
3. 4 copies of drawing no. M32760/01, 02, 03, 05 & 08 prepared by Roscoe Capita Limited
4. A cheque for the sum of £190.00 to cover the planning application fee.
5. Technical statement, as follows.

In support of the application, we submit the following information:

**1. Orange Personal communications Services Ltd**

Orange is a Code Systems Operator, which is licensed by the Government under Section 7 of the Telecommunications Act 1984, to provide a Personal Communications Network. In addition to this, in April 2000, Orange was granted one of five licenses to provide 3G services.

Orange are currently expanding and upgrading their network in order to provide Third Generation (3G) services. 3G is a development from the older GSM systems. Orange will be delivering a range of advanced multimedia and life services which include: high speed internet access; e-commerce services such as interactive home shopping, online booking and location-based information and entertainment services. In addition, mobile videoconferencing, and the ability to download movie clips, the latest soundtracks and sports highlights, direct to the consumer, whilst on the move. At present, much of the existing equipment is unable to support this new 3G system. Problems that may be encountered may include holes in cover, capacity hot-spots, and poor in-building cover. This calls for sites to be upgraded, such as the one proposed in this application, to obtain the coverage and capacity required.

Orange launched its network in 1994 and now has more than 8 million customers. Initially, the Orange customer base consisted of business users, but with the unprecedented increase in personal mobile phone ownership the network has become congested. In endeavouring to meet all reasonable demands

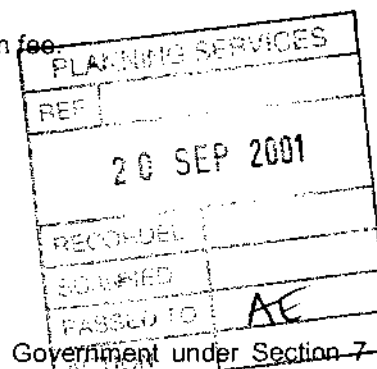


**Kingfisher Estates**  
International Commercial  
Property Consultants

Manchester Office:  
Cloister House Riverside  
New Bailey Street Manchester M3 5AG  
Telephone +44 (0)161 831 6500  
Facsimile +44 (0)161 831 6501  
Email manchester@kingfisherestates.com

Registered Office:  
3-4 Bower Terrace Tonbridge Road  
Maidstone Kent ME16 8RY

Other offices  
West Malling  
Edinburgh  
Gloucester  
Nottingham  
Durham




SIK & CSH

This proposal forms an integral part of the Orange Personal Communications Network (PCN), and will both improve the quality of coverage in Carlisle and increase the capacity of the network to meet future increased demand.

On behalf of Orange, we therefore request that consideration is given to the merits of the proposal which balance both technical and amenity considerations, and that planning permission is accordingly granted.

If you require any further information concerning this application, or would like to discuss it further, please contact Stuart Rider at this office.



Yours faithfully

**Kingfisher Estates Limited**

For and on behalf of Orange Personal Communications Services Limited

Enc.



for service under the terms of its licence, Orange is currently developing its network in Carlisle. The proposal at St Elizabeth's Church will form an integral part of the Orange network of Base Stations to provide Orange coverage in Cumbria.

## 2. **The Proposal**

The application proposes the following;

- The closing off of the two alcoves at either side of the main body of the church. They will be closed off with brick walls that will not only be an exact match of the existing brickwork, but will also have matching false-window to continue the existing external theme at the church. The alcoves, once closed off, will create enough space within which Orange proposes to install telecommunications equipment cabinets.

The Base Station will provide 'in building and road-level' coverage in the Harraby area, whilst also increasing the network's capacity within Carlisle.

## 3. **Background to the Proposal**

The location for the equipment has been chosen with regard to technical and environmental considerations. Guidance in the form of Planning Policy Guidance Note 8 (PPG.8) was considered in siting telecommunications equipment. Regard has been had to the sensitivity of the location in utilising the most discreet solution possible and, therefore, reducing the environmental and visual impact of the equipment. Previous, more visually intrusive proposals have been granted permission at this site but this is the solution that has appeased the PCC.

## 4. **Other Material Considerations**

### 4.1 **Planning Guidance Policy Guidance Note 8 - Telecommunications**

Specific guidance on the development of telecommunications installations is found in PPG.8. Many aspects of this guidance are relevant to this proposal. In particular, PPG.8 is supportive of modern telecommunications and acknowledges that they are an essential and beneficial element in the life of the local community and the national economy. The guidance further recognises the technical problems associated with telecommunications development and urges Local Authorities to respond positively to such development, having regard to these difficulties. The government's general policy on telecommunications, therefore, is to facilitate the growth of new and existing systems.

### 4.2 **Visual Considerations**

Consideration has been given to the siting of equipment from a visual perspective, in line with guidance contained in both PPG.8 and the UDP. By constructing what are effectively internal rooms that have walls and windows with a similar design to the existing, adequate space is achieved to accommodate Orange's requirement for additional telecommunications equipment.

### 4.3 **Economic Considerations**

Good communications are important both for the local and national economy. Where communications are good, business can be attracted to an area, which in turn increases employment opportunities. The communications network is also important for small businesses and for home workers.

In addition, good communications can assist in the progression of new forms of shopping and banking. Both the environment and the economy can thus benefit by reducing the need to travel and hence reducing vehicular emissions.

The economic aspects of telecommunications are acknowledged with the telecommunications guidance in the form of PPG.8. This proposal will assist in achieving these objectives.

In conclusion, we stress the importance of telecommunications and of Orange as one of the principal providers.



27 ARNSIDE ROAD  
HARRABY  
CARLISLE  
CUMBRIA  
CA1 3PS

PLANNING SERVICES	
REF	01/0856
25 OCT 2001 15	
RECORDED	CN
SCANNED	
PASSED TO	AE
ACTION	

Dear Sir;

I am writing to object to the proposed installation of ground based telecommunications equipment at St Elizabeth's Church, Harraby.

In the immediate vicinity of this building there are two of the biggest schools, Inglewood Infant school is home to approximately 310 pupils + staff and Inglewood Junior school there are approximately 540 pupils + staff. There are also many visitors to both these schools during the day and early evening.

The church hall is home to many activities and there for houses a large number of children, I feel that by going ahead with these plans we are putting these children at risk of things that we do not yet know about. In the reports that have been done on this subject there is a safe level of radio waves but do we really know what a safe level is. The Stewart report recommended that until further evidence was available, precautionary measures should be taken.

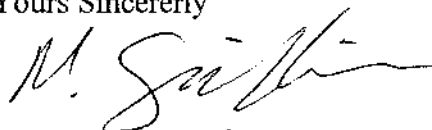
Advice is also given to the effect that mobile phones can cause increased brain activity and therefore should be used for emergencies only, and all calls be kept short. The exact words in the Stewart report, were that there are significant gaps in our scientific knowledge. As with all advances in technology there are indeed pluses and these are that children can feel safe knowing they can call for help, but should we really be encouraging these children to pick up a mobile phone instead of taking the healthy option and walking, (where possible) around to their friend's house at the same time keeping fit.

In the Stewart report it states that the scientific knowledge is difficult to gather due to the fact that children's brains are still changing and so is it right that we throw caution to the wind and wait for a number of years until the children are adults before we can assess the damage that we may have done to them, and to wait for them to possibly see the appropriate people.

I also feel that a church should not be disfigured especially by possibly harmful products, the bible states that we should not worry about where or what we have because God will provide, so why make a beautiful place into an ugly power point and encourage children to have even less respect for the building.

To put these masts in such a central place is surely encouraging children to use mobile phones and so in fact having the opposite effect to the Stewart report.

Yours Sincerely



M. GWILLIM -241-

27 ARNSIDE ROAD  
HARRABY  
CARLISLE  
CUMBRIA  
CA1 3PS

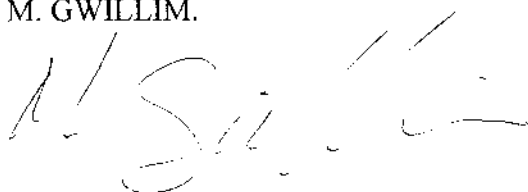
Dear Sir,

I am in receipt of your correspondence and am replying to say that I do wish my objections to be heard. I would first of all like to say that you stated that a site notice was posted in respect to the application to install telecommunication equipment at St Elizabeths church, well I am sure that this notice was posted inside the church therefore if you are not a church goer then the notice would not be seen thus attracting less objections.

Although permission has apparently already been given I still feel that by going ahead and building these constructions we are therefore putting many people and children at risk off what we do not jet know and what has not jet been proven either way to be harmful or unharmlful A church has always been a building off beauty,( infact many protected buildings are indeed church's) so why should we today in a society that does not respect what the church stands for encourage this, by turning the church building into an UGLY EYE SORE

DB  
I would indeed like to speak at the meeting to place my objections. Again I say it states in the bible that we should not worry about what we do or do not have as God will provide so why should rent from these constructions take preference to the well being off the community.

Yours truly,  
M. GWILLIM.



PLANNING FILES
01/0856
15/11/01
W
AE
ACT

copy to Steve  
Halestead

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 8

Date of Committee: 14/12/20

APPN REF NO: 01/0787 /                      APPLICANT: Dare (Northern) Ltd                      PARISH: Wetheral

DATE OF RECEIPT: 31/08/2001                      AGENT: Countryscape Planning                      WARD: Wetheral

LOCATION: Holme Eden Abbey, Warwick Bridge, Carlisle Cumbria                      GRID REF: 347184 557020

PROPOSAL: Refurbishment and sub-division of Holme Eden Abbey to form 12no. residential apartments (LBC)

### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E34

Applications for alterations or extensions to listed buildings must have regard to the scale, proportions, character and detailing of the existing building (both internally and externally) and of its windows and doorways. Any proposals which adversely affect the listed building will not be permitted.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E36

The change of use of a listed building will be permitted provided it would not have a detrimental effect on the special architectural and historical interest of the building and neighbouring properties.

##### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T3

Proposals for development which materially increase the traffic movement on the road network will need to be accompanied by a Traffic Impact Assessment. The City Council will usually require any road improvements or new highways, identified as being necessary by the assessment, to be funded by the developer. Such work should be consistent with the role and function of the highway. In the case of trunk roads all the costs will be borne by the developer and the scheme should be designed to be consistent with the Department of Environment, Transport and Regions' design horizon.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AGENCY: The Agency recommended refusal of the application as submitted (using the existing access road), on safety grounds. The Agency is concerned about safety at the access due to its proximity to the bridge. It is understood

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0787 /

that the Agency are also opposed to the amended scheme with the mini-roundabout. Observations on the latest amended scheme are awaited.

ARCHAEOLOGY: No comments.

CUMBRIA COUNTY COUNCIL (STRATEGIC PLANNING): Observations awaited.

ENGLISH HERITAGE: English Heritage are broadly supportive of the proposal but have highlighted the need to retain the important internal features. They support the replacement of the metal courtyard staircase but query the choice of a pastiche approach.

!!  
FRIENDS OF THE LAKE DISTRICT: No objections.

WETHERAL PARISH COUNCIL: The Parish Council consider the proposal to be suitable and have no objections. For observations on the highway aspect see application 01/0869.

HAYTON PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: The Agency comment that the site is in a low to medium flood risk area. A condition is recommended regarding electrical wiring on the ground floor.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of site and press notices, and neighbour notification. Four letters have been received. None of these object to the principle of the development. One raises the issue of the building being a calendar house. The others refer to the issue of the access, primarily with reference to the walled garden application.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The building was a nunnery until 1983 when planning permission was granted for its use as a retired persons home. Since then six listed building consent applications for minor alterations to the building have been approved.

#### DETAILS OF PROPOSAL

This application, for listed building consent is for some proposal as application 01/0788 which precedes it in the schedule.

### RECOMMENDATION:-

The Director will report on the latest position regarding the application, with particular reference to the response to the amended highway arrangements.

Rec. AP



## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 9

Date of Committee: 14/12/20

APPN REF NO: 01/0788 /  
APPLICANT: Dare (Northern) Ltd  
PARISH: Wetheral

DATE OF RECEIPT: 31/08/2001  
AGENT: Countryside Planning  
WARD: Wetheral

LOCATION: Holme Eden Abbey, Warwick Bridge, Carlisle Cumbria  
GRID REF: 347184 557020

PROPOSAL: Refurbishment and adaptation of Holme Eden Abbey to form  
12no. residential apartments

---

### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E34

Applications for alterations or extensions to listed buildings must have regard to the scale, proportions, character and detailing of the existing building (both internally and externally) and of its windows and doorways. Any proposals which adversely affect the listed building will not be permitted.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E36

The change of use of a listed building will be permitted provided it would not have a detrimental effect on the special architectural and historical interest of the building and neighbouring properties.

##### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T3

Proposals for development which materially increase the traffic movement on the road network will need to be accompanied by a Traffic Impact Assessment. The City Council will usually require any road improvements or new highways, identified as being necessary by the assessment, to be funded by the developer. Such work should be consistent with the role and function of the highway. In the case of trunk roads all the costs will be borne by the developer and the scheme should be designed to be consistent with the Department of Environment, Transport and Regions' design horizon.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AGENCY: The Agency recommended refusal of the application as submitted (using the existing access road) on safety grounds. The Agency is concerned about safety at the access due to its proximity to the bridge. It is understood

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0788 /

that the Agency area also opposed to the amended scheme with the mini-roundabout. Observations on the latest amended scheme are awaited.

ARCHAEOLOGY: No comments.

ENGLISH HERITAGE: English Heritage are broadly supportive of the proposal but have highlighted the need to retain the important internal features. They support the replacement of the metal courtyard staircases but query the choice of a pastiche approach.

FRIENDS OF THE LAKE DISTRICT: No objections.

WETHERAL PARISH COUNCIL: The Parish Council consider the proposal to be suitable and have no objections. For observations on the highway aspect see application 01/0869.

HAYTON PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: The Agency comment that the site is in a low to medium flood risk area. A condition is recommended regarding electrical wiring on the ground floor.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of site and press notices, and neighbour notification. Four letters have been received. None of these object to the principle of the development. One raises the issue of the building being a calendar house. The others refer to the issue of the access, primarily with reference to the walled garden application.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The building was a nunnery until 1983 when planning permission was granted for its use as a retired persons home. Since then six listed building consent applications for minor alterations to the building have been approved.

#### DETAILS OF PROPOSAL

This application, and the listed building consent application which follows in the Schedule, relate to Holme Eden Abbey, at Warwick Bridge. This grade II\* listed building is located on the north side of the A69 on the east bank of the River Eden. It is set back from the main road, and is approached by a curved driveway through a parkland setting. The building was erected in 1837 as a house for Peter Dixon who owned the mill at Warwick Bridge. In 1921, it became a nunnery and more recently has been used as a residential care home. It has been empty for about four years, apart from the owners flat.

The Abbey is an impressive sandstone building. The two applications propose the conversion of the building to form 12

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0788 /

residential apartments, together with communal space for residents and ancillary facilities. The conversion is achieved within the existing structure, as follows:

- i. the impressive vaulted entrance hall is retained as an entrance for all 12 apartments. From here a gallery leads to the main central stairway; this leads to the apartments on the first and second floor, while those on the ground floor are linked to those on the lower ground floor and are accessed from there, apart from a single access to the largest unit on the ground floor only.
- ii. the first floor is converted into five two bedroom and one single bedroom apartment. Almost entirely, the alterations proposed are to the stud partitions erected when the building was converted to a residential care home.
- iii. the tower room over the entrance is to be incorporated into one of the first floor units, while the existing owner's flat is proposed to be sub-divided into two 1 bedroom flats.
- iv. the lower ground and ground floors are to be converted into 2no. three bedroom and 1no. two bedroom maisonettes on both floors, with a single large unit on the remainder of the ground floor in the former staterooms.

The proposals also include the conversion of other rooms on the lower ground floor to communal storage spaces and a gym. In terms of external alterations, the proposal will involve the provision of a limited number of windows which are the reinstatement of original windows. Apart from this the most significant alterations are the replacement of the two existing steel fire escape stairways with the courtyard by circular staircases within tower-like extensions.

The proposals also include the restoration of the grounds of the Abbey. This includes the replacement of the existing fence bordering the drive by metal railings, the reinstatement of a drive which branches off the main access to the houses and passes around its southern elevation, leading to a parking area. This drive then leads to the walled garden and emerges onto the A69 at Holme Eden Cottages. Further residents parking is proposed in the courtyard in front of the western elevation at the end of the main access drive. It is also proposed to restore the principal elements of the landscape setting of the building, including the areas of woodland and avenues of trees and a pathway along an embankment leading to Cairnbeck.

The proposal raises a number of significant issues. Firstly, its status as a grade II\* listed building consent indicates the importance of this building. Guidance in PPG15 and Policy E36 of the District Plan demonstrate that proposals such as this for the re-use of listed buildings should be approached

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0788 /

positively. In this particular case, the building was originally designed as a house and was used as such for almost a hundred years. Although it has been used as a nunnery and a residential care home in the meantime, residential use is clearly appropriate, and sub-division into smaller units is considered acceptable. The building has a number of impressive and significant internal features, and the conversion proposed retains and respects these. The one significant external alteration is the replacement of the existing metal fire escapes by circular staircase enclosed in an extension. Although described as "pastiche" by English Heritage, Officers have carefully considered this point and have concluded that this is the most appropriate treatment. Overall, Officers are satisfied that this scheme is both an appropriate use for the building and is acceptable in terms of its details.

The second principal issue is the future of the landscaped grounds. Although the principal features can still be identified as dating back to the period of the building's construction, this has fallen into disrepair, and become overgrown in recent years. The proposals submitted indicate broadly how these features could be restored, and this is considered acceptable. It would however be necessary to submit further details, together with a plan, to ensure future management.

Finally there is the issue of the access to the site from the A69. The existing access is located to the east of the bridge over the River Eden. When first submitted, it was proposed that this be used for both inward and outward traffic. When the application for the development in the walled garden (see application 01/0869) was submitted, this was amended so that inward traffic only would use the existing access, with traffic leaving the premises exiting by going past the walled garden and emerging onto a mini-roundabout at the junction with Little Corby Road. This aspect of the proposal has been the subject of most of the comments received on the application. Following consultations with the Highways Agency, who are opposed to the mini-roundabout, the proposal has now been further amended, so that traffic would enter the site at the Little Corby Road junction (without a mini-roundabout) and exit via the existing entrance next to the River Eden bridge. Reconsultation has taken place on the basis of this amended scheme, and the result of this will be reported at the meeting.

It will be noted that the Highways Agency had objected to the original proposal, using the existing access. At the time of writing, it remains to be seen what the response to the amended scheme will be, both from the Highways Agency and the Parish Councils and third parties, but Officers take the view that this is an important building which needs to be used if it is not to deteriorate and possibly fall into disrepair. This proposal is acceptable, both in terms of its use and its details, and it is only the highways issue which remains to be resolved. Officers will report the latest position at the meeting.

## SCHEDULE B: Reports Requiring Further Information

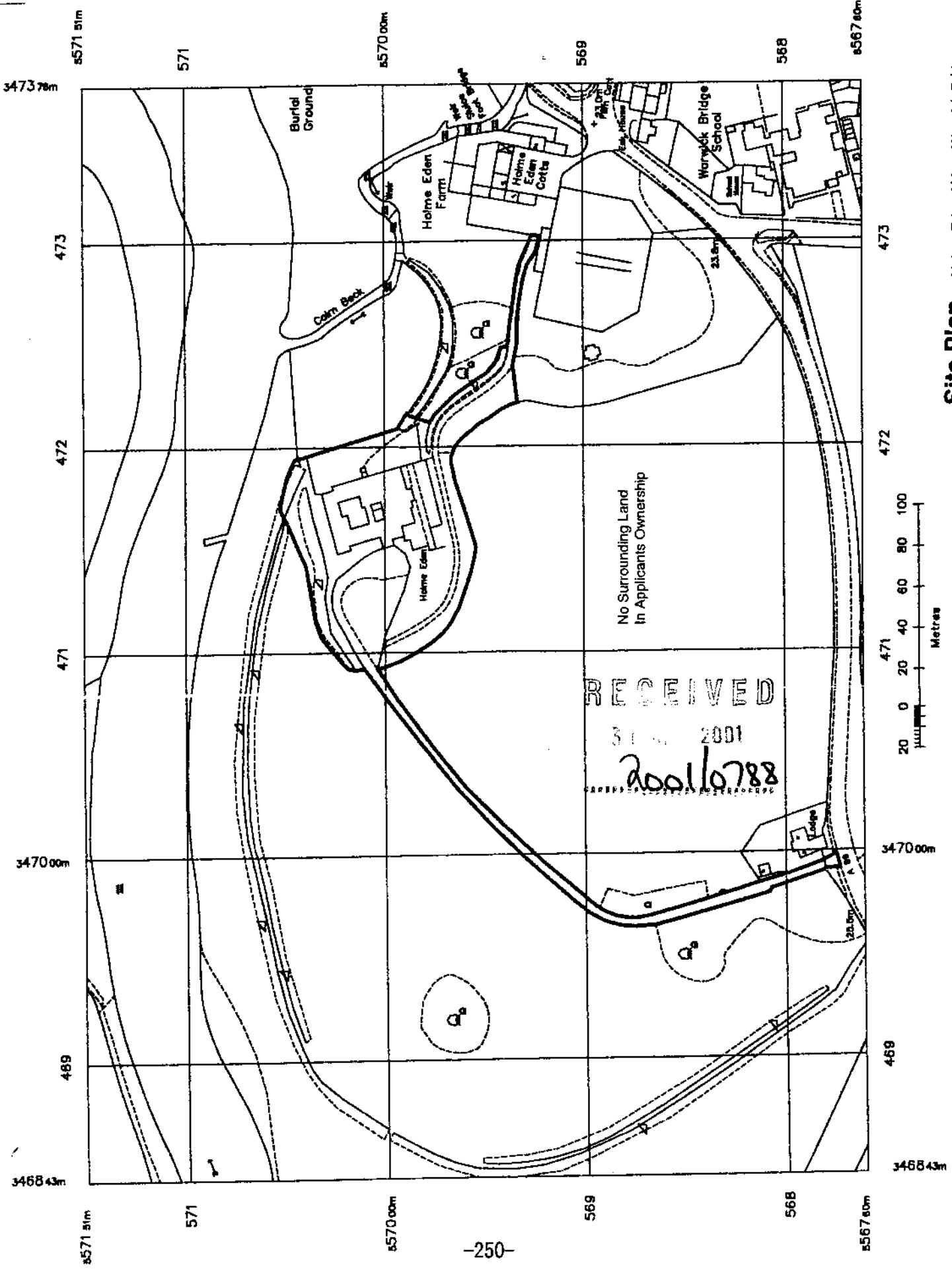
Schedule continued for 01/0788 /

### RECOMMENDATION:-

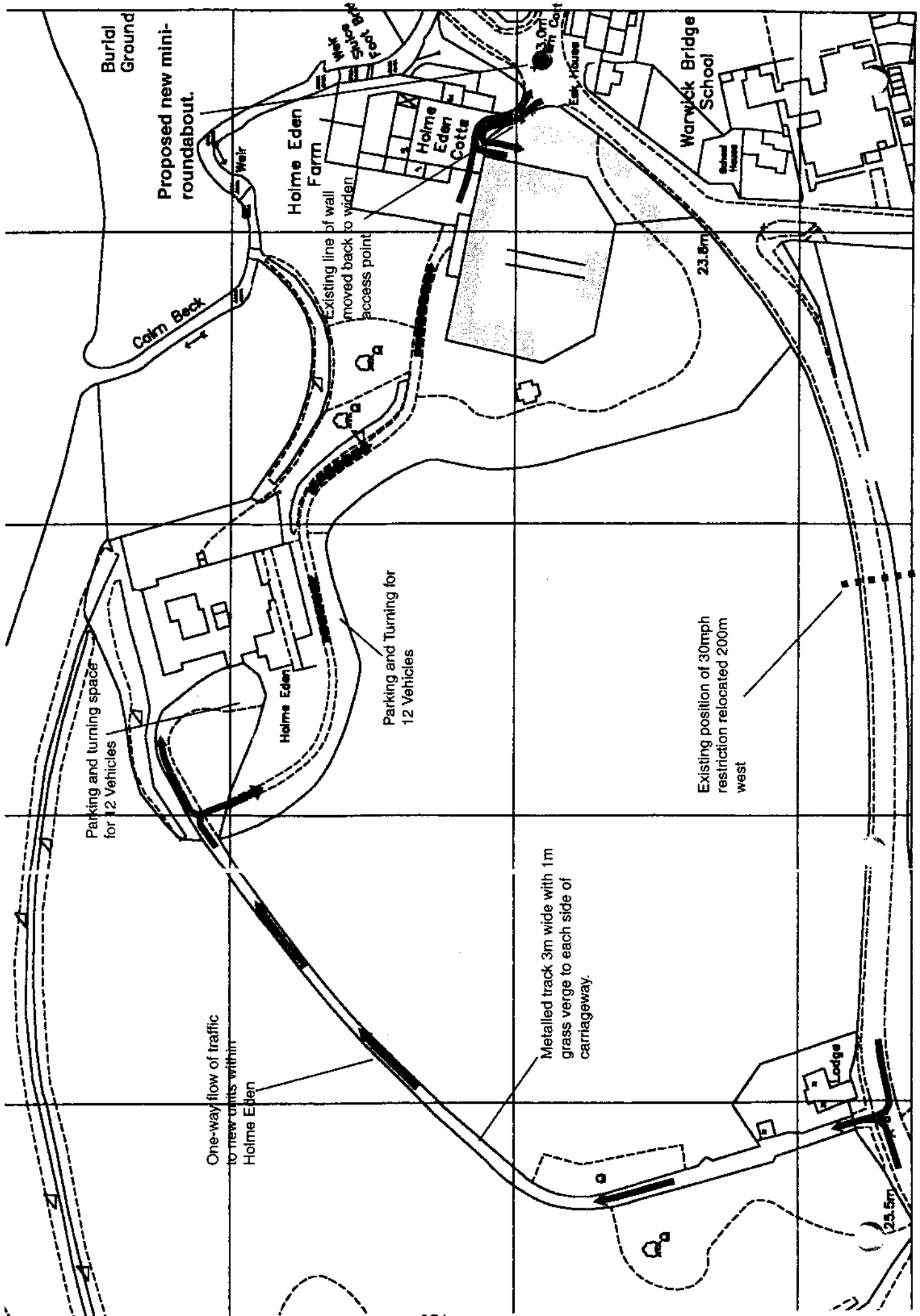
The Director will report on the latest position with regard to the application, with particular reference to the response to the amended highway arrangements.

Specific ? moved A??  
Suff Part 318 Sec 200  
Pages 26-31 + un-numbered

App with to Issue.  
clarify what



**Site Plan** Holme Eden Abbey, Warwick Bridge. Scale 1:2500



Burial Ground

Proposed new mini-roundabout.

Calm Beck

Holme Eden Farm

Holme Eden Cottage

Warywick Bridge School

Existing line of wall moved back to widen access point

Existing position of 30mph restriction relocated 200m west

Parking and turning space for 12 Vehicles

Parking and Turning for 12 Vehicles

Holme Eden

Metalled track 3m wide with 1m grass verge to each side of carriageway.

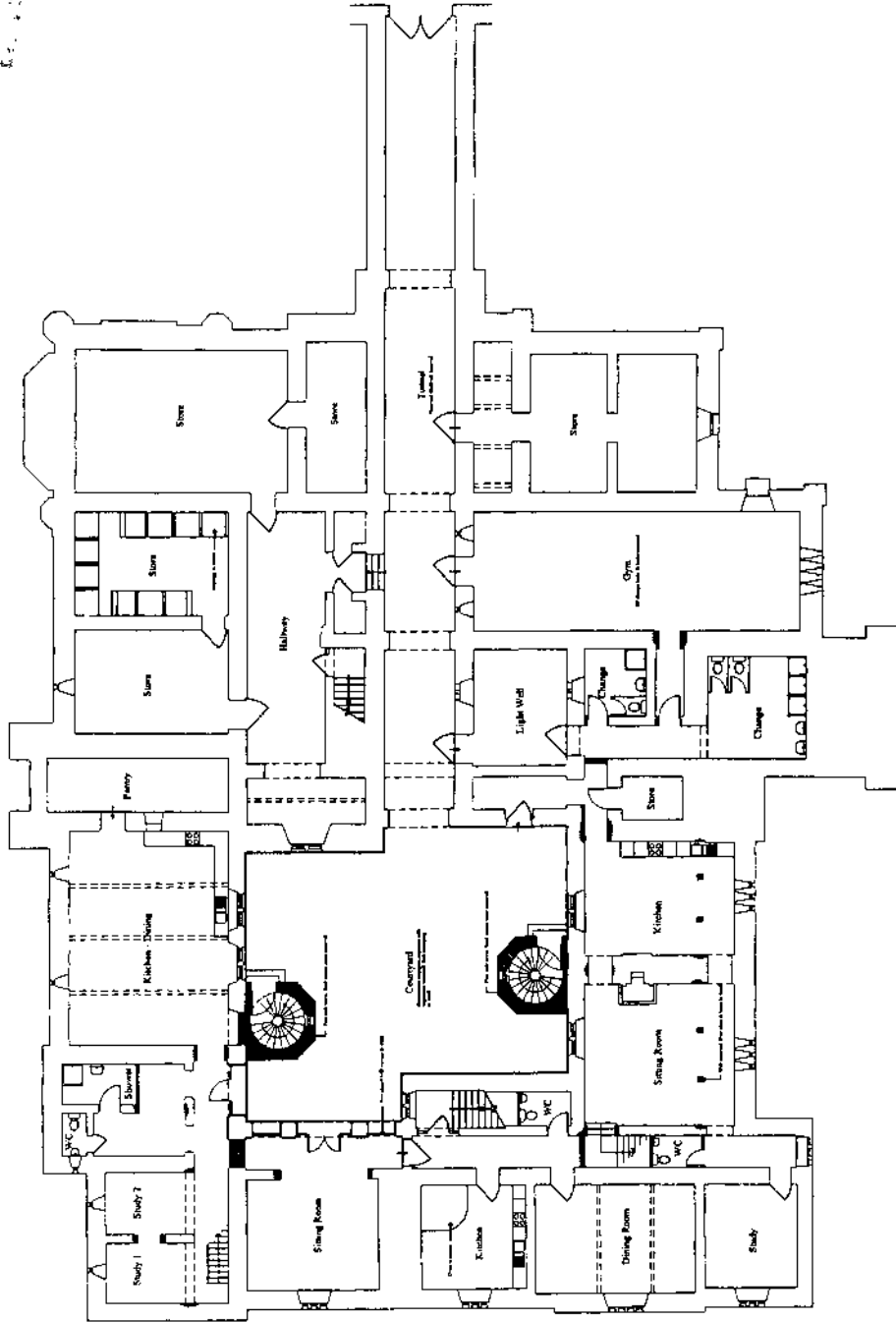
One-way flow of traffic to new units within Holme Eden

Lodge

23.5m



Architects  
R. B. ...



# HOLME EDEN

WARWICK BRIDGE, CUMBERIA CA1 1RD  
LOWER GROUND FLOOR PLAN AS PROPOSED  
1:100

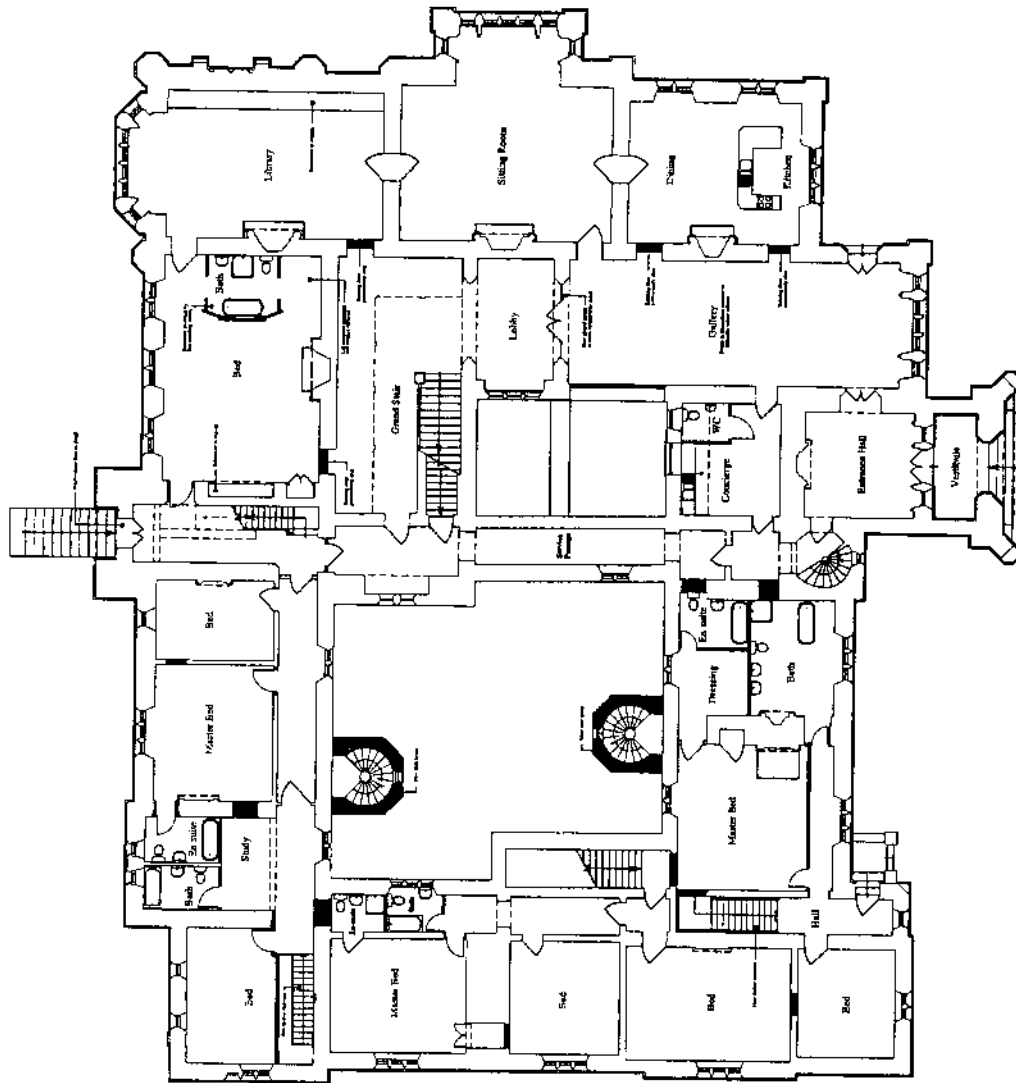
Ben Sharp Architects, 1 Springfield Place, Bath BA1 1PA

This drawing is a proposed plan. It is not to be used for the construction of any building without the approval of the local planning authority.





Architects  
03 23 23 23



# HOLME EDEN

WARWICK BRIDGE, CUMBRIA CA1 3ED

GROUND FLOOR PLAN AS PROPOSED

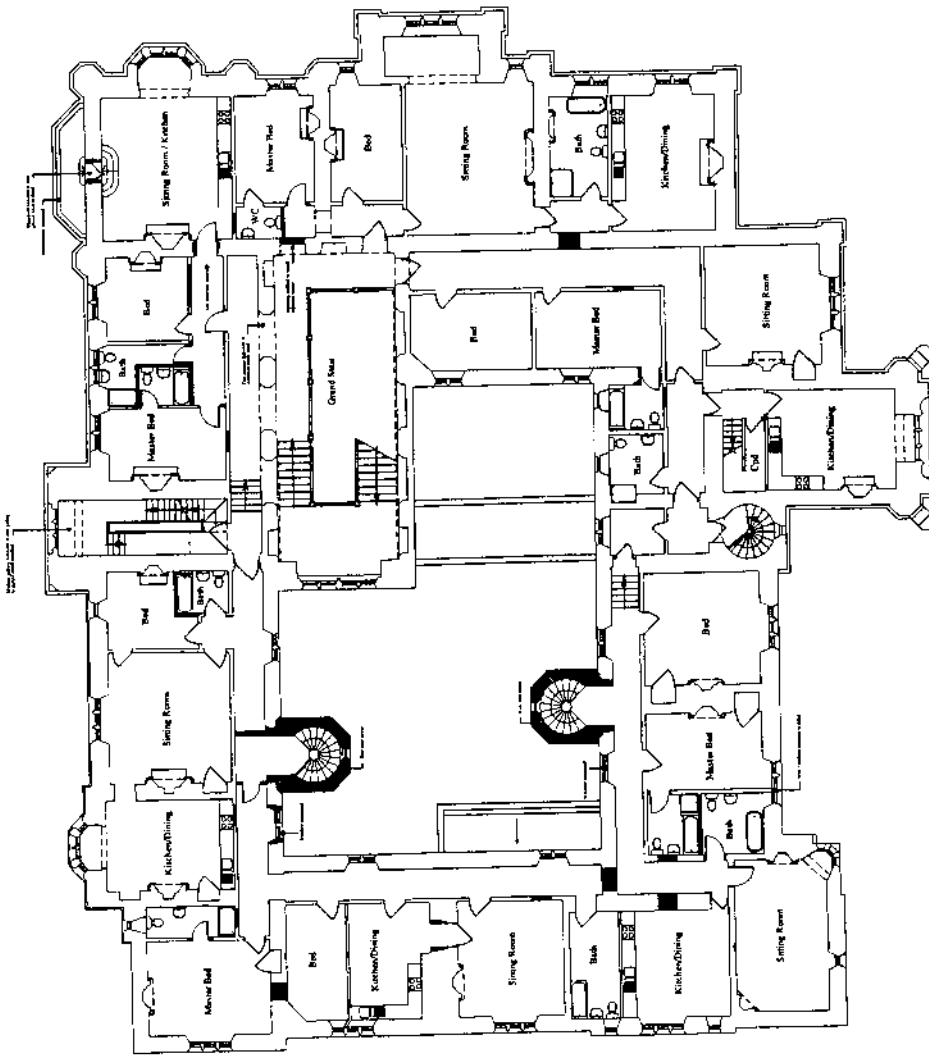
1/100

See Sherry Architects, 15 Springfield Lane, Bath BA1 3NA.

Architect: Sherry Architects



18/11/2009  
R. J. ...



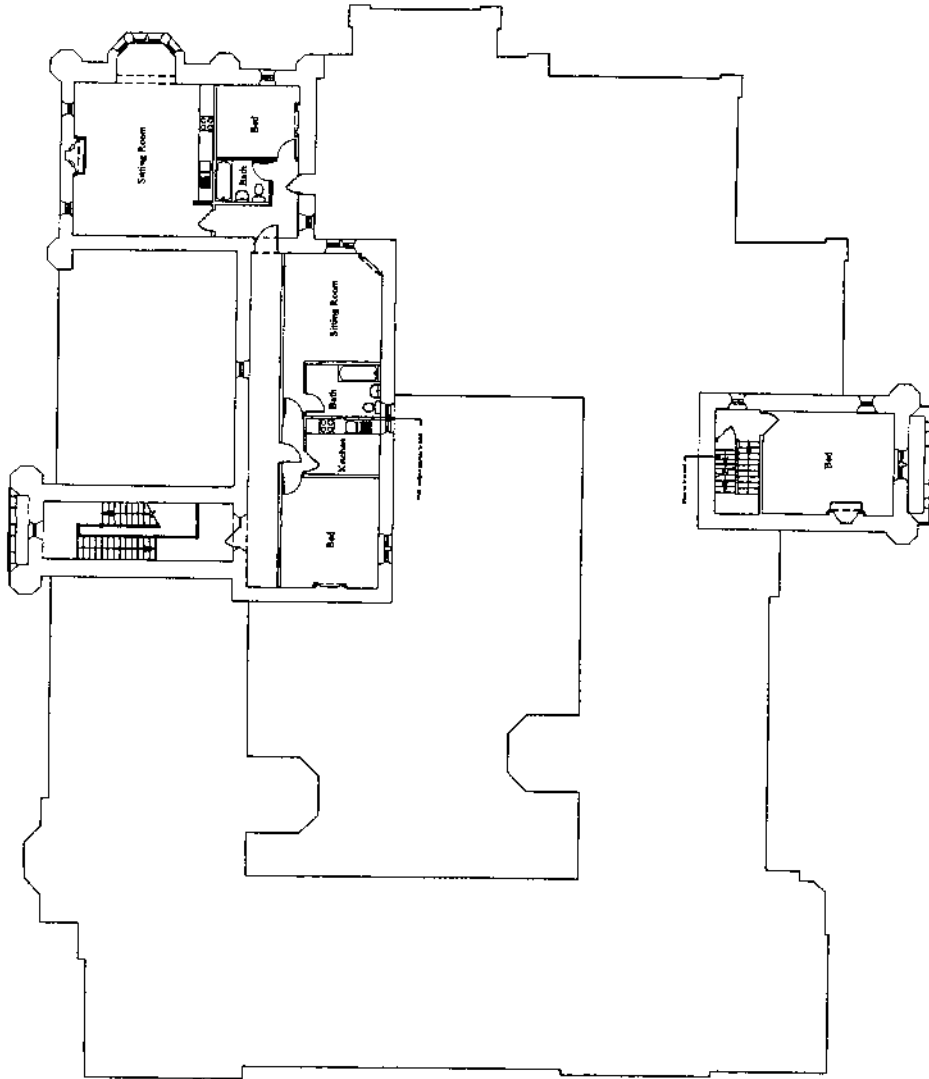
# HOLME EDEN

WARWICK BRIDGE, CUMBRIA CA1 8RD  
FIRST FLOOR PLAN AS PROPOSED  
1:100  
Floor Slugs Architects, 8 Springfield Park, Bath BA1 1TA

Architect: R. J. ...



Architects  
E. J. ... 35



# HOLME EDEN

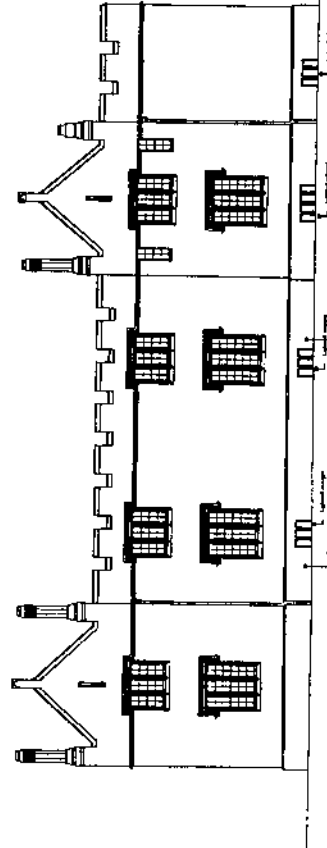
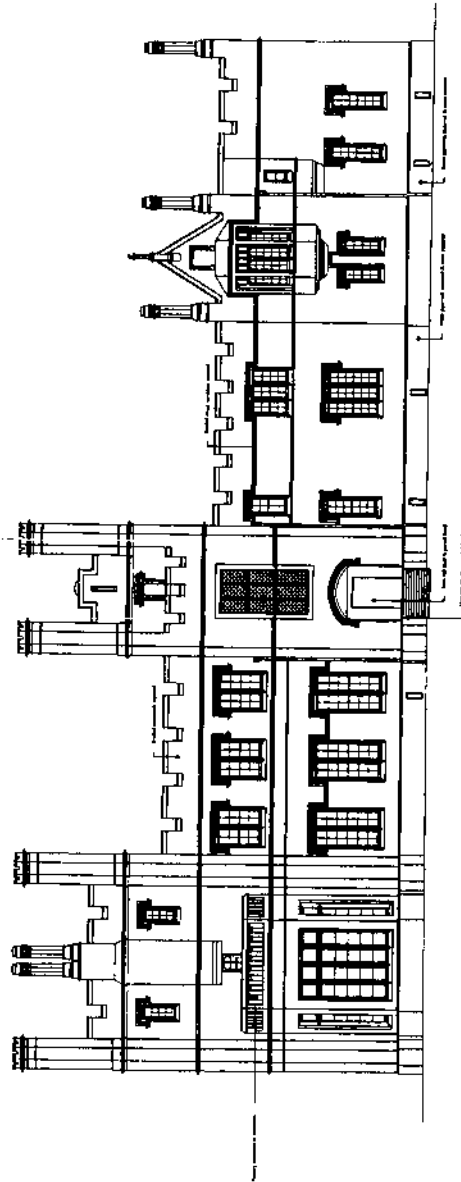
WARWICK BRIDGE, CUMBERIA CA 18RD

SECOND FLOOR PLAN AS PROPOSED

1:100

Architects: Architects 1 Springfield Place, Bath BA 1 1SA

Architects 1 Springfield Place



# WEST VIRGINIA BUILDING

WALTER S. BISHOP, ARCHITECT

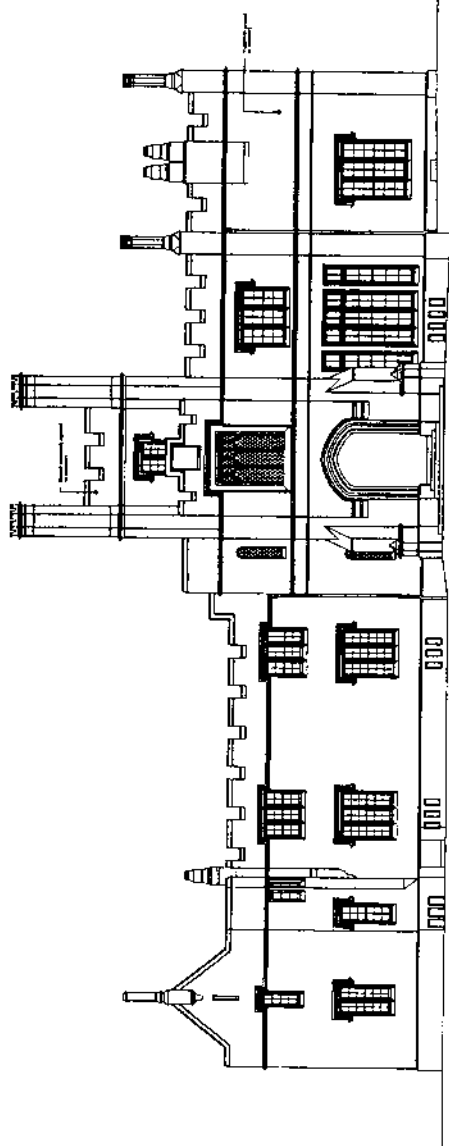
WEST VIRGINIA STATE CAPITOL BUILDING

1912

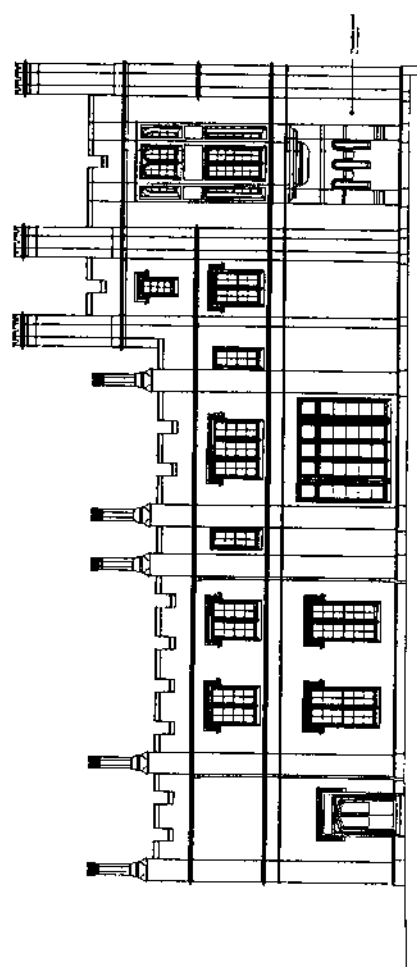
THE UNIVERSITY OF WEST VIRGINIA

RECEIVED

APR 16 1913



SECTION OF THE BUILDING



SECTION OF THE BUILDING

# SOUTHERN BELL

WATKINS BROS., ARCHITECTS, ATLANTA, GA. 30303

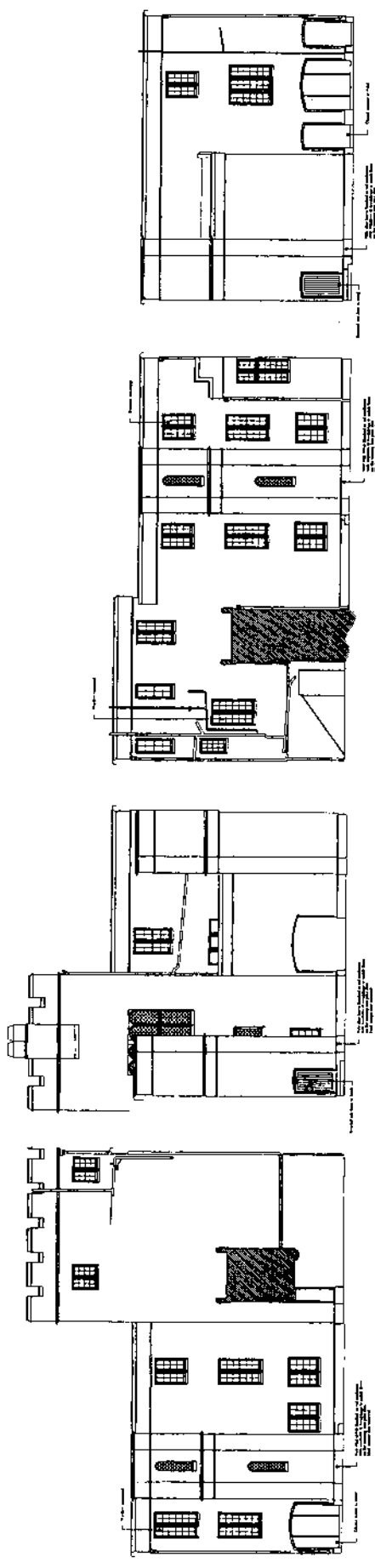
SOUTHERN BELL BUILDING, ATLANTA, GA.

1930

From Skyscraper Architectural Digest, 1930, p. 124

REPRODUCED BY  
ARCHITECTURAL RECORD

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NORTH WALL ELEVATION

EAST WALL ELEVATION

SOUTH WALL ELEVATION

WEST WALL ELEVATION

# HOLME EDEN

WARWICK BRIDGE, CUMBRIA, CA 4 6RD  
COURTYARD ELEVATIONS AS PROPOSED  
1:100  
Rosa Sharp Architects, 3 Springfield Place, Bath BA1 1NA

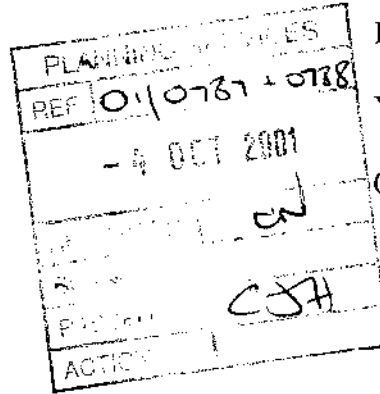
REVISIONS  
02/01/18



# ENGLISH HERITAGE

NORTH WEST REGION

Mr J.Hamer  
Planning Services  
Carlisle City Council  
Civic Centre  
**CARLISLE**  
CA3 8QG



Direct Dial: 0161 242 1413  
Your Ref: 01/0787 and 0788  
Our Ref: CU/35768 and 35769  
03 October 2001

Dear Mr Hamer

## **HOLME EDEN ABBEY, WARWICK BRIDGE**

Thank you for your letter of 7 September 2001, regarding the listed building consent and planning applications for residential conversion at the above Grade II\* listed building. I have arranged to visit the site on 24 October with Richard McCoy, to familiarise myself with the site in order to fully consider the impact of the current proposals on the special interest of this important historic building.

Your authority should aim to be satisfied that this proposal represents the optimum viable use for the building, according to the advice within PPG15 (see paragraphs 3.8 to 3.9). I note that the applicants have consulted Richard McCoy and that their proposals have endeavoured to avoid internal subdivision and to respect the integrity of the building's interior. I welcome this approach, but without seeing the interiors it is difficult to offer full advice. I am aware that the building may have suffered from inappropriate changes in its previous use as a residential institution and the careful removal of these insertions will be important.

Your authority should carefully consider the impact of the requirements of the Building Regulations, including thermal insulation, and other issues such as disabled access, prior to determining the applications. Paragraphs 3.26 - 3.28 of the PPG gives some advice on this. Also, the insertion of new services such as plumbing, mechanical ventilation, individual heating systems and television aerials needs to be carefully considered, to minimise damage to the character and fabric of the building. The current plans provide no information on these matters; you will need to seek full details. Provided that an appropriate approach is agreed, the details could perhaps be agreed by the use of conditions.

I support the removal of the metal staircases with less intrusive arrangements, but I would query the choice of a pastiche approach as this risks confusing the historical development and architecture of the building and a simple, more contemporary approach may be preferable.

I very much welcome the applicant's proposals to restore the historic landscape for Holme Eden. I look forward to seeing this at the site visit. Your authority will be able to

*The National Monuments Record is the public archive of English Heritage*

agree the details of the landscape works by condition, but you may like to consider the use of a Section 106 agreement to secure this part of the project.

I hope that this letter provides interim advice. I will write again following the site visit on 24 October, but please contact me if you would like to discuss this in the meantime.

May I also remind you of the need to refer the listed building consent application to the Secretary of State, if your authority is minded to approve the proposals. Please send copies of all drawings, with correspondence, a list of proposed conditions, draft section 106 agreement and an explanation of why you are minded to grant consent.

Yours sincerely

A handwritten signature in black ink, appearing to read "Marion Barter". The signature is fluid and cursive, with a large initial "M" and a long, sweeping underline.

**Marion Barter**  
**Historic Buildings Inspector**



Mr Alan Taylor  
Planning Services  
Carlisle City Council

01/0787  
869/870  
②  
04 OCT 2001  
ON  
FMT/JH

Mr Terry Jones  
1 Holme Eden Farm Cottages  
Warwick Bridge  
Carlisle CA4 8RQ

3 October 2001-10-03



Dear Sir

I am writing as a resident of Holme Eden Farm Cottages in Warwick Bridge in relation to the planning applications by DARE Northern (Development and Regeneration Excellence) for developments in the immediate vicinity of my property. I wish to raise a number of objections to the proposals.

For purposes of clarification, I am aware that there are currently two separate planning applications.

The first of these for the development of twelve residences affects, principally, the Abbey building itself and entails the development of the access road to the Abbey building which runs alongside the lodge immediately after the Bridge at Warwick Bridge. On that application, the proposed developments do not infringe on my property and I have no objections to raise.

The second planning application submitted by DARE relates to developments of the walled garden site which is adjacent to the courtyard at Holme Eden (the site of five residences, including my property: address above). It is in relation to this proposal that I wish to raise the following objections. I wish to preface these objections by pointing out that I have a legal entitlement to be informed by post of planning applications: to date, that has not happened.

1. The proposed one way road from the Abbey building into the courtyard would infringe directly on to my property (specifically in relation to the garden at the rear of my property) because the width of access is insufficient for it to be avoided.
2. The use of this proposed one way road from the Abbey into the courtyard by vehicular traffic represents a compromise to the structural integrity of my property given that the distance between the proposed road and the wall of my property could be no more than a metre. As such the road would infringe on to the foundations of my property.
3. The proposed road is one way, but I have existing vehicular and pedestrian access against the proposed flow of one way traffic, specifically as access to a site for a garage located at the bottom of my garden. I have recently demolished the old garage and I intend to replace it with one of the same dimensions. The exit from my garage site is immediately on to the proposed road with no separation at all.
4. The proposed road is directly alongside the length of my garden. The distance between the garden and the proposed road could be no more than inches at best, and would constitute a direct intrusion into my property.
5. The pathway from the immediate front of my property on to the proposed road is blind and would entail stepping directly on to the road in the face of incoming traffic. As such it represents a potential hazard to the residents.
6. The proposed development plans do not show an outbuilding of my property which is built on to the walls of the garden. Access to that outbuilding would be similarly jeopardised by on coming traffic from the direction of the Abbey.

7. Egress from the courtyard for the current five residents of the properties situated there would be jeopardised by the traffic intended to enter and exit from the proposed new two road into the walled garden.

In addition to the above, I wish to raise the following objections.

It is clear that the proposed one way road from the Abbey building into the courtyard is intended to serve the residents of the new developments proposed for the Abbey building. The road would run one way from the Abbey. This proposed development is not indicated as part of the first planning application, but has been included on the second planning application. As such it is probable that the road itself is intended to serve as a lever for further planning applications immediately to the rear of the courtyard. The proposed one way road has been excluded from the first planning application of which it is clearly an integral part.

I would like these objections to be put before all members of the Planning Committee who have oversight responsibilities in relation to these planning applications.

Yours sincerely

  
Terry Jones

**Planning Application – Holme Eden Abbey – Change of access at Warwick Bridge**

I observed with serious concern an application for a roundabout on the junction of the A69 – Carlisle – Newcastle road with the Warwick bridge - Newby West road.

I live in Esk House, Warwick Bridge which is right on the junction of these two roads and I am appalled that it can even be considered. The prospect of vehicles that now pass my house actually stopping and pulling away on my very doorstep dismays me. The noise of squealing brakes, low gear pulling away will be unbearable and the exhaust fumes which are belched out, particularly by the HGV,s will be a serious health hazard to my children (two of which are asthmatic) My quality of life will be seriously impaired and what effect on the value of property – I shudder to think!

I have previously applied for an access for one vehicle onto this bend. This was to enable me to convert an outbuilding into a 'granny flat' for my aged mother and was told under no circumstances would vehicle access be permitted onto this part of the road, so how all of a sudden is it to be considered?

I wish to object in the strictest possible terms against this proposal.

*G. Winrow*

Mr G Winrow  
Esk House  
Warwick Bridge.

01/0269 + 01/0788

8

2005

aw

254

AD

MR M. J. EYRE.

1 The Steading,  
Warwick Bridge,  
Carlisle,  
Cumbria,  
CA4 8RE.

8 October 2001

Mr J Hamer,  
Department of Environment & Development  
Planning Services Division  
The Civic Centre,  
Carlisle,  
CA3 8QG

PLN	PLANNING SERVICES
APP	01/0788
DATE	7 12 OCT 2001
BY	W
PAGE NO	2
ACTION	CJH

Dear Sir,

Proposal: Refurbishment and adaptation of Holme Eden Abbey to form 12no.  
residential apartments

Location: Holme Eden Abbey, Warwick Bridge, Carlisle, Cumbria

Appn Ref: 01/0788 /

Your ref: CJH/DC/01/0788

Thank you for your letter dated 3rd September 2001. We observe as to the refurbishment adaptation of Holme Eden Abbey. We have also observed the proposed adaptation to the Walled Garden Development, with proposed traffic flows and proposed highway alterations.

We would object to this proposal on the following grounds,

- 1/ The safety of the children in the courtyard
- 2/ The safety of the children getting anywhere from the courtyard (in & out)
- 3/ The safety of all school children getting to and from school
- 4/ The Lollipop Lady stands at the corner where the roundabout is proposed to be put, if the roundabout goes ahead she will have to be moved, this will greatly compromise the safety of the children, she was placed in that position for road safety reasons
- 5/ The dustcart is not permitted to enter the courtyard, this would mean that rubbish from 31 dwellings would be placed at the end of the courtyard. This would also mean that the dustcart would have to stop on the roundabout to collect the rubbish
- 6/ We bought our property on the assumption that it was a safe and quiet secluded place, if these proposals go through this would not be so
- 7/ To our minds the property would be devalued if these proposals go through, because of the amount of traffic they would create
- 8/ Traffic would disrupt the owners of 1, 2 and 3 Holme Eden Farm Cottages from getting to the rear of our properties (children bringing bicycles to and from, adults bringing garden waste, cars motor bikes etc.)
- 9/ 1 and 2 Holme Eden Farm Cottages, have got vehicle access to the rear gate, this

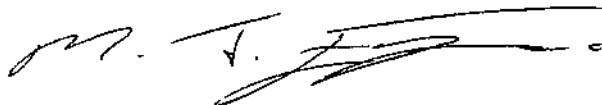
would be disrupted, as the proposed road leading from the Abbey is one way coming from the Abbey

10/ The extra traffic will disrupt us, as it will pass under our master living room window

11/ The extra traffic will disrupt 1 Holme Eden Farm Cottage as it will pass their kitchen window

12/ There is a Bus stop on the A69 where the proposed roundabout is to be put

Sincerely,

A handwritten signature in black ink, appearing to read 'M. J. Eyre', with a long horizontal flourish extending to the right.

M. J. Eyre.

## MR & MRS J MCANDREW BRUCE

2 Holme Eden Farm Cottage,  
Warwick Bridge,  
Carlisle,  
Cumbria,  
CA4 8RQ.  
Phone: 01228 561019  
Mobile: 07719911073

8 October 2001

Mr J Hamer,  
Department of Environment & Development  
Planning Services Division'  
The Civic Centre,  
Carlisle,  
CA3 8QG

PLANNING SERVICES	
REF	01/0788
- 8 OCT 2001	
FILE	AN
PLANNING	CJH
AGENCY	

Dear Sir,

Proposal: Refurbishment and adaptation of Holme Eden Abbey to form 12no.  
residential apartments  
Location: Holme Eden Abbey, Warwick Bridge, Carlisle, Cumbria  
Appn Ref: 01/0788 /  
Your ref: CJH/DC/01/0788

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- 4/ The Lollipop Lady stands at the corner where the roundabout is proposed to be put, if the roundabout goes ahead she will have to be moved, this will greatly compromise the safety of the children, she was placed in that position for road safety reasons
- 5/ The dustcart is not permitted to enter the courtyard, this would mean that rubbish from 31 dwellings would be placed at the end of the courtyard. This would also mean that the dustcart would have to stop on the roundabout to collect the rubbish
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- 7/ To our minds the property would be devalued if these proposals go through, because of the amount of traffic they would create
- 8/ Traffic would disrupt ourselves and the owners of 1 and 3 Holme Eden Farm Cottages from getting to the rear of our properties (children bringing bicycles to and

from, adults bringing garden waste, cars motor bikes etc,)

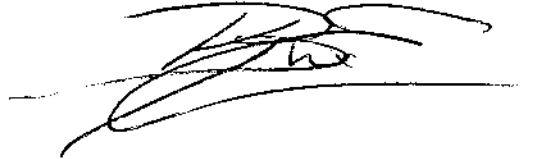
9/ Ourselves and No.1 have got vehicle access to the rear gate, this would be disrupted, as the proposed road leading from the Abbey is one way coming from the Abbey

10/ The extra traffic will disrupt 1 The Steadings as it will pass under their master living room window

11/ The extra traffic will disrupt 1 Holme Eden Farm Cottage as it will pass their kitchen window

12/ There is a Bus stop on the A69 where the proposed roundabout is to be put

Sincerely,

A handwritten signature in black ink, appearing to read 'Katrina McAndrew Bruce', written over a horizontal line.

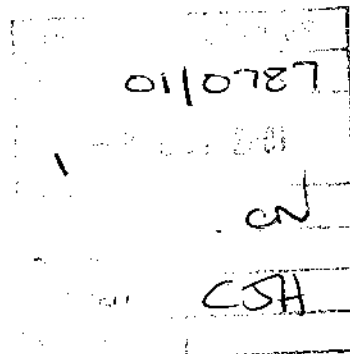
Katrina McAndrew Bruce

Daisy Hill  
Warwick on Eden  
Carlisle  
Cumbria  
CA4 8PA

Carlisle City Council  
A C Eales Head of Planning Services  
Department of Environment & Development  
The Civic Centre  
Carlisle  
CA3 8QG

1 October 2001

Dear Mr Eales



HOLME EDEN ABBEY WARWICK BRIDGE = CONVERSION TO FLATS

Whilst we have no objection to this proposed development on the grounds that the building will deteriorate if it is not properly maintained and cared for. We would like the following point considered in giving the building planning permission. Will the development in any way alter the buildings uniqueness in being a calendar house? If it will then we would like to raise an objection to planning consent being given and ask that the plans are redrawn to ensure that the aspects that make it a calendar house are in no way altered.

Yours faithfully

A & CRH BAKER





Our ref: Y471 569  
 Your ref: CJH/DC/01/0788

Room 803  
 Sunley Tower  
 Piccadilly Plaza  
 MANCHESTER M1 4BE

<http://www.highways.gov.uk>

Direct Line: 0161 930 5751  
 Fax: 0161 930 5611

Mr A M Taylor  
 Carlisle City Council  
 Department of Environment and Development  
 Planning Services Division  
 The Civic Centre  
 Carlisle  
 Cumbria  
 CA3 8QG

29 November 2001

**For The Attention Of Mr J Hamer**

Dear Sir

**TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT PROCEDURE)  
 ORDER 1995  
 PLANNING APPLICATIONS NOS 01/0788 AND 0869**

I refer to the above planning applications for the residential development of Holme Eden Abbey and walled garden sites at Warwick Bridge, which have been submitted to the Highways Agency for consideration.

Having reviewed the applications, I have the following comments to make:

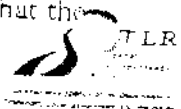
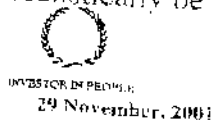
**Planning Application No 01/0788 (Holme Eden Abbey)**

This application is for the redevelopment of the Abbey to 12 residential dwellings, which will utilise the current westerly access arrangements. The site was previously used as a nursing home, for which there is a current planning permission.

As the use of the site as a nursing home ceased some time ago, I do not regard this previous use as a basis on which the use of the access for residential purposes should automatically be accepted.

Whilst the Transport Assessment indicates that visibility out of the access meets with current standards, the required forward visibility for drivers turning into the access cannot be achieved. Although the TA indicates that there have been no reported accidents involving vehicles turning into or out of the access, this could be due to reduced usage, following the closure of the nursing home. In addition the report contains no information about other accidents in the area. You will be aware from my previous letter of 25 September 2001 that there have been two fatal accidents on the bridge during the past two years.

Due to physical constraints (i.e. the bridge walls), it is accepted that visibility cannot realistically be improved. Therefore, in order to determine whether I can recommend that the



use of the access should be accepted. I have asked the developer to provide further detailed analysis of the junction.

I will be able to comment further on this application when this is received.

#### **Planning Application No 01/0869 (Walled Garden Site)**

This application is for the provision of 15 residential properties within the walled garden area. The two sites will be linked, with ingress only from the westerly access and ingress/egress from the easterly access. In order to accommodate the increase in traffic at the easterly access, a mini roundabout is proposed.

I am of the opinion that a mini roundabout may not be an appropriate solution at this location on the A69, which is a core trunk road. The core trunk road network is intended to carry traffic of regional and national importance and the Highways Agency has a responsibility to ensure that this function is protected. The introduction of a mini roundabout would mean that, over the day as a whole, a considerable total delay would be suffered by strategic trunk road traffic to ease the passage of a small number of vehicles accessing a development of 27 houses.

Whilst the developer's analysis suggests that the junction will operate just within practical capacity in 15 years time, this is based on a lower growth assumption than would normally be used on a core trunk road. In practice, there is a significant risk that, in order to serve a small development, excessive delays on the trunk road may occur.

With regard to the design of the mini roundabout, this fails to comply with a number of mandatory requirements in Standard TD16/93 Geometric Design of Roundabouts. There are also other sections of this standard that go against the provision of a mini roundabout at this location. In particular, the standard states that there is evidence to suggest an increased risk of accidents due the reduced observance by light vehicles of painted (as opposed to raised) central roundabouts.

Although the TA indicates that the introduction of a mini roundabout can expect to have road safety benefits, there is no assessment of the current accident record for the junction. Similarly, there is no assessment of the suitability of the proposed pedestrian crossing nor any indication of how the mini roundabout will reduce the potential hazard of buses stopping adjacent to Little Corby Road.

The replacement of a junction that does not meet with current standards, with another more complex one is not an acceptable method of addressing a problem. In view of this, I have asked the developer to consider alternative methods of using the access points, so that a wider range of possibilities can be analysed before any conclusion is reached.

As you are aware, the developer has now submitted revised access proposals for consideration. I will contact you again when I have reviewed this scheme.

Yours faithfully



Elizabeth Girvan  
Development Control Team  
E-mail: elizabeth.girvan@highways.gov.uk

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 10

Date of Committee: 14/12/20

APPN REF NO: 01/0869 /	APPLICANT: Dare (Northern) Ltd	PARISH: Wetheral
DATE OF RECEIPT: 25/09/2001	AGENT: Countryside Planning	WARD: Great Corby & Gel
LOCATION: L/A walled gardens - Holme Eden, Warwick Bridge, Cumbria		GRID REF: 347300 556900

PROPOSAL: Restoration of wall and gardens, erection of 13no. dwellings within walled garden and erection of 2no. garage block with accommodation over together with alterations to highway junction

---

### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 40

In rural settlements outside the National Parks and AONBs, housing development will normally be permitted, especially where it would help to sustain the existing local community, and provided it is in sympathy with the scale and character of the existing settlement. Outside rural settlements, new dwellings will normally only be permitted for those engaged in agriculture where such a dwelling is essential for the working of the farm.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E31

On land for which there is no archaeological information, but where there are reasonable grounds for believing remains to be present, the City Council will ensure that the archaeological aspects of development proposals are examined and evaluated before planning applications are determined. Planning permission will not be granted without adequate assessment of the archaeological implications.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E35

Proposals for new development which adversely affect a listed building or its setting will not be permitted. The City Council will seek to encourage any new development to be sympathetic in scale, character and materials.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H5

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and
2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock, Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lyneholmeford, Midgeholme, Milton, Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

CARLISLE DISTRICT PLAN  
TRANSPORT - POLICY T3

Proposals for development which materially increase the traffic movement on the road network will need to be accompanied by a Traffic Impact Assessment. The City Council will usually require any road improvements or new highways, identified as being necessary by the assessment, to be funded by the developer. Such work should be consistent with the role and function of the highway. In the case of trunk roads all the costs will be borne by the developer and the scheme should be designed to be consistent with the Department of Environment, Transport and Regions' design horizon.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AGENCY: At the time of writing, the Agency's formal response to the submitted proposal including the mini-roundabout has not been received. However, it is

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

understood that this proposal is considered unacceptable. The revised proposal involving an entrance adjacent to Little Corby Road and a one way route through the site and exit next to the Eden bridge has been passed to the Agency and comments are awaited.

HIGHWAYS AUTHORITY: The County Council as highway authority has an interest in this application, from the point of view of the County roads (i.e. Little Corby Road) and the school crossing patrol. The intention is to report on the matter to the Carlisle Area Committee on 18th December.

CUMBERIA COUNTY COUNCIL (STRATEGIC PLANNING): At a meeting on 28th November, the County Council Development Control and Regulation Committee deferred consideration of this matter to enable members to visit the site. The site visit will take place on December 11th.

WETHERAL PARISH COUNCIL: The Parish Council's initial observations were supportive of the principle of the proposal, but raised concerns that the quality of design should be maintained, and proposals for the restoration maintenance of the landscaped gardens should be guaranteed. Further observations have raised objections to the mini-roundabout and traffic arrangements as originally submitted. Observations on the amended scheme are awaited.

HAYTON PARISH COUNCIL: Hayton Parish Council have objected to the proposal for the mini-roundabout on the grounds that this would make an existing unsatisfactory junction worse

ENVIRONMENT AGENCY: The site is in a low/medium flood risk area, and a flood risk assessment is required. This has been carried out and is being considered by the agency.

ENGLISH HERITAGE: English Heritage have commented on the various issues raised by the application, and their letter is reproduced in the Schedule. The response is broadly supportive but it is recommended that safeguards should be sought via a Section 106 agreement to ensure the implementation of the restoration of the landscaped grounds, and to ensure that the repair and conversion of the listed building proceeds in tandem with the walled garden development.

ARCHAEOLOGY: Initially, it was recommended that as the site was of archaeological interest, a pre-determination evaluation should be carried out in accordance with normal practice. In this instance however the applicant does not own the site and has not been able to obtain access to carry out the evaluation. In this exceptional case therefore it has been recommended that this issue could be dealt with by means of a condition.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: The site is not infill, but it is acknowledged that the site represents a logical extension to Warwick Bridge. It is argued however that because the site is a greenfield windfall site, it falls within

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

the ambit of paragraphs 35 and 36 of the new version of PPG3. These two paragraphs exclude greenfield land from the definition windfall sites, which can only be brought forward by local plan allocations.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of site and press notices and neighbour notification. Twelve letters of objection have been received including one from Warwick Bridge School, plus a petition signed by 338 people. Overwhelmingly the issue raised is opposition to the mini-roundabout as proposed by the original submission. Comments on the revised access proposal will be reported at the meeting.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

There is no planning history relating specifically to the walled garden. For planning history related to the Abbey itself, see report on application 01/0788.

#### DETAILS OF PROPOSAL

This application, and 01/0870, for listed building consent, both relate to the same proposal, for residential development within the walled garden of Holme Eden Abbey, Warwick Bridge.

The walled garden is situated to the east of the Abbey building, close to Holme Eden Cottages and the former eastern access to the Abbey itself. It consists of a brick wall some 2.4 metres high dating from the same period as the Abbey building itself enclosing an area of 1.08ha. Attached to the wall on its eastern side is a building formerly used as a gardener's cottage. Formerly used as a kitchen garden for the house, the area within the wall is now used as allotments.

It is proposed to develop the area within the wall, with the erection of thirteen new build dwellings to create an almshouse style courtyard development. Two new buildings to the east and south east sides of the walled garden will provide parking, with two residential units over. The layout of the development shows the new dwellings around the perimeter of the garden, in terraced form. They are of traditional character, with stone/brick walls, slate roofs, and traditional timber windows. The central courtyard is to be laid out as a formal garden.

In addition to garaging, twenty four car parking spaces are proposed, with access around the eastern perimeter of the walled garden. The proposal also includes the restoration of the informal gardens outside the wall. This area has been overgrown to the point where a summerhouse cannot be seen in the summer as a result of the growth of weeds and self sown trees and shrubs.

As submitted access to the site was proposed to be linked to

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

the rest of the Holme Eden Abbey site, whereby there would be a one way access only to the Abbey via the existing access east of the bridge, with a new exit track from the Abbey to a new mini-roundabout to the Little Corby Road junction. Traffic to and from the walled garden development would both enter and leave the site via the mini-roundabout. A Traffic Impact Assessment accompanied the application, which recommended this solution. This would also have involved the relocation of the existing school patrol, presently located at the Little Corby Road junction, to a new zebra crossing, further west along the main road. This scheme has now been amended, so that the mini-roundabout has been deleted, and the traffic flow reversed, so that vehicles would enter the site via the Little Corby Road junction, and exit via the existing entrance east of the River Eden Bridge.

The proposal raises a number of complex issues, some of which also relate to the applications for the conversion of Holme Eden Abbey itself.

Firstly, the proposal must be examined on the Policy H5 of the District Plan. In this regard, it will be noted that the site adjoins the built up area of Warwick Bridge, with Holme Eden Cottages immediately to the east. Apart from this and the fact the site is largely contained by the wall itself, it is also enclosed by the dense belt of mature trees which separate it from the open parkland landscape leading to the river. The site is therefore considered to be well related to the form and character of Warwick Bridge and consistent with the locational criteria of Policy H5; the issue of highways is dealt with in more detail below.

It will be noted that the CPRE have commented that this site is contrary to the version of PPG3 because greenfield sites cannot be regarded as new windfall sites and can only be brought forward as local plan allocations. This is obviously a wider issue and clarification has been sought, but Officers' initial view is that this interpretation of PPG3 is not correct. Apart from the three largest settlements of Longtown, Brampton and Dalston, and the remoter rural area, Policy H5 of the District Plan is the basis on which the acceptability or otherwise for any proposal for residential development in a rural settlement is judged. Inevitably, a major proportion of these are undeveloped, greenfield sites. Only those sites complying with the H5 criteria should be approved, and these obviously comply with the policy and the development plan generally. It can therefore be argued that Policy H5 operates as the means of allocating individual sites in the settlements to which it refers. The interpretation advocated by the CPRE would mean firstly that no greenfield sites could be approved in the bulk of settlement in the rural area until such time as the District Plan is reviewed and replaced; and secondly when that review takes place the basis of policy would have to change away from the present criteria based policy to a policy whereby individual sites would have to be allocated (i.e. village plans). Officers have always resisted such an approach.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

The second issue is the impact of the development on the setting of Holme Eden and the fabric of the wall. The wall is not listed in its own right, but it is a curtilage structure and therefore listed building consent is required for the development. The site is some 150 metres away from the Abbey itself, and is screened by the existing trees. Furthermore the wall itself will substantially screen the development, with only the roofs visible from outside. The only significant exception to this is the proposed garage blocks between the wall and the A69. These will be clearly visible from the main road, where the perimeter wall is only approximately 1.5 metres high, but this view will be from the developed part of the village in the context of other buildings (e.g. Holme Eden Cottages). The development will also enable the fabric of the wall to be maintained in the future. The proposal is therefore considered acceptable in terms of Policy E35.

A related issue is archaeology. Members will be aware that where a site is considered likely to be of archaeological interest, it is normal practice in accordance with advice in PPG16, to request an evaluation to be carried out before the application is determined. This will demonstrate the extent of archaeological remains on the site, and form the basis for a condition requiring further work if this is required. In this particular case, the applicants do not own the site and have not been able to obtain access to carry out an evaluation. Exceptionally therefore, it is considered that an evaluation would not be a requirement, and that a condition requiring an investigation to be carried out would suffice.

A further consideration is the link between the walled garden development and the conversion of Holme Eden Abbey itself. It has been made clear by the applicants that the walled garden proposal is not required to finance the conversion proposal, and that it is not therefore enabling development, without which the conversion and re-use of the listed building would not be able to proceed.

Whilst there is therefore a link between the two proposals in that sense, it is nevertheless necessary to consider the issue of the phasing of the two proposals. It would clearly be undesirable for the walled garden development to proceed whilst the listed building remained empty, and possibly deteriorated. It is therefore considered necessary, if both proposals are approved, to have a Section 106 agreement which links progress on the two schemes and ensures that work on the conversion proposal proceeds along with the walled garden development. The agreement could also include provision for the implementation of the restoration and maintenance of the landscaped grounds, as recommended by English Heritage.

Finally there is the issue of highways. As stated above, the application was submitted on the basis of the provision of a mini-roundabout at the Little Corby Road junction, with traffic to and from the walled garden using this access. This has now been amended so that all traffic would enter the site via the entrance next to Little Corby Road, and exit by going round the



## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0869 /

western perimeter of the walled garden, along the track past the Abbey and out via the existing exit. It will be noted that it is the aspect of the proposal which is the focus of almost all the objections to the proposal, on the basis that the mini-roundabout would make traffic conditions at this already unsatisfactory junction worse.

It will be noted that the application has been referred to the Highways Agency and the County Council as highway authority for the County roads. The Agency's response to the mini-roundabout proposal is that it does not comply with the required standards and is not acceptable. Their response to the amended one-way scheme is awaited. The County Council have indicated the intention to report on the proposal to the Carlisle Area Committee on 18th December, with particular reference to the implications for the school crossing.

The response to the amended proposal, both from statutory consultees and third parties, will be reported at the meeting. It will be apparent that Officers consider highways to be the only outstanding issue and that in other respects, the proposal is considered to be broadly acceptable. It should be noted however that whereas the proposals for the conversion of the Abbey itself involve the re-use of a listed building, the walled garden is simply a proposal for residential development, albeit in a location considered to be acceptable. Whereas there is therefore an incentive in policy terms to seek an acceptable solution in respect of the conversion application no such incentive applies with the walled garden application.

### RECOMMENDATION:-

A to I.

The Director will report on the latest position with regard to the application particularly with regard to the response to the revised highway arrangements.

EA + CC + S106

C. Jones  
obj. - raised.

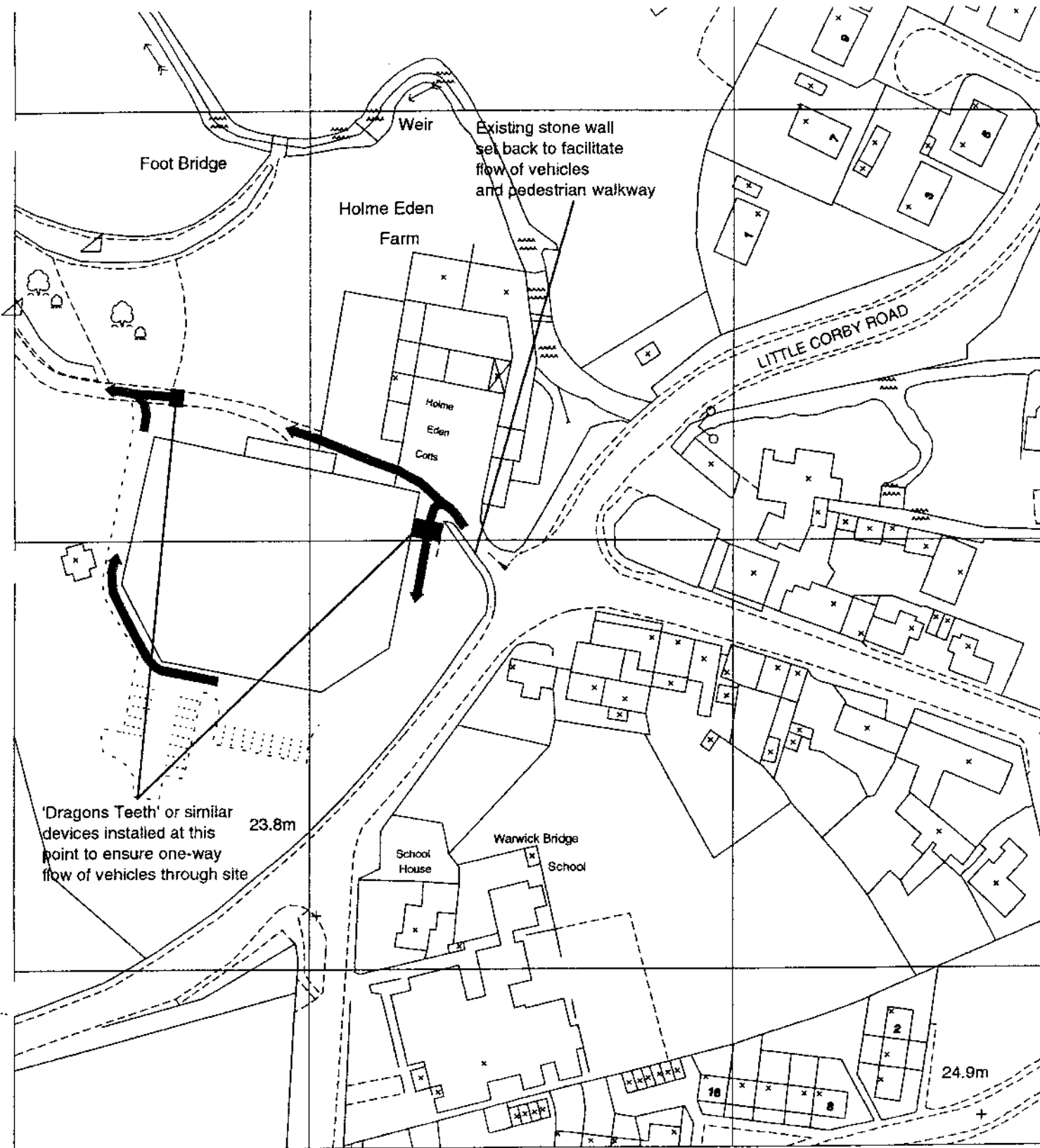
Terry Jones - resident of 1 Holme Eden Cottage

wholly objects to access that would lead to tenfold increase in access to extg. driveway.

How does same present ~~road~~ road? Proposals add 3/4 mile detour for exit. Scheme designed to be flawed.

Countrywide Planning (Alex Johnson)

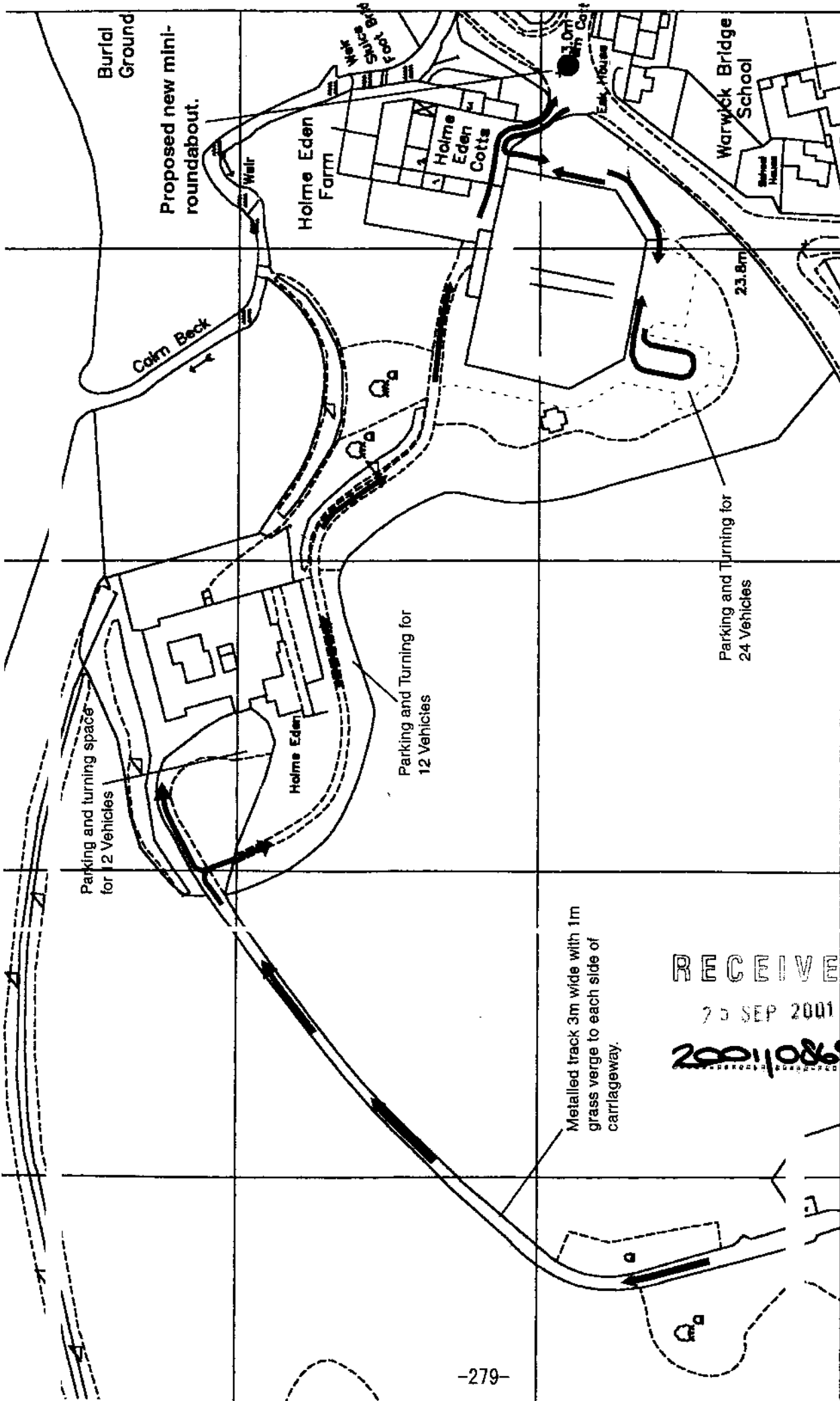
Historical records - show no 'option'. Scheme is comp. for all property in gardens & grounds + bldgs. increased pupils for school. Highway should have drawn attention from other merits.



## Proposed Highways Alterations and One-Way System.

Home Eden Cottages, Warwick Bridge

Scale 1:1250



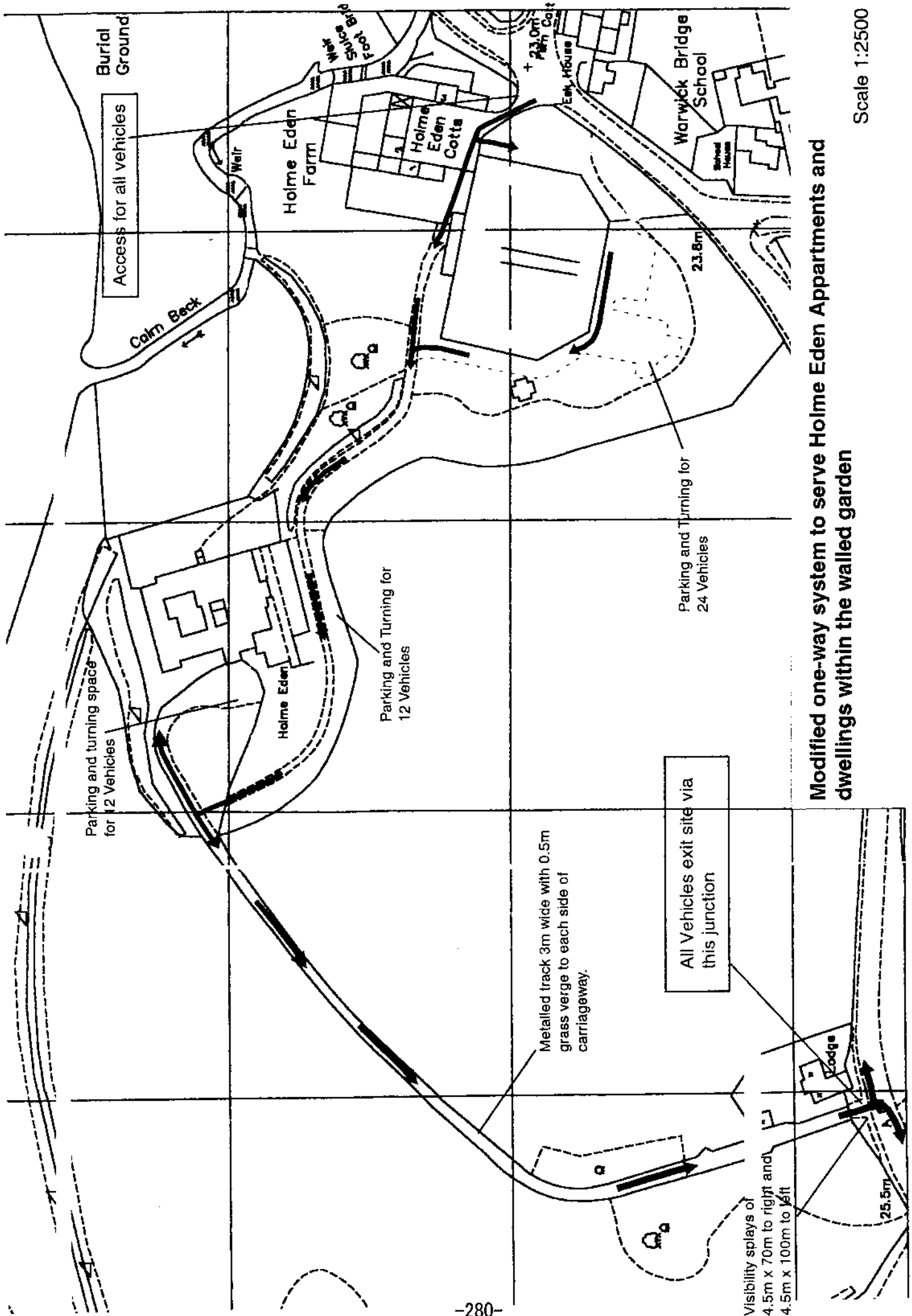
Proposed traffic flows to Holme Eden House and Walled Garden development.

Scale 1:2500

RECEIVED

20 SEP 2001

20010869



**Modified one-way system to serve Holme Eden Apartments and dwellings within the walled garden**

Scale 1:2500



Maple Street  
Mt Eden Ave

PLAN IN SPECTRUM ORIENTATION

PLAN IN SPECTRUM ORIENTATION

PLAN IN SPECTRUM ORIENTATION

PLAN IN SPECTRUM ORIENTATION

PLAN IN SPECTRUM ORIENTATION

# HOLME EDEN

WARWICK BRIDGE CONCRETE CAN RD  
SITE LAYOUT AS PROPOSED  
1:500

Architect: [unreadable]

457

RIVER EDEN

CAVERN AVE

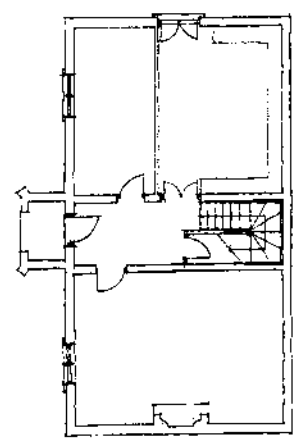
HOLME EDEN AVENUE

UNIVERSITY

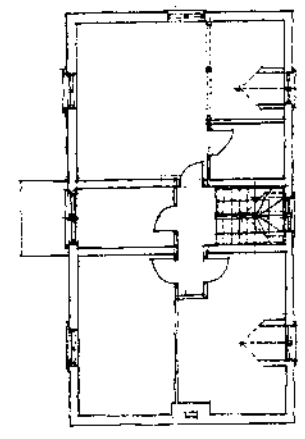
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RECEIVED

2000/08/08

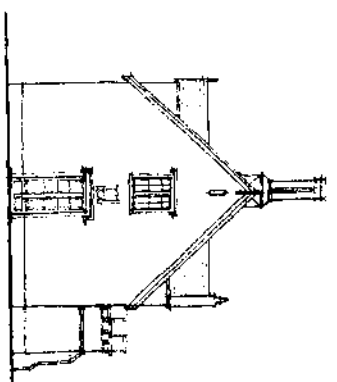


GROUND FLOOR

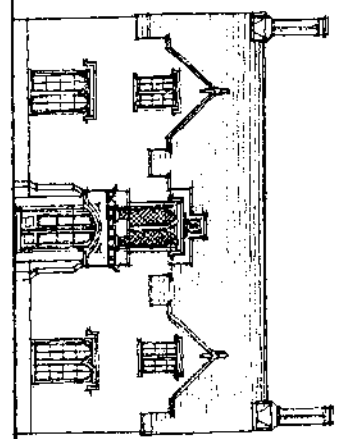


FIRST FLOOR

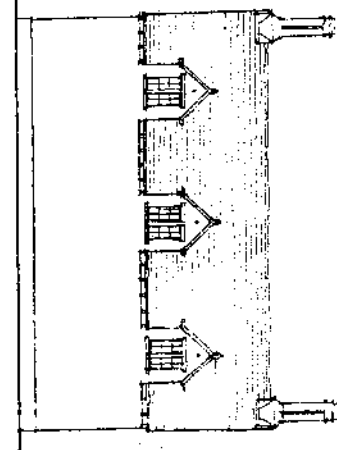
- LIST OF MATERIALS
- CHIMNEYS
  - ROOF
  - WALLS
  - FRONT WALLS (FACING ONTO COURTYARD)
  - REAR & SIDE WALLS
  - WINDOWS
  - DOORS
  - DOOR CASES
  - OTHER ARCHITECTURAL MATERIALS (CORNICES, ETC.)
  - PAVING (PATIO, TERRACE, ETC.)
  - IRONWORK (GATES, ETC.)
  - BRICKS TO DETAIL.
  - NATURAL SLATE WITH LEAD WALLS TO RIDGES AND VENTS.
  - TIMBER TO DETAIL.
  - LOCAL STONE (SANDY) TO THE APPROVAL OF CONSERVATION OFFICER.
  - IN LETTER BLOCK OR BORDER TO THE APPROVAL OF CONSERVATION OFFICER.
  - OFF WHITE PAINTED THINER.
  - STAINED OR OFF WHITE PAINTED THINER.
  - STONE OR TERRAZZO.
  - STONE TO DETAIL.
  - STONE TO DETAIL.



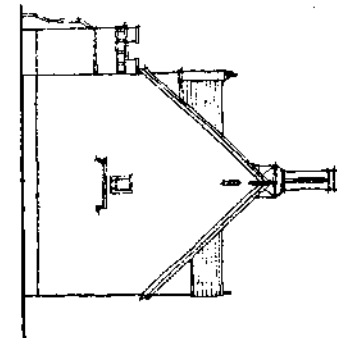
FRONT ELEVATION



FRONT ELEVATION



REAR ELEVATION



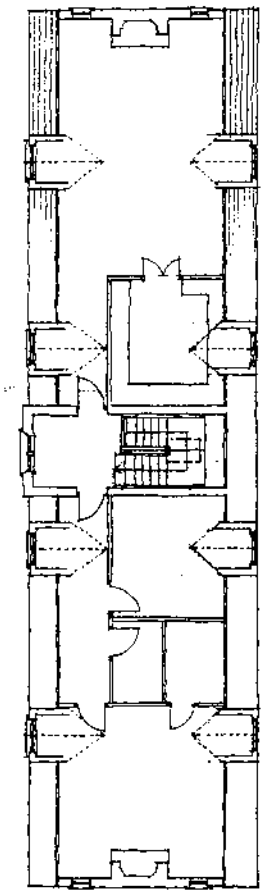
SIDE ELEVATION

RECEIVED  
1900

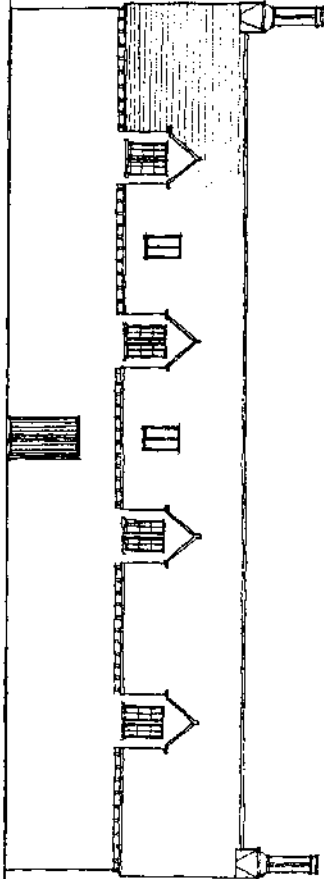
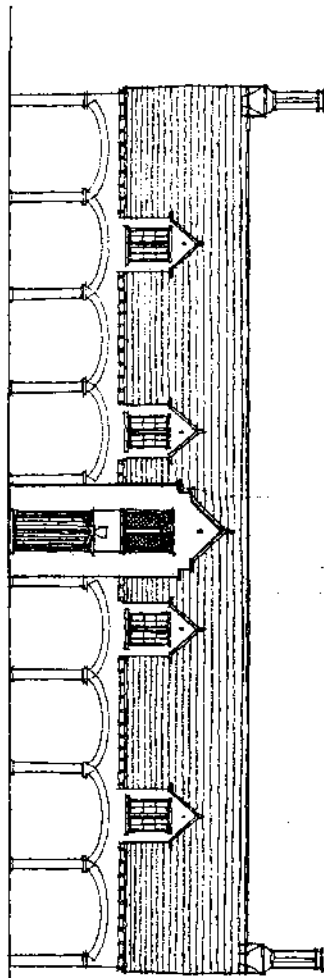
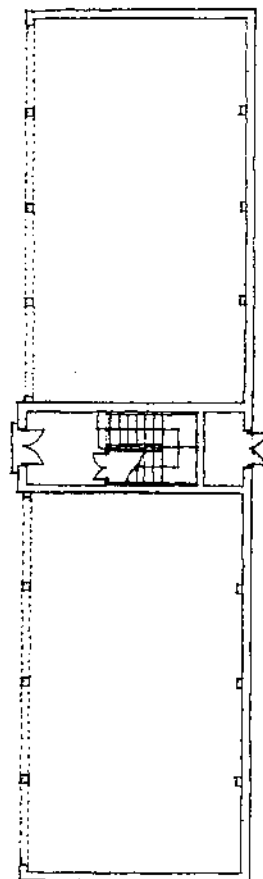
NEW HOUSING - HOLME EDEN:  
PELFOLD DETACHED COTTAGE IN WALLED  
GARDEN  
1900  
E. J. S. SKAFFE ARCHITECT, BATH. 2001

PLANS 14-15

FIRST FLOOR

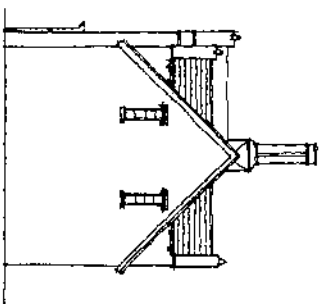
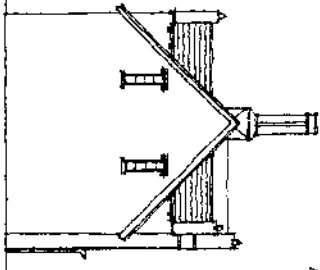


SECOND FLOOR



FRONT ELEVATION

SIDE ELEVATION



NEW H. USING - K. L. Mc EDEN -  
TYPICAL NEWS APARTMENT / OPEN SALOONS  
1:100  
R.S.S. SHEPPE ARCHITECTS, BATH, SEPT 2001

- LIST OF MATERIALS
- CHIMNEYS
  - ROOFS
  - WALLS
  - FRONT WALLS (INCLUDING ONTO COUNTERTOPS)
  - BEAM & SILL WALLS
  - WINDOWS
  - DOORS
  - TOOR CASES
  - OPENING IN EXTERNAL WALLS (WINDERS, ETC)
  - FRAMING
  - STAIRS
  - STAIR CASES

- BRICK TO DETAIL
- MATERIAL AS SET WITH LEAD BOLLS TO SIDING AND VENTIL
- TIMBER TO DETAIL
- LOCAL STONE (SHEPPE) - TO THE APPROVAL OF CONSERVATION OFFICERS
- RED BRICK OR BROWN (TO THE APPROVAL OF CONSERVATION OFFICERS)
- OFF WHITE PAINTED TIMBER
- STONE TO DETAIL
- STONE TO DETAIL
- STONE TO DETAIL

RECEIVED  
2001/09/25

**TRAFFIC IMPACT ASSESSMENT (TIA)  
FOR PROPOSED RESIDENTIAL DEVELOPMENTS AT  
HOLME EDEN ABBEY AND WALLED GARDEN SITE,  
WARWICK BRIDGE, NEAR CARLISLE**

**SUPPLEMENTARY REPORT No. 1**

**VTC (Highway & Transportation Consultants) Limited  
29 Howick Park Drive  
Preston  
PR1 0LU**

**Tel : 01772 740604  
Fax : 01772 741670  
Email : [vtctrffic@compuserve.com](mailto:vtctrffic@compuserve.com)**

**26 November, 2001**



## **1.0 INTRODUCTION**

- 1.1 This is a Supplementary Report for the Traffic Impact Assessment (TIA) that has been prepared on behalf of DARE (Northern) Limited to accompany two Planning Applications for residential development at Holme Eden Abbey, Warwick Bridge near Carlisle in Cumbria. The first application (01/0788) is for the conversion of the existing abbey to provide 12 apartments and the second application (01/0869) includes 15 new dwellings in the walled garden area on the south east side of the site.
- 1.2 This report proposes modifications to the highway access arrangements for the Holme Eden site following discussions with the Highways Agency and consideration of their consultant's report dated 6 November, 2001.

## **2.0 PROPOSED MODIFICATIONS TO HIGHWAY ACCESS**

- 2.1 The Highways Agency (HA) have indicated that they do not consider that there is sufficient justification for a mini-roundabout to be installed at the junction of the A69 Trunk Road and Little Corby Road in Warwick Bridge village. HA have requested that alternative access arrangements are considered for the site and have made a number of suggestions to rationalise movements within the site and at existing access points onto the Trunk Road.
- 2.2 In order to satisfy the requirements of HA, it is proposed that the residential development at Holme Eden Hall and in the Walled Garden area of the site are served via the improved access to Holme Eden Cottages (as shown on the accompanying drawings). Traffic from both developments would enter from the Little Corby Road junction and exit the site via the existing driveway that emerges onto the Trunk Road at the gatehouse where there is good visibility in each direction (see TIA para. 2.3 and Plates 2 and 3). This would provide a One Way route through the site from the Little Corby Road junction to the Trunk Road at the gatehouse access. Traffic from the Walled Garden development would be prevented from exiting via the access onto Little Corby Road by physical means (one way collapsible plates installed in the carriageway).

2.3 The proposed access arrangements have the following advantages :

- No additional traffic emerging from the Holme Eden Cottages access into the Little Corby Road junction.
- One Way traffic only on the existing Holme Eden Hall access (overcoming potential conflicts arising from 2-way traffic movements at the narrow gatehouse access with the existing arrangement).
- No right turning traffic from the Trunk Road into the existing gatehouse access which is a concern for HA because of restricted forward visibility.
- Improved access onto the Trunk Road with pedestrian footway for Holme Eden Cottages.

2.4 As shown in Appendix 1 of the TIA, traffic generation for both developments will be very low with a combined total of 25 vehicle movements at peak hours. This represents a traffic impact of just 2% based on the surveyed flows of around 1200 vehicles/hour on the Trunk Road. This does not constitute a material increase in traffic flows onto the Trunk Road at either access point and should not require off-site highway improvements.

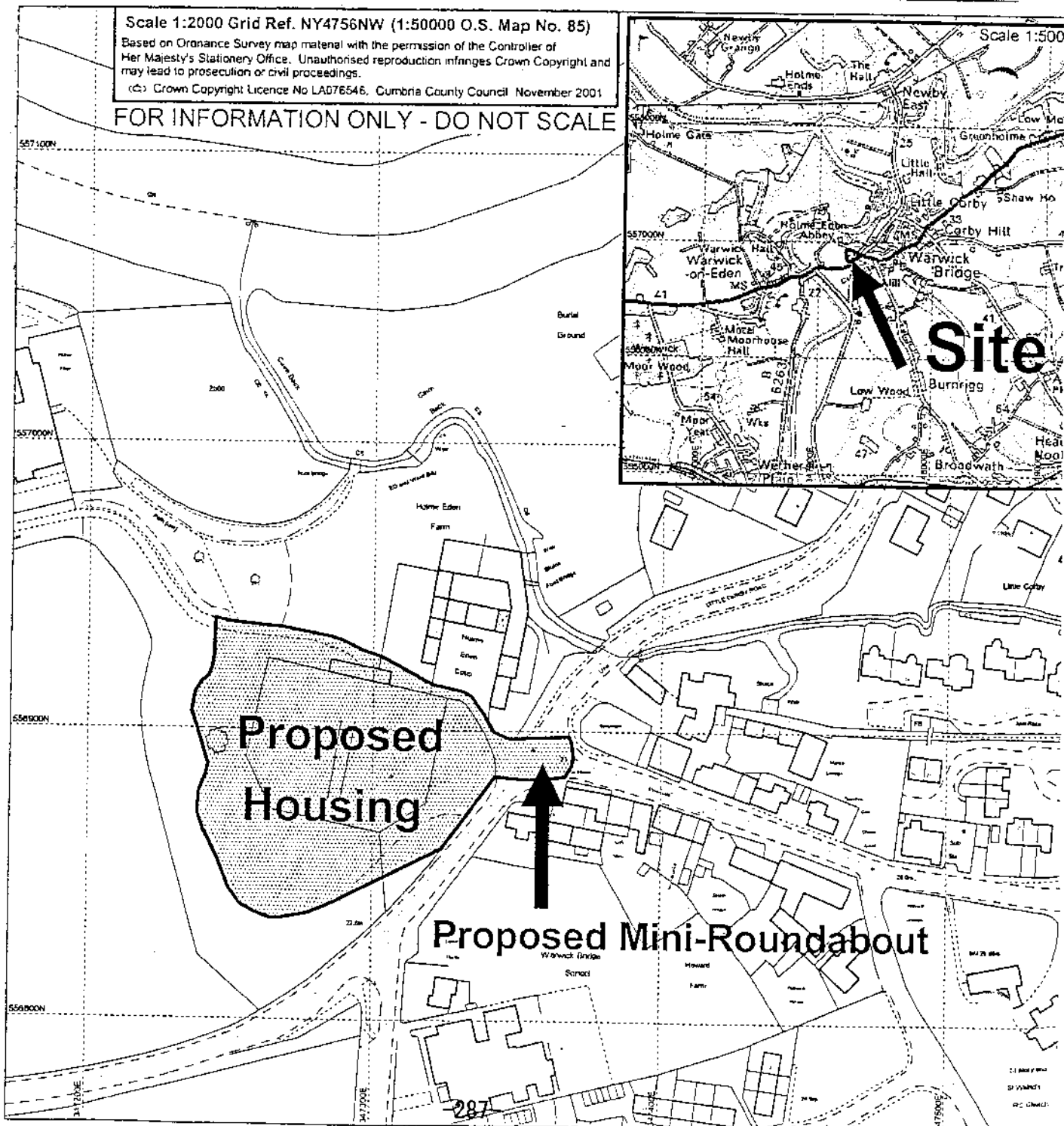
### 3.0 CONCLUSIONS

3.1 This report and accompanying drawings describe the proposed modifications to the access arrangements for the redevelopment of Holme Eden Hall and development of the Walled Garden area of the site. The proposals have the agreement, in principle, of the Highways Agency who are the Highway Authority for the A69 Trunk Road.

3.2 The proposed developments at the Holme Eden site will generate very low volumes of traffic and will have a minimal effect on the operation and safety of the Trunk Road through Warwick Bridge. The proposed access arrangements will rationalise traffic movements within the Holme Eden site by introducing a One Way flow of vehicles from the Little Corby Road junction to the gatehouse exit (for all development traffic). This will be reinforced by physical measures installed within the site to prevent two-way traffic (collapsible plates for uni-directional travel). These access proposals will overcome the concerns of the Highways Agency relating to vehicles turning right into the gatehouse access and the mini-roundabout proposal at the Little Corby Road junction.

District Carlisle  
Application No 1/01/0869  
Applicant Dare (Northern) Ltd

PROPOSAL Restoration of wall and gardens, erection of 13 dwellings, 2 garage blocks with accommodation over and alterations to highway junction Holme Eden, Warwick Bridge, Carlisle



## 1 RECOMMENDATION

- 1.1 That, subject to the Highways Agency being satisfied that the development can be accommodated on the highway network, no strategic objection be raised.

## 2 THE PROPOSAL

- 2.1 The County Council has been consulted by Carlisle City Council on an application to build a total of 15 dwellings within the area of the walled gardens at Holme Eden, a Tudor gothic mansion on the edge of Warwick Bridge, which is a Grade II\* Listed Building. The walled garden lies to the north side of the A69 some 150m to the south east of the main house.
- 2.2 The site comprises of the walled garden, which is currently used for vegetable gardening, an area of overgrown shrubs and an access track to Holme Eden House. The actual wall of the garden is constructed of brick and varies in height between 3.5m and 4.1m with a total length of 217m.
- 2.3 The proposal involves the construction of 13 detached dwellings inside the walled garden facing onto the restored garden and two detached mews style garage blocks with 2 residential units above immediately outside the walled garden.
- 3.1 The proposal involves vehicular access from the proposed development onto the former Holme Farm yard (which is surrounded on three sides by residential units) which will then feed onto a proposed new mini roundabout on the A69 trunk road. This would also provide vehicular access from Holme Eden house, which is subject to a separate application, to be converted into apartments.
- 2.4 A Traffic Impact Assessment has been submitted which shows the mini roundabout would also serve the Little Corby Road as well as the proposed access to Holme Eden and Holme Eden Cottages to replace the existing junction. A zebra crossing would also be provided near to Warwick Bridge Primary School and the existing school crossing patrol would be relocated nearer to the school.

## 3 STRATEGIC ISSUES

- 3.2 It is considered that the strategic issues raised by this application are:
- i) whether there is sufficient land for housing in the area (Structure Plan Policies 30 and 31) and whether the development will help to sustain the local community (Structure Plan Policy 40);
  - ii) whether there is sufficient capacity in the local highway network and whether the proposal would help minimise the need for travel (Structure Plan Policies 14 and 36);
  - iii) whether the proposal would have a detrimental impact on the character or setting of a Listed Building and whether the development is in keeping with the local vernacular tradition and is well integrated with the existing pattern of surrounding land uses and does not remove or damage any archaeological interests in the site (Structure Plan Policies 25 and 26).

### Housing Land Availability

- 3.3 In accordance with the provisions of Policies 30 and 31 of the Joint Structure Plan sufficient land for housing should be provided for the next five years. There is more than sufficient land in Carlisle District with permission and allocated in the Local Plan to meet the Structure Plan requirements.
- 3.4 Notwithstanding the current supply of housing land in Carlisle District as a whole, Structure Plan policy 40 allows housing development in rural settlements where it would help to sustain the existing local community, provided it is in sympathy with the scale and character of the existing settlement. This is supported by Carlisle and District Local Plan Policy H5 which allows large scale housing development in settlements such as Warwick Bridge subject to certain criteria relating to, inter alia, siting, scale and design. The proposal is on the edge of the settlement and relates well to the existing pattern of development, the drawings indicate a high quality development with part sandstone walls and roofs with natural slate and traditional design features reflecting details of Holme Eden. The site is well screened by mature trees, none of which will be felled, and the dwellings which surround the former farmyard are adjacent. The

proposed detached dwellings will contribute to the housing stock of the village and will help to sustain the local community. It is considered that this proposal does not conflict with Structure Plan policies relating to housing development.

#### Capacity of Highway Network and Minimising the Need to Travel

- 3.5 The proposal involves a new mini-roundabout on the A69 trunk road to replace the existing junction to Holme Eden cottage and the Little Corby Road. As this proposal affects a trunk road the views of the Highways Agency are awaited on the suitability or otherwise of the mini roundabout which will be sited in a sharp bend in the road and is abutted by dwellings. The proposed zebra crossing should improve pedestrian safety located, as it is, close to the school.
- 3.6 Structure Plan Policy 1 seeks to ensure that the location of new development has regard to the principles of sustainability. PPG13 'Transport' stresses the need to plan land use and transport together in ways which enable people to carry out their everyday activities with less need to travel. Developments such as this one in a rural area close to Carlisle are likely to increase car borne commuting. However there is a bus stop nearby and local services and the school are close by.

#### Impact on the Setting of a Listed Building and Archaeological Interests

- 3.7 As previously stated, Holme Eden is a Grade II\* Listed Manor House; such listing would also include grounds and walled garden. The building had been occupied as a Nunnery prior to its last occupation as a nursing home. Currently it is vacant and the grounds are in a state of neglect. The proposed development inside the walled garden is physically constrained by the wall and the wall itself screens the development. Furthermore, the walled garden is encircled by belts of mature trees which screen the site from distant views of Holme Eden (which is located some 140m away).
- 3.8 The wall itself is in reasonably good condition although there are signs of deterioration. The proposed development has been designed to be free-standing of the wall and it will be restored and retained as an independent structure.
- 3.9 Given that the proposed development will be well screened by existing features from Holme Eden house and there will be no physical alteration to the garden wall, the impact on the setting of the Listed Building should be minimal.
- 3.10 The site lies within an area of archaeological interest with Warwick bridge being medieval in original. Additionally, there are anecdotal references to the Jacobite Army camping at Warwick Bridge during their 17<sup>th</sup> century campaign. To safeguard any archaeological interests in the site the County Archaeologist has recommended that a condition be imposed on any planning consent that a programme of archaeological work be implemented before development commences.

#### **4 CONCLUSION**

- 4.1 This proposal relates well to the existing pattern of development in the settlement and would not be contrary to Structure Plan policies relating to housing development in rural areas. The development has been carefully designed to respect its historic setting using traditional materials and design features and archaeological interests in the site can be safeguarded. The principal issue relating to this proposal is whether the vehicle access, in the form of a mini-roundabout onto the trunk road, is acceptable. The views of the Highway Agency on this aspect of the proposal are still awaited and it is recommended that no strategic objection be raised subject to the Highway Agency being satisfied that the highway network can accommodate this development.

**Shaun Gorman**  
Assistant Director (Development Control)

#### Contact

Jane Corry, Kendal, tel. 0159 773414

**Background Papers**

Planning Application File Reference No. 1/01/8869

**Electoral Division Identification**

John Robinson, Wetherall

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**Planning Application – Holme Eden Abbey – Change of access at Warwick Bridge**

I observed with serious concern an application for a roundabout on the junction of the A69 – Carlisle – Newcastle road with the Warwick bridge - Newby West road.

I live in Esk House, Warwick Bridge which is right on the junction of these two roads and I am appalled that it can even be considered. The prospect of vehicles that now pass my house actually stopping and pulling away on my very doorstep dismays me. The noise of squealing brakes, low gear pulling away will be unbearable and the exhaust fumes which are belched out, particularly by the HGVs will be a serious health hazard to my children (two of which are asthmatic) My quality of life will be seriously impaired and what effect on the value of property – I shudder to think!

I have previously applied for an access for one vehicle onto this bend. This was to enable me to convert an outbuilding into a 'granny flat' for my aged mother and was told under no circumstances would vehicle access be permitted onto this part of the road, so how all of a sudden is it to be considered?

I wish to object in the strictest possible terms against this proposal.

Mr G Winrow  
Esk House  
Warwick Bridge.

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0574

Mrs. A. Richardson  
Holme Eden Lodge  
Warwick Bridge  
Carlisle  
CA4 8RB

01783 8-9 JAN

Warwick Bridge News

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CST

Mr. [unclear] at  
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[unclear] [unclear] [unclear]  
[unclear] [unclear] [unclear]

Yours sincerely

Tom Richardson



Our ref: Y471 569  
Your ref: CJH/DC/01/0788

Room 803  
Sunley Tower  
Piccadilly Plaza  
MANCHESTER M1 4BE

<http://www.highways.gov.uk>

Mr A M Taylor  
Carlisle City Council  
Department of Environment and Development  
Planning Services Division  
The Civic Centre  
Carlisle  
Cumbria  
CA3 8QG

Direct Line: 0161 930 5751  
Fax: 0161 930 5611

29 November 2001

**For The Attention Of Mr J Hamer**

Dear Sir

**TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT PROCEDURE)  
ORDER 1995  
PLANNING APPLICATIONS NOS 01/0788 AND 0869**

I refer to the above planning applications for the residential development of Holme Eden Abbey and walled garden sites at Warwick Bridge, which have been submitted to the Highways Agency for consideration.

Having reviewed the applications, I have the following comments to make:

**Planning Application No 01/0788 (Holme Eden Abbey)**

This application is for the redevelopment of the Abbey to 12 residential dwellings, which will utilise the current westerly access arrangements. The site was previously used as a nursing home, for which there is a current planning permission.

As the use of the site as a nursing home ceased some time ago, I do not regard this previous use as a basis on which the use of the access for residential purposes should automatically be accepted.

Whilst the Transport Assessment indicates that visibility out of the access meets with current standards, the required forward visibility for drivers turning into the access cannot be achieved. Although the TA indicates that there have been no reported accidents involving vehicles turning into or out of the access, this could be due to reduced usage, following the closure of the nursing home. In addition the report contains no information about other accidents in the area. You will be aware from my previous letter of 25 September 2001 that there have been two fatal accidents on the bridge during the past two years.

Due to physical constraints (i.e. the bridge walls), it is accepted that visibility cannot realistically be improved. Therefore, in order to determine whether I can recommend th:

use of the access should be accepted. I have asked the developer to provide further detailed analysis of the junction.

I will be able to comment further on this application when this is received.

**Planning Application No 01/0869 (Walled Garden Site)**

This application is for the provision of 15 residential properties within the walled garden area. The two sites will be linked, with ingress only from the westerly access and ingress/egress from the easterly access. In order to accommodate the increase in traffic at the easterly access, a mini roundabout is proposed.

I am of the opinion that a mini roundabout may not be an appropriate solution at this location on the A69, which is a core trunk road. The core trunk road network is intended to carry traffic of regional and national importance and the Highways Agency has a responsibility to ensure that this function is protected. The introduction of a mini roundabout would mean that, over the day as a whole, a considerable total delay would be suffered by strategic trunk road traffic to ease the passage of a small number of vehicles accessing a development of 27 houses.

Whilst the developer's analysis suggests that the junction will operate just within practical capacity in 15 years time, this is based on a lower growth assumption than would normally be used on a core trunk road. In practice, there is a significant risk that, in order to serve a small development, excessive delays on the trunk road may occur.

With regard to the design of the mini roundabout, this fails to comply with a number of mandatory requirements in Standard TD16/93 Geometric Design of Roundabouts. There are also other sections of this standard that go against the provision of a mini roundabout at this location. In particular, the standard states that there is evidence to suggest an increased risk of accidents due the reduced observance by light vehicles of painted (as opposed to raised) central roundabouts.

Although the TA indicates that the introduction of a mini roundabout can expect to have road safety benefits, there is no assessment of the current accident record for the junction. Similarly, there is no assessment of the suitability of the proposed pedestrian crossing nor any indication of how the mini roundabout will reduce the potential hazard of buses stopping adjacent to Little Corby Road.

The replacement of a junction that does not meet with current standards, with another more complex one is not an acceptable method of addressing a problem. In view of this, I have asked the developer to consider alternative methods of using the access points, so that a wider range of possibilities can be analysed before any conclusion is reached.

As you are aware, the developer has now submitted revised access proposals for consideration. I will contact you again when I have reviewed this scheme.

Yours faithfully



Elizabeth Girvan  
Development Control Team  
E-mail: elizabeth.girvan@highways.gov.uk

29 November, 2001

## OF THE LAKE DISTRICT

Head of Planning Services  
Department of Environment & Development  
Carlisle City Council  
The Civic Centre  
Carlisle, Cumbria CA3 8QG      **FAO Mr J Hamer**

9<sup>th</sup> November 2001

Dear Sir

### **Town and Country Planning Act 1990.**

### **Planning Application 01/0869 and Listed Building Application 01/870.**

**Restoration of wall and gardens, erection of 13 no. dwellings within walled garden and erection of 2 no. garage block with accommodation over together with alterations to highway junction.**

**L A walled gardens – Holme Eden, Warwick Bridge, Carlisle.**

Thank-you for consulting us on the above planning and listed building application. We wish to make the following comments.

We note that the site lies to the west of the village envelope, and in our judgement the location of the proposed 13 dwellings and the garage block with the accommodation over would not comprise infill development within that envelope. In visual terms, we would argue that the existing village envelope ends on the north side of the A69, on the boundary of those properties known as Holme Eden Cottages. Beyond that point, the character changes to open countryside, distinguished by the group of trees that surround the walled garden of Holme Eden. We would however accept that the site could be argued as reasonably well-related to the edge of the village envelope as a potential outward extension of the village in the long-term.

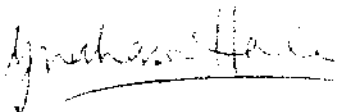
In the context of PPG3 (March 2000) however, the Government has stipulated that unallocated greenfield sites can only come forward as *allocations*, where a justification has been made through the Local Plan process, based upon on the housing requirements for the District, and an agreed and up-to-date Urban Housing Capacity Study. Paragraphs 35 and 36 in PPG3 deal with windfall greenfield sites such as the one at Holme Eden. In that regard, it is our interpretation that PPG3 expressly *prohibits* unallocated windfall greenfield sites. Instead, windfall sites comprise *previously-developed sites* that have unexpectedly become available. The proposed site at Holme Eden is not one that could be described as previously-developed, and therefore it cannot be a windfall site within the terms of PPG3. Certainly the scale of the proposed development is of significance for the size of the village, and the existing infrastructure available ie schools, shops, access to public transport etc. In our judgement, the revisions to PPG3 does not enable the Planning Authority therefore to grant planning

permission for *greenfield unallocated* sites like that at Holme Eden. Consequently, we would strongly recommend that the Planning Authority determine this application in accordance with PPG3, by refusing planning permission accordingly. If the Planning Authority otherwise determine that it should be granted, then given the scale of the development in the context of the size of the village, the application will otherwise at least need to be referred to the Government Office for the North-West as a Departure.

However, in the long-term we would suggest that the proposal ought otherwise to be justified in the light of the housing requirement for the District over the next plan period, and with reference to an up-to-date Urban Housing Capacity Study for the District. In that respect the planning merits of the site should therefore be properly *tested* as part of the Local Plan Review process, which due to commence in 2002. It should not however be tested as a current planning application that may be prejudicial to the strategy of the current Plan, and certainly one that appears to be contrary to the implementation of PPG3 (March 2000). For these reasons we consider that the proposal is premature, and there are grounds to refuse permission.

Please record these comments as those of *CPRE (Cumbria association)*. We would be grateful to receive a copy of the decision notice

Yours faithfully



Graham Hale BA (Hons) MSc MRTPI  
Planning Officer

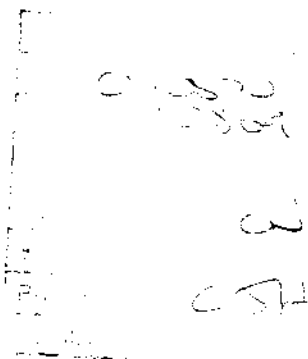
Cc Government Office for the North West



ENGLISH HERITAGE

NORTH WEST REGION

Mr J.Hamer  
Planning Services  
Carlisle City Council  
Civic Centre  
**CARLISLE**  
CA3 8QG



Direct Dial: 0161 242 1413

Your Ref: 01-0870 and 0869

Our Ref: CU 36417

26 October 2001

Dear Mr Hamer

**HOLME EDEN ABBEY, WALLED GARDEN, WARWICK BRIDGE**

Thank you for your letter of 14 September 2001, regarding the listed building consent and planning applications for residential development in the walled garden at Holme Eden. The structure of the walled garden is within the curtilage of the Grade II\* listed building. I visited the site on 24 October with Richard McCoy, Richard Sutcliffe and the applicant DARE (Northern) Ltd. The visit was very helpful and enabled me to appreciate the special interest of the site and the relationship between the walled garden and the main house.

I understand that these proposals are not being put forward as enabling development and also, that the development of new housing here is not, in principle, contrary to the Local Plan. However, there are a number of issues that have some similarity with typical enabling development cases. I have the following comment to make:

- 1. Impact of new housing on the special interest of the site.** The walled garden and its surroundings are part of the attractive setting of Holme Eden Abbey. This walled garden is of historic interest in its own right, although not separately listed. The north side of the garden wall appears to incorporate a section of heated wall, adjacent to the gardeners' bothy and potting sheds. This interesting feature is well worth retaining and so this part of the proposal may need review to ensure that damage to the heated wall section is minimised. The arrangement of new houses preserves an important space within the garden and also leaves the walls free of disturbance. However, the mews apartments on the south east outer edge of the walled garden will have an impact on views of the site and on setting; I suggest that this aspect of the scheme is carefully considered, particularly in relation to whether the extra floor over the garages is justified. I have no comments to make on design.
- 2. Impact of proposed highway alterations on special interest of the site.** The proposal to dismantle and re-site part of the wall adjoining the existing access to the site is acceptable provided that the details are carefully agreed. The proposal for a new mini-roundabout will inevitably affect the appearance of this part of Warwick Bridge, which I understand is not a conservation area. I have no particular

comments to make on the principle of this proposal, but the details should take account of the setting of nearby historic buildings and structures.

3. **Landscape setting of Holme Eden Abbey.** At present the walled garden forms part of the setting for the Grade II\* house and is an essential part of the historic landscape associated with the Holme Eden Abbey. I welcome the applicants proposals to restore the landscape and the garden pavilion. Your authority should consider a section 106 agreement to ensure that this part of the proposal is implemented.
4. **Impact of walled garden development on future of Holme Eden Abbey.** The development of the walled garden itself is likely to generate a significant capital sum, which represents an opportunity to assist with securing a future for the Grade II\* listed building. At present Holme Eden Abbey is in fair condition, although there are some signs of dry rot and the building is clearly vulnerable to deterioration as long as it is only partially occupied. The building is of outstanding importance and I am therefore concerned about its future. We have no information on whether the separate residential proposal for its conversion is considered economically viable; if there proves to be doubt about this, the walled garden will have a crucial role to play in this part of the scheme.
5. The applicants have indicated that they will be seeking a developer for both sites; none is yet identified and so it is possible that the ownership relationship between Holme Eden and the walled garden may change. It is therefore imperative that your authority considers securing a Section 106 agreement to ensure that Grade II\* house benefits from the generation of finance provided by the walled garden development. A schedule of repairs should be agreed. It would be an unnecessarily lost opportunity if the walled garden was separately developed whilst leaving the future of the house unresolved. I strongly recommend that the future of the Grade II\* listed building should be your authority's first priority.

I hope that the above is helpful, but please do call me if you would like a further discussion.

Yours sincerely



**Marion Barter**  
**Historic Buildings Inspector**

MR & MRS J MCANDREW BRUCE

2 Holme Eden Farm Cottage,  
Warwick Bridge,  
Carlisle,  
Cumbria,  
CA4 8RQ.  
Phone: 01228 561019  
Mobile: 07719911073

22 November 2001

Mr J Hamer,  
Department of Environment & Development  
Planning Services Division'  
The Civic Centre,  
Carlisle,  
CA3 8QG

PLANNING SERVICES	
01 0788	
26 NOV 2001	
RECEIVED	CN
SCANNED	
PASSED TO	CJH
ACTION	

Dear Sir,

Proposal: Refurbishment and adaptation of Holme Eden Abbey to form 12no.  
residential apartments

Location: Holme Eden Abbey, Warwick Bridge, Carlisle, Cumbria

Appn Ref: 01/0788 /

Your ref: CJH/DC/01/0788

Thank you for your letter dated 3rd September 2001. We observe as to the refurbishment adaptation of Holme Eden Abbey. We have also observed the proposed adaptation to the Walled Garden Development, with proposed traffic flows and proposed highway alterations.

We would object to this proposal on the following grounds,

- 1/ The safety of the children in the courtyard
- 2/ The safety of the children getting anywhere from the courtyard (in & out)
- 3/ The safety of all school children getting to and from school
- 4/ The Lollipop Lady stands at the corner where the roundabout is proposed to be put, if the roundabout goes ahead she will have to be moved, this will greatly compromise the safety of the children, she was placed in that position for road safety reasons
- 5/ The dustcart is not permitted to enter the courtyard, this would mean that rubbish from 31 dwellings would be placed at the end of the courtyard. This would also mean that the dustcart would have to stop on the roundabout to collect the rubbish
- 6/ We bought our property on the assumption that it was a safe and quiet secluded place, if these proposals go through this would not be so
- 7/ To our minds the property would be devalued if these proposals go through, because of the amount of traffic they would create
- 8/ Traffic would disrupt ourselves and the owners of 1 and 3 Holme Eden Farm Cottages from getting to the rear of our properties (children bringing bicycles to and

from, adults bringing garden waste, cars motor bikes etc,)

9/ Ourselves and No.1 have got vehicle access to the rear gate, this would be disrupted, as the proposed road leading from the Abbey is one way coming from the Abbey

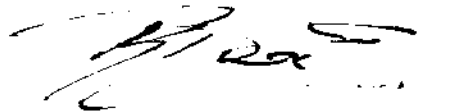
10/ The extra traffic will disrupt 1 The Steadings as it will pass under their master living room window

11/ The extra traffic will disrupt 1 Holme Eden Farm Cottage as it will pass their kitchen window

12/ There is a Bus stop on the A69 where the proposed roundabout is to be put

We have also enclosed the petition that was set up against the mini roundabout. It has 338 names on it.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Bruce', with a large, sweeping flourish extending to the left.

Katrina McAndrew Bruce



**Objections against the  
proposed construction of a  
mini roundabout on the  
junction of the A69 and the  
Little Corby turn off.**

On behalf of the parents of the Children that attend Warwick Bridge School from, Little Corby, Corby Hill and Warwick Bridge, and the residents of Warwick Bridge, Little Corby, Corby Hill and surrounding areas.

We the undersigned object to the proposed construction of a mini-roundabout at Warwick Bridge.

FOR THE REASONS.

- 1/ It would be situated at the exact point at which the Lollipop Lady stands, and where the school children may cross in safety.
- 2/ Because of a proposed new housing development in the vicinity, namely the use of Holme Eden Abbey and the Walled Garden of the Abbey, there will be a tremendous increase of traffic in and out of the entrance leading directly to the roundabout.
- 3/ The location is the stopping place for the Carlisle to Newcastle Bus.

338 NAMES

NAMES	ADDRESS	RESIDENT/PARENT
P. Bates	WALTON BRIDGE C.O.	RESIDENT
O. Hansen	3 Cairn Gers	Resident + Parent
J. COOPER	25 Mullings	Resident
J. Snygar	Little Crook on Corby Hill	Resident
<del>J. Snygar</del>	<del>21 MULLINGS</del>	<del>30</del>
A. Morritt	Woodhouse	Resident
ELIZABETH GRADWELL	BLAMPTON	PARENT
A. Harris	73 Millings	
Elizabeth Hesketh	15 Little Corby Road	Resident
Tony Hesketh	" " "	"
M. Smith	21 MULLINGS RD	RESIDENT
G. Smith	" " "	"
A. E. Anderson	41 Cairn Wood	Resident
J. R. Hullock	33 Chapel Close	"
<del>D. Snygar</del>	53 HURLEY ROAD, LITTLE CROOK	RESIDENT
H. Taylor	Water Meel	"
W. Taylor	" " "	"
N. MARSHALL	82. MULLINGS	Resident
Raynolds	Myrtle Forest	Resident
S. Smith	CROSBY	PARENT
R. Smith	CROSBY	RESIDENT
N. Smith	CROSBY	PARENT
P. Goodfellow	CORBY HILL	RESIDENT
J. M. Rhodes	WARWICK BRIDGE	RESIDENT
D. Connelly	H. Mullings	"
J. Lightfoot	Ruminate Cott.	"
J. Harrison	9 THE OAKLAND	Resident/Local
J. H. H.	29 Anley Rd	Resident
S. Sney	6 Woodlows	Local
K. H. H.	Eden Grove Little Crook	Parent/Resident
M. Phillips	5 Eden Grove Cott. Little Crook	RESIDENT
J. Watson	Eden Grove Little Crook	J. Watson
F. Whelan	Greenacres, Loughborough	F. Whelan
E. Nicholson	The Croft, Aghorby	E. N.
M. Byers	6 Eden Grove Little Crook	Resident
E. H. H.	9 Eden Grove Little Crook	Resident
H. Johnston	Cairn Dhu Corby Hill	Resident
A. Richardson	Holme Eden Lodge Warwick Bridge	
R. Slackton	1 Little Corby Road	Resident
M. Graham	15 CHAPEL CLOSE	M. Graham
G. " "	" " "	G. Graham
M. Hall	52 Hurley Rd	M. Hall
J. H. H.	Mullings	Resident
M. H. H.	3 Holme Eden	
P. H. H.	Church Rd Warwick BR	M. H. H.
P. H. H.	Back Grange, Warwick BR	Resident

NAMES	ADDRESS	RESIDENT/PARENT
Went	Bruntholme Barby Hill	
Smith P. Smith	CORBY HILL	PARENT resident
J. BUELE	CORBY HILL	PARENT
L. Thompson Anniversary	SCOTBY CORBY HILL	Resident PARENT
	" " "	Parents
D. LIGHTFOOT B. WALKER	CORBY HILL CORBY HILL	GRANDPARENT PARENT
J. MORRIS C. Prince	LITTLEBURY Warrick Rd Carlisle	Parent
J. Burren F. Fisher	63 Millings 105 Hurley Rd	Parent PARENT
S. MORRIS	80 HURLEY RD	PARENT
J. Errington	71 HURLEY RD	PARENT
C. Sorensen Kit Fisher	104 Hurley Rd	parent
Andy Fisher	104 Hurley Rd	parent & resident
J. Forme	76 " " "	" "
Kim Boustead	10 Townfoot Park Bruntholme	Parent
M. SIAUER	23 Caim Crescent	Parent
J. Adams J. White	64 Greenways 76 Hurley Road	parent Parent
J. Adams	3 Honoy Rd	Parent
J. Kelly	33 Eden Grange	Parent / resident
K. H. Adams	21 Hone Green Farm	Parent / Resident
W. W. Gangle	Durranhill	Grandparents
J. W. Gangle	Durranhill	Grandparents
J. Adams	Whittle, Park Linnig	Barby Hill, Resident & Parent
J. Adams	" " "	" " "
J. Adams	" " "	" " "
A. Adams	Helmstedden	Warrick Bridge Resident
Ann Brock	Lynedown	Hurons Hill Grandparent
J. Adams	Lynedown	Hurons Hill Grandparent
J. W. Kaddi	CARRWOOD HURONS NEAR	PARENT
P. H. Gath	8 Hurley Rd Little Cote	Parent
Elizabeth Bell	9 Warrick Farm	Parent
A. J. Munn	Warrick Farm	Parent
G. Ward	WARRICK FARM	Parent
S. K. Adams	WARRICK FARM	Parent
N. O. B. Adams	WARRICK FARM	Parent
Mira Smith	Warrick Farm	Resident / Parent
Olyga Mack	Broadway	Parent
J. Adams	WARRICK FARM	Parent
J. Adams	CORBY HILL	Resident

NAMES	ADDRESS	RESIDENT/PARENT
Y PETRY	47 HURLEY RD	RESIDENT
N. ATKIN	41 MILLRIGGS	RESIDENT
R. Butler	77 MYCRENE RD	PARENT
M. Thomthwaite	7 NOISTY CLOE	RESIDENT
M. Smith	4 Water Mead	Resident/parent
E. Petty	4 Carr Eyes	
H. Sherwood	72 Hurley Rd	Resident/parent
J. Arnie	Burnings	Resident
S. SESSIS	17 MILLRIGGS	RESIDENT
Slingscuff	38 Hurley Rd.	Resident + parent
J. Burke	Broadway	Resident
J. Walker	88 Hurley Road	Resident Grandparent
<del>F. Backscuttle</del>	<del>17 Wickford Rd</del>	<del>Resident</del>
T. Boston	7, Burnings	Resident
B. Gurney	21 Millriggs	RESIDENT
R. Black	78. Hurley Rd	Resident
J. D. M. Allen	(How Cl. F. Co. by	RESIDENT
J. McHugh	2 Hill	RESIDENT
H. Brown	47 MILLRIGGS	<del>Resident</del>
me	Carron Cottage	Resident
Finn	Est. House	Resident
Cavan McCarthy	Wickford Cottages	Resident
New Merritt	Wickford	Resident
L. Beck	Water Mead	Resident
Alan Gray	20 BROADWAY	
Jan Hayes	Tonkesh Cottages	
Sean Gray	Warpark Bridge	RESIDENT PARENT
Colin Johnson	Avoncroft, War. Br.	Resident
J. G. Gullett	6 The Orchard Ct. G. by	Resident
J. Moffat	70 Millriggs	
A. J. Allison	21 Carron Cottages	
J. Bell	32 Carron Cottages	RESIDENT/PARENT
A. C. C. W. N.	7 HURLEY RD	RESIDENT/PARENT
P. O. L. E. R.	" "	" "
S. Marshall	48 Millriggs	Resident/Parent
P. Marshall	" "	" "
J. P. Marshall	16 Market Garden	Resident
B. Marshall	125 Hurley Rd	"
C. D. W. N.	45 Millriggs	Parent
K. S. H. O. L. E. R.	6, Wickford Cottages	Resident
B. H. M. A. Y.	Carron House	Resident
D. P. A. T. E. Y.	Warpark HSE	Resident
H. J. D. O. W. N.	MILLRIGGS	parent/Resident
K. J. G. O. U. L. E. T.	21 Carron Cottages	Resident
W. M. W. E. L. L. I. S.	60 MILLRIGGS	Resident
K. R. H. O. O. D. S.	how Buildings, WB.	Resident

NAMES	ADDRESS	RESIDENT/PARENT
to Bell	MILLERS COTTAGE	✓
M. H. Hession	7 Millriggs, C. Hill	Resident.
E. McCormick	10 fieldside.	Resident.
D. DUFFIE RAMSBOTTOM	24 WATERS MEET	RESIDENT.
D. Galew.	32 Horley Rd	Resident
C. Armstrong	MILLRIGGS	Resident
N. McHale	Warwick Bridge	Resident
R. Williams	6 Waters Meet	RESIDENT / ANIMAL PARENT
B. Griffiths	Great Corby	Resident
J. Athin	Millriggs	Resident / Parent
J. AURIN	Millriggs	RESIDENT
K. LAMICE.	84 Avelyn Rd.	RESIDENT. / PARENT.
K. McGlasson	31 Cairn Crescent	Resident / Parent
M. Baxter	WARWICK BRIDGE	Resident / parent
A. Holdway	Warwick Bridge	Resident
C. McGlasson	37 Chapel Close	Resident
J. Mott	17 Chapel Close.	"
J. Wanda	98 Millriggs	Resident
E. McGlasson	Chapel Close	Resident
A. Baxter	Warwick Bridge	Resident / parent
J. McGlasson	Warwick Bridge	Resident
C. Dixon	Millriggs Corby Hill	Parent
R. McGlasson	RUBRIC'S	RESIDENT.
M. TOWNTON	5 LONG WHITE FARM	RESIDENT
S. Mc Duggall	5 CAIRN CRESENT	RESIDENT
C. Smith	Warwick Bridge	Resident
M. McHale.	Warwick Bridge	Resident.
J. SIMPSON	LITTLE CORBY	RESIDENT
I. ARGYRIDIS	LITTLE CORBY	RESIDENT
J. O'ne.	Hard Bank.	Howmill
A. Frank	Lansley Mill Grange	RESIDENT
J. GABYTT	18 EDEN GRANGE	Resident.
T. Kelly	Chapel Close	✓
M. D. Kelly	Chapel Close	✓
L. King	Sunnyside, Cumnor	Resident
B. Murphy	Warwick-on-even	-
S. Smith	CROSBY	-
V. Wilson	Beaumont	-
M. Moffat	Millriggs Corby Hill	RESIDENT
D. Moffat	"	"
CAROL GUTHBERT	26 EDEN GRANGE	RESIDENT.
D. A. RASHEED	PENNYVIEW FARM	"
B. CURRIE	Fern Bank of Corby	Resident
B. MARSHALL	85 MILLRIGGS	-
G. Booth	Croft House	Resident / Parent
W. Denton	Eden Grange	Resident

NAMES	ADDRESS	RESIDENT/PARENT
Michelle Williams	97 Hurley road	Resident
Emma Stewart	35 Millriggs	Resident.
S Fasley	12 Cairn Cres	Resident
Kelsey Farley	12 Cairn Crescent	Resident
C MATHIAS	35 MILLRIGGS	- 11 -
D PARINGEN	99 MILLRIGGS	"
ALAN IRVING	100 MILLRIGGS	"
LORRYNA IRVING	" "	"
KAREN TERRY	35	"
Donna Stewart	33 Millriggs	" "
Maxine Stewart	Corby Hill Colvent	Resident
Vicky Stewart	Colvent, Corby Hill	Resident.
ELIZABETH GARMON	COBBENWAY'S	" "
ELIZABETH GARMON	CORBETH HILL	" "
F. J. MILLER	ROSEBANK LODGE	"
K Teasdale	101 Hurley Road	- 11 -
C Teasdale	- " -	- 11 -
T Jones	Longthorpe Farm	Resident
M J. LOWMEYER	105 HURLEY RD	RESIDENT
A. WILKS	85 HURLEY RD	RESIDENT
L.M. Park	973 Hurley Rd	RESIDENT
E. Williams	97 Hurley Rd	Resident
M. Williams	97. Hurley Rd	Resident.
E. Teasdale	107 Hurley Rd	Resident
Paula Wright	14 Millriggs	Resident
S. DASH	11. HULLORY R.	Resident.
MR SAUCED	9 HURLEY RD	RESIDENT
H. Carter	15 Hurley Rd	Resident
K. Carter	15 Hurley Rd	" "
F. Carter	- " -	- " -
D B Parker	10 Hurley Rd	Resident
D Parker	" "	"
C. I. ASKOW	12. Hurley Rd.	Resident
A.M. TONY	14. Hurley Rd	"
Wm R. Wright	16 Hurley Rd	"
J.K. SIERBCK	18	- 11 -
P. DUNN	20	- 11 -
J.F. NIGHAM	64 Hurley Rd	J.F. NIGHAM
Dr. Matthews	112 Hurley Rd	Resident
K.M. CUE	123 Hurley Rd.	Resident
Tracey Watson	121 Hurley Rd	Resident
M. Hawkins	114 Hurley Rd	Resident
Jagmi Marsden	83 Hurley Rd.	Resident / Parent
E. Russell	83 Hurley Road	Resident
Paul Marsden	" " "	Resident / Parent

NAMES	ADDRESS	RESIDENT/PARENT
Terry Jones	1 Holme Eden. Wardick Bridge	Resident
Doreen Edson	Edson Bank cott	BOTH
VIKki Hovell	RIVERSDALE LITTLE CORBY	BOTH
AUKNER	THE WYMAN	Residents
STEVE HOWELL	RIVERSDALE WILTON	BOTH
L. ATKINSON	79 HURLEY RD LITTLE CORBY	Resident
A. SMITH	Chor. Hill, Little Hill	Resident
R. Beckham	Eden Vale Little Corby	Resident
R. Blak	78. Hurley Rd.	Res.
ROSANNE BLACK	78 Hurley RD.	Res.
PHILIP COXBURN	Eden Vale Little Corby	Resident
Mary Egan	72 MILLRIGGS	Resident
M. PARIS	96 HURLEY RD	Resident
D. Dixon	ALBALANDA	Resident
W. Hallway	Little Corby	DO
J. Young	"	RES
J. Ebbels	59, MILLRIGGS.	RESIDENT
Jean Ebbels	" " "	"
Les Whiddons	98 MILLRIGGS	Whitehead
M. Heasdale	Cairn Cross Corby Hill	RESIDENT
JM TRASDAL	19 CAIR CROSS CORBY HILL	Resident
A SOWERBY	8 LITTLE CORBY RD	"
P Rowley	20 MILLRIGGS	Res.
K. Collins	KINGFISHER PKE CALISTO	Parent
M.J. Collins	KINGFISHER R.K. CALISTO	Resident
J. Carr	119 HURLEY ROAD	Resident
J. Young	Knivesdale, Corby Hill	Resident
J. Young	"	Resident
J. Young	119 HURLEY RD	RESIDENT
Michael Huxley	114 HURLEY RD	RESIDENT
Jan Swinson	Milestone House	Res.
A. HENNINGSON	20 HARRISON ST	Res.

NAMES	ADDRESS	RESIDENT/PARENT
M & Nestt	2 Hurley Road	Parent
C Little	125	RESIDENT
17 E. Armstrong	50 Hurley Rd.	RESIDENT
44 W. ...		RESIDENT
S. Green	21 Millriggs	RESIDENTS
6 B. ...	3 Rosebank	Resident
7. B. ...	3. Rosebank	Resident
L. James	1 White's road	Resident
S. WALKER	CARLISLE	GRANDMA
S. SMITH	CARLISLE	GRANDMA
M. Brown	18 Millriggs	Resident
William ...	How Hill	Resident
W. ...	2 Warwick Village	Resident
J. ...	CARLISLE	Resident
J. MATHOUSE	81 Millriggs	Parent/Resident
J. ...	W. ...	Resident
D. ...	Hurley Rd	Resident
D. Runciman	3 Cottage Lane	Resident
L. Mahon	15 Millriggs	Resident
J. ...	2 Bank Top Cott	Parent
J. ...	GE. Conley	Parent
E. ...	Langley Green	Resident
A. ...	23 Broadwath Holdings	Broadwath. Resident
J. ...	1. Hurley Rd.	Resident
P. Turner	5 Rosebank	Resident
Phil Bradley	Springer Dam	Work in area
H. HEWETSON	56 HURLEY ROAD	H. Hewetson
T. G. HEWETSON	56 HURLEY ROAD	RESIDENT















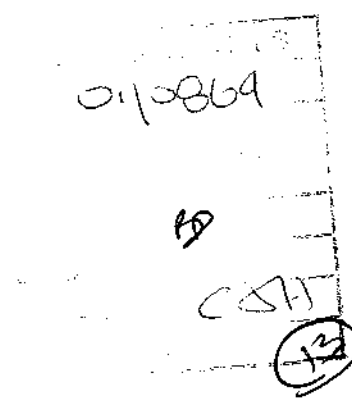


**WARWICK BRIDGE**

**PRIMARY SCHOOL**

HEAD TEACHER  
*Mrs H M Park MA*

Planning Applications  
Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG



19<sup>th</sup> November 2001

Dear Sir

Proposal 200110869

On behalf of the governing body of Warwick Bridge School we wish to raise concerns about the above planning submission.

The positioning of the roundabout would result in the school crossing patrol being unable to continue at that point. There is no other point on the road where there is visibility sufficient to enable the crossing Patrol to be re-sited. The A 69 has an extremely high traffic flow and some 40 % of the school pupils live across the road. The school is presently involved in the "Better Ways to School" initiative and is working hard to improve the safety of our pupils and access to the school. The dangers which would present themselves should this proposal be approved are too grave to contemplate.

The school welcomes the proposed planning application for the dwellings and realises the difficulties associated with access. However the proposal for a roundabout/ Pelican Crossing increases the dangers to the pupils and local community as a whole.

Yours faithfully

Mrs H M Park  
On behalf of the Governing Body of Warwick Bridge School



**WARWICK BRIDGE**  
**CARLISLE CUMBRIA**  
**CA4 8RE**

Tel 01228 560390

Fax 01228 561186



PLANNING SERVICES	
REF	01/0869
22 OCT 2001	
RECORDED	MM.
SEARCHED	
PASSED TO	CDH
ACTION	

11

Beechwood,  
Heads Nook,  
Brampton,  
Cumbria CA8 9AE

19th October, 2001.

Dear Sir,

Restoration of Wall & Gardens. Erection of 13 Dwellings within walled garden and erection of 2 garage blocks with accommodation over, together with alterations to highway Jct. Location: L.A. Walled gardens - Holme Eden, Warwick Bridge, Cumbria - App. No. 01/0869.

I would like to register my objection to the above proposals for the following reasons

1. This is a notoriously busy road. There have been many accidents, including fatalities on this particularly dangerous stretch. The additional volume of traffic emanating from + to the new dwellings will only exacerbate the situation.
2. It is already hazardous for the Warwick Bridge school children crossing the road to + from the school, not to mention parents depositing + collecting them on foot + by car, parking alongside the school + invariably overflowing at the bus stop on the A69.
3. Mini roundabout difficult to negotiate for lorries, tractors, etc.



4. Inappropriate use of walled garden.

For the benefit of present pedestrians, children motorists + present homeowners, I recommend the application be declined.

Yours sincerely

P.A. Richardson (Mrs)  
(Daily A69 road user).

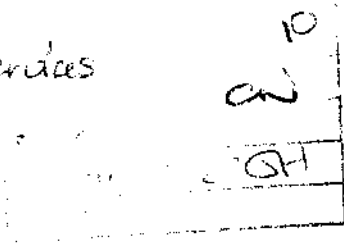
Even Holmes,  
Roads Works

CAS 9 A A

14/10/01

1. 60935

The Head of Planning Services  
TWC Centre  
Carlisle.



Dear Sir

P.A. No. 2001/0469 Holme Eden Abbey, Warwick Bridge

I wish to object to the above application on the following grounds

1) Holme Eden Abbey is a listed building, one of only two calendar houses in the country, and the future of it, and its walled garden, will have the most careful consideration. The houses and garages planned for the garden are a large, insensitive project, which I believe, should be totally (~~not~~) rejected.

2) The proposed roundabout is at a very dangerous junction near a primary school. Today work was in progress re-erecting the railings at a house on the bend, following yet another traffic incident at that place.

The original drive to the Abbey, near the bridge over the Eden is a hazardous exit on to the A 69. Taking into consideration that most rural households now have two cars, to allow this amount of traffic to exit on to the road would, I consider be courting disaster. Particularly for drivers turning right for Carlisle and having to cross the line of traffic

Yours sincerely,

M. Rosemary Dias (Mrs)

Mr Alan Taylor  
Planning Services  
Carlisle City Council

PLANNING	869/870
REF	01/0787
② - 4 OCT 2001	ant
AMT/CJH	
ACTION	

Mr Terry Jones  
1 Holme Eden Farm Cottages  
Warwick Bridge  
Carlisle CA4 8RQ

3 October 2001-10-03

Dear Sir

I am writing as a resident of Holme Eden Farm Cottages in Warwick Bridge in relation to the planning applications by DARE Northern (Development and Regeneration Excellence) for developments in the immediate vicinity of my property. I wish to raise a number of objections to the proposals.

For purposes of clarification, I am aware that there are currently two separate planning applications.

The first of these for the development of twelve residences affects, principally, the Abbey building itself and entails the development of the access road to the Abbey building which runs alongside the lodge immediately after the Bridge at Warwick Bridge. On that application, the proposed developments do not infringe on my property and I have no objections to raise.

The second planning application submitted by DARE relates to developments of the walled garden site which is adjacent to the courtyard at Holme Eden (the site of five residences, including my property: address above). It is in relation to this proposal that I wish to raise the following objections. I wish to preface these objections by pointing out that I have a legal entitlement to be informed by post of planning applications: to date, that has not happened.

1. The proposed one way road from the Abbey building into the courtyard would infringe directly on to my property (specifically in relation to the garden at the rear of my property ) because the width of access is insufficient for it to be avoided.
2. The use of this proposed one way road from the Abbey into the courtyard by vehicular traffic represents a compromise to the structural integrity of my property given that the distance between the proposed road and the wall of my property could be no more than a metre. As such the road would infringe on to the foundations of my property.
3. The proposed road is one way, but I have existing vehicular and pedestrian access against the proposed flow of one way traffic, specifically as access to a site for a garage located at the bottom of my garden. I have recently demolished the old garage and I intend to replace it with one of the same dimensions. The exit from my garage site is immediately on to the proposed road with no separation at all.
4. The proposed road is directly alongside the length of my garden. The distance between the garden and the proposed road could be no more than inches at best, and would constitute a direct intrusion into my property.
5. The pathway from the immediate front of my property on to the proposed road is blind and would entail stepping directly on to the road in the face of incoming traffic. As such it represents a potential hazard to the residents.
6. The proposed development plans do not show an outbuilding of my property which is built on to the walls of the garden. Access to that outbuilding would be similarly jeopardised by on coming traffic from the direction of the Abbey.

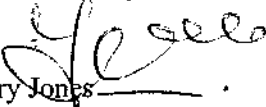
7. Egress from the courtyard for the current five residents of the properties situated there would be jeopardised by the traffic intended to enter and exit from the proposed new two road into the walled garden.

In addition to the above, I wish to raise the following objections.

It is clear that the proposed one way road from the Abbey building into the courtyard is intended to serve the residents of the new developments proposed for the Abbey building. The road would run one way from the Abbey. This proposed development is not indicated as part of the first planning application, but has been included on the second planning application. As such it is probable that the road itself is intended to serve as a lever for further planning applications immediately to the rear of the courtyard. The proposed one way road has been excluded from the first planning application of which it is clearly an integral part.

I would like these objections to be put before all members of the Planning Committee who have oversight responsibilities in relation to these planning applications.

Yours sincerely

  
Terry Jones

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 11

Date of Committee: 14/12/20.

APPN REF NO: 01/0870 /	APPLICANT: Dare (Northern) Ltd	PARISH: Wetheral
DATE OF RECEIPT: 25/09/2001	AGENT: Countryside Planning	WARD: Great Corby & Gel
LOCATION: L/A walled gardens - Holme Eden, Warwick Bridge, Cumbria		GRID REF: 347300 556900

PROPOSAL: Restoration of wall and garden, erection of 13no. dwellings within walled garden and erection of 2no. garage blocks with accommodation over together with alterations to highway junction (LBC)

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### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E35

Proposals for new development which adversely affect a listed building or its setting will not be permitted. The City Council will seek to encourage any new development to be sympathetic in scale, character and materials.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H5

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and
2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0870 /

agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock, Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lyneholmford, Midgeholme, Milton, Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T3

Proposals for development which materially increase the traffic movement on the road network will need to be accompanied by a Traffic Impact Assessment. The City Council will usually require any road improvements or new highways, identified as being necessary by the assessment, to be funded by the developer. Such work should be consistent with the role and function of the highway. In the case of trunk roads all the costs will be borne by the developer and the scheme should be designed to be consistent with the Department of Environment, Transport and Regions' design horizon.

### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 40

In rural settlements outside the National Parks and AONBs, housing development will normally be permitted, especially where it would help to sustain the existing local community, and provided it is in sympathy with the scale and character of the existing settlement. Outside rural settlements, new dwellings will normally only be permitted for those engaged in agriculture where such a dwelling is essential for the working of the farm.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E31

On land for which there is no archaeological information, but where there are reasonable grounds for believing remains to be present, the City Council will ensure that the archaeological aspects of development proposals are examined and evaluated before planning applications are determined. Planning permission will not be granted without adequate assessment of the archaeological implications.

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AGENCY: At the time of writing, the Agency's formal response to the submitted proposal including the mini-roundabout has not been received. However, it is

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0870 /

understood that this proposal is considered unacceptable. The revised proposal involving an entrance adjacent to Little Corby Road and a one way route through the site and exit next to the Eden Bridge has been passed to the Agency and comments are awaited.

HIGHWAYS AUTHORITY: The County Council as highway authority has an interest in this application, from the point of view of the County road (i.e. Little Corby Road) and the school crossing patrol. The intention is to report on the matter to the Carlisle Area Committee on 18th December.

CUMBRIA COUNTY COUNCIL (STRATEGIC PLANNING): Comments awaited, but will be available before the meeting.

WETHERAL PARISH COUNCIL: The Parish Council's initial observations were supportive of the principle of the proposal, but raised concerns that the quality of design should be maintained, and proposals for the restoration maintenance of the landscaped gardens should be guaranteed. Further observations have raised objections to the mini-roundabout and traffic arrangements as originally submitted. Observations on the amended scheme are awaited.

HAYTON PARISH COUNCIL: Comments on the traffic arrangements awaited.

ENVIRONMENT AGENCY: The site is in a low/medium flood risk area, and a flood risk assessment is required. This has been requested from the applicant.

ENGLISH HERITAGE: English Heritage have commented on the various issues raised by the application, and their letter is reproduced in the Schedule. The response is broadly supportive but it is recommended that safeguards should be sought via a Section 106 agreement to ensure the implementation of the restoration of the landscaped grounds, and to ensure that the repair and conversion of the listed building proceeds in tandem with the walled garden development.

ARCHAEOLOGY: Initially, it was recommended that as the site was of archaeological interest, a pre-determination evaluation should be carried out in accordance with normal practice. In this instance however the applicant does not own the site and has not been able to obtain access to carry out the evaluation. In this exceptional case therefore it has been recommended that this issue could be dealt with by means of a condition.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: The site is not infill, but it is acknowledged that the site represents a logical extension to Warwick Bridge. It is argued however that because the site is a greenfield windfall site, it falls within the ambit of paragraphs 35 and 36 and the new version of PPG3. These two paragraphs exclude greenfield land from the definition windfall sites, which can only be brought forward by local plan allocations.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0870 /

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site and press notices and neighbour notification. Twelve letters of objection have been received including one from Warwick Bridge School, plus a petition signed by 338 people. Overwhelmingly the issue raised is opposition to the mini-roundabout as proposed by the original submission. Comments on the revised access proposal will be reported at the meeting.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

There is no planning history relating specifically to the walled garden. For planning history related to the Abbey itself, see report on application 01/0788.

#### DETAILS OF PROPOSAL

This application, for listed building consent, relates to the same proposal as 01/0869.

### RECOMMENDATION:-

The Director will report on the latest position with regard to the application particularly with regard to the response to the revised highway arrangements.

A t I



## SCHEDULE A: Applications with Recommendation

ITEM NO. 12

Date of Committee: 14/12/20

APPN REF NO: 01/1004 /                      APPLICANT: Councillor Martlew-Petteril Bank Communit Carlisle                      PARISH:

DATE OF RECEIPT: 06/11/2001                      AGENT: Carlisle Works - Denys Nash                      WARD: Upperby

LOCATION: Petteril Bank School, Burnett Road, Old Harraby Carlisle, Cum 341800                      GRID REF: 553436

PROPOSAL: Creation of childrens kickabout area with 3m high perimeter fence

*John*

---

### REPORT

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections.

HEAD OF ENVIRONMENTAL SERVICES: No observations.

DIRECTOR OF LEISURE SERVICES: Comments awaited.

CUMBRIA CONSTABULARY: Comments awaited.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. In response, seventeen letters of objection have been received at the time of writing. Most of these do not raise specific concerns, but the issue of concern appears to be the impact of the proposal on the amenity of nearby residents.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

Since 1983, there have been four extensions to the school, plus the erection of a 2.4 metre high security fence.

##### DETAILS OF PROPOSAL

Permission is sought for the creation of an informal play and kick-about area at Petteril Bank School. Members will be aware that the school and the Community Centre at Petteril Bank are located next to each other and the proposal relates to an area 10 metres x 15 metres located in front of the School and opposite the Community Centre. At present, the area is part grassed and part tarmac. The grassed area would be tarmaced to form a uniform surface, with a 3 metre high weldmesh fence around the perimeter, painted green to match the existing palisade fence. The surrounding area is residential with housing on the opposite side of Burnett Road.

The objective is to provide a small informal play area for local children which would be maintained and supervised by the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1004 /

Community Centre staff. The particular need identified is a problem of children playing football in the street, which is obviously dangerous for the children, as well as disruptive for nearby residents.

Land allocations in the urban area of the District Plan, reflect the existing uses, with the Community Centre allocated for leisure use and the school for community use. The site in question abuts the boundary between the two areas.

In considering this proposal, Members need to consider whether this is a suitable location for a facility of this type, bearing in mind the residential nature of the area. In this regard it is relevant to evaluate the proposal on the basis of the guidelines contained within Policy L9, even though it does not involve the provision of play equipment. The said guidelines require that any play equipment should be sited at least 30 metres from the nearest dwelling to minimise any impact on nearby residents. In this case, the perimeter of the play area is some 35 metres from the nearest house, so that the 30 metre rule is complied with.

Although the proposal would inevitably have some impact on residential amenity, the fact that it complies with the 30 metre rule indicates that this is likely to be at an acceptable level. Furthermore, the location within the grounds of a school and community centre are considered appropriate for this facility. Its small size indicates that it is likely to attract only children from the immediate area.

The proposal is considered to be acceptable and is recommended for approval.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

1. Standard time limit

Coun Guesst - right facilities, wrong place.

Coun Watson - many representations that site that  
is play is needed. Slightly opposed  
by immediate residents + traders.

Coun Guesst second vote against

Carlisle City Council

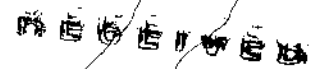
Department of Environment & Development : Planning Services  
Head of Planning : Alan Eales DipTP MRTPI

**LOCATION PLAN FOR PROPOSED  
KICKABOUT AREA**

This copy has been produced specifically for  
the Map Return Scheme purposes only.  
**NO FURTHER COPIES MAY BE MADE.**

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 06 NOV 2001  
 2001/11004

John I have been asked to supply you with the following -

#### BACKGROUND TO KICK-ABOUT PROJECT

Some two years ago two basketball posts and nets were obtained free of charge courtesy of the Basketball Association for placement in the playground of Petteril Bank School. The funds needed for the 'sleeves' was obtained from the Neighbourhood Forum by a parents group, "Friends of Petteril Bank School". The idea at the time had been that the equipment could be used by the local community as well as the school.

Not long afterwards the Education Authority decided to put security fencing around the school, including the playground, thus precluding community use of the basketball equipment outside of school hours. At a meeting of the Community Centre Management Committee, Councillor Martlew, as a governor of Petteril Bank School, was asked to request the school to leave the gates unlocked, so that the Community could use the basketball equipment. Miss Martlew raised the subject at a subsequent Governor's meeting, but failed to persuade the other governors to agree to the request. It was pointed out that apart from vandalism, which had been greatly reduced since the fencing had been installed, staff and parents no longer had to clear the playground of broken glass and dog dirt. This response was relayed back to the Community Centre Committee at their next meeting, when it was also explained that the Neighbourhood Forum money had been applied for by Friends of Petteril Bank School, rather than any other community group.

The school were well aware of the need for community facilities and offered the use of the playground, under supervision, for organised sport. This offer has only now been taken up by a newly formed football team, who will use it for training when the evenings get lighter.

Some thought was given by some of the school governors about providing something in the small area outside the playground. About a year ago Councillor Martlew was approached by some of the elderly residents of Burnett Road, asking if anything could be done to stop youths and children playing football in their street. She outlined some of the ideas discussed by the school, which they endorsed. This idea was later taken up by the Petteril Bank community policeman, PC Richard Edwards. He outlined a plan for a small kick-about area on the site of the old school library building and a small tar-mac area adjoining. Councillor Martlew, as a Ward Member, and a Governor of the school, agreed to facilitate the project by obtaining estimates etc.

There are no houses directly opposite the proposed site, which is well off the road, and is no nearer to the rear of the houses on Gillford Crescent than the basketball pitch which Community Leaders had wanted for community use. Planning permission was obviously needed because of the height of the fencing, which was recommended in order to protect nearby properties, the car park and the road.

Hope this is sufficient for your needs, if not please contact me.

Regards  
Dave

WORKS SPECIFICATION.

- A. AREA EXISTING GRASS AND SURROUNDING CONCRETE PATH TO BE EXCAVATED TO 250MM DEPTH. MAKE UP LEVELS WITH 150MM LAYER OF CONSOLIDATED SUBBASE. SUPPLY AND LAY 100MM THICK LAYER OF BITUMAC MADE UP OF 70MM THICK BASECOURSE AND 30MM WEARING COURSE.
- B. EXISTING BITUMAC AREA. NO WORKS REQUIRED.
- C. KICKABOUT PERIMETER FENCING. 3M HIGH GALVANISED WELDMESH FENCE. (MESH 50 X 50 X 2.5mm) WITH ANGLE IRON POSTS (50 X 70 X 6mm) GLOSSED GREEN TO MATCH ADJACENT PARADE FENCING. FENCE SITED TO REAR OF DWARF RETAINING WALL WHERE APPROPRIATE. APPROX SIZE 10M X 15M.

2001/1004

- 15 NOV 2001

2001/1004

SKETCH PLAN 1:100

PROPOSED KICKABOUT

AREA AT

PETTERIL BANK

SCHOOL,  
BURNETT ROAD CARLISLE



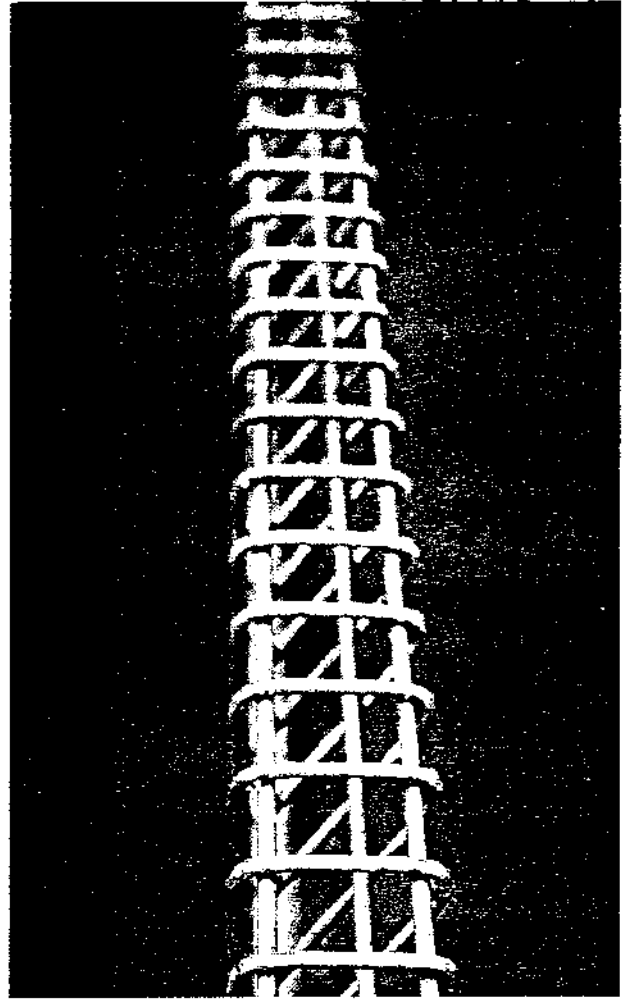
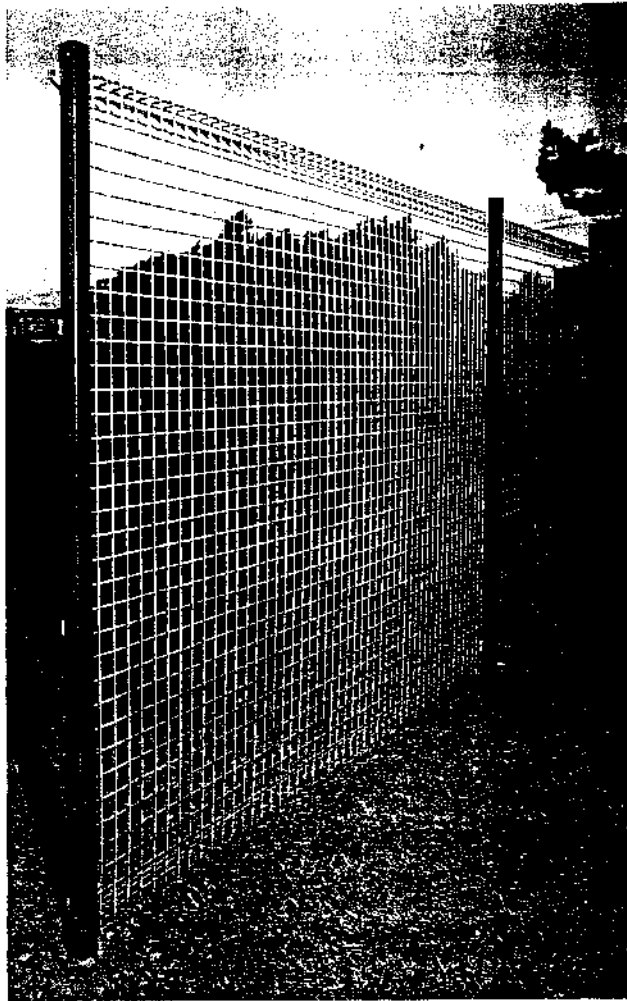
# BRC

## Fencing Systems

RECEIVED

6 NOV 2001

2001/1004



## Weldfence Roll-Top

### Fencing Panel

NB. NOT APPLICABLE TO  
WRE ROLL TOP FEATURE

The Weldfence ROLL-TOP panel features a unique roll along the width of the panel, top and bottom. This gives added strength and rigidity, so providing a light, easy to handle panel, which is visually attractive.

ROLL-TOP panels are manufactured in heights of 1200mm, 1400mm, 1800mm, 2000mm and 2400mm, with a choice of 200 x 50 or 50 x 50 mesh configuration. Furthermore when erected one above the other, a considerable range of heights can be achieved.

The 200 x 50 mesh ROLL-TOP incorporates 7mm horizontal wires and 5mm vertical wires to provide maximum strength. The 50 x 50 mesh configurations incorporate

4mm wires in both directions.

Nominal width of ROLL-TOP panels is 2.450M.

Weldfence ROLL-TOP panels are designed to be used with BRC Brenforce 'Bi-Steel' and 'International' fence posts erected at 2.5M centres. However, they can also be manufactured to suit traditional posts at centres up to 3M.

RHS tubular and concrete posts are also successfully used in conjunction with ROLL-TOP panels.

ROLL-TOP fence panels are manufactured from Galvanised Wire to BS443 and/or Plastic Coated finish.

BRC Engineering Co. Ltd., Weldmesh Division, Lichfield Road, Stafford ST17 4NN, England. ☎ 0785 57777. Telex: 36158.

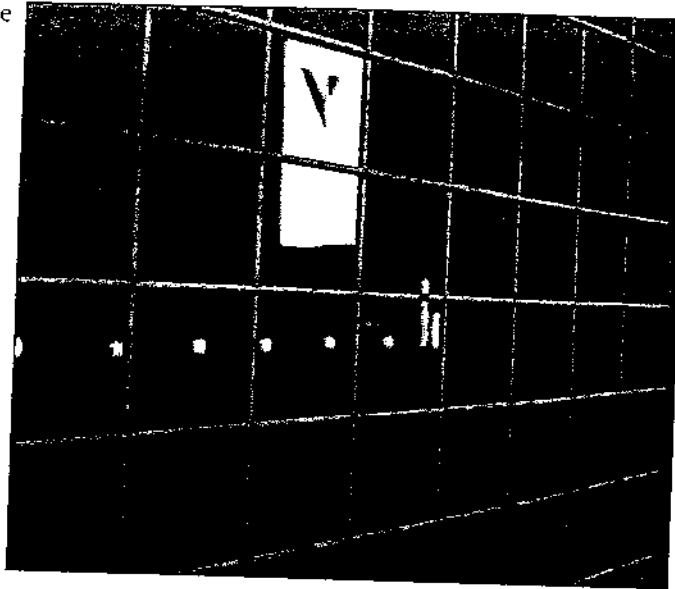


# Why Weldfence?

Weldfence is welded steel wire mesh manufactured by BRC from bright drawn wire, electrically welded at every intersection.

Finishes available:-

- galvanised
- plastic coated



From parks to prisons, ball courts to boundaries, BRC have the products and the expertise to provide solutions to fencing problems facing the specifier or contractor. Whether designing a new complex, carrying out complete replacement, or simply re-cladding posts in situ, Weldfence will meet your needs.

RECEIVED

- 6 NOV 2001

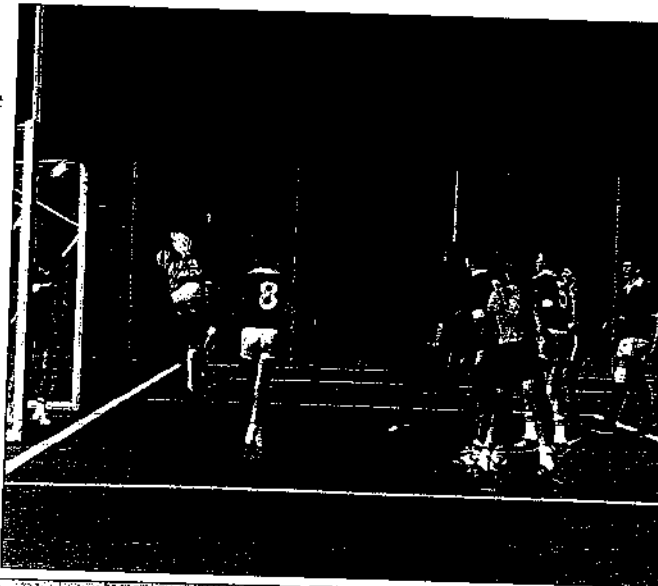
## Consider these facts.

### Weldfence for strength

It is highly resistant to vandalism and difficult to penetrate. Each strand must be individually cut to force a breakthrough. Weldfence has high impact resistance too.

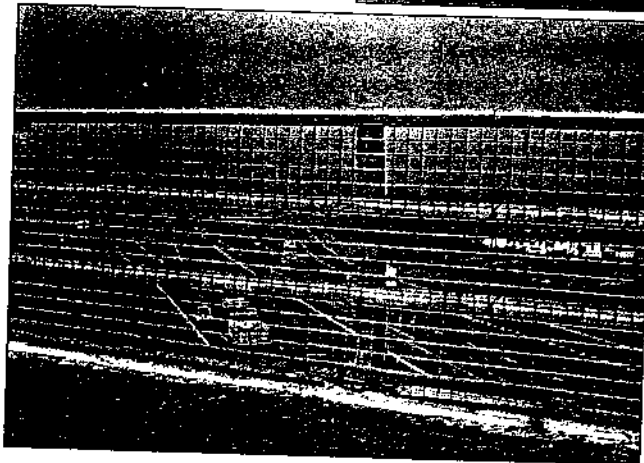
### Weldfence for versatility

Practical applications cover a wide spectrum, from simple domestic fencing to high security locations...in rolls or panels, on a variety of posts and frames, and a range of gates.



### Weldfence for looks

Unobtrusive in appearance yet extremely effective, the horizontal and vertical lines of Weldfence blend easily to the shape of buildings and to the natural environment of trees and shrubs.

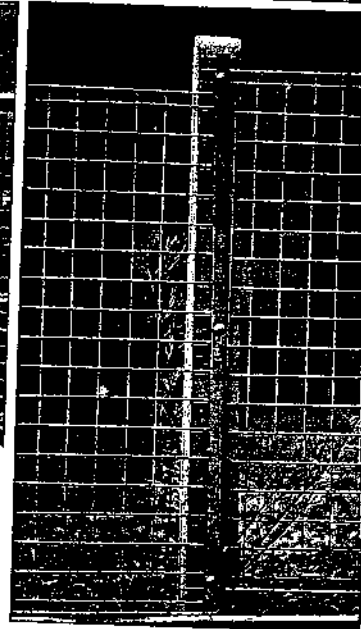


### Weldfence for longevity

Chafing or friction inherent in interwoven materials is eliminated, thus helping prolong life of protective coatings. Its low wind resistance aids its stability and maintains its effectiveness.

### Weldfence for cost-effectiveness

Weldfence is simple to obtain, light and easy to handle, straightforward to erect. Maintenance is reduced considerably.



# P E T T E R I L B A N K

12 MEADE Rd.  
PETTERIL BANK,  
CARLISLE,  
CA13BW.  
30/11/01

Your Ref CJH/DC/01/1004

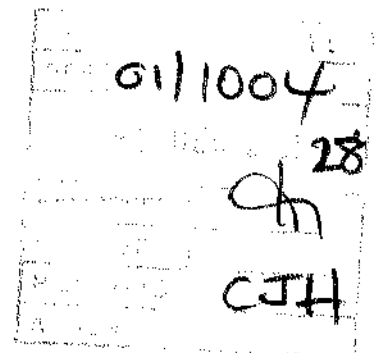
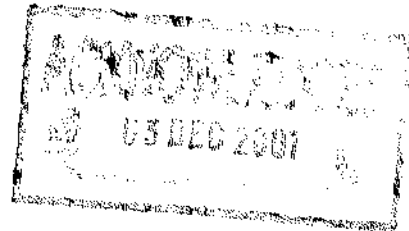
Dear Mr Hamer,

The Petteril Bank Tenants & Residents Association would like to be represented and speak at the Land use Sub Committee, to oppose the application of a children's kick about Area on land at Burnett Rd.

Yours Faithfully

Kenny Simpson

*K.A. Simpson* (Acting Sec)



C C CHRSW



Anthony Stackpoole Secretary,  
36 Petteril Bank Road,  
Carlisle,  
Cumbria,  
CA1 3AJ

01228-545232

PLANNING SERVICES	
01/1004	
01/001	
PA	
CSCA	
	(12)

19<sup>th</sup> November 2001.

Mr J Hamer  
Planning Services Division  
The Civic Centre  
Carlisle CA3 8QG

Planning Ref: CJH/DC/01/1004, Kickabout area.


Dear Sir,

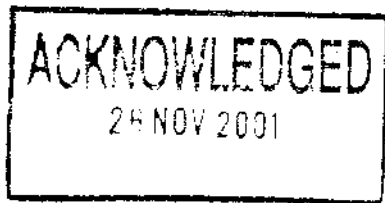
Following a recent meeting of Carlisle South Community Association last week, a number of concerns were raised by residents residing near to the proposed kickabout area located within the Petteril Bank School area.

Can we enquire if a noise impact study has been initiated, can a copy of the results be available before November 28<sup>th</sup>?

Our association would wish to make representation to the planning meeting. We therefore wish to register under the right to speak when the above application is heard.

Yours sincerely

  
A Stackpoole,  
Secretary CSCA.



12 Burnett Road,  
Carlisle,  
CA1 3BU  
01452 31111

Dear Mr Hansen,

Reference: CJH DC/01 1004

Following your letter dated November 8<sup>th</sup>, I have visited your department and viewed the plans for the proposed kick about area

I have just had a house transfer following being housed in the drug dealer's heaven area of Petteril Bank

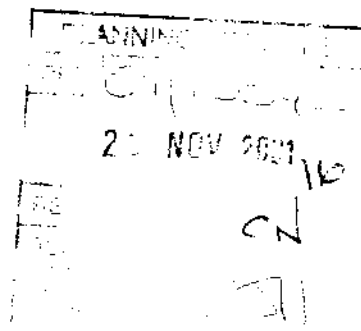
I consider the proposed planning application would adversely effect our enjoyment of the tenancy of 12 Burnett Road

I therefore object to the application, my partner and I would wish to speak in opposition to the application at the meeting

Yours faithfully,

M Bowyer Mr

M Bowyer



FORMA

EXAMPLE OF PRO ~~FORMER~~ LETTER OF OBJECTION RECEIVED  
1 OF 14

A Rudd 21a Burnett Road Old Harraby Carlisle	Reply Received: Objection
Mr J Mark 23 Burnett Road Old Harraby Carlisle	Reply Received: Objection
L Heggie 10 Burnett Road Old Harraby Carlisle	Reply Received: Objection
Miss Stackpole & Mr Bowyer 12 Burnett Road Old Harraby Carlisle CA1 3BV	Reply Received: Objection
The Occupier 6 Woodsghyll Drive Harraby Carlisle CA1 3DG	Reply Received: Objection
N Nelson 2 Woodsghyll Drive Harraby Carlisle	Reply Received: Objection
E Brown 8 Woodsghyll Drive Harraby Carlisle	Reply Received: Objection
Mr R Ferguson 5 Meade Road Carlisle CA1 3BW	Reply Received: Objection
M Klein 3 Meade Road Harraby Carlisle	Reply Received: Objection
J Simpson 78 Gilford Crescent Patteril Bank Carlisle CA1 3BT	Reply Received: Objection
K Simpson 12 Meade Road Patteril Bank Carlisle CA1 3BW	Reply Received: Objection
Mr & Mrs Francis 80 Gilford Crescent Patteril Bank Carlisle CA1 3BT	Reply Received: Objection
D Lindsay 10 Meade Road Carlisle CA1 3BW	Reply Received: Objection
Mr & Mrs Townson 8 Meade Road Harraby Carlisle CA1 3BW	Reply Received: Objection

1

W. HEGGIC  
10, BURNETT RD  
PETTERIL BANK  
CARUSLE  
CUMBRIA

Your ref CJH/DC/01/1004

19/11/01

Dear Mr Hamer,

As a resident of the Burnett Rd Gilford Cres and Meade Rd area of this application, I would like to lodge my concerns and be represented at the meeting indicated in your letter.

Yours sincerely

*W. Heggic*

PLANNING
REF: 01/1004
DATE: 19/11/01
BY: [Signature]
FOR: [Signature]
ACTING: [Signature]

22. Woodsghyll Drive  
Carlisle  
CA13DG  
28-11-01

Carlisle City Council  
Planning Services  
0<sup>th</sup> Floor  
Civic Centre  
Carlisle  
CA3 8QE

PLANNING SERVICES	
REF	01/1004
- 4 DEC 2001 21	
RECORDED	GN
SEARCHED	
PASSED	CSH
ATT	

Dear Mr Hamer,

We the residents of Woodsghyll Drive Carlisle object to the proposed development of a "kick about area" sited within the Petteril Bank (School/Community Centre)

Having been informed a site notice was placed on lamp post this was obviously removed forthwith.

Your office did say "Sixteen residents of Burnett Road had notification

2  
of the proposed plans.

These plans will not just affect those residents it will have an effect on the vast majority of us.

Our objections are as follows.

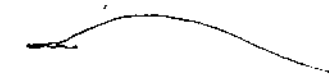
① No consultative meeting to gain views of local residents

② We are led to believe there will be no supervision of this facility

③ Are time limits to be imposed? bearing in mind there are young children and babies in the area.

④ There are two football pitches sited within the park situated 300yds away.

⑤ We feel this is a knee jerk reaction in order to take away youths hanging around the shops



on Petheril Bank Road.

If so this problem is not being addressed, the object is as always move it somewhere else.

This estate is in an appalling state mainly due to malicious damage graffiti etc caused by a minority of people.

The police are constantly called to deal with acts of vandalism committed by youths attending discos held in the community centre. This can be substantiated by Cambus police.

We look forward to the conclusion.

Yours faithfully  
Horace Porter

FOR AND ON BEHALF OF RESIDENTS  
OF WOODSGHYLL DRIVE, CARLUKE

7 HAIG ROAD  
HARRABY  
CARLISLE, CUMBRIA.

29 November, 2001.

John Hamer Esq  
Planning Dept  
Carlisle City Council  
Civic Centre  
CARLISLE.

01/1004
30
CN
CJA
ACT

Dear Mr Hamer

**PROPOSED KICK-ABOUT PITCH BESIDE PETTERIL BANK COMMUNITY CENTRE**

*As the Treasurer of Petteril Bank Football Team, and a resident of the estate, I am writing in support of the proposal to create a small fenced kick-about area on land beside the Community Centre which Petteril Bank School is willing to give up for community use.*

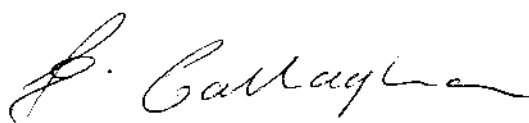
*There are very few facilities on the estate, and very little space to create all-weather play areas, and I and the signatories to the attached petition believe that the provision of this modest facility will be appreciated by the young people of the area.*

*Many people on the estate, especially those living near the shops and the Community Centre, have complained in the past about young people playing football in the street. Sadly, vandalism and other forms of nuisance forced the education authorities to put safety fencing around the school playground, otherwise that would have been an ideal play area. I understand that the school governors were well aware of the disappointment of community groups when the fencing was installed, and although they were and remain willing to allow the school playground to be used for organised sport, they are unable to leave the gates open for general public use. Their gesture in offering this small piece of land, which lies outside the school playground, and is beside the Community Centre, is one which I and the signatories of the attached petition wish to endorse.*

*I would like to add, that in supporting this proposal, we are also supporting the work of our Community Policeman, PC Richard Edwards, who is doing his very best to improve the safety and well-being of this estate. He has, in fact, been a prime mover of this particular initiative to provide somewhere for children to kick a ball around in safety..*

*We sincerely hope that favourable consideration will be given to this application for planning permission. I would, of course, be willing to come to speak in support of the project..*

Yours sincerely



Jenny Callaghan



# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
Jenny Callaghan	7 Haig Rd	J Callaghan
CHRIS NIXON	35 HAYTON RD	C. Nixon
T. Moorhead	7 Hayton Road	T. Moorhead
H. Jay	9 Hayton Road	H. Jay
H. Kirby	9 HAYTON ROAD	H. Kirby
Pat Under	5 "	Pat Under
DOT CULLEN	17 HAYTON ROAD	Dot Cullen
LEARNER	19 "	Learner
C. Under	21 Hayton Rd	C. Under
N Phillips	25 Hayton Rd	N. Phillips
R Davidson	21 HAYTON RD	R Davidson
S Davidson	27 HAYTON RD	S Davidson
J Wilson	102 Welsh Rd	J Wilson
P Hubby	104 WELSH RD	P Hubby
S Pearce	106 Welsh RD	S Pearce
Claire Tiffin	1 Semple Rd	C Tiffin
William Moorhead	1 Semple Rd	W. Moorhead
ANNETTE ADAMS	13 Semple Rd	A. Adams
PETER COADY	15 SEMPLE ROAD	P. Coady
ANNE COADY	15 SEMPLE ROAD	A. Coady
MRS STORY	17 SEMPLE ROAD	M. STORY
J. Story	10 SEMPLE RD	J. Story
J. Story	23 SEMPLE ROAD	J. Story
J. Maddy	25 SEMPLE ROAD	J. Maddy
L. Carnery	29 SEMPLE RD	L. Carnery
T Adams	13 Semple Rd	T Adams
V. Keenan	23 VICAR RD	V. Keenan
G. Ahurst	24 Blundell Rd	G. Ahurst
D. Mahony	28 Buxton Rd	D. Mahony
P. Mahony	18 Blundell Rd	P. Mahony
M. Mahony	16 Blundell Road	M. Mahony
S. Hills	16 " "	S. Hills
M. GUNSON	10 Blundell road	M. Gunson
M. Gunson	6 Blundell Rd	M. Gunson
J. Gunson	4 Blundell Rd	J. Gunson

# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
PAUL SMITH	6 HAIG RD	<i>[Signature]</i>
OTUM HUNTER.	WARNELL DR	<i>[Signature]</i>
K. Loomis	13 GILFORD DR	<i>[Signature]</i>
D. M. MEGGIE	72 DUNE END RD	<i>[Signature]</i>
R. Pedersen	56 WELSH	<i>[Signature]</i>
M Cowry	13 GILFORD CRES	<i>[Signature]</i>
A Broughton	3 WELSH RD	<i>[Signature]</i>
A Jerrard	11 ATKINSON.	<i>[Signature]</i>
Tom Wallace	39 GILFORD CRES	<i>[Signature]</i>
Trudy Whalley	London Rd.	<i>[Signature]</i>
Sheila Horner	19 Hayton Rd.	<i>[Signature]</i>
M McKenzie	2 Hayles Rd	<i>[Signature]</i>
L Paton	35, Welsh Road	<i>[Signature]</i>
M Frammel	4 HAYTON ROAD	<i>[Signature]</i>
D. Gallagher	8 HAYTON RD	<i>[Signature]</i>
O M'Carthy	22 Hayton Rd	<i>[Signature]</i>
S Taylor	26 Hayton Rd	<i>[Signature]</i>
S Hill	35 Hayton Rd	<i>[Signature]</i>
R. Hall	33 Hayton Rd	<i>[Signature]</i>
S. Duthie	47 SILSDALE RD	<i>[Signature]</i>
Shweso	92 WELSH RD	<i>[Signature]</i>
J. Powell	100 WELSH RD	<i>[Signature]</i>
S Rae	106 WELSH RD	<i>[Signature]</i>
B JACKSON	4 SEMPLE ROAD	<i>[Signature]</i>
NATALIE CARR	2 HARRIS CRES	<i>[Signature]</i>
ANXIELA GILBERTSON	6 HARRIS CRES	<i>[Signature]</i>
D SUTHERLAND	12 HARRIS CRES	<i>[Signature]</i>
E. Keenan	18 HARRIS CRES.	<i>[Signature]</i>
K. LOCKHART	20 HARRIS CRES	<i>[Signature]</i>
S. Wainman	22 HARRIS CRES	<i>[Signature]</i>
K Losh	34 " "	<i>[Signature]</i>
V. Loney	36 " "	<i>[Signature]</i>
BS Pottouk	40 " "	<i>[Signature]</i>
T proudfoot	42 " "	<i>[Signature]</i>

# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
AMANDA Rodgers	40 welsh Road,	A Rodgers
MRS C. Abbott	71 ATKINSON CREES	C. Abbott
MR S. MOFFAT	19, WICHAMPT DRIVE	S. Moffat
SEAN RODGERS	40, WELSH RD	S. Rodgers
SANDRA MOFFAT	18 PETERIL BANK	S Moffat
Donald Dowell	5 ATKINSON CREES	D Dowell
S Nixon	13 ATKINSON CREES	S Nixon
A Bankbridge	4 Lightfoot Drive	A Bankbridge
E Gerrard	11 ATKINSON CREES	E Gerrard
T Gerrard	11 ATKINSON CREES	T Gerrard
T Gerrard	23 Houg Rd	T Gerrard
V Dalton	15 ATKINSON CREES	V Dalton
A DALTON	15 ATKINSON CREES	A Dalton
P DAVIDSON	36 GILFORD CREES	P Davidson
A DAVIDSON	36 GILFORD CREES	A Davidson
A Goodman	23 ATKINSON CREES	A Goodman
J. Pym	35 Ridge Mount	J Pym
R Pym	35 Ridge Mount	R Pym
M. Simpson	18 Atkinson Crees	M. Simpson
E J Simpson	18 Atkinson Crees	E J Simpson
P L Simpson	18 Atkinson Crees	P L Simpson
W. Brown	39 Atkinson Crees	W. Brown
R. BROWN	32 ATKINSON CREES	R. Brown
A BROWN	35 ATKINSON CREES	A. Brown
A Pale	37 ATKINSON CREES	A. Pale
J. Nicholson	16 Lightfoot Drive	J Nicholson
R. Charters	37 Atkinson Crees	R Charters
S. Brown	26 Atkinson Crees	S. Brown
L. DANCE	43 Hillmead Cres, DR	L. Dance
P. Murdoch	37 Ridge Mount Rd	P. Murdoch
S. Robson	1 Ridge Mount Rd	S. Robson
T. Lyon	2 Ridge Mount Rd	T. Lyon
K. Ogerty	2 Ridge Mount Rd	K. S. Ogerty

# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
DAVID CARR	44 HARRIS CRES	D Carr
<del>S. P.</del>	46 HARRIS CRES	" "
K J Gogarty	48 HARRIS CRES	" "
J. Parkes	50 HARRIS CRES	" "
N. Gogarty	56 HARRIS CRES	" "
L. PATERSON	56 HARRIS CRES	" "
D. Phillips	19 Blundell Rd	" "
B. Clowrie	87 WELSH RD	" "
A. Leung	75 WELSH RD	" "
Lawrence	71 WELSH RD.	" "
R. ALEXANDER	61 Welsh Rd.	" "
Gavin Johnson	59 WELSH RD	" "
B. Ewen	37 WELSH RD	" "
L. Lindsay	53 WELSH RD	" "
T. CARROLL	49 WELSH ROAD	" "
D. Lacey	43 WELSH RD	" "
A. Berman	39 WELSH ROAD	" "
M. Dowell	31 Welsh	" "
T. Welsh	23 Welsh Rd	" "
D. HEGGIE	13 WELSH RD	" "
M. Dason	11 WELSH RD	" "
J. McCann	55 Welsh Rd	" "
H. Coward	5 Welsh Rd	" "
H. McDonagh	9 Welsh Rd	" "
M. THOMPSON	2 Welsh Rd	" "
M. Middleton	8 Welsh Rd	M. Middleton
S. Willson	12 Welsh Rd	" "
S. Horner	32 Welsh Rd	" "
E. Kirby	36 Welsh Rd	E Kirby

# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
J Walker	5 Skewell	J Walker
A Robinson	9 "	
M MOFFAT	11 Blundell RD.	M Moffat
P Moffat	15 Blundell rd.	
R Moffat	15 BLUNDELL RD	R Moffat
J. Marshall	17 " "	Jenks Marshall
V Little	85 Welsh rd	V Little
S BOLAM	79 " "	S Bolam
P Dowell	7 BURNETT RD	P Dowell
J DOWELL	69 Welsh	J Dowell
T STORRY	69 Welsh	T Storry
S. Dowell	106 Welsh	S Dowell
J H. Dowell	98 Welsh	J H Dowell
S. DOWELL	102 Welsh	S Dowell
H Lockey		
A. Lockey	41. Welsh Rd.	A Lockey
C Crichton	37 WELSH RD	Crichton
A MEDPATH	33 WELSH RD	A Medpath
Crichton	21 Welsh Rd	Crichton
K McArthur	17 Welsh	K McArthur
E Gould	7 Welsh rd	E Gould
H. Coward	5 Welsh rd	H Coward
R. Brington	3 Welsh RD	R Brington
A Hoff	4 HAIG RD	A Hoff
Mrs A M Nichol	10 Welsh Rd	Mrs Nichol
P.A. Southwell	18 WELSH RD	P.A. Southwell
A Twigg	38, WELSH RD	A Twigg

Petteril Bank Rd B/C/Club Petteril SHOPS.  
 Early Bird After Schools Club

# Supporting Local Children

We the undersigned support the development of a five a side football pitch adjacent to the school on Burnett road, Harraby for use by the students of the school & the local community

name	address	signature
Ruth Gass	43, Petteril Bank	R. Gass
Margaret Cairns	31 HATTON RD	M Cairns
Karen Graham	35 GURDONS Cres	K Graham
Claire Tiffin	1 Semple Rd	C Tiffin
LISA PARISH	33 BARD RD	L. Parish
Jassy BROWN	2 Lightfoot Drive	J BROWN
Maggie Moorhead	123 Lightfoot Drive	M Moorhead
DONNA DELOOKE	3 BURNETT RD	DM DeLooke
Lisa Cairns	43, Petteril Bank Rd	L Cairns
LINA GERRARD	8 HAIR RD.	
ELLEN Kirby	36 WASH RD	E Kirby
CAROL MORRISON	49 LIGHTFOOT DRIVE	
P HARESIGN	51 Petteril Bank Rd	P Haresign
T Lyon	2 Ridgemoor Rd	T Lyon
K Grogerty	56 HARRIS crescent	K Grogerty
RS Grogerty	7 Ridgemoor Rd	R Grogerty
W. Moorhead	33 BARD RD	W Moorhead
V Grogerty	45 HARRIS crescent	V Grogerty
Michael Graham	35 GURDONS Cres	M Graham
J. CROMAR	19 LIGHTFOOT DRIVE	J Cromar
P Moorhead	2 HOLMCREES DRIVE	P Moorhead
W Moorhead	" " " "	W Moorhead
Blair Templeton	15 TANKHEAD COTTAGE	B Templeton
NICOLE TEMPLETON	" " " "	N Templeton
MARTIN TEMPLETON	" " " "	M Templeton
Andrew Dolan	3 BURNETT Rd	A Dolan
ANGELA HAUGHAN	17 BURNETT RD	A. Haughan

## SCHEDULE A: Applications with Recommendation

ITEM NO. 13

Date of Committee: 14/12/2001

APPN REF NO: 01/1013 /  
APPLICANT: Kingswood Learning & Leisure Group  
PARISH: Dalston

DATE OF RECEIPT: 15/11/2001  
AGENT: Demesne Partnership  
WARD: Dalston

LOCATION: Lime House School, Greensyke Farm, Cumdivock, Dalston, Carlisle  
GRID REF: 335440 548400

PROPOSAL: Construction of dining/function hall with kitchens, teachers retreat and ancillary accommodation on site of partially constructed chapel

*Angus*

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### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

##### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1013 /

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and
3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### CARLISLE DISTRICT PLAN LEISURE - POLICY L4

Within the Plan area, outside Primary Leisure Areas, proposals for leisure development including sport and active recreation development will be acceptable provided that:

1. the proposal does not have an adverse impact on the amenity of the surrounding area; and
2. appropriate car parking and access to the site can be achieved; and
3. the proposed use is of an appropriate scale to the locality; and
4. where practicable, the proposal can be accessed by public transport; and
5. the proposal makes a positive contribution to the development of tourism in the district; and/or
6. if the proposal is within Carlisle, it brings a vacant or part vacant building into use or contributes to the development of a mixed use scheme.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM11

Within the rural area proposals for the reuse and adaptation of buildings (of permanent construction) for commercial, industrial or recreational uses will be acceptable subject to the following criteria:

1. the form, bulk and general design of the buildings are in keeping with the surroundings;
2. adequate access and appropriate parking arrangements are made;
3. any increased traffic generated by the proposal can be accommodated by the existing highway network;
4. there is no unacceptable adverse effect on the amenity of adjacent property or the surrounding landscape.

#### SUMMARY OF CONSULTATION RESPONSES:-

DALSTON PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: No objections but recommend the attachment



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1013 /

of a supplementary informative note to any decision notice.

HIGHWAYS AUTHORITY: Comments awaited.

HEAD OF ENVIRONMENTAL SERVICES: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

Publicity for this proposal has been in the form of a site notice and the direct notification of the occupiers of three neighbouring properties. No observations have been received at the time of preparing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1988, under application number 88/0386, planning permission was given to use the premises at Greensyke House as boarding accommodation for children attending Lime House School.

In 1989, under application number 89/0616, planning permission was granted to convert the existing barn and garages into classroom and staff accommodation.

In 1993, under application 93/0630, planning permission was given for the erection of an assembly hall and girls dormitory.

In 1995/96, under application numbers 95/0092 and 95/0879, planning permission was given for the erection of a chapel/function building and science labs.

The site is also currently subject to application numbers 01/1043 and 01/1099.

#### DETAILS OF PROPOSAL

Greensyke House is a substantial Victorian property set within attractive grounds to the east of the farmhouse and outbuildings associated with the original steading. The property was previously used to provide accommodation for 75-140 boarding girls, and, classrooms for the junior school. The property also provided accommodation for the Headmaster, a matron, and, 4 members of staff.

The applicants have recently acquired a 10 year lease on the property with a view to opening an Educational Activity Centre next year. Kingswood Educational Activity Centres have been in existence for almost two decades with residential study centres located in Norfolk, the Isle of Wight, Wales and Staffordshire. The applicants offer courses to school children, accompanied by their teachers, which are designed to support primary school teaching in the 5-14 National Guideline framework. There will be 35-40 staff employed at the site, with accommodation being provided for approximately 200 children.

The existing buildings are to be argued by a number of new

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1013 /

facilities, including a reception/dining centre, multi-purpose sports hall, climbing/abseiling tower, low and high rope courses, and, a problem solving area with caving system. Each of these will form the basis of separate planning applications.

This application, and the following items (reference numbers 01/1043 and 01/1099) should therefore be seen within this wider context.

The proposal under application number 01/1013 is to use the partly built chapel (approved under 95/0092) to create a dining/function hall, kitchen, shop, reception and toilets on the ground floor with a teacher's common room and plant room on the first floor - see attached copies of plans.

In considering this application it is felt that the following points should be kept in mind:

- a) Ministerial advice contained in paragraph 3.13 of PPG7 "The Countryside - Environment Quality and Economic and Social Development" states that increasing opportunities for people to enjoy the countryside for sport and recreation provides new uses of land in the countryside and is an important source of income and employment. Paragraphs 3.14 also highlights that the re-use and adaptation of existing rural buildings has an important role in meeting the needs of rural areas: "It can reduce the demands for new building in the countryside, avoid leaving an existing building vacant and prone to vandalism and dereliction, and provide jobs".
- b) Based on the available information it is felt that the proposed educational activity centre falls within Use Class A2 which includes "use as a residential school, college or training centre". As a consequence the use of the former school buildings and land as an educational activity centre do not require planning permission. The difficult task for Members is therefore one of assessing the impact of the proposals, subject to the current applications, which will provide important services for the recognised use of the property as an educational activity centre.
- c) The three main inter-related issues are:
  - i. the impact of the proposal on the character of the area; ii. effect on the current amenities enjoyed by neighbouring residents; and, iii. the amount/type of traffic generated.
- i. The proposed dining/function hall has been deliberately located between existing buildings and based on the foundations of the chapel approved under 95/0092. In so doing it will create a traditional courtyard. In the context of the existing buildings and trees, the proposed structure should not harm the visual character of the area.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1013 /

- ii. The proposed dining/function hall should not, in itself, harm the amenity of neighbouring residents. When considering the Centre as a whole, and based on the total number of anticipated pupils, the applicants have stated that facilities will include an indoor sports hall, climbing tower, low and high rope courses, indoor "laser-tag" facility, and, a caving system. Neighbouring residents have also informally raised concerns that go-karting may take place in the future. The creation of a tower, low and high rope course, sports hall, and, a go -kart track are likely to require planning permission and could therefore be assessed on their own merits in the future. The aforementioned facilities should not, however, lead to an increase in the amount of existing accommodation and thus the number of users.

Members also need to appreciate the relationship of the property to neighbouring dwellings. The nearest residential unit is located on the opposite side of the road approximately 70 metres to the north.

Approximately 300 metres to the east there is the property known as Bellgate, and, 130 metres to the west is The White House. In effect there is a "buffer area" which would also mitigate any problems. The comments of the Head of Environmental Services are, nonetheless, awaited at the time of preparing the report.

- iii. It is acknowledged that access to the site is via a C class road. The generation of traffic associated with the Centre as a whole could be difficult to predict accurately because of the inherent unpredictability in establishing such an enterprise. Further information has, nevertheless, been sought from the applicants on how many teachers would be resident at the premises, the likely types and numbers of vehicles, and, any likely seasonal variations.

In conclusion, the provision of an educational centre and its associated facilities raise general concerns over impacts on the rural character of the area; the amenity of neighbours; and, the adjoining highway. Planning polices, nevertheless, also seek to encourage tourism/recreational activities and rural diversification. The proposed dining/function hall is so integral to the educational centre that it is difficult to divorce consideration of one from the other.

The proposed activity centre obviously represents a substantial investment by the applicants in the district.

The notification period for neighbouring residents expires on 19th December and therefore, on the basis that awaited comments from interested parties do not raise any objections, authority will be sought to issue an approval.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1013 /

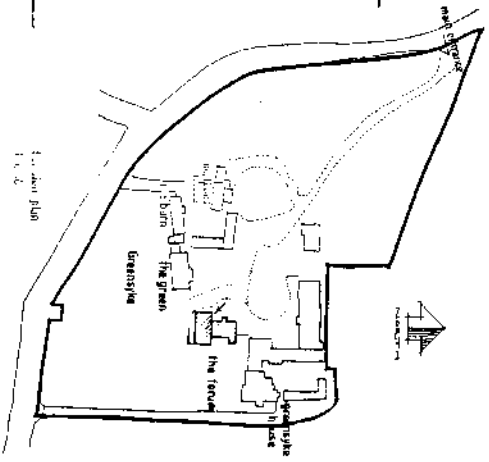
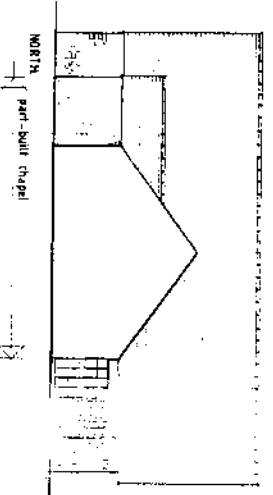
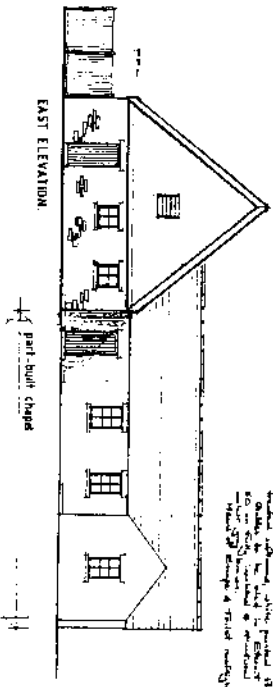
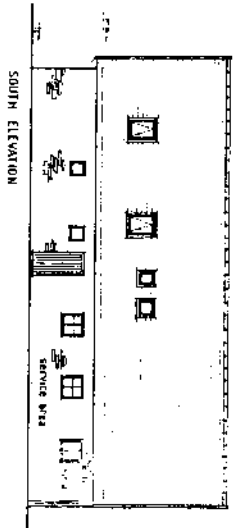
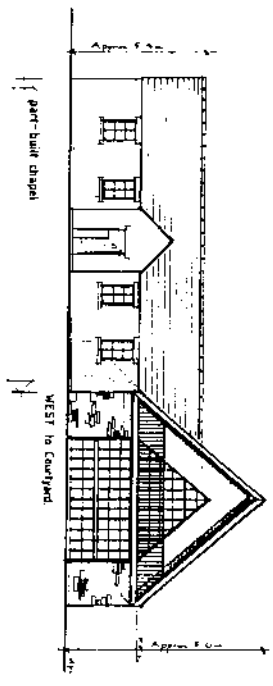
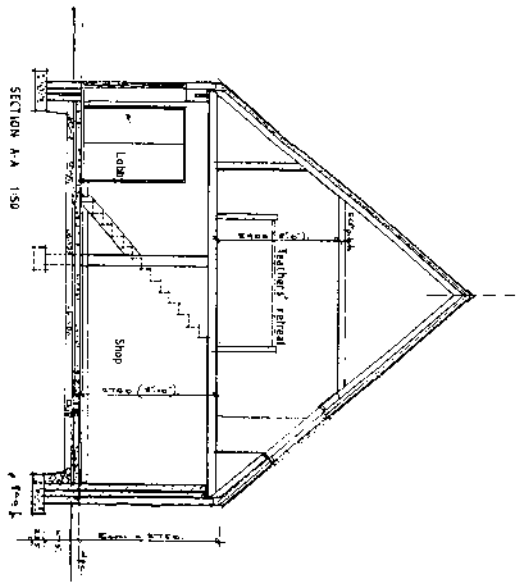
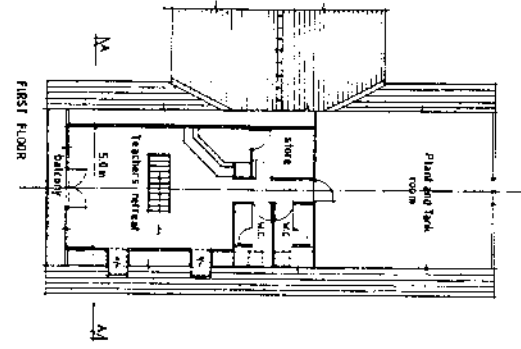
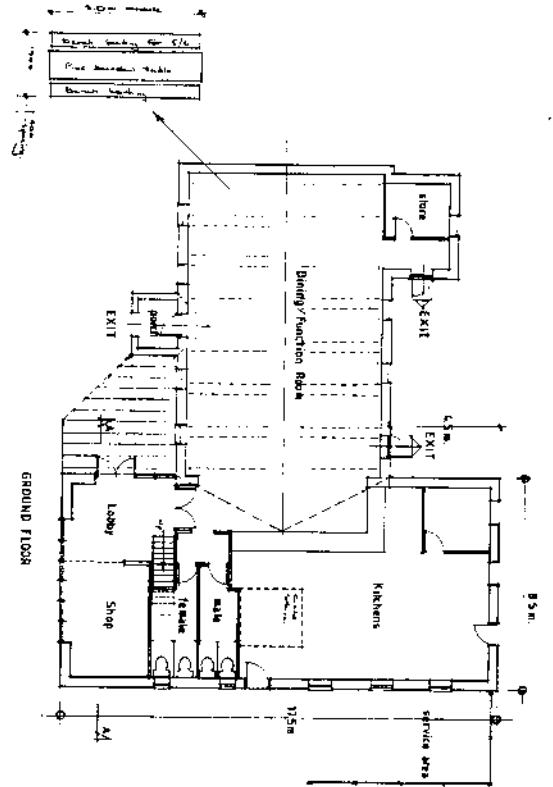
### RECOMMENDATION: -

APPROVE WITH CONDITIONS

1. Standard time limit

Si

Supp Schedule  
Pages 32-52  
+ loose letters



27 May 2001  
**Kingswood**  
 Architects

Proposed construction and extension of part-built chapel to dining and reception building (The formal)	October 2001
Job no 2346/26	Scale 1:100
Drawn 23/06/2002	
<b>Kingswood</b>	
Architects	

## SCHEDULE A: Applications with Recommendation

ITEM NO. 14

Date of Committee: 14/12/2001

APPN REF NO: 01/1043 /  
APPLICANT: Kingswood Learning & Leisure Group  
PARISH: Dalston

DATE OF RECEIPT: 14/11/2001  
AGENT: Demesne Partnership  
WARD: Dalston

LOCATION: Lime House School, Greensyke Farm, Cumdivock, Dalston, Carlis  
GRID REF: 335369 548364

PROPOSAL: Change of use of disused barn to provide two storey accommodation for "laser-tag" and similar indoor activities

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### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

##### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1043 /

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and
3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### CARLISLE DISTRICT PLAN LEISURE - POLICY L4

Within the Plan area, outside Primary Leisure Areas, proposals for leisure development including sport and active recreation development will be acceptable provided that:

1. the proposal does not have an adverse impact on the amenity of the surrounding area; and
2. appropriate car parking and access to the site can be achieved; and
3. the proposed use is of an appropriate scale to the locality; and
4. where practicable, the proposal can be accessed by public transport; and
5. the proposal makes a positive contribution to the development of tourism in the district; and/or
6. if the proposal is within Carlisle, it brings a vacant or part vacant building into use or contributes to the development of a mixed use scheme.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM11

Within the rural area proposals for the reuse and adaptation of buildings (of permanent construction) for commercial, industrial or recreational uses will be acceptable subject to the following criteria:

1. the form, bulk and general design of the buildings are in keeping with the surroundings;
2. adequate access and appropriate parking arrangements are made;
3. any increased traffic generated by the proposal can be accommodated by the existing highway network;
4. there is no unacceptable adverse effect on the amenity of adjacent property or the surrounding landscape.

### SUMMARY OF CONSULTATION RESPONSES:-

DALSTON PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: No objections but recommend the attachment

# SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1043 /

of a supplementary informative note to any decision notice.

HIGHWAYS AUTHORITY: Comments awaited.

HEAD OF ENVIRONMENTAL SERVICES: Comments awaited.

## SUMMARY OF REPRESENTATIONS:-

Publicity for this proposal has been in the form of a site notice and the direct notification of the occupiers of three neighbouring properties. No observations have been received at the time of writing the report.

## DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

### PLANNING HISTORY

In 1988, under application number 88/0386, planning permission was given to use the premises at Greensyke House as boarding accommodation for children attending Lime House School.

In 1989, under application number 89/0616, planning permission was granted to convert the existing barn and garages into classroom and staff accommodation.

In 1993, under application number 93/0630, planning permission was given for the erection of an assembly hall and girls dormitory.

In 1995/96, under application numbers 95/0092 and 95/0879, planning permission was given for the erection of a chapel/function building and science labs.

### DETAILS OF PROPOSAL

This application relates to a two storey barn lying to the south of the former headmaster's house. The nature of the proposed conversion is considered sympathetic to the original building whilst the relatively low key nature of the use should not harm the amenity of neighbouring residents.

The notification period for this application also expires on the 19th December and therefore, in line with the report accompanying application number 01/1013, authority to issue an approval will be sought subject to no objections being raised from interested parties.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS

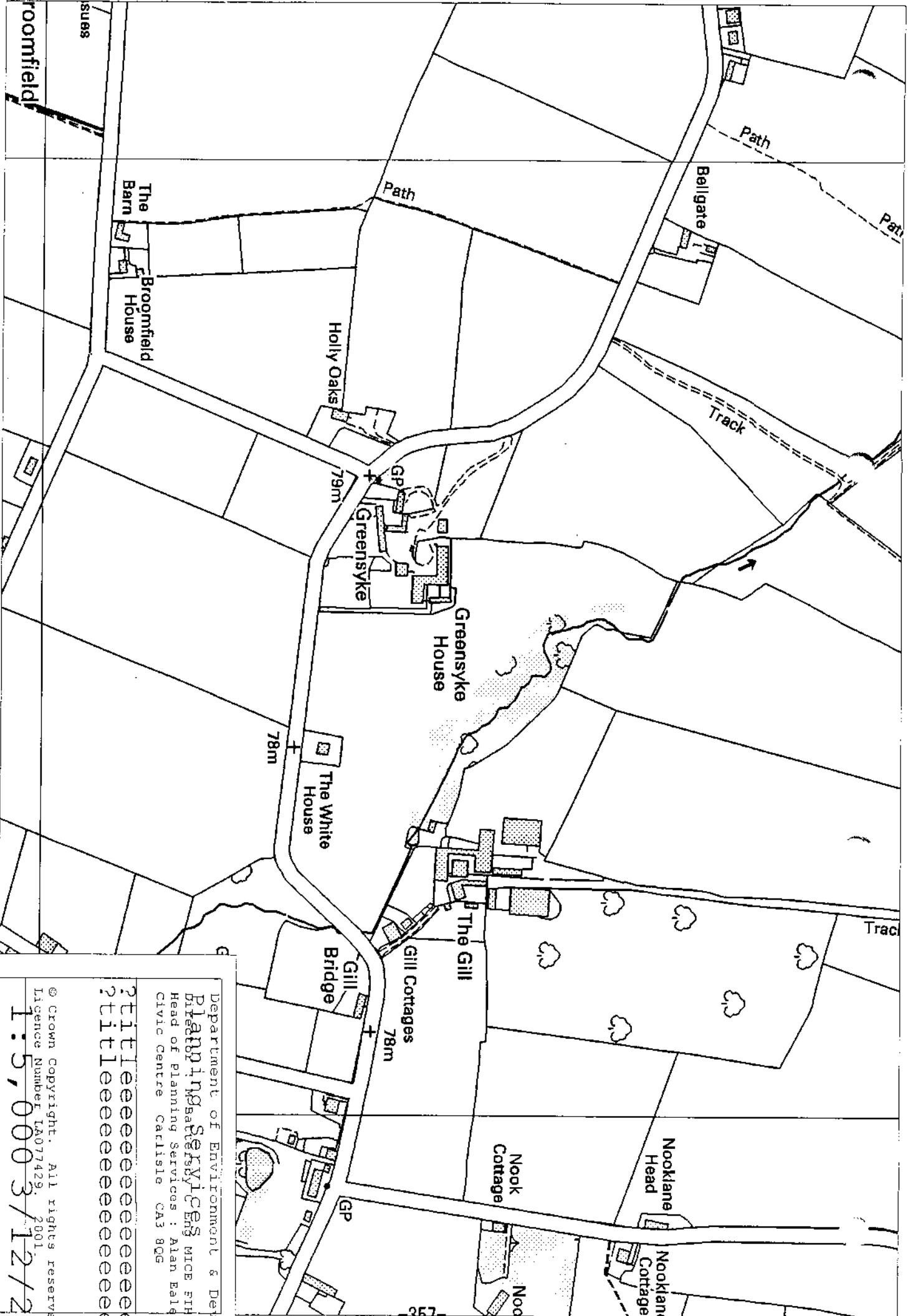
1. Standard time limit

*Mr Armstrong (obj)*  
*No lateral building*  
*noise -*  
*where will it end?*  
*traffic*

*Mr Spivak (app)*  
*apps for 3 sep bldgs*  
*No hidden agenda*

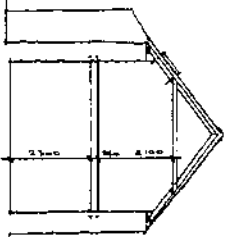
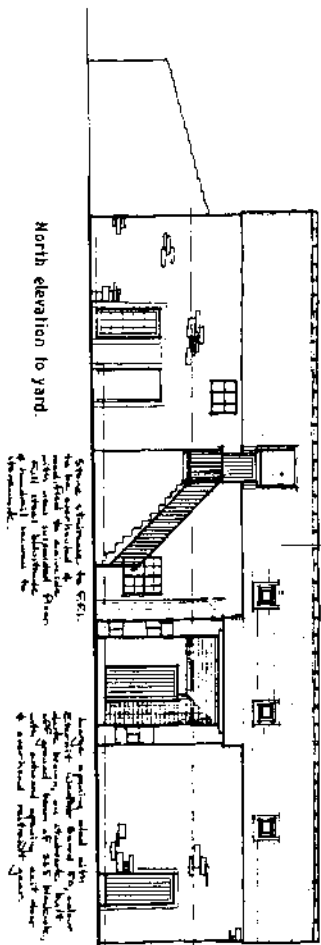
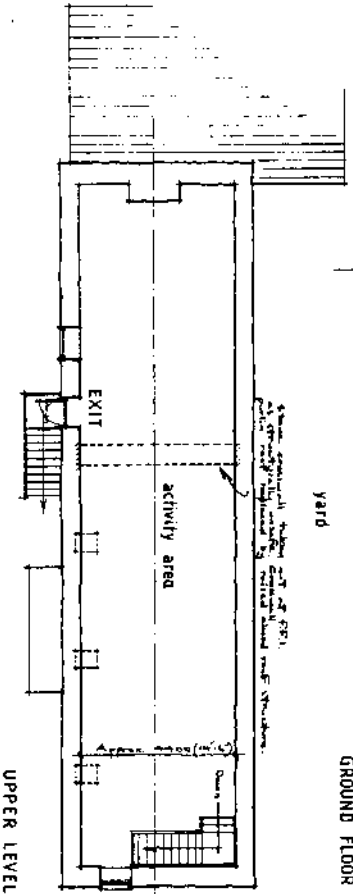
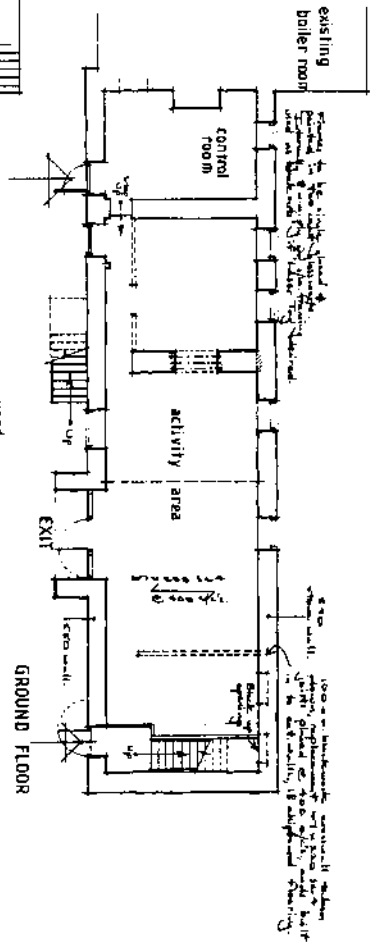
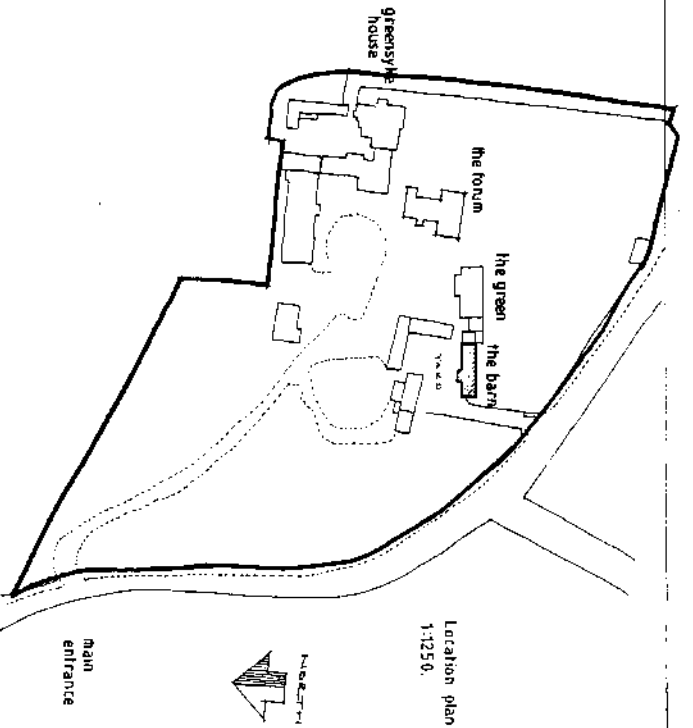
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Department of Environment & Development  
 Planning Services  
 Head of Planning Services : Alan Balguy  
 Civic Centre Carlisle CA3 8QG

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 1:5,000 3/12/20



Construction drawings for the activity area. The drawings show the layout of the activity area and the location of the existing boiler room. The drawings are to be used as a guide for the construction of the activity area.

Notes: The drawings show the layout of the activity area and the location of the existing boiler room. The drawings are to be used as a guide for the construction of the activity area.

PLEASE NOTE: The drawings show the layout of the activity area and the location of the existing boiler room. The drawings are to be used as a guide for the construction of the activity area.

Notes: The drawings show the layout of the activity area and the location of the existing boiler room. The drawings are to be used as a guide for the construction of the activity area.

2001/1043  
11 NOV 2001

notes

Main entrance

Location plan  
13256.

Proposed change of use of barn to Activity Accommodation, former Lime House School, Dalston  
Job no 2347125 November 2001  
DWG no 2347125/1 Scale 1:100  
**Kingswood**  
DRAWN BY: J. B. B. / J. B. B. / J. B. B.  
CHECKED BY: J. B. B. / J. B. B. / J. B. B.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 15

Date of Committee: 14/12/20

APPN REF NO: 01/1099 /  
APPLICANT: Kingswood Learning & Leisure Group  
PARISH: Dalston

DATE OF RECEIPT: 29/11/2001  
AGENT: Demesne  
WARD: Dalston

LOCATION: Lime House School, Greensyke Farm, Cumdivock, Dalsto Carlisle  
GRID REF: 335369 548364

PROPOSAL: Construction of above ground caving system for use by students

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### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

##### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM11

Within the rural area proposals for the reuse and adaptation of buildings (of permanent construction) for commercial, industrial or recreational uses will be acceptable subject to the following criteria:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1099 /

1. the form, bulk and general design of the buildings are in keeping with the surroundings;
2. adequate access and appropriate parking arrangements are made;
3. any increased traffic generated by the proposal can be accommodated by the existing highway network;
4. there is no unacceptable adverse effect on the amenity of adjacent property or the surrounding landscape.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and
3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### CARLISLE DISTRICT PLAN LEISURE - POLICY L4

Within the Plan area, outside Primary Leisure Areas, proposals for leisure development including sport and active recreation development will be acceptable provided that:

1. the proposal does not have an adverse impact on the amenity of the surrounding area; and
2. appropriate car parking and access to the site can be achieved; and
3. the proposed use is of an appropriate scale to the locality; and
4. where practicable, the proposal can be accessed by public transport; and
5. the proposal makes a positive contribution to the development of tourism in the district; and/or
6. if the proposal is within Carlisle, it brings a vacant or part vacant building into use or contributes to the development of a mixed use scheme.

### SUMMARY OF CONSULTATION RESPONSES:-

DALSTON PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: Comments awaited.

HIGHWAYS AUTHORITY: Comments awaited.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1099 /

HEAD OF ENVIRONMENTAL SERVICES: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

Publicity for this proposal has been in the form of a site notice and the direct notification of the occupiers of three neighbouring properties. No observations have been received at the time of preparing the report although the notification period will expire on 24th December.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1988, under application number 88/0386, planning permission was given to use the premises at Greensyke House as boarding accommodation for children attending Lime House School.

In 1989, under application number 89/0616, planning permission was granted to convert the existing barn and garages into classroom and staff accommodation.

In 1993, under application number 93/0630, planning permission was given for the erection of an assembly hall and girls dormitory.

In 1995/96, under application numbers 95/0092 and 95/0879, planning permission was given for the erection of a chapel/function building and science labs.

The property is also currently subject to applications numbers 01/1013 and 01/1043.

#### DETAILS OF PROPOSAL

This application relates to an existing grassed mound adjoining the sports pitch of the former school premises. The proposed cave system is not felt to be detrimental to the character of the area nor should it, in itself, harm the amenities of neighbouring residents.

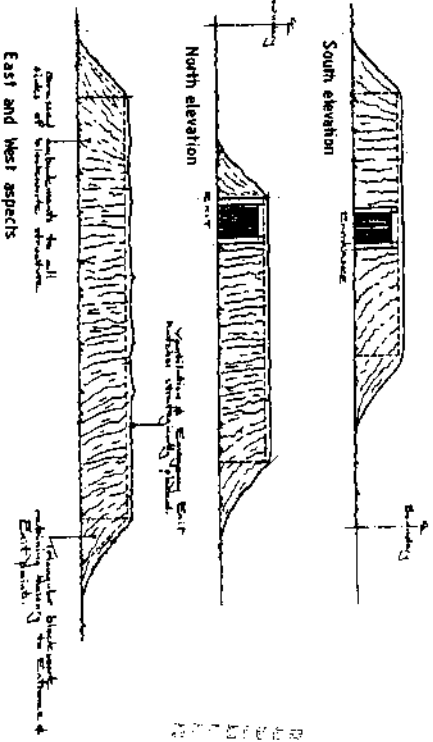
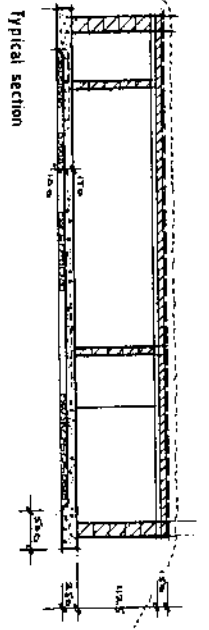
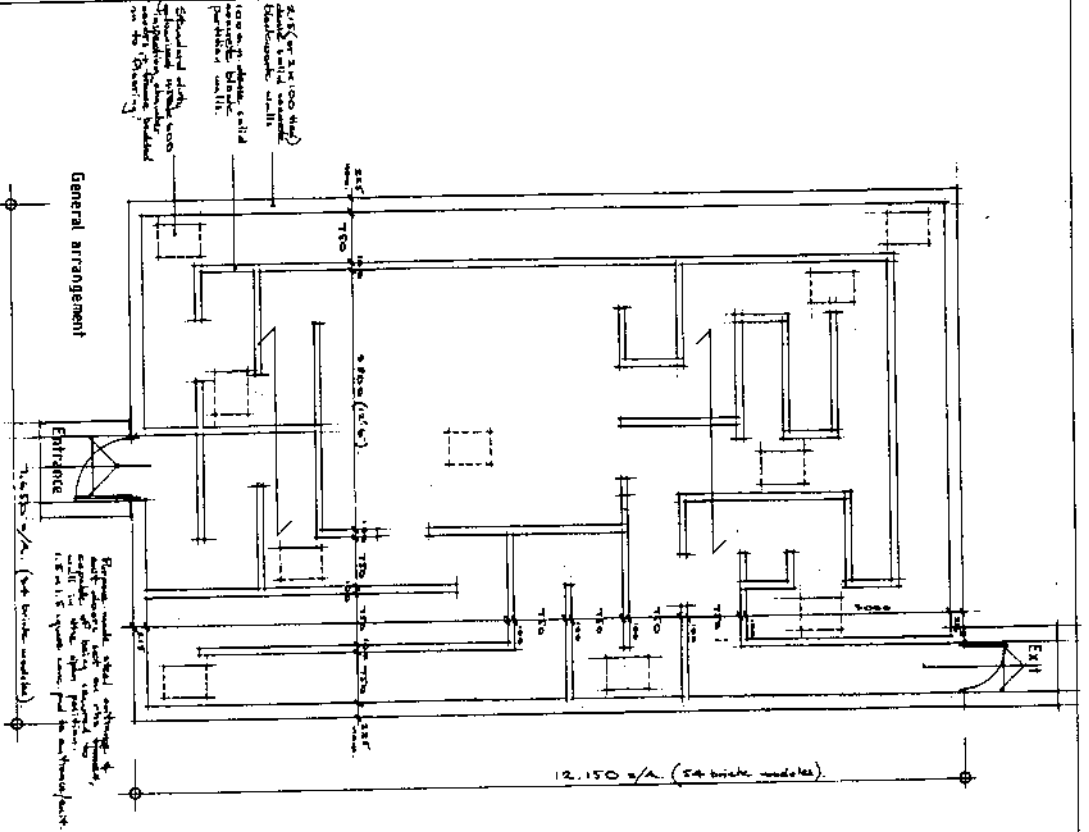
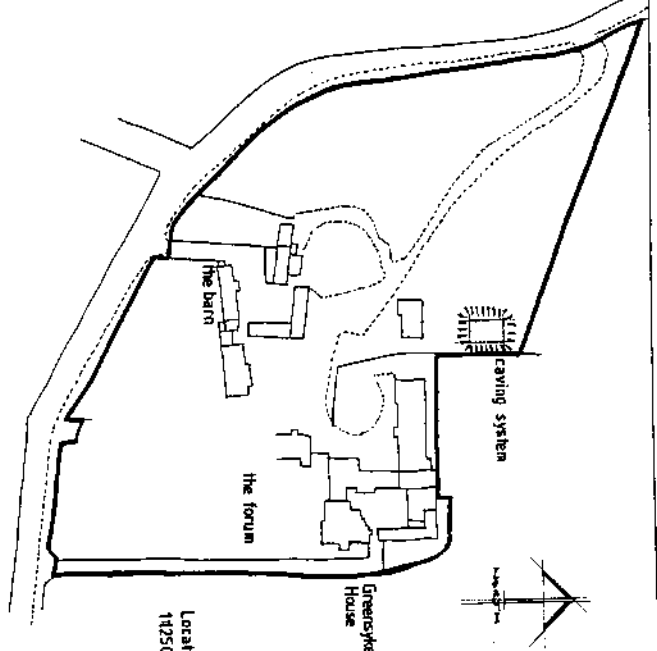
In line with the report accompanying application numbers 01/1013 and 01/1043 the proposal is recommended for approval subject to no objections being raised from interested parties. Members should, nonetheless, be aware that the notification period for neighbours will expire on the 24th December and therefore authority to issue an approval will be sought.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS

1. Standard time limit

SV



Structure is proposed as a single storey building with a total area of 1000 sqm. The building will be constructed using brickwork. The structure will be built on a concrete foundation. The building will be built on a concrete foundation. The building will be built on a concrete foundation. The building will be built on a concrete foundation.

<b>Kingswood</b> DISTRICT Planning Department	
Proposed Caving System for Student Use, former Greensyde Farm, Camdwick Dalston, Cumbria	November 2001
Job no 2349/201	Scale 1:50, 1:100
Dwg no 2349/201	November 2001

## SCHEDULE A: Applications with Recommendation

ITEM NO. 16

Date of Committee: 14/12/20.

APPN REF NO: 01/1049 /                      APPLICANT: Mr C M Chung                      PARISH: Carlisle

DATE OF RECEIPT: 15/11/2001                      AGENT: Mr Jock Gordon                      WARD: Castle

LOCATION: 203 Newtown Road, Carlisle, Cumbria                      GRID REF: 338220 555990

PROPOSAL: Erection of illuminated projecting box sign (retrospective)

John

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E47

Proposals for advertisements in Carlisle, Brampton and Longtown will be permitted providing that:

1. it is an appropriate location for advertising given the character and appearance of the surrounding area; and
2. the general siting, size and dominance of the advertisement will not have an adverse impact on the amenity of adjacent property; and
3. any relevant road safety issues are taken into consideration; and
4. within Conservation Areas particular attention must be given to the design, siting and illumination of the advertisements to ensure the preservation and enhancement of the special character and appearance of the area.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. To date, no representations have been received.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

Planning permission was granted in October last year for the use of the premises as a hot food takeaway (application 00/0578). Subsequently, permission was granted in February 2001 for the enclosure of the rear yard.

##### DETAILS OF PROPOSAL

Advertisement consent is sought for the erection and display of

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1049 /

an illuminated box sign at 203 Newtown Road which is located on the corner of Bardsley Street. The premises have recently become a hot food takeaway, and the sign which is the subject of the application has already been erected. It is an internally illuminated projecting box sign 600MM X 400MM, erected above fascia level at a height of 4.3M.

The general character of the surrounding area is residential, with individual shop premises, and this is reflected in its allocation as a Primary Residential Area. The original shopfront had a simple fascia sign and in a residential area, this is preferable. In this location, an internally illuminated sign is not appropriate and would be discordant, visually intrusive feature.

Furthermore, the position of the sign, above fascia level makes it more obtrusive, and this is also regarded as a legitimate objection.

### RECOMMENDATION:-

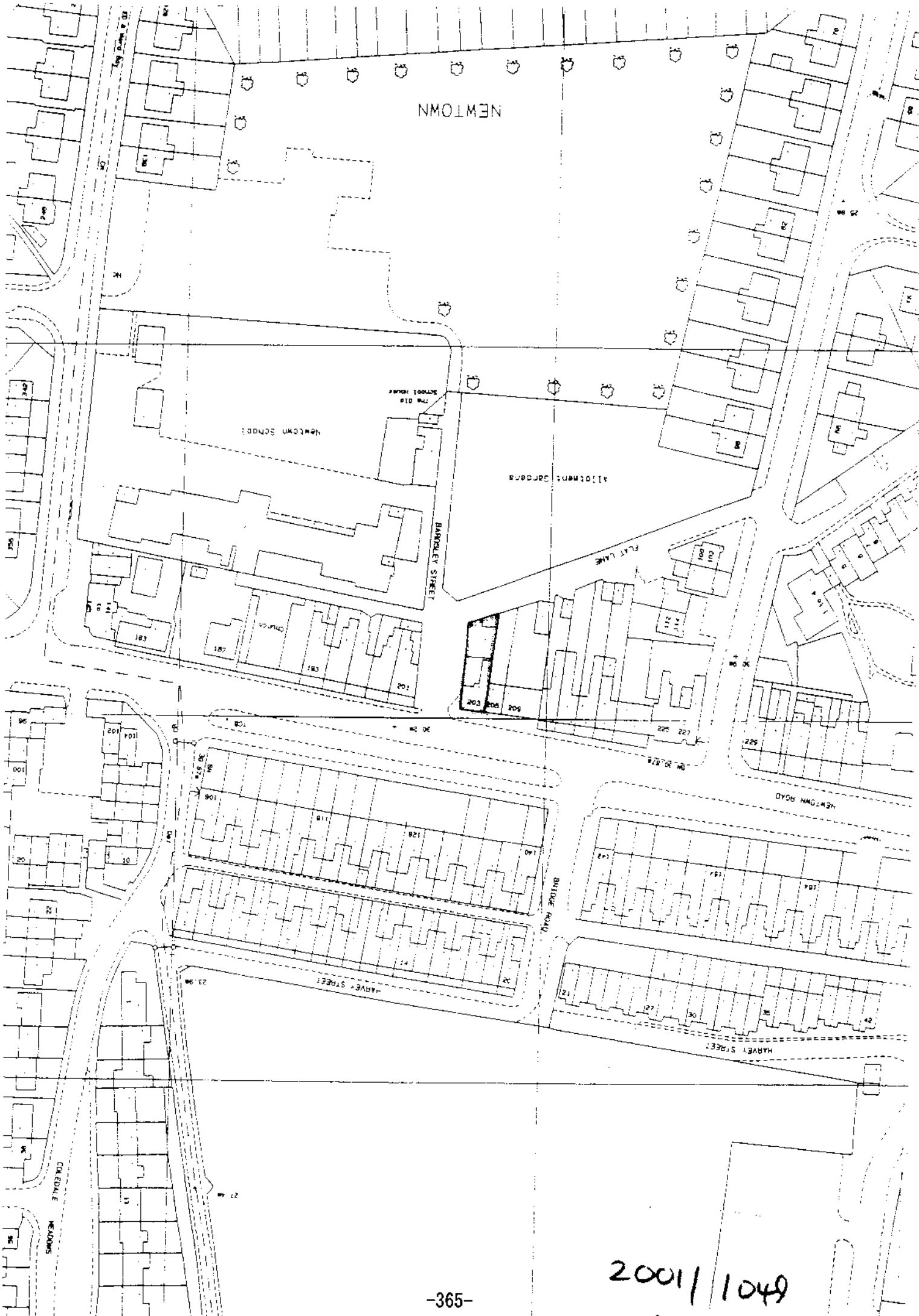
REFUSE

1. REASON: The internally illuminated projecting sign which has been erected at the premises is an obtrusive and visually intrusive feature, detrimental to visual amenity in this residential area, and contrary to Policy E47 of the Carlisle District Local Plan, by reason of the type of illumination ~~at~~ its position above fascia level. <sup>its</sup>

^  
and

+ ENF. ACTION ✓





NEWTOWN

NEWTOWN SCHOOL

THE OLD SCHOOL HOUSE

ALIGNMENT CARPENS

FLAT LAKE

BARROLEY STREET

NEWTOWN ROAD

BRIDGE ROAD

HARVEY STREET

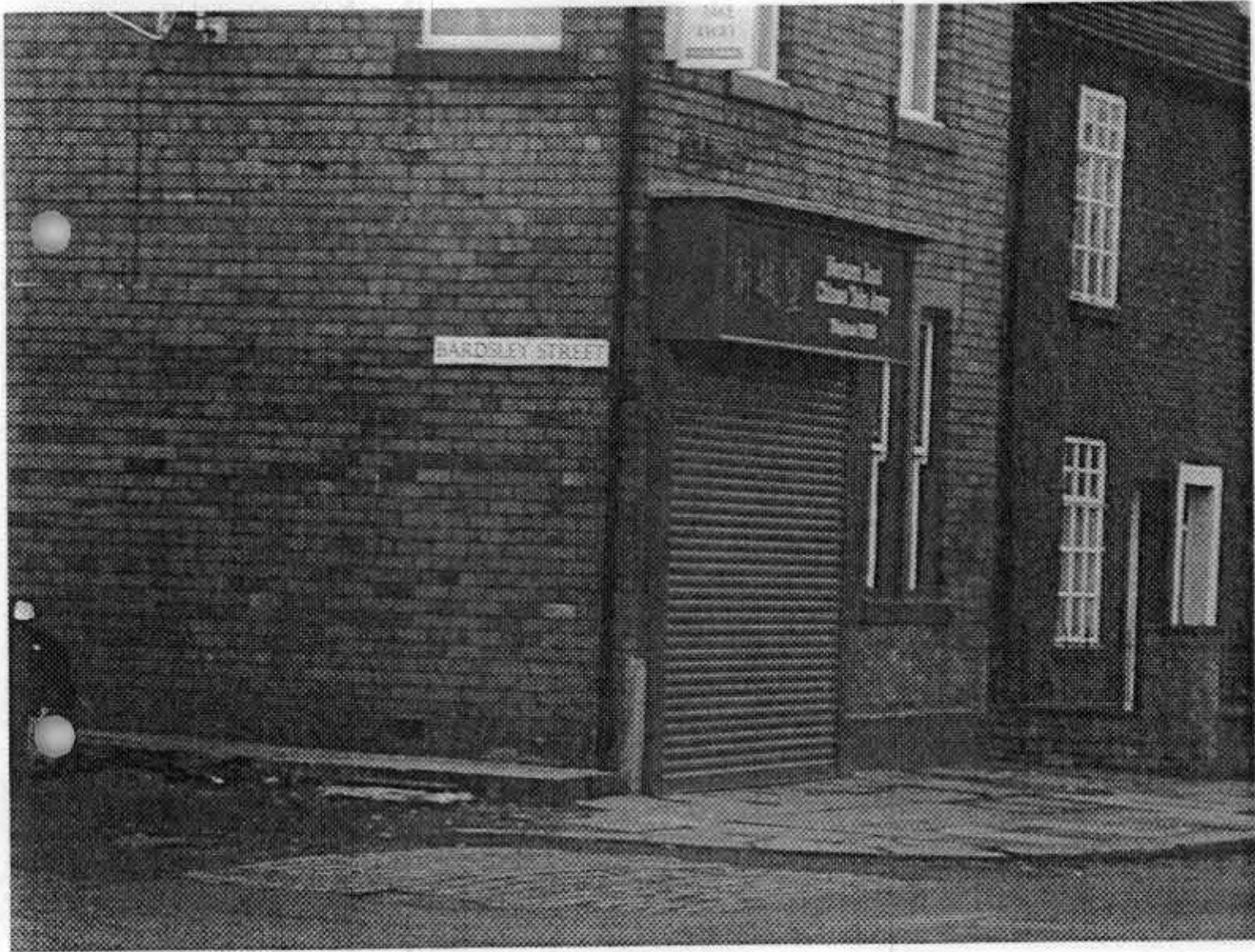
HARVEY STREET

COLEDALE

MEADOWS

2001/1049

2001/1049



2001 NEWTOWN RD

CARLISLE

CUMMINGTON

C4272N

4/12/01

01/1049
3
CN
CSA
Schedule

F.H.O. MR S. HAZER  
PLANNING SERVICES

DEAR SIR,

REF. PLANNING APPLICATION 2001/1049

ILLUMINATED SIGN AT 203 NEWTOWN RD.  
CHINESE TAKE-AWAY.

MAY I STANCLY OBJECT TO THIS  
APPLICATION ON THE GROUND IT IS TOTALLY  
NOT IN KEEPING WITH THE RESIDENTIAL AREA  
SURROUNDING AND DOES NOTHING FOR THE  
SIGHT LINES OF MY AND SURROUNDING  
PROPERTY THE NAME OF THE ROAD IS  
NEWTOWN ROAD NOT CHINATOWN ROAD

YOURS FAITHFULLY

## SCHEDULE A: Applications with Recommendation

ITEM NO. 17

Date of Committee: 14/12/2001

APPN REF NO:  
01/0819 /

APPLICANT:  
Mr P Drinkall

PARISH:  
Wetheral

DATE OF RECEIPT:  
11/09/2001

AGENT:  
Green Design Group

WARD:  
Wetheral

LOCATION:

L/A former Builder Yard (Fld 2872), Cumwhinton, Carlisle, Cum 346300 551700

GRID REF:

PROPOSAL: Siting of 6no. <sup>stone</sup> ~~residential~~ caravans and formation of pond

John

### REPORT

#### PLANNING POLICIES:-

##### COCKLAKES SAFEGUARDING AREA

The proposal relates to land or premises situated within the Cocklakes Safeguarding Area.

##### GAS PIPELINE SAFEGUARDING AREA

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

##### WASTE DISPOSAL SITE

The proposal site is within or adjacent to a Waste Disposal Site.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection, subject to condition safeguarding public footpath and bridleway.

RAILTRACK: No objection.

UNITED UTILITIES: Comments awaited.

ENGLISH NATURE: No objection.

ENVIRONMENT AGENCY: Drainage recommended.

WETHERAL PARISH COUNCIL: Wetheral Parish Council do not raise any objection to the principle of the development, but are concerned about landscape impact, and suggest that log cabins would be preferable to caravans, and that landscaping should be improved. The footpath adjoining the site should be safeguarded. Permission should be limited to five years. It is also pointed out that the further development of the fishing puts more pressure on the two access lanes.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of press and site notices, and neighbour notification. One letter of objection has been refused, which raises the issues of the increased use

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0819 /

of the accesses to the site, and water supply.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1959 the use of the land as a tyre depot was approved. Between 1978 and 1980, two applications for use as a scrapyard were refused. In 1985, an application for change of use to builder's yard, with a further approval in 1994 for use for the storage of building materials. Planning history related to the Fishery itself is set out under application 01/0838.

#### DETAILS OF PROPOSAL

This application was deferred at the meeting on 2nd November, so that Members could make a site visit. It will be recalled that application 01/0819 is the first of two applications which relate to the Lonsdale Fishery site, and associated land. The Fishery is located adjacent to the Carlisle - Settle railway line, based on the flooded clay pits the former Lonsdale Brick Works. The area is a site of Special Scientific Interest, although the application site is outside the boundary. The site is operated as a commercial fishery, with a warden's dwelling, office and range of holiday lodges. The principal access to the site is from the Cotehill - Cumwhinton Road, and passes a number of residential properties before going under the railway line.

Application 01/0819 relates to an area of 0.73 hectares on the west side of the railway line with a separate access down a track from the road which also provides a link under the railway line to the rest of the site. The site was formerly used as a tyre depot, and following a fire, it remained derelict for some years before being used as a builders yard. It has since been restored, and now appears as a small field with a number of small trees and a hedge along the frontage to the track.

The application proposes that the site be used as an extension to the fishery, with a new pond created, and six static caravans sited around the western and southern margins of the site. A bund would be created along the eastern and part southern boundaries. All the existing boundaries would be reinforced with additional planting.

The application raises a number of issues, related primarily to the location of the site. Policy EM13 of the District Plan deals specifically with Caravan Sites. This identifies landscape impact as a principal consideration. In this regard, the site is already well screened, and this screening will be further improved by the proposals. The historical use of the site as a tyre depot and as a builders yard is regarded as a further justification for the proposal, which is considered to comply with the requirements of Policy EM13.

Since the last meeting the applicant has submitted photographs

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0819 /

of its condition before it was restored. It is also pointed out that the site has approval as a Caravan Club certified site for up to 5 touring caravans. It will be noted that the Parish Council have indicated that they would have preferred to have seen log cabins rather than caravans. Officers advise that whilst this might be seen as preferable, caravans are regarded as acceptable.

The second issue is the access to the site. As explained above, this is along a track from the main road, which is also a public footpath. The intention is to use this route rather than the existing main access to the fishery, thus avoiding further traffic passing the houses along this route, and a double crossing of the railway line. It will be noted that the one letter of comment received, and the Parish Council's comments raise this issue. The highway authority and the Ramblers Association have no objection to this arrangement which is considered to be acceptable. Likewise, English Nature have no objection from the nature conservation perspective.

The other issues raised by the Parish Council are the occupation of the caravans and the duration of any permission granted. Although it is legitimate to impose a condition limiting occupancy to prevent permanent occupation, a condition limiting occupancy to users of the fishery would not be reasonable. Likewise, it would not be reasonable to limit permission to five years.

The other issue raised in the letter of objection is the water supply. Whilst at the time of writing, no observations have been received from United Utilities, Members will be aware that it is the developer's responsibility to secure a water supply for the proposal. This issue is not therefore seen as a significant one.

This proposal is regarded as an appropriate use for this site which has been a source of problems over the years.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS

1. Standard time limit
2. This permission shall be in respect of the creation of a pond and the siting of six ~~residential~~ <sup>static</sup> caravans, the siting of which shall adhere the plans submitted with the application.
3. The caravans hereby permitted shall be used solely for short term holiday letting for not more than 21 days at anytime. These properties shall subsequently not be sold, let or otherwise be allowed to be occupied as permanent accommodation.
4. Scheme to include species
5. Scheme to be implemented and maintained

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0819 /

6. There shall be no interference with the public's right of way over Public Footpath No 138039 and bridleway No 138048.
7. The occupation of the six static holiday caravans shall be restricted to the period from 1st February to 30th November, with no occupation within the period all of December and all of January, each subsequent year. *each year*
8. No development shall be commenced until a scheme for the disposal of foul and surface water has been approved in writing by the local planning authority. The approved scheme shall be completed before any of the caravans are occupied. *throughout*

Reservoir

82

# WETHERAL

88

Wetheral  
Shield

Shield

APPL RECORDS

This application has been approved under the above Act and is subject to the terms of the official Notice of Approval issued under Application Reference No: 9710425

Date: 18 JUL 1997

DOM. IN. CONTROL

63

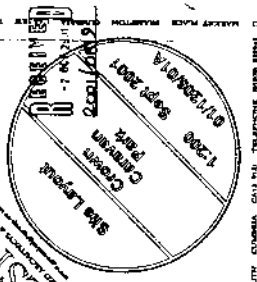
Parkhead

Alby  
Lodge

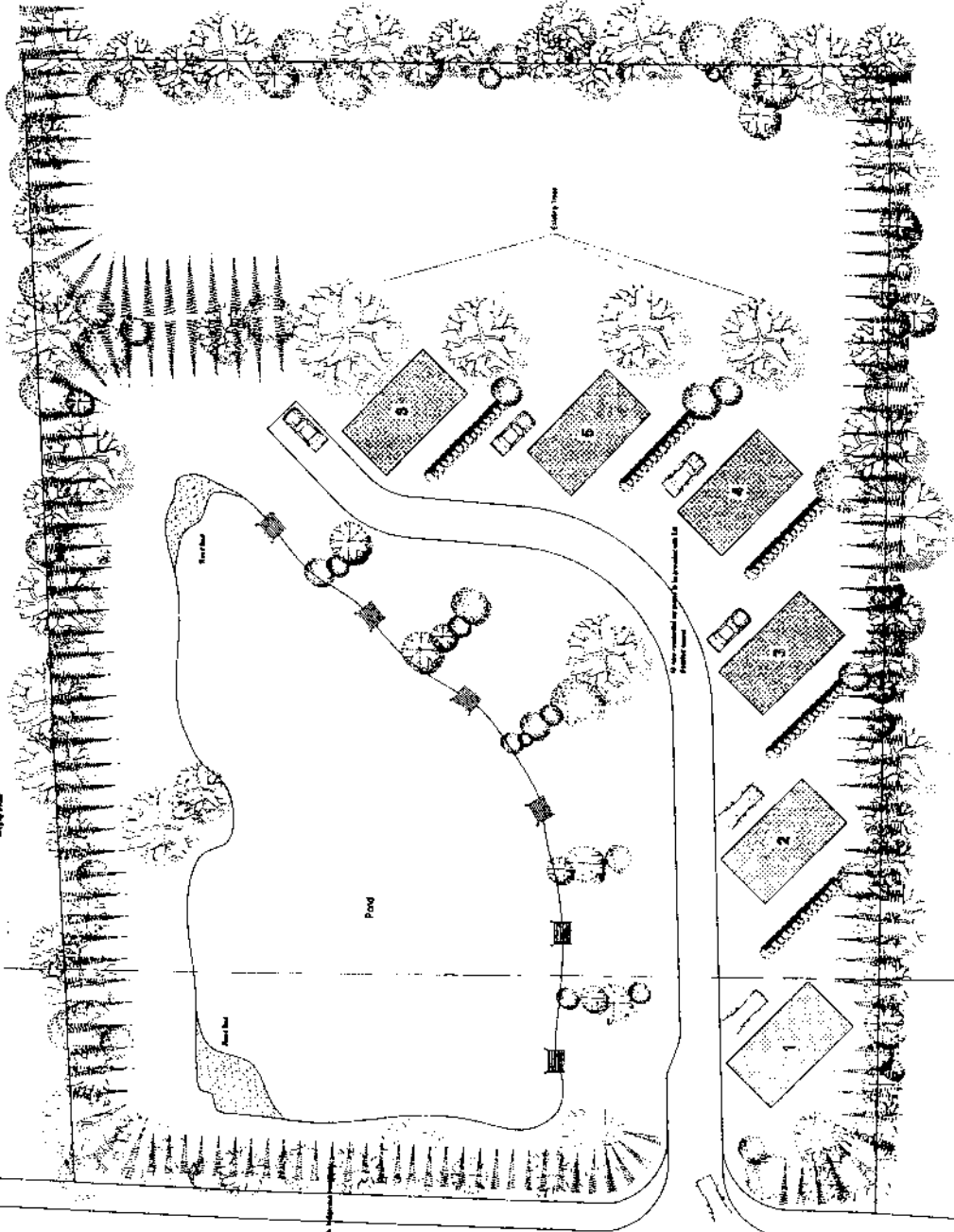
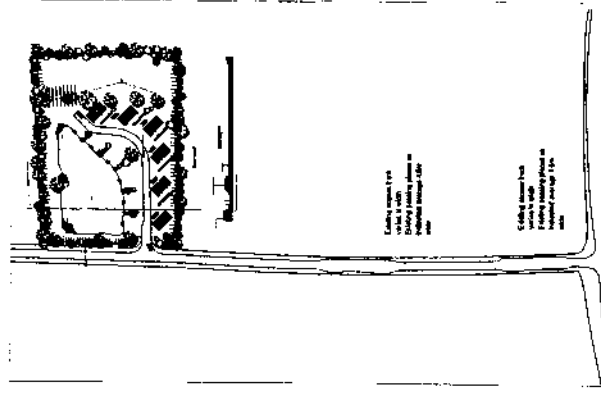
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11 SEP 2001

2001089





**GREEN DESIGN GROUP**  
 INCORPORATED  
 1200  
 Sept 2007  
 Green Design Park  
 SMA License  
 01/2004/01/14  
 01/2004/01/14  
 01/2004/01/14  
 01/2004/01/14



Existing building footprints to be demolished and replaced with new building footprints.

**Site Plan 1:200**

Earth Retention Structure - 10' high  
 Existing Ground Line  
 Proposed Earth Retention Structure



PLANNING SERVICES	
REF	01/0819 r 01/0838
12 OCT 2001	
RECEIVED	PCW
SCANNED	
PASSED TO	CSA
ACTION	

Old Lonsdale Works,  
Cumwhinton,  
Carlisle.  
CA4 0AX,  
Tel: 01228 530301.

11th October 2001.

Dear Mr HARRISON

Re: Planning Applications 01/0819 & 01/ 0838.

I refer to the above planning applications, made by Paul Drinkall, I wish to object to the proposed developments.

1/ ACCESS.

Ref: 01/0838, this development is adjacent to my premises, as you are aware, I have full planning permission to re-develop my own premises, from the old brickworks and sawmill to agricultural and residential. I feel that any further development at Lonsdale Park would be an infringement of my privacy and also that of the residents of Lonsdale Terrace.

I own the access at Lonsdale Terrace (in front of the houses) Railtrack and I own the land under the bridge and directly in front of Lonsdale Park and my premises. All the residents of Lonsdale Terrace have a privileged right of way to their houses, going back to previous plans for Lonsdale Park, I believe Mr Drinkall has privileged agricultural access to his property. Railtrack in Manchester were not aware of Mr Drinkalls development until early this year when one of their agents came to see me about another matter.

The residents of Lonsdale Terrace bought their houses for the peace, Quiet and isolation of the area. During the fishing/holiday season there is an excess of vehicles using the lonning and Lonsdale Terrace to get to Lonsdale Park, we know Mr Drinkall is not responsible for the driving of these vehicles, but some of the drivers have no consideration for the people on Lonsdale Terrace or myself, eg: driving at excess speed, and not taking into consideration the signs the residents have put up regarding speed and children playing, I have the problem of vehicles turning round and parking on the land in front of my property.

During the FMD restrictions, Mr Drinkall put a sign at the entrance of the lonning, asking visitors to use alternative entrance to his premises, the majority of them did, but those that didn't see the sign still used the lonning and Lonsdale Terrace, having to turn round on my land to go to the other entrance, this sign was also put up when the Cocklakes railway line was being removed.

If the alternative entrance can be used when it suits Mr Drinkall, why can it not be used permanently, saving the residents and me the hassle and inconvenience of the extra traffic, If this alternative entrance could be used permanently and the existing one used in emergencies only, the problem with the traffic would be resolved.

2/ UPKEEP

Last year the residents and I decided to re-surface the access

roads to our premises, it was agreed that the residents would pay £50 each towards the cost, Mr Drinkall agreed with one of the residents that he would pay £500 towards the cost, the balance and the labour to be met by me. When the day of reckoning came, the residents all paid their share. Mr Drinkall decided he wasn't going to pay what he called the lions share, and eventually paid £400 which was £350 from him and £50 for one of the residents whose partner was working for him at this time, I ended paying the lions share £700 plus my labour.

The basis of this is Mr Drinkall wants to use the access but does not want to contribute to its upkeep. Cumbria and Carlisle Council are not interested in this loaning so it is up to us the residents to maintain it.

### 3/WATER

Finally this covers both applications 0819 / 0838, I have no objection to plan 0819 in as much as the access to this site does not concern me. But where Mr Drinkall is getting the water from is another issue, some years ago my Father allowed one of the previous owners of Lonsdale Park to take a water line off our mains pipe. The main was put in and paid for by the brickworks, to supply Lonsdale Terrace and the brickworks. At the time of the previous owner taking water from our main it was for one house, this was not a problem.

When Mr Drinkall took over and development started my Father was annoyed with him for presuming he could take all the water from this same main. My Father was ill at the time and could not be bothered arguing anymore with Mr Drinkall, so the development went on.

I have checked with United Utilites, who say all the water for the chalets, caravans, toilet block and the house is been drawn from this main.

I object to Mr Drinkall taking any more water from this main for his new venture, a Tea Room, as I have problems now with the water pressure, and I havn't as yet started to build my house and obviously would be using a lot more water myself. (0838)

I also object to him using this same main for his proposed development plan 0819, another six caravans using more water. United Utilites have checked with planning liason, there has been no indication of a new main being requested for this development, so presumably he would be using our main again. United Utilites are liasing with planning liason and if the question of the water supply is raised, they will suggest a new main be fitted for the new developments.

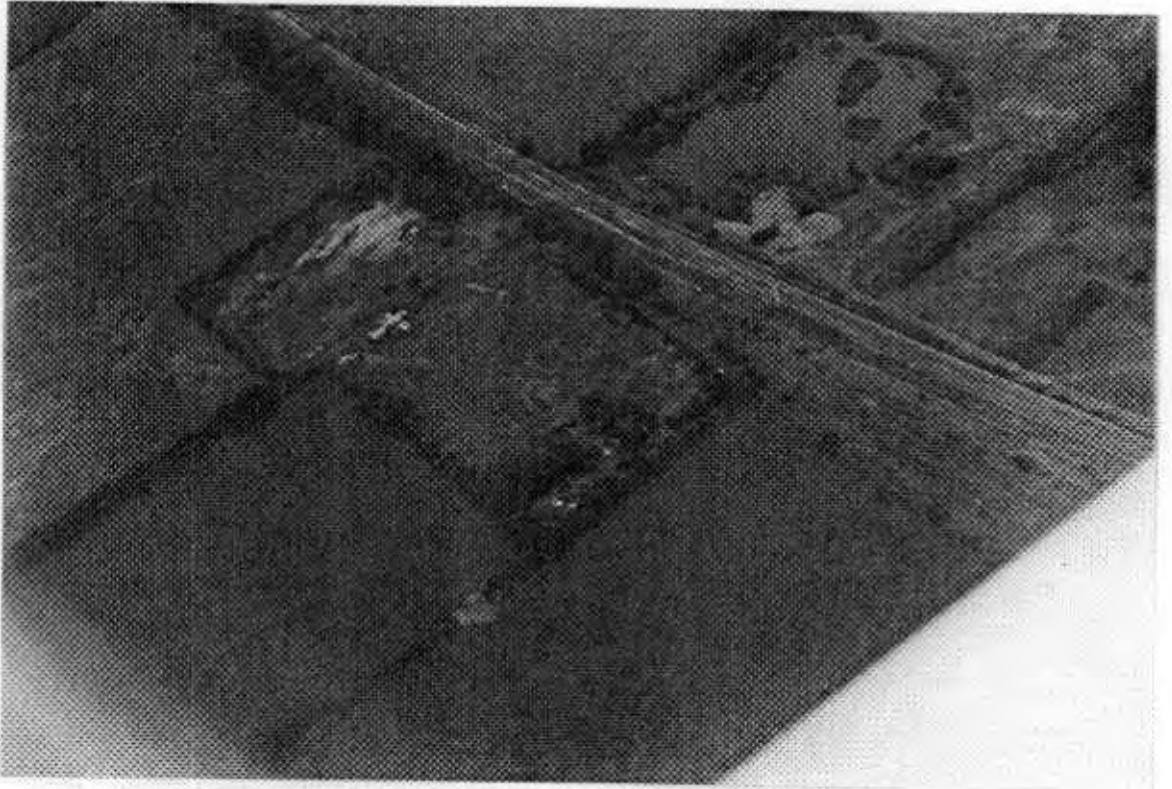
I hope you will take my concerns into consideration when making your decisions on both these applications.

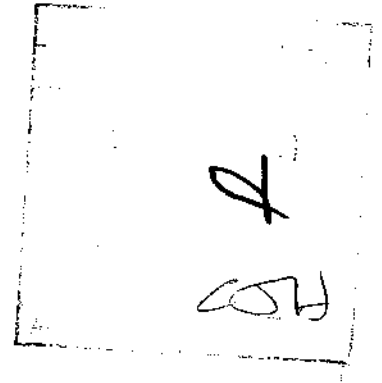
Yours Sincerely

*D. A. Bewley*

PP D.H. BEWLEY.







J Hamer Esq.  
Department of Environment & Development  
Planning Services Division  
Carlisle City Council  
Civic Centre  
Carlisle  
Cumbria  
CA3 8QG

01/1216/AM/JKR

12 November 2001

Dear John

**CROWN CARAVAN PARK, LONSDALE PARK**

Further to our recent conversation, Paul has managed to find the enclosed photographs of the site and access tonning taken at various stages over the past two years. These are the only copies and we would be grateful for their return.

As you know, we are concerned that Pauls efforts to improve the dreadful state of the site and tonning over this period may hinder the case for his application. We would be grateful therefore, if members could be made aware of the following:

- 1 The tonning has for some time been a considerable local authority problem due to fly tipping and the burning of cars, causing damage to hedgerows. Paul has provided machinery and manpower to remove in excess of 40 tons of fly tipped waste and has largely eradicated the problem by the introduction of security cameras.
- 2 The severe problem of the site having been used for many years as a tyre dump has been eradicated, thereby stopping the natural leaching of toxic materials through the ground into the SSSI.
- 3 Despite its much improved appearance, the site has been used and still has consent as a builder's yard.
- 4 The site has a certificate for five touring caravans.

Cont/...

CHARTERED ARCHITECTS

MARKET PLACE BRAMPTON  
CUMBRIA CA8 1RW  
TEL (016977) 3730 FAX (016977) 3832  
e.mail: brampton@greendesigngroup.co.uk  
web: www.greendesigngroup.co.uk  
ALSO AT COCKERMOUTH

ANTHONY M. GREEN R.I.B.A.  
DAVID J. ANDREW BSc (HONS) DIP.ARCH R.I.B.A.  
ALAN J.C. MARSTON BA B.A.RCH (HONS) R.I.B.A.

We hope this additional information will assist you, but should you require any further information, please do not hesitate to contact us.

Yours sincerely

A handwritten signature in black ink, appearing to read "Alan Marston". The signature is fluid and cursive, with a large initial "A" and "M".

Alan Marston

Encl.

cc. Paul Drinkall

## SCHEDULE A: Applications with Recommendation

ITEM NO. 18

Date of Committee: 14/12/2001

APPN REF NO:  
01/0838 /

APPLICANT:  
Mr P Drinkall

PARISH:  
Wetheral

DATE OF RECEIPT:  
17/09/2001

AGENT:  
Green Design Group

WARD:  
Wetheral

LOCATION:

Lonsdale Fisheries, Cumwhinton, Carlisle Cumbria

GRID REF:

346799 551531

PROPOSAL: Extension to shop to provide anglers tea room, office and reception area

*John*

---

## REPORT

PLANNING POLICIES:-

### SITE OF SPECIAL SCIENTIFIC INTEREST

The proposal relates to land or premises situated within or adjacent to a Site of Special Scientific Interest.

### WASTE DISPOSAL SITE

The proposal site is within or adjacent to a Waste Disposal Site.

### CONSERVATION AREA

The proposal relates to land or premises situated within the Settle Conservation Area.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E11

Development which would adversely affect the nature conservation (including the geological) interest of Sites of Specific Scientific Interest will be subject to special scrutiny and will not be permitted unless:

1. the reasons for the development clearly outweigh the nature conservation value of the site as part of the national series of SSSIs; or
2. the nature conservation interest of the site can be fully protected and enhanced by the appropriate use of planning conditions or obligations.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0838 /

3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### SUMMARY OF CONSULTATION RESPONSES:-

WETHERAL PARISH COUNCIL: No observations.

UNITED UTILITIES: No objection.

HIGHWAY AUTHORITY: No objection.

ENGLISH NATURE: No objection.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of site and press notices and neighbour notification. One letter of objection has been received, raising the issues of the use of the access track and water supply.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1984, permission was given for the use of the site as a fishery with related car park and office. Since then, permission has been granted for a warden's dwelling (1984), six static caravans (1993), six self catering holiday units (1997) and a noise barrier fence (1999).

#### DETAILS OF PROPOSAL

This application was deferred at the meeting on 2nd November, to enable Members to visit the site. It will be recalled that this is the second of two applications relating to the Lonsdale Fishery. Application 01/0838 proposes the erection of an extension to an existing building, used as a shop. The extension would be some 8 metres x 5 metres and would provide a tea room, office and reception area. It extends the building towards another building on the site used as a games room and information room. Proposed materials would be brick to match to existing building.

The application is reported to Committee as a result of an objection from an adjoining landowner, on the grounds of the increased use of the access and increased pressure on the water supply.

With regard to these two issues, it will be apparent that the proposal provides an additional facility at the site, but does not increase the scale of the operation or the accommodation available. It is not likely to generate additional traffic therefore. As far as the water supply is concerned, Members will be aware that it is the developer's responsibility to provide an adequate water supply to serve the development. It

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0838 /

will be noted that United Utilities have no objection to the application.

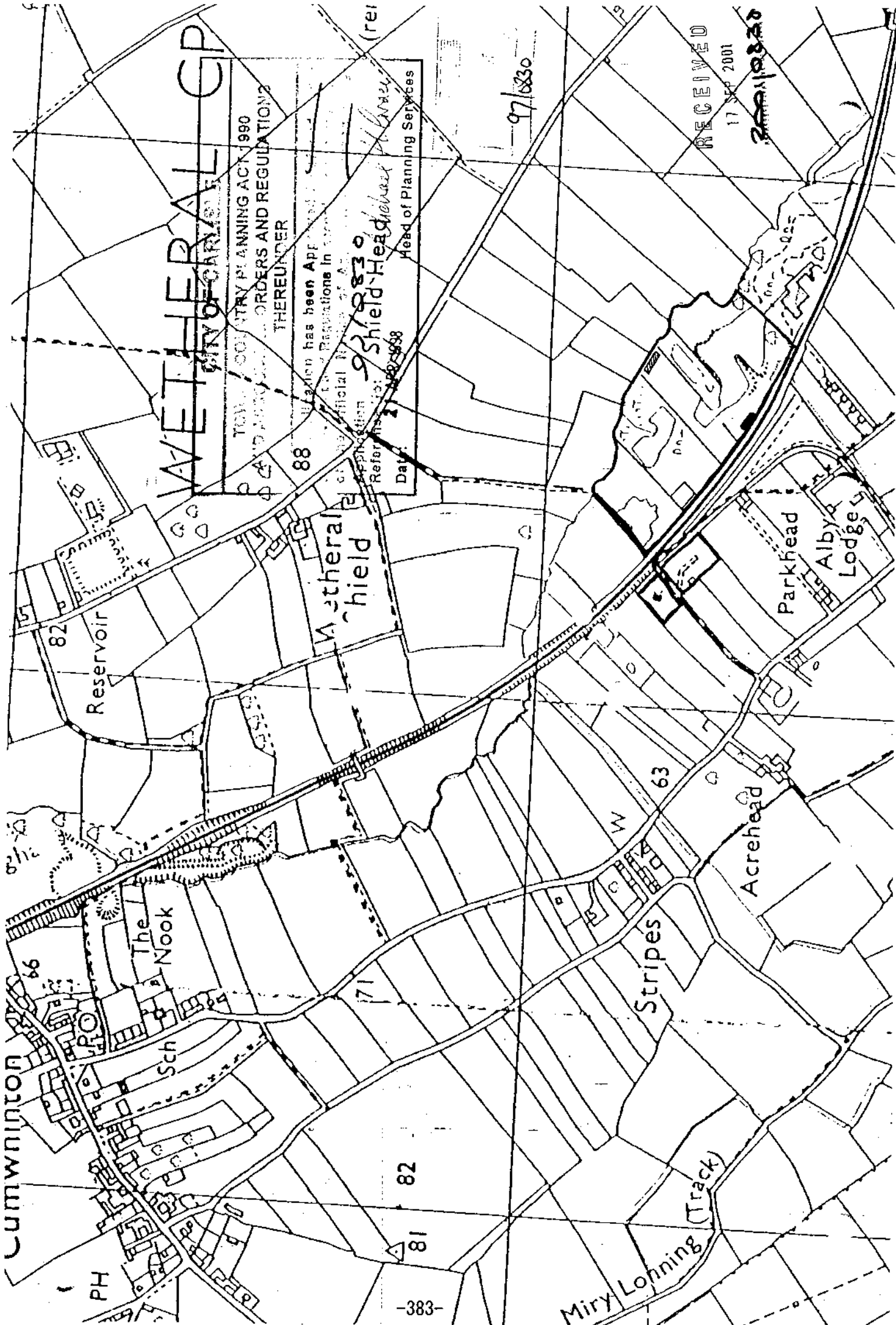
The application is recommended for approval.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

P391 →

1. Standard time limit
2. Materials to match existing



**MATHERAL CP**  
**CITY OF CARRISBROOK**

TOWN AND COUNTRY PLANNING ACT 1990  
 AND MODIFICATION ORDERS AND REGULATIONS  
 THEREUNDER

88 A notice has been Approved  
 in accordance with the Regulations in force  
 under the Town and Country Planning Act of 1990  
 in relation to the proposed alteration of a  
 Restriction of Easement of a  
 Reference to: **Shield Head**  
 Date: 17/09/98  
 Head of Planning Services

97/830

RECEIVED

17 SEP 2001

2001/10830

CUMWINTON

PH

Sch

The Nook

Reservoir

Matheral  
 shield

Stripes

Accehead

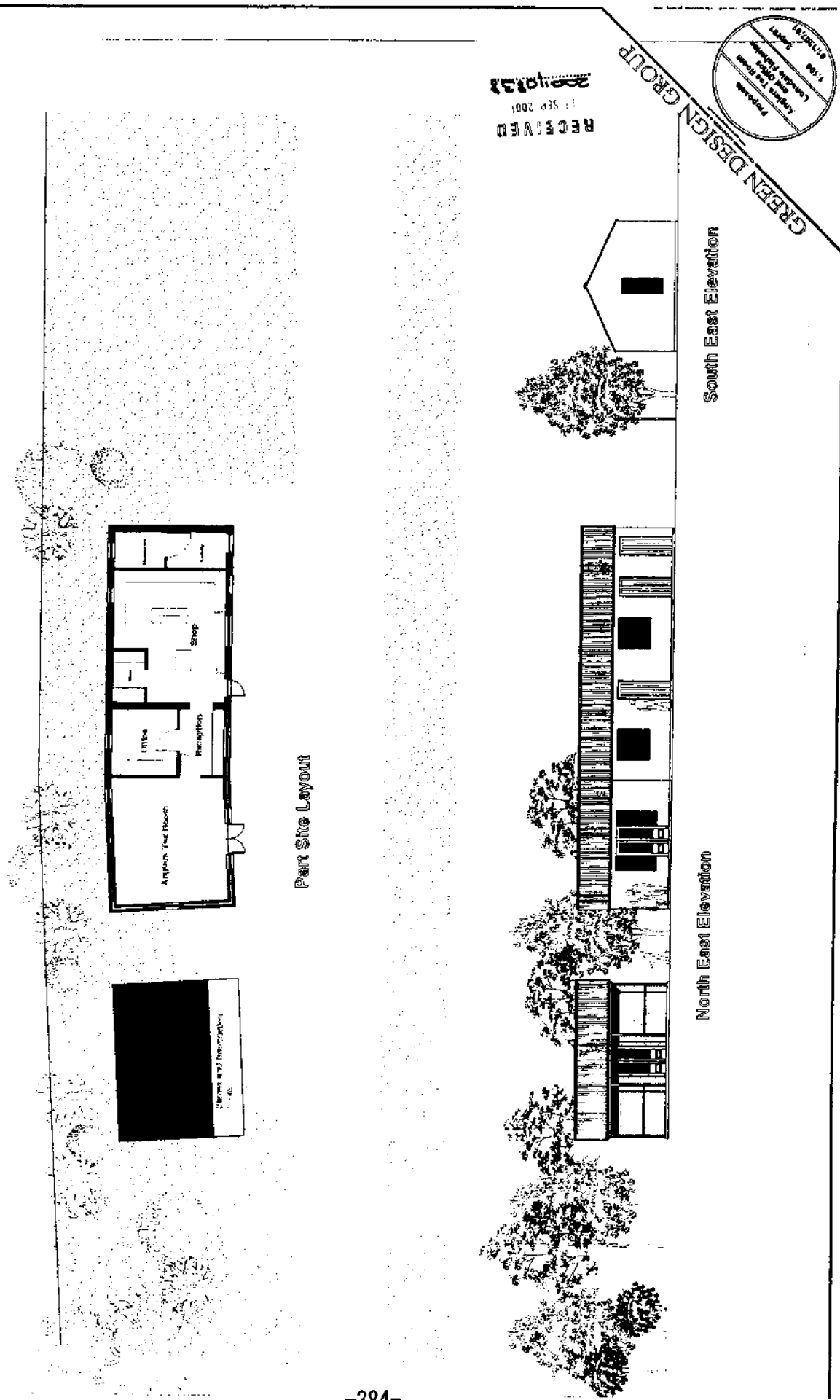
Parkhead

Alby Lodge

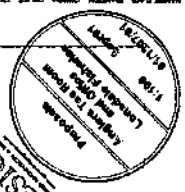
Miry Lohning (Track)

81 82

-383-



RECEIVED  
11 SEP 2001  
Scottdesign



South East Elevation

North East Elevation

Part Site Layout

PLANNING SERVICES	
REF	01/0819 & 01/0838
12 OCT 2001	
RECORDED	Ben
SCANNED	
PASSED TO	ASH
ACTION	

Old Lonsdale Works,  
Cumwhinton,  
Carlisle.  
CA4 0AX.  
Tel: 01228 530301.

11th October 2001.

Dear Mr HARRISON

Re: Planning Applications 01/0819 & 01/0838.

I refer to the above planning applications, made by Paul Drinkall, I wish to object to the proposed developments.

1/ ACCESS.

Ref: 01/0838, this development is adjacent to my premises, as you are aware, I have full planning permission to re-develop my own premises, from the old brickworks and sawmill to agricultural and residential. I feel that any further development at Lonsdale Park would be an infringement of my privacy and also that of the residents of Lonsdale Terrace. I own the access at Lonsdale Terrace (in front of the houses) Railtrack and I own the land under the bridge and directly in front of Lonsdale Park and my premises. All the residents of Lonsdale Terrace have a privileged right of way to their houses, going back to previous plans for Lonsdale Park, I believe Mr Drinkall has privileged agricultural access to his property. Railtrack in Manchester were not aware of Mr Drinkall's development until early this year when one of their agents came to see me about another matter. The residents of Lonsdale Terrace bought their houses for the peace, Quiet and isolation of the area. During the fishing/holiday season there is an excess of vehicles using the lonning and Lonsdale Terrace to get to Lonsdale Park, we know Mr Drinkall is not responsible for the driving of these vehicles, but some of the drivers have no consideration for the people on Lonsdale Terrace or myself, eg: driving at excess speed, and not taking into consideration the signs the residents have put up regarding speed and children playing, I have the problem of vehicles turning round and parking on the land in front of my property.

During the FMD restrictions, Mr Drinkall put a sign at the entrance of the lonning, asking visitors to use alternative entrance to his premises, the majority of them did, but those that didn't see the sign still used the lonning and Lonsdale Terrace, having to turn round on my land to go to the other entrance, this sign was also put up when the Cocklakes railway line was being removed.

If the alternative entrance can be used when it suits Mr Drinkall, why can it not be used permanently, saving the residents and me the hassle and inconvenience of the extra traffic, If this alternative entrance could be used permanently and the existing one used in emergencies only, the problem with the traffic would be resolved.

2/ UPKEEP

Last year the residents and I decided to re-surface the access

roads to our premises, it was agreed that the residents would pay £50 each towards the cost, Mr Drinkall agreed with one of the residents that he would pay £500 towards the cost, the balance and the labour to be met by me. When the day of reckoning came, the residents all paid their share. Mr Drinkall decided he wasn't going to pay what he called the lions share, and eventually paid £400 which was £350 from him and £50 for one of the residents whose partner was working for him at this time, I ended paying the lions share £700 plus my labour.

The basis of this is Mr Drinkall wants to use the access but does not want to contribute to its upkeep. Cumbria and Carlisle Council are not interested in this lanning so it is up to us the residents to maintain it.

### 3/WATER

Finally this covers both applications 0819 / 0838, I have no objection to plan 0819 in as much as the access to this site does not concern me. But where Mr Drinkall is getting the water from is another issue, some years ago my Father allowed one of the previous owners of Lonsdale Park to take a water line off our mains pipe. The main was put in and paid for by the brickworks, to supply Lonsdale Terrace and the brickworks. At the time of the previous owner taking water from our main it was for one house, this was not a problem. When Mr Drinkall took over and development started my Father was annoyed with him for presuming he could take all the water from this same main. My Father was ill at the time and could not be bothered arguing anymore with Mr Drinkall, so the development went on.

I have checked with United Utilites, who say all the water for the chalets, caravans, toilet block and the house is been drawn from this main.

I object to Mr Drinkall taking any more water from this main for his new venture, a Tea Room, as I have problems now with (083) the water pressure, and I havn't as yet started to build my house and obviously would be using a lot more water myself. I also object to him using this same main for his proposed development plan 0819, another six caravans using more water. United Utilites have checked with planning liason, there has been no indication of a new main being requested for this development, so presumably he would be using our main again. United Utilites are liasing with planning liason and if the question of the water supply is raised, they will suggest a new main be fitted for the new developments.

I hope you will take my concerns into consideration when making your decisions on both these applications.

Yours Sincerely

*D. H. Bewley*

PP D.H. BEWLEY.

PLANNING SERVICES	
REF	01/0819
12 OCT 2001	
RECEIVED	PCW
SCANNED	
PASSED TO	CSA
ACTION	

01/0838  
 (5)

Old Lonsdale Works,  
 Cumwhinton,  
 Carlisle.  
 CA4 0AX.  
 Tel: 01228 530301.

11th October 2001.

Dear Mr HARRISON

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*D. A. Bewley*

PP D.H. BEWLEY.



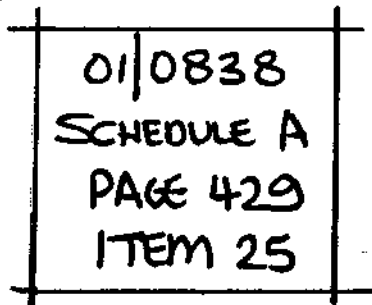


PLANNING SERVICES	
REF	01/0838
23 OCT 2001	
RECEIVED	
BY	
PAID	
ACT	

*Supp. Sc*

J Hamer Esq.  
Planning Services Division  
Carlisle City Council  
Civic Centre  
Carlisle  
Cumbria  
CA3 8QG

01/1206/1207/AM/JKR



22 October 2001

Dear Mr Hamer

**LONSDALE FISHERIES**

Further to our discussion last week, and upon his return from holiday, Mr Drinkall has been able to explain to us the history of the water supply to the site:

- ◆ Until recently the water supply serving the whole of Lonsdale Terrace, the Old Brick Works and Lonsdale Fisheries was an inadequate galvanised private supply, maintained jointly by all the residents. This supply commences at Alby, runs down the back of Lonsdale Terrace and finally supplies the Brick Works and Lonsdale Fisheries.
- ◆ Most of the users got together to replace this with a new 50mm main, but those not wishing to contribute to the improvements stayed on the old supply.
- ◆ During the last six months, the new 50mm main was adopted by the Water Board and is more than adequate for its existing and proposed uses.

We would also point out that the proposed Tea Room does not constitute an intensification of site usage, but merely improves the facilities available for the existing clientele.

The intended entrance for the proposed Crown Caravan site is via the alternative laning and does not involve the residents of Lonsdale Terrace.

Cont/...

**CHARTERED ARCHITECTS**

MARKET PLACE BRAMPTON  
CUMBRIA CA8 1RW  
TEL (016977) 3730 FAX (016977) 3832  
e.mail: brampton@greendesigngroup.co.uk  
web: www.greendesigngroup.co.uk  
ALSO AT COCKERMOUTH

ANTHONY M. GREEN R.I.B.A.  
DAVID J. ANDREW BSc (HONS) DIP ARCH R.I.B.A.  
ALAN L.C. MARSTON BA B.A.R.C.H (HONS) R.I.B.A.

We trust this additional information is of assistance, but should you have any further queries, please do not hesitate to contact us.

Yours sincerely

A handwritten signature in black ink that reads "Alan Marston". The signature is written in a cursive style with a large, circular flourish at the end of the word "Marston".

Alan Marston

Encl.

cc. Paul Drinkall

## SCHEDULE A: Applications with Recommendation

ITEM NO. 19

Date of Committee: 14/12/20

APPN REF NO:  
00/0246 /

APPLICANT:  
Messrs Stobbart

PARISH:  
Stapleton

DATE OF RECEIPT:  
28/04/2000

AGENT:  
Tsada Building Design Services

WARD:  
Lyne

LOCATION:  
Mossgrove, Roweltown, Roadhead Cumbria

GRID REF:  
351225 569319

PROPOSAL: Change of use of agricultural building to 3no. workshop units

Angul

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
EMPLOYMENT - POLICY EM11

Within the rural area proposals for the reuse and adaptation of buildings (of permanent construction) for commercial, industrial or recreational uses will be acceptable subject to the following criteria:

1. the form, bulk and general design of the buildings are in keeping with the surroundings;
2. adequate access and appropriate parking arrangements are made;
3. any increased traffic generated by the proposal can be accommodated by the existing highway network;
4. there is no unacceptable adverse effect on the amenity of adjacent property or the surrounding landscape.

#### SUMMARY OF CONSULTATION RESPONSES:-

ENVIRONMENT AGENCY: No objections subject to the attachment of a condition concerning the storage of oils, fuels or chemicals, and, the attachment of three supplementary informative notes.

STAPLETON PARISH COUNCIL: No wish to make any representations on the proposal.

HEAD OF ENVIRONMENTAL SERVICES: The applicant/developer will need to provide details of the acoustic quality of all the building envelope materials proposed. An indication of this quality is necessary in order to ensure that noise levels within the nearest noise sensitive dwelling will be within World Health Organisation guidelines.

HIGHWAYS AUTHORITY: The approach road serving the site (unclassified road no. 1044) is not suitable particularly with regard to width and construction to carry the larger type of heavy wagon. The workshop units proposed are fairly small and from discussions held with the applicant I understand that only smaller types of vehicles (vans etc) will use the premises.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0246 /

In this respect there is no wish to raise nay highway objections subject to the imposition of a condition concerning improvements to the access.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice. No formal observations have been received to date.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1977, under application reference number 77/0336, planning permission was given for the erection of a cubicle shed and silage pit. In 1986, under application number 86/0783, permission was given for an extension to provide a lounge, bedroom and bathroom.

In 1991, application number 91/0892, permission was given for the erection of a two storey extension to form an additional bedroom, living room, kitchen and bathroom.

This permission was subject to a condition that the accommodation remain ancillary to the main house.

#### DETAILS OF PROPOSAL

Mossgrove is an isolated farmhouse consisting of the house and a series of utilitarian outbuildings based around a courtyard. The proposal involves the speculative conversion of three outbuildings to workshop units. The remaining buildings would remain in agricultural use. The application is accompanied by a letter from the agent explaining that:

- the property was purchased in January 1997 from the previous owners.
- the applicants are charged Council Tax as two separate dwellings, the main house has been occupied by Mr Stobart Jnr. and the annexed has been rented out on a short term tenancy.
- if the proposal went ahead Mr Stobart Jnr. would live in the main house, and it is hoped that the annex may be made available to the tenant of one of the units.
- the sorts of anticipated uses would be a small joinery, light metal work business, and, some type of engineering repairs.

In considering this application it is felt that the following points need to be kept in mind:

- a) Paragraph 2.15 of PPG7 advises that proposals for the re-use or adaptation of rural buildings for new uses

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0246 /

should not be rejected unless there are clear and convincing planning reasons on environmental or traffic grounds.

- b) The buildings are considered viable whilst the amount of traffic likely to use the access track would not be great. A condition could also be imposed to ensure that materials and goods are not stored within the open areas of the site to safeguard the visual amenities of the area.
- c) The matter of greater concern is the potential impact on the residential amenities. This Section is currently awaiting an application for the sub-division of the farmhouse. The applicant's son, resident at the premises, would as owner be able to control activities. The dilemmas arise should the occupation of the farmhouse and proprietorship of the proposed workshops fall into separate hands. Members should be aware that the annexe is not currently occupied. Any sub-division of the annexe from the house would, nevertheless, require planning permission. In order to safeguard matters it is recommended that a condition is imposed restricting the use of the workshops to Use Class B1.

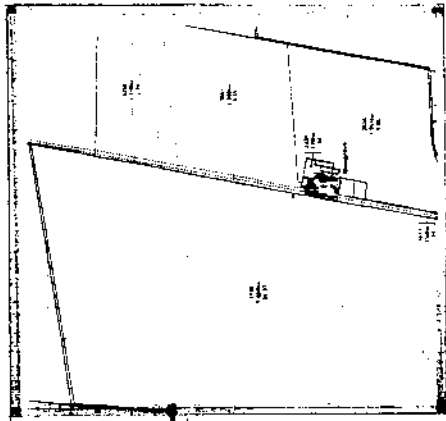
In overall terms the proposal is considered acceptable and recommended for approval.

### RECOMMENDATION:-

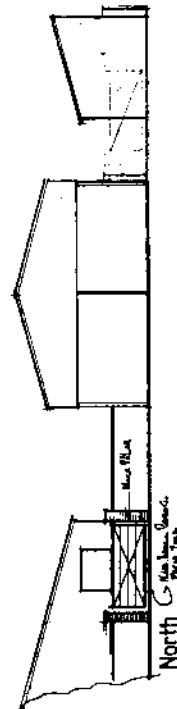
APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. This permission relates to the use of the premises for purposes falling within Class(es) B1 of the Schedule of the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to the Class(es) in any Statutory Instrument revoking and re-enacting that Order.
3. No open storage
4. No workshop shall be occupied until the existing means of vehicular access has been upgraded, surfaced and drained in accordance with plans to be approved beforehand by the local planning authority.
5. Each workshop shall be so adapted prior to the commencement of use so as to provide sound attenuation against internally generated noise in accordance with a scheme submitted to and approved beforehand by the local planning authority. The soundproofing shall thereafter be maintained in accordance with the approved scheme.

6 Storage of oils, fuel, etc

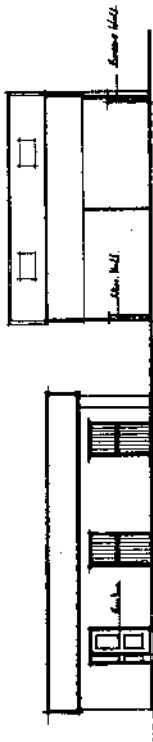


LOCATION PLAN 1:250

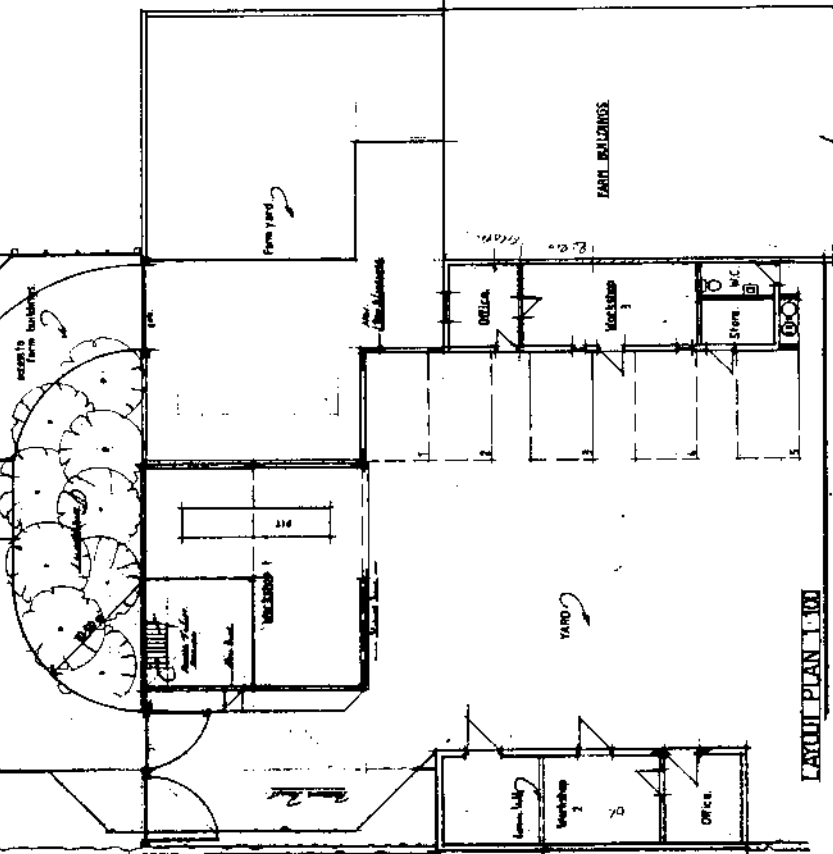


South

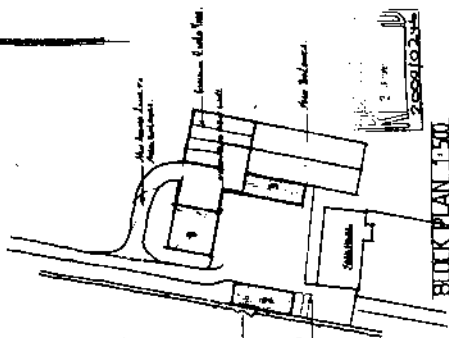
ELEVATION 1:100



West (Internal)



LAYOUT PLAN 1:100



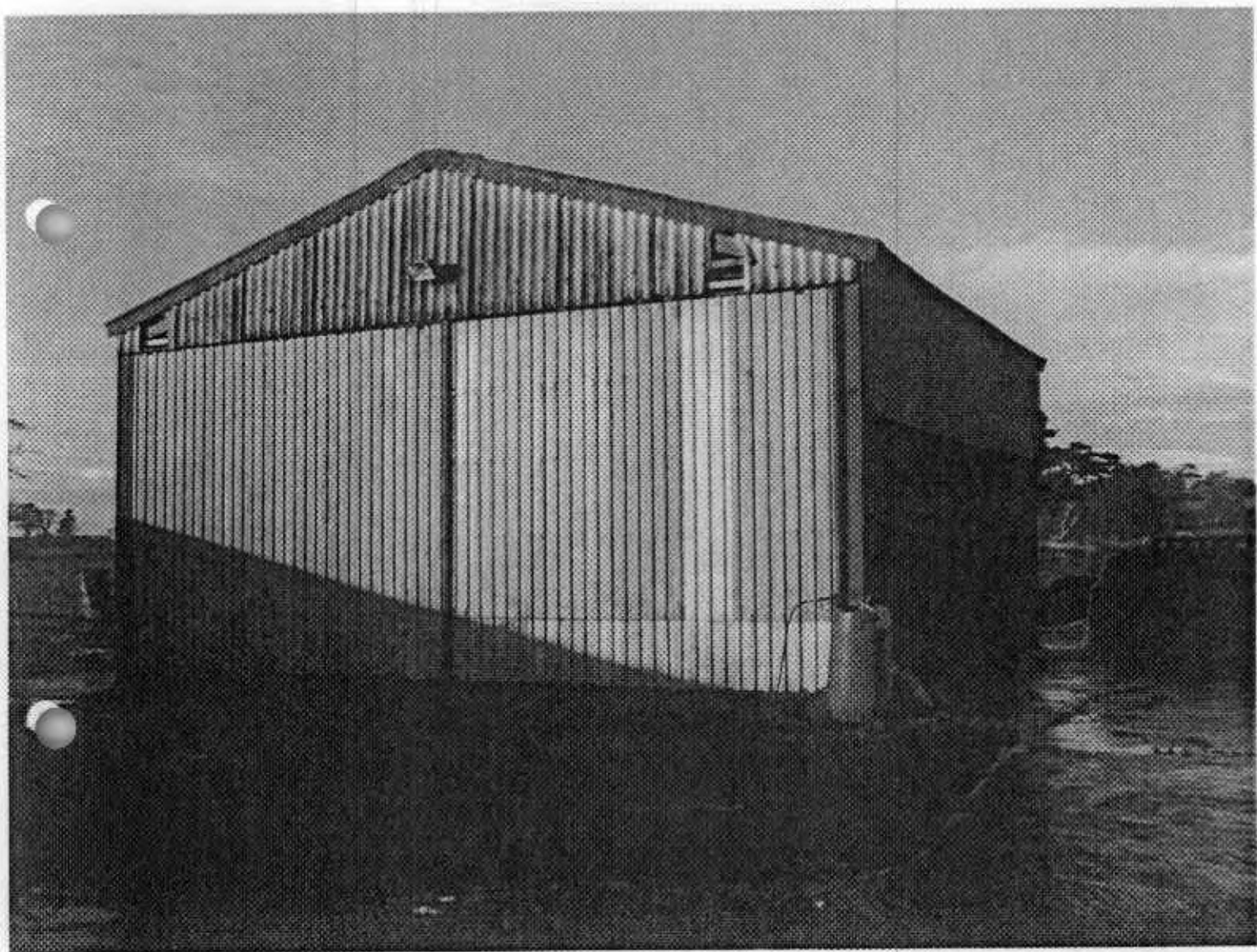
BLOCK PLAN 1:50

**TSADA BUILDING DESIGN SERVICES**  
 Trade Centre, Livingston, Central, Cambridgeshire  
 Telephone: 01223 751867

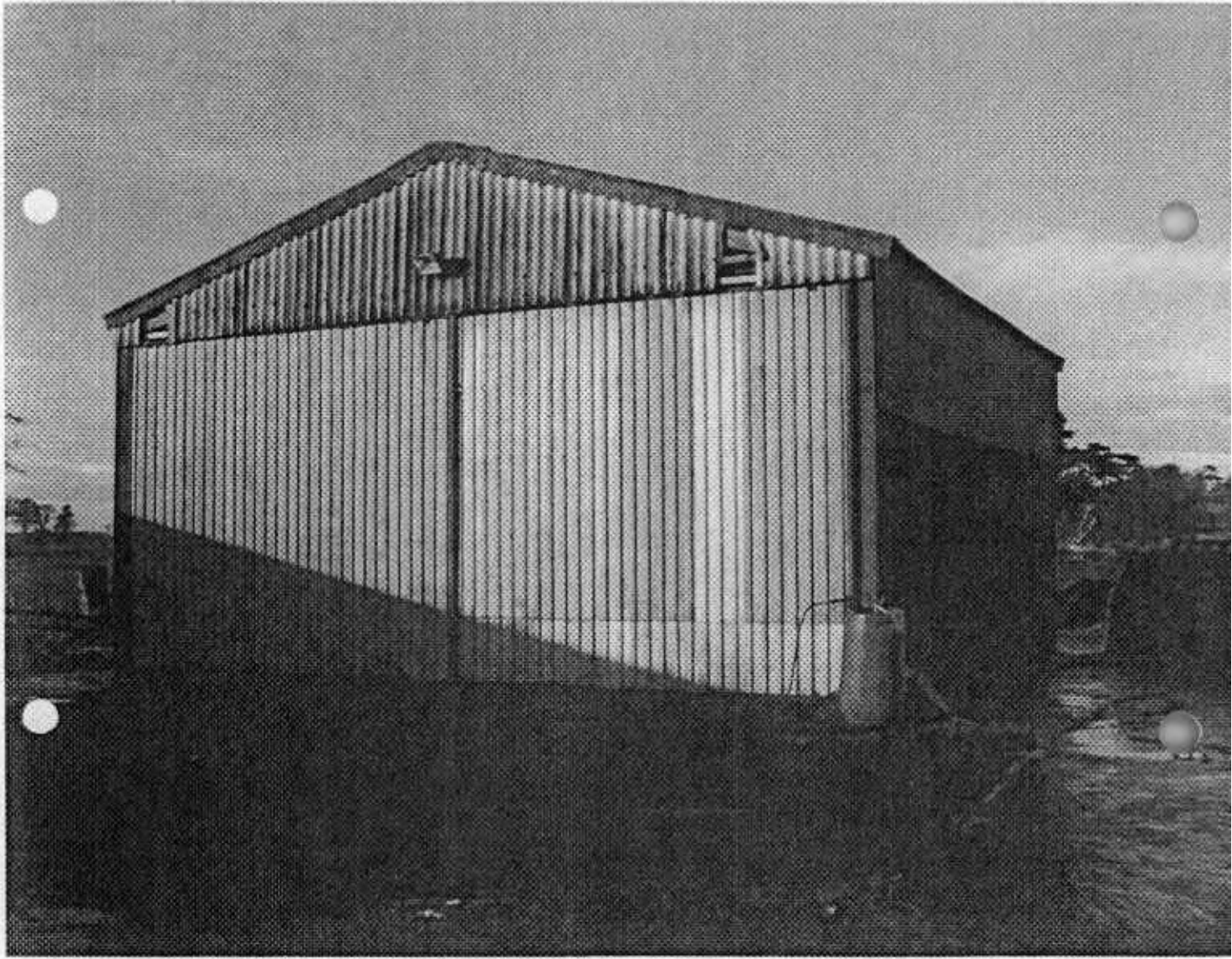
Job title  
**Proposed Change of use of agricultural buildings to workshops at Mossgrove, Rowelstown.**

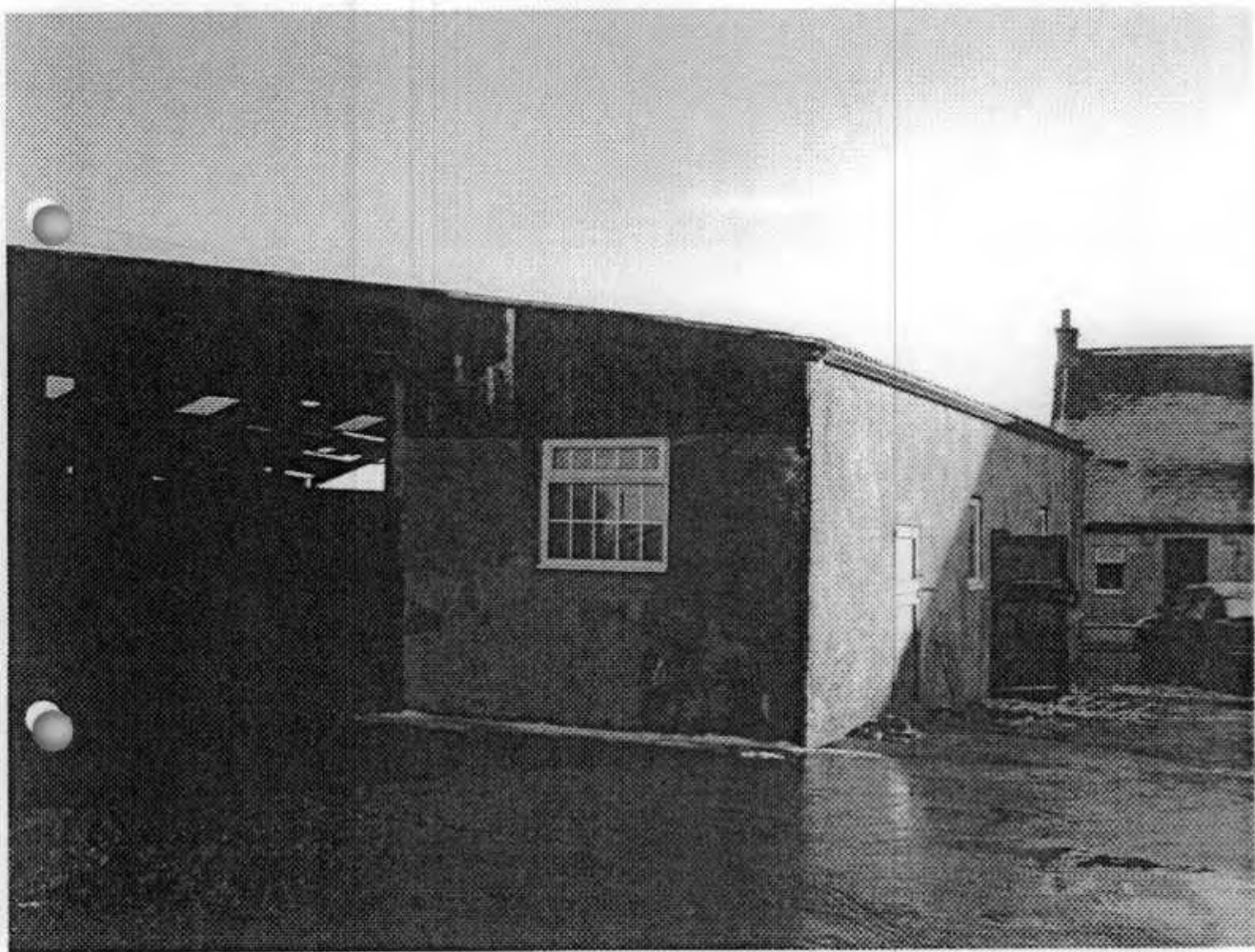
Drawing by <b>W. R. Faulder</b>	Arrangements	Client <b>Messrs Stobart Craytop farm Kirkcambick</b>	Dwg No. <b>13 / 2000 / 1</b>
			Scale <b>AS SHOWN</b>
Date <b>12.2.2000</b>			













## SCHEDULE A: Applications with Recommendation

ITEM NO. 20

Date of Committee: 14/12/2001

APPN REF NO:  
00/0898 /

APPLICANT:  
Jennings Brothers PLC

PARISH:  
Hayton

DATE OF RECEIPT:  
06/11/2000

AGENT:  
Manning & Elliott

WARD:  
Hayton

LOCATION:  
Lane End Inn, Hayton Lane End, Hayton Carlisle, Cumbria

GRID REF:  
351300 558844

PROPOSAL: Erection of 26no. bedroom hotel accommodation block

AMENDMENT: i) Revised elevational, floor and layout plans received 24th October 2001 which show a reduction in the number of bedrooms from 27 to 26.

Angus

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## REPORT

### PLANNING POLICIES:-

#### TRUNK ROAD/MOTORWAY AFFECTED

The proposal relates to development which affect a trunk road or motorway.

#### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 10

The future development of tourism should normally be based on visitors' enjoyment and understanding of the County's distinctive scenic, cultural and historic character. Development will be encouraged where it would help to meet a particular economic need, but will not be allowed to prejudice the County's environmental quality. To protect the intrinsic qualities of the National Parks, the growth of tourism should be restrained and future development should not conflict with their quiet enjoyment.

#### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 67

Roadside service facilities on the Primary Road Network will normally be permitted where:

- i. they are outside the National Parks and AONBs and
- ii they are complementary to existing on-route facilities and those in by-passed settlements on the route, and
- iii. they are spaced at appropriate intervals along each route, and
- iv. they do not harm local amenity or environment or the visual character of the area.

#### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E19

In considering proposals for new development the City Council will where appropriate require the retention of existing trees, shrubs, hedges and other wildlife habitats, and the replacement of any environmental feature lost to development. Landscaping schemes to be implemented by the applicant will be required as part of most planning applications.

### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

### CARLISLE DISTRICT PLAN SHOPPING - POLICY S15

Within the Plan area, proposals for uses within Use Class A3 (food and drink, including restaurants, public houses, wine bars and take aways) will be approved provided that:

1. the proposal does not involve disturbance to occupiers of residential property; and
2. the proposal does not involve unacceptable intrusion into open countryside; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

3. the proposal, whether new development or conversion complements surrounding development or the character of the existing building; and
4. appropriate access and parking can be provided; and
5. within the City Centre Shopping Area opening hours are restricted to no later than 1.30 am. Here and elsewhere in the Plan area opening hours will be imposed having regard to the surrounding uses, the character of the area and the possibility of disturbance to residential areas.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM14

Proposals for large scale tourism development will be acceptable providing that:

1. the proposal is located within Carlisle, Brampton, Longtown or Dalston; or
2. the proposal would result in significant economic benefits to the area which outweigh any environmental impacts; and
3. the general scale and design of the development are compatible with the surrounding area; and
4. adequate access and appropriate parking are provided.

### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM15

Proposals for small scale tourism related development will be acceptable providing that:

1. there is no unacceptable adverse impact on the landscape; and
2. adequate access and appropriate car parking can be achieved; and
3. if the proposal is within the rural area it is well related to an established settlement or group of buildings or involves the conversion of an existing building, or would form an important element of a farm diversification scheme.

### SUMMARY OF CONSULTATION RESPONSES:-

HAYTON PARISH COUNCIL: In relation to the originally submitted plans it was considered that a development on the scale indicated could only detract from the natural beauty of the area, and, indeed wonder that there is sufficient trade to warrant such a large scale project. Concerns also expressed about access through an existing lay-by, which is already often parked with vehicles and an increase in traffic seeking the hotel entrance could potentially lead to an increase in accidents. Aside from the concerns about the environmental impact, the Council feels that such an enterprise could have a detrimental impact on existing similar businesses.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

In regard to the revised plans are as follows:

Council's previous objections to this proposal centred on the issue that the development on the scale indicated could only detract from the natural beauty of the area, and would necessarily have an environmental impact. Council is still of the opinion that the development is far too large for the size of the site and that a more modest building (possibly some 14no. bedrooms) might be more appropriate. The amendment shows an improvement to the exterior appearance of the building which is to be welcomed, and is thought to be more in sympathy with the existing building.

Equally, it is noted that the access has been altered to avoid the previously problematic issue of access through an existing lay-by.

However, aside from the concerns about the environmental impact, the Council still feels that such an enterprise could have a detrimental impact on existing similar businesses, most particularly on the smaller "bed & breakfast" establishments and small hotel in Brampton. Whilst accepting that the enterprise might well create employment in this place, it might equally detract from already struggling businesses in the nearby locality.

In conclusions, whilst appreciating that efforts have been made to answer previous objections, Council is not persuaded that the advantages outweigh the detrimental impact.

ENVIRONMENT AGENCY: No objection to the proposed development subject to the imposition of a condition concerning foul drainage and the attachment of two informative notes to any decision notice.

HEAD OF DESIGN (DRAINAGE): No wish to make any comments on this application.

HIGHWAYS AGENCY: In relation to the original plans it was considered that the proposed access arrangements are neither safe nor appropriate. Entry is currently gained at the easterly access by vehicles slowing down on a fairly fast moving section of single carriageway. Entry at the westerly access requires some fairly complicated manoeuvres, especially if vehicles are also leaving. Parking along the old road also restricts entry and exit widths. Any increase in the use of these accesses could result in an increase in accidents.

The Highways Agency has no comments regarding the amended application.

HEAD OF ENVIRONMENTAL SERVICES: Comments awaited.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: In the case of the original scheme, the size, scale and bulk of the proposed two storey detached building would result in a significant visual

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

intrusion into undeveloped open countryside. The proposal would extend the amount of built development in an eastwards direction that would cover over a substantial amount of land. The building would be visually conspicuous from the roadside of the A69 in both directions. It is likely that it would also generate a significant amount of additional activity around the site, including customer's vehicles entering and leaving the site, car parking on the forecourt of the site, additional lighting, and advertising. The car parking area would be surfaced in tarmac or similar hard surfacing. As a result the character of the site and its setting would be altered quite substantially to the detriment of the amenities and landscape of the area. For these reasons, we do not consider the proposal would satisfy Policies 67, EM14 and EM15.

When considering the revised plans the external appearance of the proposed building has been significantly improved compared to the original design. Furthermore, the building would be better related to the existing public house. The car parking would also be positioned away from the roadside where it would have otherwise been dominant, to instead a background position situated along the eastern and southern boundary.

Whilst we still have reservations about the overall scale of the proposed development since the site lies in the open countryside, the recent re-design would to some extent mitigate against that potential visual intrusion. The external appearance and the bulk of the revised building would instead reflect detailed elements of a more traditional, rural style of building. The revised site layout would also diminish the degree of intrusion, enabling the development to be read alongside the existing public house, rather than necessarily as a separate building with hard surface car parking located alongside the A69.

We are mindful of four tests contained in Policy 67 of the JSP. On balance, given the context of Policy 67, the revised plans cause us to feel less concerned about the proposed development in terms of its impact upon the landscape. Note: the proposed dovecotes are less convincing however.

### SUMMARY OF REPRESENTATIONS:-

This application was originally advertised in the form of a site notice and the direct notification of the occupiers of three neighbouring properties. In response two letters of objection were received. The basic issues raised being: the design of the building is not in keeping with the rural area; the proposal will obstruct the views to Scotland and the surrounding areas; the proposal will cause severe traffic problems on the A69; concerned about the sewerage situation which may cause a problem of pollution; the new building will undoubtedly create extra noise; the proposal will de-value the neighbouring property; if permission was granted it would leave the way open for the rumoured holiday chalets to be built in an adjoining field; trespassing; extra traffic; damage by cars to the roadside; the behaviour of residents; not in keeping with



## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

the surroundings; and, the applicants have not consulted local residents.

No formal observations have been received, at the time of preparing the report, following the re-notification of neighbouring residents.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The site has a relatively extensive planning history. In more recent times, planning permission was given in 1985, under application reference number 85/0747, for alteration of the existing public house, conversion of stables to self catering accommodation together with the provision of two new self catering units.

In 1986, application number 86/0249, permission was given for a rear lobby extension and replacement of a flat roof with a pitched roof.

In 1989, application number 89/0822, permission was given for an extension to form a dining area, function room and bedroom block.

In 1993, application number 93/0674, permission was granted for the erection of an extension to be used as a restaurant and function.

#### DETAILS OF PROPOSAL

The proposal, as revised, involves the erection of a 26 bed hotel accommodation block in a "U" shaped layout. The proposed building consists of two storeys with stone and painted rendered walls, timber detailing, and, a slate roof covering. Vehicular access will be achieved from the Hayton road and a total of 28 off-street parking spaces. The submitted layout plan also shows additional shrub and tree planting. A sewerage treatment plant is located in the north-eastern corner of the site. The proposed accommodation will operate in conjunction with the use of the public house.

In considering the revised proposal, based on the comments of interested parties and the adopted policies of the Development Plan, it is felt that the following points should be kept in mind:

- a) It has to be acknowledged that the proposed car parking areas with the additional traffic generated and associated activity could create amenity problems. In mitigation it is readily apparent that the nature of the traffic using the A69 is such that the existing ambient noise level is relatively high. In regard to the proposed layout of the site and the additional landscaping, the applicants have sought to minimise any impact on the amenity of neighbouring residents. Any

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

potential amenity problems associated with floodlighting could also be controlled by the imposition of a condition. The observations of the Head of Environmental Services are, nonetheless, awaited.

- b) The revised elevational treatment of the building is felt to be more sympathetic to the existing public house.
- c) It is felt that a distinction can be made between the current proposal, which is specifically subject to Policy 67 of the Structure Plan, and the rumoured proposal for holiday chalets on an adjoining field.
- d) The loss of a private view, de-valuation of property, and, allegations about the likely conduct customers are not felt to be material planning considerations.
- e) The proposal will retain the existing local social facility of the public house whilst the hotel accommodation should appeal to a cross section of society.

The rights of the neighbouring residents are respected, but on the basis that no objections are received from interested parties, the proposal will be recommended for approval.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. Materials - submission of samples
3. Submission of a landscape scheme
4. All works comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the commencement of use of the building or completion of the development, whichever is the sooner.
5. Replacement of trees
6. No development approved by this permission shall be commenced until a scheme for the disposal of foul drainage to the sewage treatment plant has been submitted to and approved in writing by the local planning authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans.
7. Hard surface details
8. The hotel accommodation shall not be occupied until a means of vehicular access has been constructed in accordance with the approved plans.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 00/0898 /

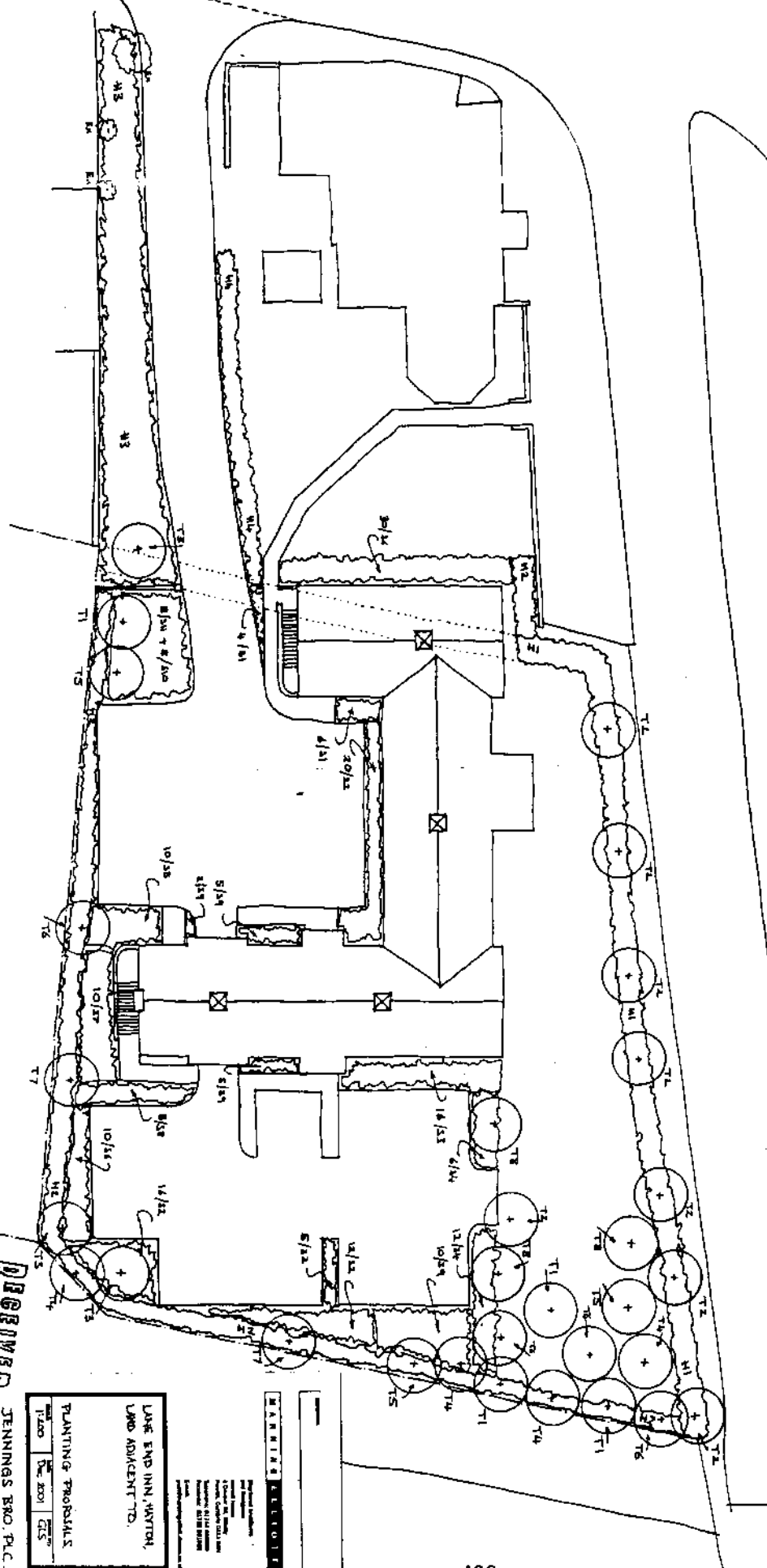
9. The parking areas shall be constructed in accordance with the approved plans before the building is occupied/use commences and shall not be used except for the parking of vehicles in connection with the development hereby approved.
10. Before the commencement of development details of the design, height, finish, position, and, lighting levels of the proposed external means of illumination shall be submitted to and approved in writing by the local planning authority.

11. Condition relating to single planning unit.

**PLANTING SCHEDULE**

**TREES**  
 All to be standard (5-1/2" high and 8-10cm girth)  
 10 Standard and 1000 light shade (1-1/2' high)  
 11 Standard and 1000 light shade (1-1/2' high)  
 12 Standard and 1000 light shade (1-1/2' high)  
 13 Standard and 1000 light shade (1-1/2' high)  
 14 Standard and 1000 light shade (1-1/2' high)  
 15 Standard and 1000 light shade (1-1/2' high)  
 16 Standard and 1000 light shade (1-1/2' high)  
 17 Standard and 1000 light shade (1-1/2' high)  
 18 Standard and 1000 light shade (1-1/2' high)  
 19 Standard and 1000 light shade (1-1/2' high)  
 20 Standard and 1000 light shade (1-1/2' high)

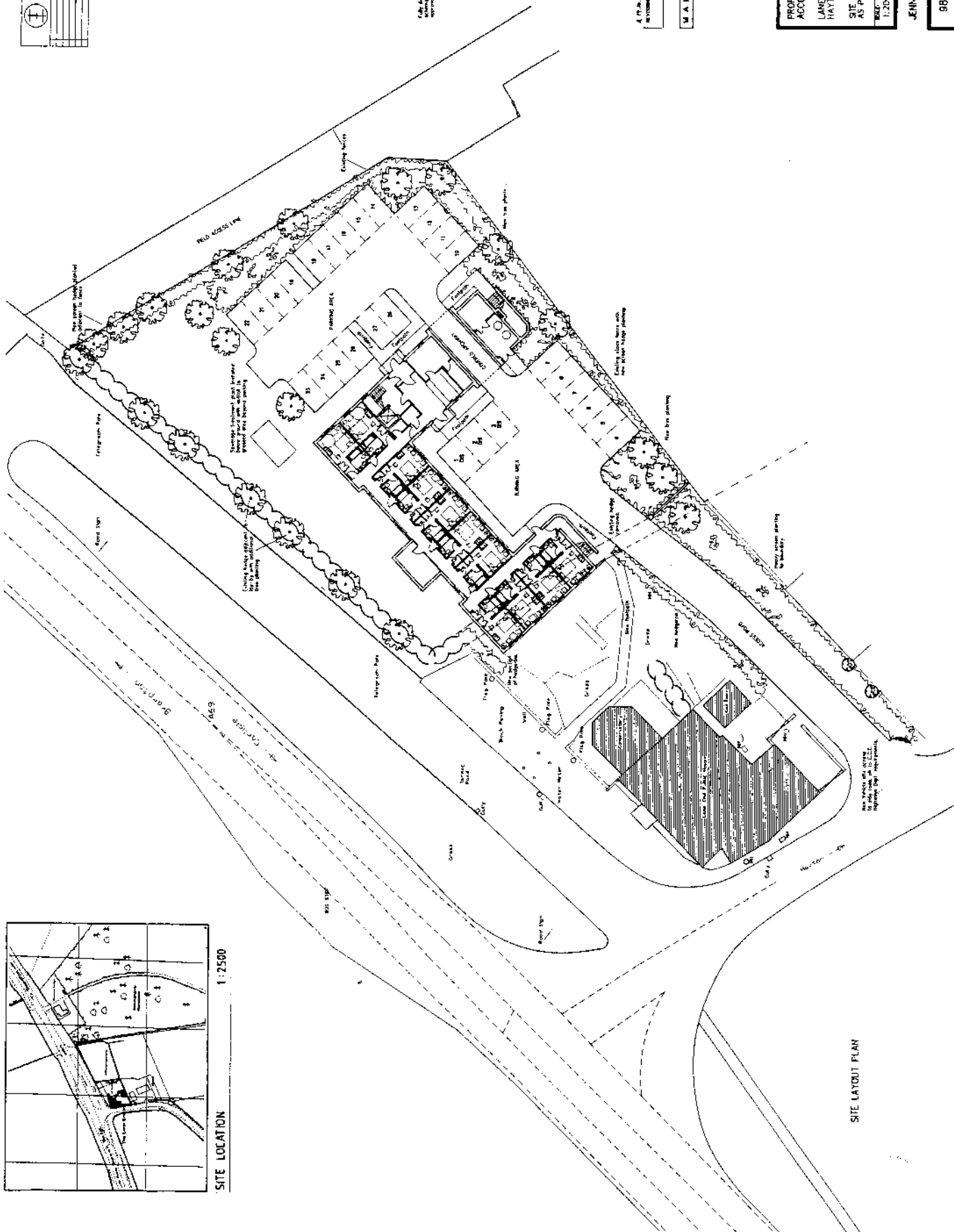
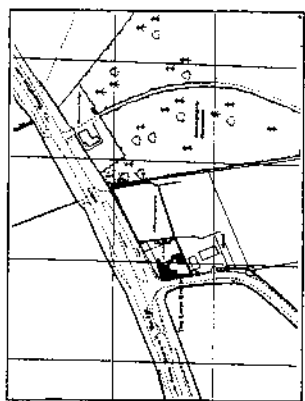
**SHRUBS**  
 21 Standard and 1000 light shade (1-1/2' high)  
 22 Standard and 1000 light shade (1-1/2' high)  
 23 Standard and 1000 light shade (1-1/2' high)  
 24 Standard and 1000 light shade (1-1/2' high)  
 25 Standard and 1000 light shade (1-1/2' high)  
 26 Standard and 1000 light shade (1-1/2' high)  
 27 Standard and 1000 light shade (1-1/2' high)  
 28 Standard and 1000 light shade (1-1/2' high)  
 29 Standard and 1000 light shade (1-1/2' high)  
 30 Standard and 1000 light shade (1-1/2' high)



**PROBE**  
 - 7 DEC 2001  
 2000/05/28

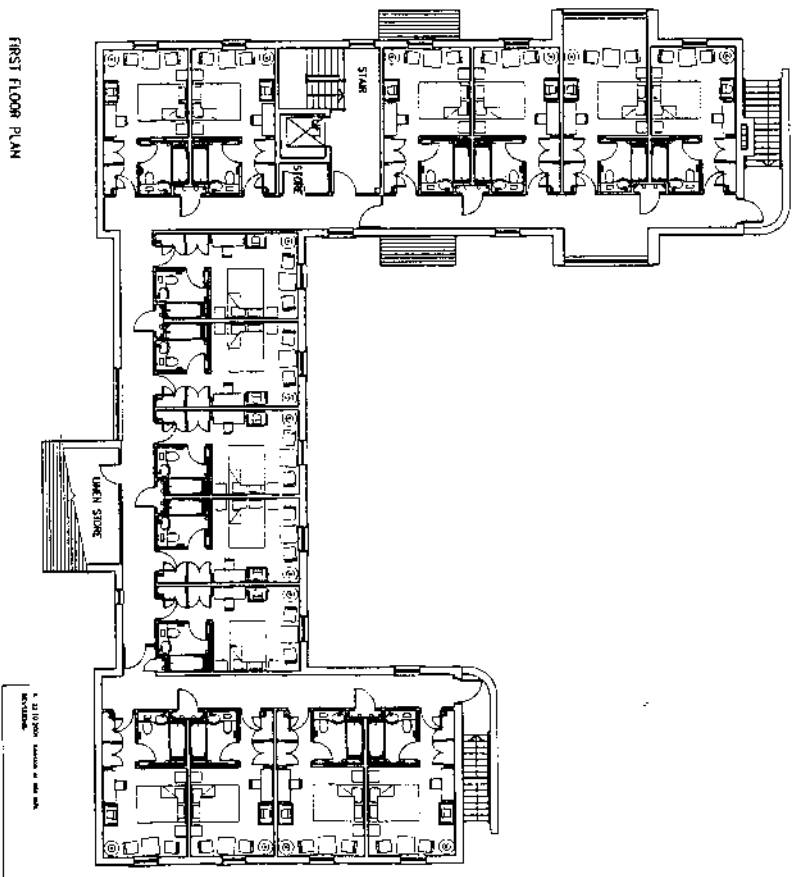
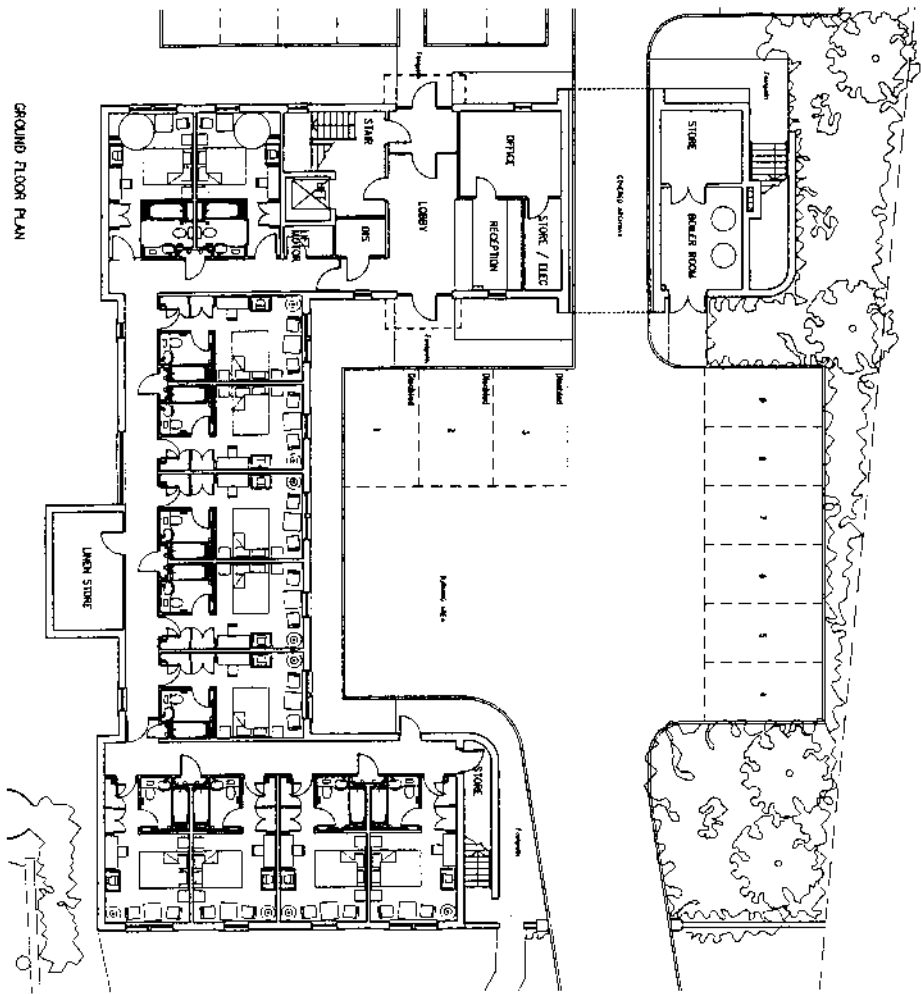
JENNINGS BRO. PLC.  
 98 27 112

PLANTING PROBLEMS  
 1/200 2/200 3/200 4/200 5/200 6/200 7/200 8/200 9/200 10/200 11/200 12/200



**PROPOSED HOTEL ACCOMMODATION**  
LANE END INN, HAYTON, CARLSLE  
**SITE LAYOUT PLAN AS PROPOSED**

NO.	DATE	DESCRIPTION
1	1/2001	ISSUE FOR PERMIT
2	10/2001	REVISED PERMIT



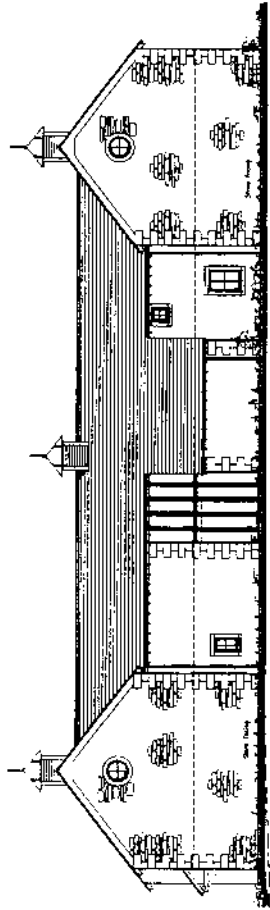
**MANNING CONSULTANTS**

**REGISTERED**  
 ARCHITECTS  
 2000/01/05/11/16/17/18/19/20  
 2000/01/05/11/16/17/18/19/20  
 2000/01/05/11/16/17/18/19/20  
 2000/01/05/11/16/17/18/19/20

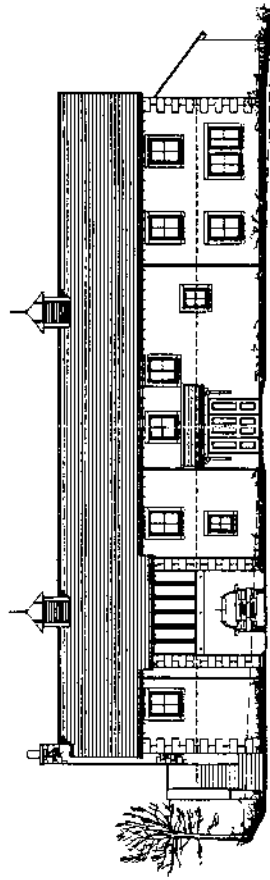
**PROPOSED HOTEL ACCOMMODATION**  
 LAKE END INN, HAYTON, CARLISLE  
 FLOOR PLANS AS PROPOSED  
 DATE: 1.1.00  
 BY: R.J.F.  
 CHECKED: SEP 2001  
 BY: R.J.F.

JENNINGS BROTHERS PLC

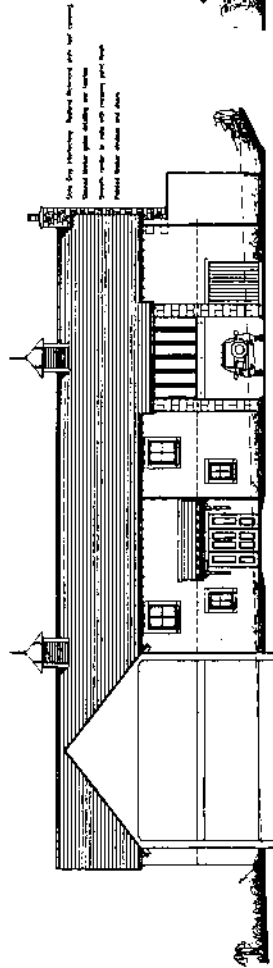
98 27



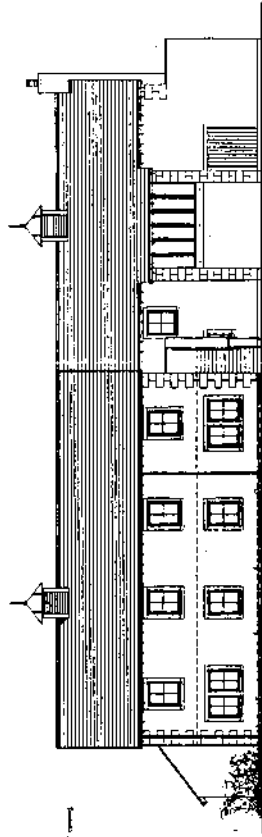
ELEVATION TO ROAD



ELEVATION TO FIELD



ELEVATION TO COURTYARD



ELEVATION FROM PUBLIC HOUSE

Notes for Fabricator: Material Selections and Color Choices  
 Based on local product availability and quality.  
 Material choice is made with reference to local  
 Product Name, Finish and Color.

RECEIVED  
 2000/09/27

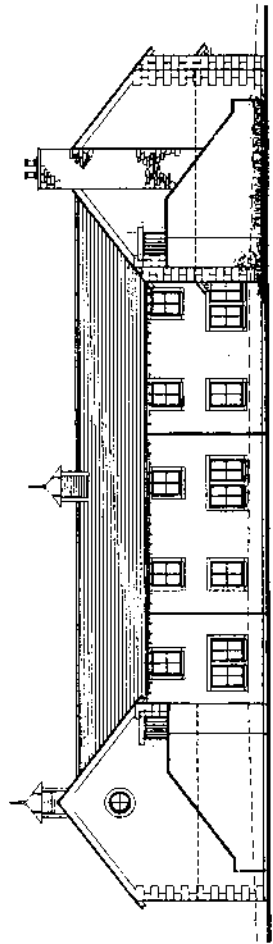
4. 19.10.2001. Revised drawings  
 09/27/2001

JENNINGS BROTHERS

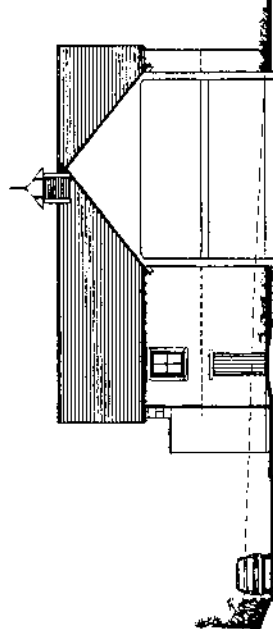
General Contractors  
 and Builders  
 1000 North  
 1st Street  
 North, Carson City NV  
 Telephone: 775.333.8100  
 Fax: 775.333.8100  
 E-mail: jennings@jennings.com

PROPOSED HOTEL  
 ACCOMMODATION  
 LANE END INN  
 HAYTON, CARLSLE  
 ELEVATIONS  
 AS PROPOSED

DATE: 27 SEP 2001  
 DRAWN BY: R.J.F.  
 JENNINGS BROTHERS  
 98 27 111A



ELEVATION TO COURTYARD



ELEVATION TO COURTYARD

Inverge Lodge,

Hayton,

Brampton,

Cumbria,

CA8 9HU.

26-11-00

PLANNING SERVICES	
REF	00/0888
28 NOV 2000	
RECORDED	
SCANNED	
PASSED TO	ARCH
ACTION	

Dear 'sir madame,

I would like to take this opportunity to object to the proposal plans for a 27 bedroom hotel as submitted by Jennings Brewery.

I think that the

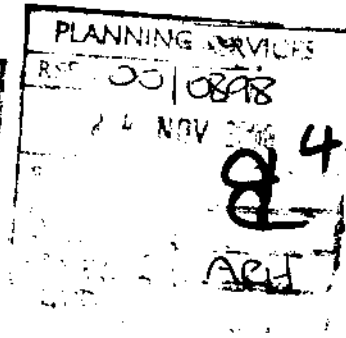
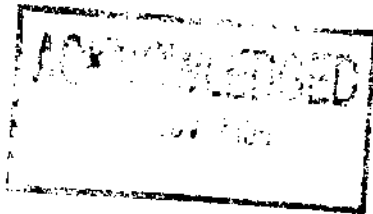
proposal plan would be more at home in a city rather than site suggested between the pub and my woodland its hardly what you expect to be built next to you when you live in How P.T.O.



- country,
- My main objections are:
- 1, Trespassing
  - 2, Extra traffic,
  - 3, Damage by Cars to the roadside verge which I cut, (to improve the outlook of my house).
  - 4, The view, which will be encroached upon by the new hotel,
  - 5, The behaviour of residents (the pub users can be bad enough).
  - 6, Not in keeping with the country surroundings
  - 7, Lost of Value to the property.
  - 8, The fact that Jennings Brothers Brewery have disresped for local land owners wishes by not consulting with us.

I think it would be a shame if you agree to let the plans go ahead. I personally think the pub owners should concentrate on regaining the trade that the pub enjoyed 2-3 yrs ago as it was a Very Popular PUB.

Your faithfully  
*C.N. Henderson*  
(C.N. HENDERSON).



AIKRIGG  
HAYTON LANE END  
HAYTON  
CARLISLE  
CUMBRIA  
CA49JB

21/11/2000

Dear Mr Hutchinson,

I write concerning the proposed plans to build a 27 bedroomed hotel located at The Lane End Inn, Hayton, Carlisle- ref no ARH/0C/00/0898. I strongly object to this planning proposal for the following reasons:-

1. I consider the design of the building not in keeping with the rural area.
2. The proposal will seriously obstruct my view- the main I purchased my property was that it is in the countryside with excellent views across to Scotland & surrounding areas.
3. I believe the proposed development will cause severe traffic problems on the A69 (Carlisle to Newcastle road) with only 200 yards visibility on either side, I am sure you will be aware of the numerous accidents which have occurred at Low Row Service Station, (similar layout)
4. I am concerned about the sewerage situation, I am led to believe there is no main sewer in the area. will this cause a problem with pollution?
5. Another reason I purchased my property is the peace and quiet, the new building will undoubtedly create extra noise.
6. We have an understanding with our neighbours to watch their house as they do with mine, if this building goes ahead I will be unable to see their house. (and vice-versa)
7. I feel this construction will also de-value my property.
8. If planning permission was granted it would leave the way open for 12 chalets to be built in the field behind my house leaving a privately owned bungalow completely surrounded, (the rumours about the chalets has been common knowledge for some time now)

I hope you understand all my reasons for objecting. if you would like any additional information please contact on 016977 2508

Thankyou.

J. W. IVINSON.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 21

Date of Committee: 14/12/20

APPN REF NO:  
01/0596 /

APPLICANT:  
Cumbria Constabulary

PARISH:  
Wetheral

DATE OF RECEIPT:  
10/07/2001

AGENT:  
Taylor & Hardy

WARD:  
Wetheral

LOCATION:  
L/A Scotby House, Park Road, Scotby Carlisle, Cumbria

GRID REF:  
343728 555634

PROPOSAL: Residential development (outline) (revised proposal)

Alan

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### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 25

The siting, appearance and landscaping of all new development and alterations should aim to enhance the quality of the existing environment. It should be in keeping with the local character of the townscape or landscape, and be well integrated with the existing pattern of surrounding land uses and, where appropriate, be in keeping with the local vernacular tradition. Normally development should make proper provision for access by disabled persons.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 27

Areas of public and private open space or other amenity land which contribute to the quality of the built environment will normally be protected from development.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 31

Sufficient housing land should be provided to ensure that, at any one time, there exists at least a five year's supply of readily available land capable of accommodating building at a rate which will keep the supply of dwellings in line with the housing requirement for each District as set out in Policy 30.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 36

Development will not normally be permitted where there is insufficient capacity in the service or transport infrastructure. Permission may be granted where satisfactory improvements can be made at the developer's expense.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 40

In rural settlements outside the National Parks and AONBs, housing

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

development will normally be permitted, especially where it would help to sustain the existing local community, and provided it is in sympathy with the scale and character of the existing settlement. Outside rural settlements, new dwellings will normally only be permitted for those engaged in agriculture where such a dwelling is essential for the working of the farm.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E18

Trees which contribute to amenity, and are under threat, will, in appropriate cases, be protected by means of Tree Preservation Orders, or conditions attached to planning permissions.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E50

The loss to built development of significant public and private open spaces within settlements will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H5

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and
2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock, Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lyneholmford, Midgeholme, Milton,

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

### SUMMARY OF CONSULTATION RESPONSES:-

UNITED UTILITIES (North West Water): No objection to the proposal;

HIGHWAY AUTHORITY: No objections subject to the inclusion of 9 conditions on any Notice of Consent which may be issued;

ENVIRONMENT AGENCY: No further comment to add to response NO/2000/002525 (ref.00/0605);

CUMBRIA COUNTY COUNCIL (as Strategic Planning Authority): the application does not raise issues of material importance to the Structure Plan and it is therefore not intended to report the application to Members;

HEAD OF ENVIRONMENTAL SERVICES: No objections;

CARLISLE & DISTRICT CIVIC TRUST: the number of dwellings should be restricted, and located on a brownfield site. Also think boundary wall at Park Road should be removed, and a footpath constructed here to link existing paths;

WETHERAL PARISH COUNCIL: 8 objections are listed and these are printed as part of the Report;

HEAD OF DESIGN SERVICES (Drainage): no objections.

### SUMMARY OF REPRESENTATIONS:-

The proposals have been advertised using Site and Press Notices and direct neighbour notification letters to the occupiers of 45 properties within the village. In response, 20 letters of objection have been received. These follow this Report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Planning consent was granted by Cumbria County Council in April 1985 for the change of use of Scotby House to the Northern Divisional HQ for Cumbria Constabulary. That use operated within the building until about a year ago although it seems that some limited storage takes place within the building at present.

In December 2000 outline planning consent was refused for the demolition of the house and its associated caretaker's cottage and outbuildings, and re-development of the whole site for housing purposes.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

An Appeal against that refusal was considered at a Public Inquiry on 16th October and the Inspector's Report, concluding with the dismissal of the Appeal, follows in the Schedule.

### DETAILS OF THE PROPOSALS

Members will recall that a Report on this application was included in the Schedule at the last meeting of the Committee in November but consideration was deferred as the Inspector's decision in relation to the above Public Inquiry was received just prior to the meeting. Members wished to receive a more comprehensive Report on the current application including an assessment of the planning issues that led to the Inspector's decision to reject the Appeal.

Like the current application, the previous application was submitted in "outline" form. However, whereas it was supported by documentation and plans which indicated a development of up to 40 dwellings was able to be accommodated on the site, Counsel acting for the Appellants at the Inquiry sought to have the application modified to a "simple" outline application with no specific dwelling numbers under consideration. The Inspector ruled that she was prepared to consider the Appeal on the basis of "up to 30 dwellings".

The current "outline" application is unequivocal in that the agents have stated on the application form that this proposal seeks approval for 19 dwellings. No indication is given in the accompanying correspondence why that figure has been selected, although Members will wish to note that Policy H5 of the District Local Plan states in the reasons/explanations that "developments of 20 dwellings or more will be considered "large- scale". The basic tenet of Policy H5 is, of course, that "large-scale" development will be resisted within the villages to which that policy applies, including Scotby.

Common to the earlier application, the plans submitted with this second application indicate a proposed new access from Park Road, positioned slightly off-centre on the road frontage and with a 6.1 metre kerb to kerb width. That access is proposed to be formed through the main belt of roadside trees which are included within the Scotby House Tree Preservation Order. The plan indicates that 4 trees will be lost, although at the Inquiry Expert Witness for the appellants had indicated that access in that location could result in the loss of 8 trees. That Witness also suggested that instead of the central access, an alternative access could be provided by improving the existing "exit" at the north western end of the road frontage onto Park Road. Evidence put to the Inquiry stated that the alternative access would have a lesser impact although the views of the City Council's arborist on that alternative had not been obtained.

Since this current application was received, and in the light of the evidence put to the Inquiry, the arborist has been asked for his advice in relation to the potential impact of a housing development served by that alternative access. His initial

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

response, set out in a memo dated 20th November is printed after this Report. Members will note that he concludes that the alternative would actually damage more trees than the central access.

Unlike the previous application, an indicative layout plan has been submitted illustrating how these dwellings could be accommodated within the site. The submitted plan shows the proposed 19 detached dwellings served off two culs-de-sac branching off the central access, and each of these being, seemingly, a shared surface road. The existing permissive footpath that runs within the site, parallel to Park Road and acts in lieu of a footway to that road, is proposed to be retained. The layout plan further indicates potential supplementary planting to the northern and north-western site boundaries.

Members should note that the layout plan is intended to be illustrative and that all matters, including access, are "reserved". Nonetheless, having regard to the significance of the trees within the site, the arborist has also been asked to comment upon the potential impact of the proposed 19 dwellings in relation to these trees. That advice is still awaited.

The accompanying letter from the agents acting for the applicants is reproduced for information. It contends that the site is within the village boundary, is well related to the landscape of the area, is capable of being well related to the scale, form and character of the settlement which is, in the agents' assessment, "predominantly suburban in the vicinity of this site". It concludes by stating that the proposal is in conformity with Policy H5 and should therefore secure planning approval.

In terms of the planning merits of the proposals Members will wish to consider whether the proposals, which remove a substantial, albeit unlisted Victorian house set in attractive and extensively landscaped grounds, comply with the policy provisions of Policy H5 and also related Policy E50 which seeks to protect significant amenity open space within settlements. Moreover, in considering these proposals Members should also have regard to the Countryside Design Summary, adopted as Supplementary Planning Guidance, and the related SPG on Trees in Development Sites, both of which recognise the amenity value of major trees and groups of trees in relation to village form, character and amenity.

The particular importance of this site in relation to the form, character and setting of Scotby was debated at some length at the Public Inquiry into the Council's rejection of the earlier outline application. Indeed, in her Decision letter the Inspector acknowledges that the main planning issue before the Inquiry concerned the impact the development would have on those matters. That Decision letter is copied in full to assist Members in determining the present proposals.

In her assessment of the Inquiry proposals the Inspector

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

identified two key issues:

1. the scale of the development; and
2. the loss of open space.

The Inspector noted that the development proposed would be larger than any other housing development built in the village since 1983; it would be outside the village's built-up confines unlike the more integrated developments elsewhere (these were identified in the Council's evidence); it would appear as a self-contained enclave on the edge of, and unrelated to, the rest of the village; and the presence of a large-scale development in such a location would imbalance, rather than consolidate, the form of the village. She further observed that the proposed development, because of its large size relative to other developments in the village, would not be in sympathy with the scale of the existing settlement (as required by Structure Plan policy SP40) while the number of units under consideration was in excess of the "ceiling" imposed under the reasons/explanations of District Plan Policy H5 which states that developments of 20 or more units is "large-scale". Even if she disregarded that precise definition, however, she concluded that the development was still large-scale and contrary to H5.

In respect of the second of the two "key" issues, the Inspector noted the provisions of Policy E50 of the District Plan which, although referred to in the Committee Report on the application, had not been cited in the Reason of Refusal. She also observed that the Countryside Design Summary similarly recognised the significance of open spaces within villages and noted the need for the quality of such spaces to be taken into account when assessing development within villages.

The Inspector applied that "test" and concluded that "the grounds of Scotby House constitute a significant open space...are a much-appreciated village amenity and perceived as an important part of the village's identity". She noted the many comments from local residents about the development and shared their views that "the trees and lawns provide an attractive entrance to the village and a visual buffer between the built-up part of the village and the field adjoining the motorway". The Inspector concluded that if the proposed development were to take place the amenity value of the open space would be diminished. In particular, she observed that the houses, access roads and other features associated with a large-scale development would dramatically alter the character of the site in that "it would no longer look like an open space but a cluster of separate housing plots".

The cumulative effects of the large scale of the development, its position on the edge of the village and the loss of significant open space led the Inspector to the view that the development would be "materially harmful to the character and appearance of Scotby".

Members will, of course, recognise that by reducing the proposed number of dwellings to less than 20, the applicants seek to bring the development into line with the threshold set



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0596 /

out in the reasons/explanations to Policy H5. However, that was not the only consideration that persuaded the Inspector that the proposals to redevelop Scotby House should not be allowed. Even with the reduction in scale, it is not considered that the planning objections supported at Appeal have been overcome. As noted, the Inspector's rejection of development was founded on three matters and her concerns relating to the site's location on the edge of the village and the visual buffer it provides, coupled with the importance of the grounds as an amenity open space within the settlement, remain unaltered even with fewer dwelling numbers.

Members will also wish to note that the sketch layout plan of the proposed 19 dwellings has been examined with regard to the Council's advice in the SPG on Trees on Development Sites. That advice recognises the need to protect significant trees within sites from the adverse effects of construction operations and advises that a 10 metre zone be sought from the crown spread of trees to the nearest wall of a proposed building. That protective zone has been assessed in relation to the layout plan provided by the applicants and it appears that 16 of the 19 dwellings would be built within 10 metres of protected trees. As stated earlier in this Report, the Council's arborist has been asked to give specialist advice in relation to this aspect but, on the face of things, there is a potential objection to the proposals on these grounds alone.

In summary, it is recommended that the revised application be refused for the two reasons recommended but Members should note that, dependent upon the advice given by the arborist, a third reason may also be appropriate.

### RECOMMENDATION: - ✓

#### REFUSE

1. REASON: The proposal would result in an inappropriate development outside the built-up confines of Scotby, on the edge of and unrelated to the rest of the village and would detract from the amenity importance of the grounds of Scotby House which forms an attractive and important landscape and amenity open space at the western margins of Scotby. As such, the development would be harmful to the attractive rural margins of the settlement and to the form, character and setting of the village in general. The proposals are therefore contrary to the objectives of Policies 25, and 40 of the Cumbria and Lake District Joint Structure Plan, Policy H5 of the Carlisle District Local Plan, and to the adopted Supplementary Planning Guidance contained in the Countryside Design Summary.
2. REASON: The proposal would result in the loss of a significant amenity open space which makes a major contribution to the amenity, character, attractiveness and local identity of Scotby and acts as a visual buffer between the built-up part of the village and adjacent open land between Scotby and the urban edge of Carlisle. The loss of this significant area of open space within the settlement would, therefore, be contrary to the provisions of Policy 27 of the Cumbria and Lake District Joint Structure

## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/0596 /

Plan and Policy E50 of the Carlisle District Local Plan and to the related provisions of the Countryside Design Summary for Carlisle District.

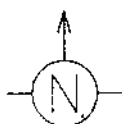
PLANNING SERVICES	
REF	
10 JUL 2001	
RECORDED	
INDEXED	
FORWARDED TO	
ACTION	

RECEIVED  
 10 JUL 2001  
 20010596

Cumbria County Council  
 The Map Room

Scale 1:2500 E:343550 Date:22-11-1994  
 O.S.:NY4355 N:555470 Operator:DF

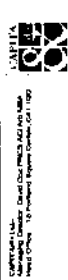
Building & Design  
 15 Portland Square  
 Carlisle  
 CA1 10Q  
 Tel: 0228 812199  
 Fax: 0228 512370



Area Police HQ, Scotby House  
 & 116 Scotby Road

PLANNING SERVICES	
REF	10 JUL 2001
RECORDED	
SEARCHED	
INDEXED	
FILED	
APPROVED	

Revision Sheet: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Author: \_\_\_\_\_



**CAPITA**  
*db*  
*bs*

3 Alfred Street North, Carlisle,  
 Cumbria CA1 1PX  
 Tel 01228 808161 Fax 01228 608112  
 www.capitaltd.co.uk

Office of Council, Cumbria Council, Market  
 Lane, Lancaster, Lancashire LA1 1YX

Client: CUMBRIA CONSTABULARY

Job: SCOTBY HOUSE  
 PROPOSED RESIDENTIAL  
 DEVELOPMENT

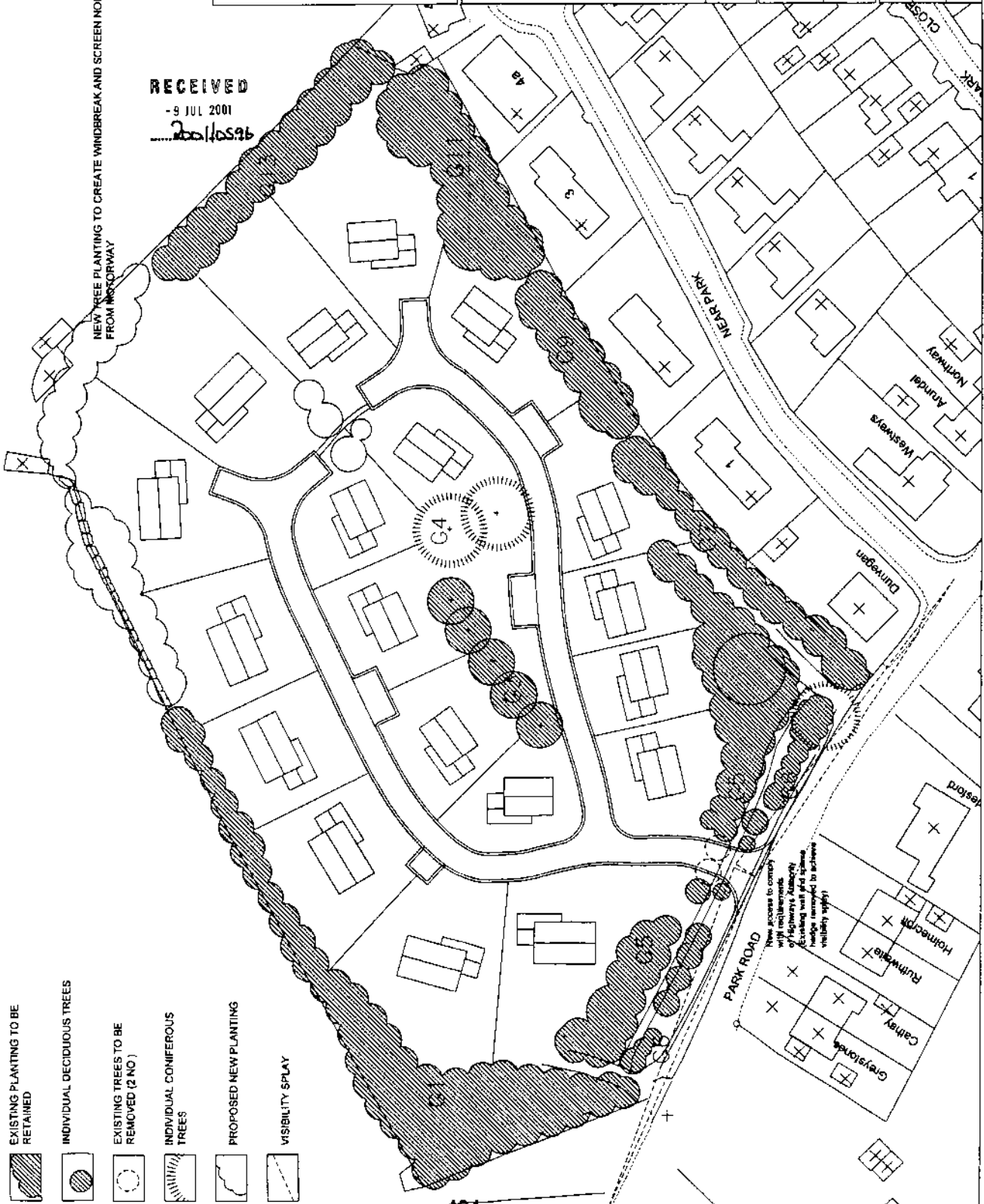
Drawing: INDICATIVE SITE LAYOUT

Scale	1:500
Drawn	RSB
Checked	
Job No	28100/A
Date	May 01
Drawn to	01

NEW TREE PLANTING TO CREATE WINDBREAK AND SCREEN NOISE  
 FROM MOTORWAY

RECEIVED  
 - 9 JUL 2001  
 2011/05296

- KEY
- EXISTING PLANTING TO BE RETAINED
  - INDIVIDUAL DECIDUOUS TREES
  - EXISTING TREES TO BE REMOVED (2 NO)
  - INDIVIDUAL CONIFEROUS TREES
  - PROPOSED NEW PLANTING
  - VISIBILITY SPLAY



2001/0596  
Merrick Street  
Carlisle  
Cumbria, CA3 8QT

# TAYLOR & HARDY

Tel: 01228 538850  
Fax: 01228 541062  
Email: [tdplanning@btinternet.com](mailto:tdplanning@btinternet.com)

Taylor & Hardy Limited, Registered in England No. 2871838  
Registered Office: 17 Park Street, Cardiff, CF10 1AD, UK

Chartered Town Planners

Our Ref : RT/J/C01/056

9<sup>th</sup> July, 2001

Chief Development Control Officer,  
Planning Services Division,  
Department of Environment  
and Development,  
Carlisle City Council,  
Civic Centre,  
CARLISLE,  
CA3 8QG

PLANNING SERVICES	
REF	2001/0596
10 JUL 2001	
RECEIVED	KWA
SCOTBY	
PLANNING	AMT
AGENCY	

Dear Sir,

### SCOTBY HOUSE, SCOTBY, CARLISLE

I enclose an application for outline planning permission for the residential development of the above site. As a repeat application no fee is necessary.

The premises are now redundant from the Policy Authority point of view and, as you know, various possible uses have been discussed for some time.

My Clients have considered various proposals but feel that the most appropriate use is as residential development for the whole of the site. They intend to demolish the existing premises which are neither listed, nor within a Conservation Area, nor in residential usage. In other words the demolition of the existing properties would not require any formal consent of the Local Planning Authority.

The application site is clearly within the existing village boundary and is adjoined on the south and south-west by other residential development.

The application falls to be considered under the terms of Policy H5. My clients' have prepared an illustrative layout showing how 19 individual properties could be provided. I confirm that they will accept a planning condition limiting the number of dwellings to 19 in order to comply with the overall thrust of policy H5.

In terms of the criteria in Policy H5 the site is clearly well related to the landscape of the area and separated from open countryside (criterion 1).

There is clearly scope to augment the existing landscape features with further material which could be achieved by means of an appropriate planning condition. The detailed access arrangements as shown on the attached

drawing and described in the enclosed note dated 6<sup>th</sup> December 2000 involve the loss of only 3 yew trees that are the subject of the Tree Preservation Area.

The proposed development is capable of being well related to the scale, form and character of the existing settlement (criterion 2). Contrary to the assertion in the reason for refusal of the previous proposal I consider that the proposal accords with the character of Scotby which is predominantly suburban in the vicinity of this site.

Matters of layout and design under criteria 3 and 4 would be dealt with as Reserved Matters.

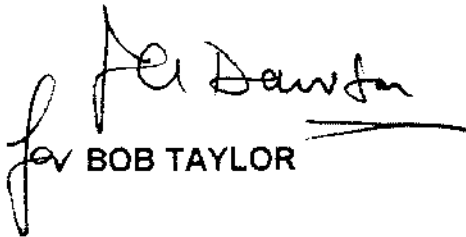
My Clients are satisfied that the access arrangements will be satisfactory. I note the previous advice of the highway authority in respect of the previous proposal which was envisaged to be in the order of 40 units. Accordingly I do not believe it is necessary to provide a Supplementary Form on Traffic Impact in this case. I confirm that the existing access points would be permanently closed on the commencement of development.

Criteria 6 and 7 do not apply.

I consider that this proposal conforms with Local Plan Policy H5 and, as such, planning permission should be forthcoming as PPG1 acknowledges unless there are other material considerations.

If there is any matter arising that you wish to discuss or clarify please let me know.

Yours faithfully,

  
for BOB TAYLOR

Head of Planning Carlisle City Council

Mr. W.J. Robinson  
66 Scotby Road  
Scotby  
NR. Carlisle  
CA4 8BD

Dear Sir

Many people in Scotby have signed the enclosed petition, although many also feel that our council will not act until after a serious accident takes place. We hope that this will not be the case and request that action is taken immediately.

Clearly this petition has received massive support and all residents want Scotby to be a safer place.

We hope that you will support the people of Scotby by lobbying appropriate persons and councils on our behalf.

We look forward to receiving your comments which will be fed back to the village residents who signed this petition.

Yours sincerely

W.J. Robinson S.Kelly E.Little K.Brown

*WJ Robinson*

PLANNING SERVICES	
REF	01/0596
DATE	12 OCT 2001 48
BY	CN
INITIALS	AMJ
	1-1

Save Scotby  
66 Scotby Road  
Scotby  
CARLISLE  
CA4 8BD

Letters to:-  
David McLean MP  
Planning Inspectorate  
Mr T Blair, PM  
Cumbria Police  
C.C.C.  
Wetheral Parish Council  
Carlisle City Council  
Planning Authority

Dear Sir/Madam

This petition relates to village residents of Scotby Road, Scotby Village and neighbouring roads of their serious and grave concern for the safety of children and adults who have to use Scotby Road.

Approximately 18 months ago this road became a 30 mph limit and this has made little, if any difference. Cumbria Police share our concerns and have spent considerable time in Scotby this year tracking traffic up to 75 mph, heavy vehicles from Rosehill and developments nearby. The volume of traffic has increased with many new developments in and close to Scotby.

Many people have expressed their concerns about Scotby Road with little success, an example being that no money has been made available – “what price a child’s safety” – most children must now be escorted to school adding to the problems on Park Road.

As residents we are against further developments specifically to boundaries of Scotby as this has compromised everybody’s safety. We believe our rural lifestyle is being destroyed by developers. We request that all boundaries in Scotby become greenfield sites with no future developments allowed.

As residents we request urgent action to restrict traffic to 20mph on Scotby Road, traffic calming measures put in place as a matter of urgency and heavy vehicles restricted to all roads in Scotby. We also believe crossings should be considered along with cycle paths at allow children to cycle to school safely.

As residents we formally request a response to this petition.

Scotby Village Action Save Scotby



SCOTBY VILLAGE ACTION SAVE SCOTBY  
 PROTECT OUR CHILDREN

NAME	ADDRESS	SIGNATURE
MRS. E.A. BROUGH	3 HOLMEFAULD SCOTBY	E.A. Brough
MRS J F TEASDALE	4 HOLMEFAULD	J F Teasdale
MRS M.E. BAKER	6 HOLMEFAULD	M.E. Baker
Mrs T. Lewis	17 HOLMEFAULD	Tracey Lewis
Mr J. SANDS	19 HOLME FAULD	<del>Scott</del> J. Sands
MRS J. SANDS	19 HOLME FAULD	J. Sands
Mr. J.W. Shepherd	21 Holme Fauld.	J. W. Shepherd
Mrs A FISHER	25 HOLME FAULD	A. Fisher
MR G FISHER	25 HOLME FAULD	G. Fisher
M. T. Dewar	27. Holme Fauld.	M. T. Dewar
D. L. Leathford	30 <del>27</del> Holme Fauld	D. L. Leathford
A. Norman	26 Holme Fauld.	A. Norman
E. WARD	26 "	E. Ward
S. Proud.	1. Holme close	S. Proud.
A. Proud	1. Holme Close	A. Proud
K Hollis	4 Holme Close	K Hollis
K Hollis	4 Holme Close	Keith Hollis
J. K. Graham	8 Holme Close	J. K. Graham
J. Palmer	Hedley CROSS	J. Palmer
J. HEALRY	Hedley CROSS	J. Hedley

SCOTBY VILLAGE ACTION SAVE SCOTBYPROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
C. SALTER	WHEELBARROW G. SCOTBY	C. Salter
C. IVERSON	" " "	C. Iversen
J. Edmunds	" " "	J. Edmunds
K Brown	" " "	K Brown
KENDALL	119 SCOTBY RD SCOTBY	Kendall
J P SMITH	91 SCOTBY "	J P Smith
D HUNTINGTON	87 " Rd.	D Huntington
Huntington	87 Scotby Rd	Huntington
J KEEFE	85 Scotby Rd	J Keefe
W. VANDER BYL	45 SCOTBY RD	W. Vander Byl
S. Vander Byl	" " "	S. Vander Byl

SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
B. JOHNSTON	99. SCOTBY LANE	B. Johnston
C. JOHNSTON & Graham	101 SCOTBY ROAD	C. Johnston E. Graham
M. GRIFFITHS	103 SCOTBY RD.	M. Griffiths
G. PARDFOOT	109 Scotby Rd	G. Pardfoot
J. PARDFOOT	109 Scotby Rd	J. C. Pardfoot
J. Gilhe	111 Scotby Road.	J. Gilhe
S. RAYSON	115 Scotby Road	S. Rayson
A. PRESTON	" "	
b. Nanson	117, Scotby Rd	b. Nanson
P. NANSON	117. Scotby Road	P. Nanson.
A. PARKER	123 SCOTBY RD	A. Parker
D. PARKER	123, SCOTBY RD,	D. Parker
F. J. TAYLOR	125, Scotby Rd.,	F. J. Taylor
JP Butler	131 Scotby Rd	J. Butler
B. D. MEE	135 Scotby Rd	B. D. Mee
F. PRINGLE	22 Holme fald	F. Pringle
J. PRINGLE	22 Holme fald	J. Pringle
F. WALKER	18. Holme fald	F. S. Walker
G. BARKER	10 Holme fald	G. Barker.
M. FORBES	5, HOLME FALD	M. Forbes
C. SECULAR	7 HOLME FALD	C. Secular

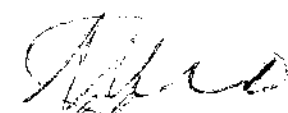
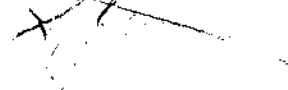








SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
K. E. BEATTIE	3 HOLME FARM, Scotby	<i>K. E. Beattie</i>
B. A. Male	5 HOLME CLOSE Scotby	<i>B. A. Male</i>
M. L. Male	6 Holme Close Scotby	<i>M. L. Male</i>
Alan Jones	9 Holme Close, Scotby.	<i>Alan Jones</i>
T. Jackson	10 HOLME CLOSE SCOTBY	<i>T. Jackson</i>
Alan Jones	1 Holme farm Scotby	<i>Alan Jones</i>
ALAMY HIGHAM	1 Holme farm Scotby	<i>Alamy Higham</i>
Lisa Forrester	Scotby	<i>L. Forrester</i>
Tracey Taylor	Scotby	<i>Tracey Taylor</i>

138

SCOTBY VILLAGE ACTION SAVE SCOTBYPROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Mr. DEVAATH	114, Scotty Rd	
Ed Josephine	118 Scotty Rd	
C Hundle	7 Holme Fauld	C Hundle
S. SMITH	120 Scotty Road.	
D SMITH	" " " "	
M. Jefferys	122 " "	M. Jefferys
J. Jefferys	" "	J. Jefferys
J. Hughes	124 " "	
J. Hughes	124 Scotty Rd	
P. Hoares	126 Scotty Rd	
Mr + Mrs Rhodes	128, Scotty Rd	Mr + Mrs P. Rhodes
Mr. W.A. Ritchie	132 Scotty Rd	W.A. Ritchie
MRS E.A. RITCHIE	" "	E.A. Ritchie
MRS. REID.	134 SCOTBY RD	
D. COTTAM	136 Scotty Road	
H. COTTAM	136 SCOTBY RD.	Helen Cottam
N.E. ROY	140 SCOTBY RD	N.E. Roy
B. GIBBS	137 SCOTBY RD	
CALIGHTOWER	137 Scotty Rd	CA Lightower

6

~~29~~ 85  
91 87 95

SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

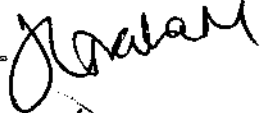
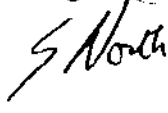

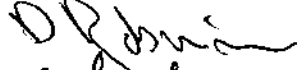
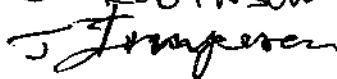
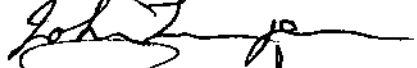
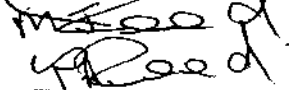




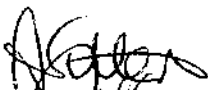


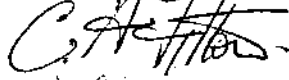

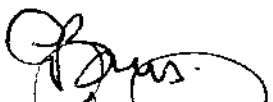
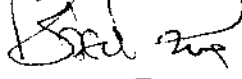
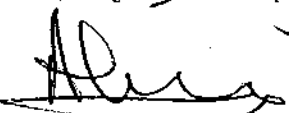

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Elsie Little	Faldo, Scotby Rd.	<del>E Little</del>
Tom Little	" "	<del>Tom Little</del>
Stan Hilling	78 SCOTBY ROAD	SR Hilling
Jean Hilling	" " "	J Hilling
William Robinson	66 SCOTBY ROAD	WRBison
Jocelyn Robinson	" "	J. Robin
Sue Grimes	69, Scotby Road	Sue Grimes
MIKE GRIMES	" "	<del>Mike Grimes</del>
Mike Knight	75 " "	Mike Knight
Helen Lambert	H. Lambert	H Lambert
77 Scotby Road	" "	77 Scotby Road
Sue Rowntree	81, Scotby Rd	SARowntree
<del>Sue Rowntree</del>	" "	C. ROWNTREE
Mrs V Graham	83 Scotby Rd.	V Graham
Mr B. Graham	" "	B Graham
MRS. T. Nixon	89 Scotby Rd	T. Nixon
MR. C. NIXON	" "	CR Nixon
Margaret Carr	93 " "	Margaret M. Carr
R. W. Atkinson	98 " "	R. W. Atkinson
G. L. Atkinson	98 " "	G. L. Atkinson
B. Scott	96	B Scott
G. Scott	96	G Scott
J. J. Stephenson	82 434	Margaret V

97 7

Woodhall clough

SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
J. GRAHAM	79 SCOTBY RD SCOTBY.	
S North	86 Scotby Rd	
	84 SCOTBY RD	E. ROBINSON
D. ROBINSON	84 SCOTBY RD	
	90 SCOTBY Rd	
M. REED	91 SCOTBY Rd	
J Reed	" " "	
E.P. Beary	106 Scotby Rd	E.P. Beary
B H Fox	104 Scotby Rd	
A WHITE	102. Scotby Rd.	
S. Fitton	108 Scotby Rd	
	108. Scotby Rd.	
P.J. FITTON.	108 Scotby Road.	
CARL FITTON	108 Scotby Road	
KATE FITTON	108 Scotby Road.	
GILL BURNS	110 Scotby Rd	
Rob. Burns	" " "	
Helen Irving	112 Scotby Road	H.M. Irving
ALAN IRVING.	112 SCOTBY ROAD	
DIANE IRVING	112 SCOTBY ROAD	

SCOTBY VILLAGE ACTION SAVE SCOTBYPROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
Margaret Campbell	53, SCOTBY RD	M Campbell
Jean & Roy Goddard	60 SCOTBY Road.	A.P & JE. Goddard
MARY KIDD	48, SCOTBY ROAD	M. Kidd,
F. May & Bill Hall	33 Scotby Road	Audrey Hall
Anne Bradley	31 Scotby Road	A. Bradley
J. BRADLEY	31 Scotby Road.	<i>[Signature]</i>
Jennie Boulton	23 Scotby Rd.	J Boulton
Bonnie	— — —	— — —
Christine <del>Ree</del>	Maplewood, Scotby Road	CERISE
ROBERT ROSE	MAPLEWOOD SCOTBY RD.	<i>[Signature]</i>
John R. Leach	Russat Rigg Scotby	—
DOUGIE WATSON CRACK	2 OAK BANK SCOTBY	J. Watson. Crk
J. R. Watson Clark	Oakbank Scotby	J. R. Watson Clark
G. WATSON-Clark	" " CARRISE	Watson Clark
S. Al-Azawi	50 Scotby Rd Scotby	S. Al-Azawi
F. AL-AZZAWI	" " "	"
E. Bradler	46 Scotby Road. Scotby.	"



SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
K Black	22 HILL HEAD	K Black
C. BLACK	22 HILL HEAD	C Black
P Brown	26 Hill Head	P Brown
G.G. Brown	26 HILL HEAD	G.G. Brown
Brown	26 HILL HEAD	G Brown
J. JOHNSTONE	24 Hill Head	J. JOHNSTONE
B. JOHNSTONE	24 Hill Head	B. John Stone
D.W. BRENNAN	11 HILL HEAD	D.W. Brennan
C. BRENNAN	11 HILL HEAD	C. Brennan
J. Preston	8 Hill Head	J. Preston
Woodman	6 Hill Head	Woodman
P. Hall	4 Hill Head	P. Hall
A. Kelly	25 Hillhead	A. Kelly
<del>W. Jones</del>	21 Hillhead	<del>W. Jones</del>
a Balder	13 Hill head	a Balder
J.H. Balder	15	J.H. Balder
D. BAIN	17 HILLHEAD	D. A. Bain
P Sanderson	15 Hillhead	P Sanderson
R. NICHOL	9 Hill Head	R. Nichol
J. Phillips	55 Scotby Road	J. Phillips
K PHILLIPS	55 Scotby Road	K Phillips
A. BRADLEY	31 SCOTBY RD	A. Bradley

SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
JB ROBINSON	64 SCOTBY ROAD SCOTBY.	<i>J.B. Robinson</i>
J.H. Park	Cowanside How Mill CARLISLE	<i>J.H. Park</i>
D. RIFE	54 SCOTBY ROAD	<i>D. Rife</i>
D. Cathcart	52 Scotby Road	<i>D. Cathcart</i>
D. Cathcart	52 Scotby Rd	<i>D. Cathcart</i>
N. Thomson	44 " "	<i>N. Thomson</i>
H. Thomson	44 Scotby Rd.	<i>H. Thomson</i>
C HOLLIDAY	40 Scotby Rd STYEND, OAK BAK	<i>C Holliday</i>
S R. Mox	2 Park Close	<i>S R. Mox</i>
D M'COLLOCH	WOOD STOCK	<i>D M'Colloch</i>
E. Kay	Daisy Cottage Scotby Road	<i>E. Kay</i>
E. F. Smith	21 Scotby Road.	<i>E. F. Smith</i>
M. SMITH	21, SCOTBY ROAD	<i>M. Smith</i>
N. Smith	21 SCOTBY ROAD	<i>N. Smith</i>
E. Todd	35 " "	
J. Atkinson	37 " "	<i>J. Atkinson</i>
F. E. Batey	39 " "	<i>F. E. Batey</i>
L. P. A. BARNES	58 SCOTBY ROAD	<i>L. P. A. Barnes</i>
B. - BARNES - F. Anderson.	11 63 SCOTBY RD	<i>B. Barnes</i>
H. E. Anderson	" "	<i>H. E. Anderson</i>

47 45 11

SCOTBY VILLAGE ACTION SAVE SCOTBY

PROTECT OUR CHILDREN

<u>NAME</u>	<u>ADDRESS</u>	<u>SIGNATURE</u>
NEIL McEEDIE	61 SCOTBY ROAD	Neil McEedie
ELMA POSTLETHURTE	59 " "	E Postlethurte
Craig Postlethurte	" " "	CRAIG POSTLETHURTE
MIKE WELDEN	51 " "	Mike Welden
Mia Welden	51 " "	Mia Welden
MARK BIRT	49 " "	M Birt
Lyn BIRT	49 " "	L Birt
Anne Gibson	43 " "	A. Gibson
William Gibson	43 " "	W Gibson
K. WATSON	45 " "	K Well
NICOLA COOPER	62 " - "	Nicola Cooper
John Cooper	62 " - "	J Cooper
DAVID FITZPATRICK	68 " "	D. Fitzpatrick
Lindsay Fitzpatrick	68 Scotby Road	L Fitzpatrick
FRANK BRENNAN	70, Scotby Rd.	F. Brennan.
JAN BRENNAN	" " "	J. J. Brennan.
Beccy Breman	" " "	R. J. Breman.
Chris James	57 Scotby Road,	S. James
Shelagh James	" "	C.F. MILBURN
Catherine Milburn	72 Scotby Road.	Catherine Milburn
TOM MILBURN	" " "	
MARTIN WHITE	74 SCOTBY	M White
DAVID BELL	80 SCOTBY ROAD	D Bell

## Feedback from Petition

Comments Received between 30<sup>th</sup> July 01 - 13<sup>th</sup> Aug 01  
Everybody - is demanding action on the speed of vehicles  
with massive demands for action.

Scotty Rd is a RaceTrack!

Fast Driving of vehicles from Roshill speeds are ridiculous!  
Personal experiences of Residents near masses also speed -  
- accidents where vehicles written off! and injury to passengers.

Why does the Council not value Scotty Rd children in the  
same way as children in Carleton? The Council receives a lot  
of money from people in Scotty. Bring the speed limit down now!  
They will only do something after an accident.

The speed limit should be 20 mph.

We need traffic calming, some said we definitely need bumps and  
some said other measures should be considered first.

We need a painted cycle path for children to cycle to school  
safely.

Road side parking is a problem.

Crossings should be put on road.

Why only do work on Park Rd when Scotty Rd has as many problems!

30 mph has made little difference.

## Building in Scotty

Everybody wants restrictions to building to boundaries (without exception)  
100% of people are against Scotty House being demolished.

More consultation on Scotty Plan - more restrictions included or  
supported by W.P.C. for Scotty Rd - Holme Road Hill Head boundaries  
Edged. Greenfield areas on Scotty Rd Hill Head Holme Road etc.  
Highlighted as Green areas - for the much Building a common comment  
from Residents.



The Planning Officer  
Planning Department  
City Council  
Civic Centre  
Carlisle

# Scotby Church of England Primary School

(Foundation Status)

Park Road, Scotby, Carlisle CA4 8AT

Tel: 01228 513 270, Fax: 01228 513 049

E-Mail: [admin@scotby.cumbria.sch.uk](mailto:admin@scotby.cumbria.sch.uk)

or [head@scotby.cumbria.sch.uk](mailto:head@scotby.cumbria.sch.uk)

Headteacher: Ian Mackay

4 September 2001

Dear Sir,

## Old Police Premises on Park Road, Scotby – Planning Number 01/0596

I write on behalf of the School Governing Body to object to the proposed development plan at the above premises for the following reasons:-

- Increased traffic during site development will pose a danger to our pupils.
- Increased traffic created by new residents on completion of the project will exacerbate the already difficult traffic conditions outside school.
- More families in the village will put pressure on school's Admission Policy.
- Proposed access to the development will be incompatible with access to school.

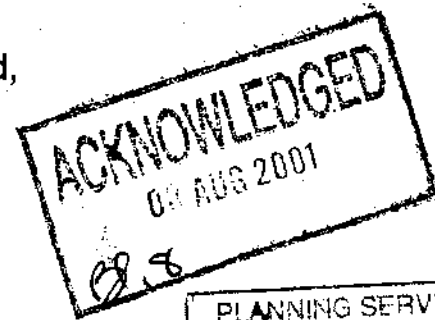
If you require any further details from school or the Governing Body, then please let me know.

Yours faithfully

Mary Johnson  
Clerk to the Governors

REF	01/0596
DATE	06 SEP 2001
BY	CN
FOR	AMT
ACTION	

Ardvreck, Park Road,  
Scotby, Carlisle,  
Cumbria. CA4 8AT



4<sup>th</sup> August 2001

Mr A M Taylor  
Department of Environment & Development  
Planning Services Division  
The Civic Centre  
Carlisle  
CA3 8QG

PLANNING SERVICES		
REF	01	0596
-7-AUG 2001		
B.S.		
AMT 18		

Dear Mr Taylor

Proposal : Residential development (outline) (revised proposal)  
Location : L/A Scotby House, Park Road, Scotby, Carlisle, Cumbria  
Appn Ref : 01/0596

With reference to the above application we would like to register our opposition to the above development.

Park Road is already a very busy road into and out of the village. It is a "rat run" into Carlisle and the nearby Rosehill Industrial Estate, with the traffic from the school run, makes the road a dangerous place to be at peak times. At rush hour cars, vans and buses frequently mount the pavement to pass each other and it is virtually impossible for us to leave our drive at this time due to the volume of traffic. A further increase in the volume of traffic along our road would be intolerable and make a serious accident inevitable at some point.

Scotby House itself is part of the village and it's character and we feel that an investigation into alternative uses for the building should be sought before proceeding to demolish it.

We hope that you take the above points into serious consideration before deciding upon the future of Scotby House.

Yours faithfully

A handwritten signature in cursive script, appearing to read "Tracey Fleming".

Tracey Fleming

A handwritten signature in cursive script, appearing to read "Peter Fleming".

Peter Fleming

Broomacre  
Park Road  
SCOTBY  
Carlisle  
CA4 8AT



6 August 2001

Dept of Environment & Development  
Planning Services Div

Carlisle City Council  
The Civic Centre  
CARLISLE  
CA3 8QG

PLANNING SERVICES	
REF	01/0596
- 7 AUG 2001	
RE	Pf
BY	
DATE	Am J
AC	22

Dear Sir

**LAND AT SCOTBY HOUSE, PARK ROAD, SCOTBY**  
**APPLICATION NUMBER 01/0596**

I refer to the planning application in relation to land at Scotby House. I have already written to you in relation to the previous application number 00/0605 and I repeat the objection that I raised in that letter.

Although the new proposed development is for a smaller number of houses I understand that it is 19 the initial parts of my objection remain.

While in principle the development of Scotby House, as opposed to land is not being objected to for example office accommodation, hotel accommodation, residential accommodation or flats/apartments within the present structure and fabric of the building the removal of the land would be a substantial change to the existing character of the edge of the village. In addition although the number of houses that are proposed are reduced there would still be a substantial increase in the amount of traffic to an already busy road.

Yours faithfully

I Ward

Mr and Mrs P.W.Walker  
18 Holmeauld  
Scotby  
Carlisle  
CA4 8BL

30 July 2001

Planning Department  
Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG



Dear Sir

L/a, Scotby House Park Road Scotby Carlisle

Demolition of existing building and redevelopment of site for housing (outline)

We would be grateful if the written comments below could be taken into consideration.

OBJECTION

1. A large scale development on the Scotby House site will remove the village identity and status. A development of this size is in contravention to Policy H5 of the Carlisle Local Plan.
2. The trees on the site are scheduled and must not be disturbed or destroyed if any development work proceeds.
3. Another large scale development in Scotby will stretch village services particularly the School which is already at capacity and this development would only exacerbate an already serious problem.
4. There is already excessive traffic on Park Road Scotby generated by the school, Rosehill Trading Estate and people using the road as a 'ratrun'. A weight limit and speed limit have been imposed but appear to have had little or no impact, heavy vehicles still use this road to get to commercial premises. The danger to children increases weekly, last year **our son was knocked down** by a car that was reversing to avoid another snarl up of traffic. Thankfully he was not physically injured just shaken up by the ordeal. I feel that it will only be a matter of time before someone is seriously hurt in a traffic accident along this stretch of road and allowing another development with access onto it will only aggravate this extremely dangerous situation.

Mr and Mrs P.W.Walker

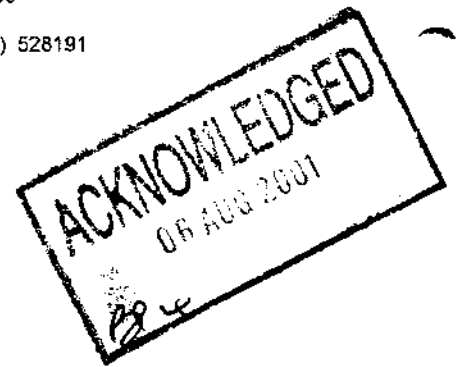
PLANNING SERVICES	
REF:	0110596
- 6 AUG 2001	
REC'D:	AB
SCM #:	AM1
LWB	



**Sunningdale  
4a Near Park  
Scotby  
Carlisle  
CA4 8AU**

Home Phone No 513 855

Work Phone No (01228) 528191



22 August 2000

Dear Sir/Madam

**PROPOSED DEVELOPMENT OF SCOTBY HOUSE APPLICATION REF.  
00/0605**

I wish to lodge the following objections to the above proposed scheme.

1. The density of the development will be detrimental to the surrounding area and not in keeping with Scotby village.
2. The increase in population as a result of the development will add to the congestion already experienced in Park Road.
3. The effect of the increase in population on Scotby School will be a problem as it is already up to its full capacity.
4. There is already inadequate footpaths on Park Road and I feel that this is an 'accident waiting to happen.'
5. I am concerned that a development allowing the provision of 'liddle boxes' will be approved.

I hope you will consider these points when making your decision.

Yours faithfully

(Mrs) Margaret Ingledow

PLANNING SERVICES	
REF	01/0596
- 6 AUG 2001	
RECORDED	B
SEARCHED	
INDEXED	AM
ACTED	4

**ACKNOWLEDGED**  
06 AUG 2001  
0224

2. Park Close  
Scotby  
Carlisle  
Aug 2nd  
010596  
AMJ  
ACTION 24

Planning Department  
Carlisle City Council  
 Civic Centre  
 Carlisle  
 C B 8QB

Re Scotby House. Scotby.

Dear Sir

I wish to object to the proposal to demolish Scotby House and redevelop the site for housing, on the following grounds

1. The excessive amount of traffic already using Park Road and the danger it puts school children in.
2. The School is already full to capacity. There are thirty nine children in my grandsons class already.
3. Scotby House is a pleasant area in the village with many beautiful trees which are scheduled and a housing development would contravene Policy H5 of the Carlisle local Plan.

Mrs G. R. More

Carlisle City Council,  
Planning Department,  
Civic Centre,  
Carlisle,

PLANNING SERVICES	
REF	01/0596
- 3 JUL 2001	
RECORDED	CV
SCANNED	
PASSED TO	AMT
ACTION	

5 Park Close,  
Scotby,  
Carlisle,  
CA4 8AX

1 July, 2001

Dear Sir,                      Planning Proposal for Scotby House.

At a village meeting on 25 July, 2001, called by the Wetheral Parish Council, we were informed of your proposed meeting to discuss a Planning Application for the above.

It was stated that the applicant had asked for permission to build nineteen houses having demolished Scotby House. Even nineteen houses with the removal of Scotby House would still involve the destruction of a pleasant green area at the edge of the village and add to the creation of housing which would be totally incompatible with the existing village. The recently approved development at the Old Tannery is visual evidence of this kind of thing.

There are traffic problems in Park Road now and additional traffic from new houses will only increase this. At school times Park Road is extremely dangerous and it is only a matter of time before there is a serious accident. At present the two access points from Scotby House lie between two blind bends. A central main access road would allow even less safety for drivers going in any direction to avoid oncoming traffic. Reduced speed limits have been indicated but these are frequently ignored. Cars come from other villages heading for Carlisle and there are heavy vehicles coming round to the depot further along Park Road. There is also traffic from the Auction Market and from the regularly-held Car Auction.

We chose to live in a village and are deeply concerned to witness the new developments of small estates which change it into a growing area of suburbia. This can only result in Scotby being eventually absorbed into the city of Carlisle. If we are serious about the preservation of the countryside then we must call a halt to this process.

We ask you to bear our very real concerns in mind when making your decision.

*Yours faithfully,*

*1 a 447-1 Sarah Dutton*

DAVID A. B. McNAY A.R.I.B.A.  
CHARTERED ARCHITECT  
TELEPHONE ~~SCOTBY 205~~ 01228 513285

ARUNDEL,  
PARK ROAD,  
SCOTBY, CARLISLE.  
CA4 8AT.

The Department of Environment  
& Development,  
Planning Services Division,  
The Civic Centre,  
Carlisle. CA3 8QG.

PLANNING August 2001	
REF	01/0596
- 3 AUG 2001, 15	
RECORDED	
SCANNED	
PASSED TO	AMJ
ACTION	

Dear Sir

Scotby House, Park Road, Scotby, Carlisle: Objection  
regarding planning applications 00/0605 and 01/0596  
(revised)

I enclose a copy of my objections to the proposed  
demolition of Scotby House and development of the  
site for housing.

A copy has been sent to The Planning Inspectorate,  
Bristol, whose deadline for receipt is the 7th August  
2001.

Yours faithfully,

David A. B. McNay

Re: Outline planning applications for the demolition of  
Scottby House, Park Road, Scottby, Cumbria and  
redevelopment of the site for housing - Appln. 00/0605  
and 01/0596 (revised)

---

OBJECTION

1. A public meeting was held in Scottby Village Hall on the 21<sup>st</sup>. August 2000 attended by more than 80 people all of whom voted against the proposal outlined in application 00/0605
2. My wife and I agree with all the specific matters mentioned in the "Letters of Objection to 25 Aug (2000) and we wholeheartedly approve of and support the reasons for the Planning Refusal as stated in the Carlisle City Council letter A MT / DC / 00 / 0605 dated 8<sup>th</sup>. December 2000.
3. When the housing scheme at Eden Gate (off Park Road) is completed it will create more traffic on Park Road which is already seriously affected particularly between the hours of 8 and 9 each weekday morning by many cars using Park Road and the 20 mph roads through Batchesay instead of the main road into Carlisle city centre to avoid delays caused by traffic queues tailing back (sometimes as far as Wheelbarrow) from the traffic lights at the Montgomery Way / Warwick Road junction.  
In addition the west side of Park Road is obstructed twice every school day by as many as 45 parked cars belonging to parents of children attending the school causing congestion and a danger to children.
4. Housing development on the site would greatly increase.

The amount of traffic entering a high risk part of Park Road, via a new central access road which we think is completely unnecessary and potentially dangerous, and add to the danger for children walking or cycling to / from school and depending upon the number of houses actually built will create further problems at the school itself which is already full.

5. All the trees within Scotby House grounds are said to be covered by a preservation order except for seven although the plan submitted with the revised application 01/0596 shows only two trees to be removed: the plan is not clear regarding property boundaries and we fear that that if many of the retained trees are within the curtilage of individual houses a large number will be cut down by owners who neither know nor care about preservation orders.
6. Granting permission for the demolition of a house which is 100 years old and very much part of Scotby and for the use of a "greenfield site" for any number of houses will encourage others to sell their agricultural land (with planning permission of course) for development e.g. between Scotby House and the M6 motorway and between Park Road and the motorway creating a precedent not acceptable under item 4.42 of the Carlisle District Local Plan.
7. The outline applications state that surface water will be discharged into Wash Beck - is this permissible as all sorts of liquids can be poured into surface water gullies.
8. My wife and I have lived at Scotby for 44 years and

during that time have seen good agricultural land between Park Road and Scotby Road built up and elsewhere in the village a number of farm houses sold and converted and houses built on the adjacent land. Developers seem determined to built on every square metre of land and we sincerely hope that Scotby House grounds will be left alone.

Several small businesses which occupied part of the Eden Gate site have ceased to exist in Scotby. Any suburban style extension to the village is not wanted on this site and could no doubt be considered outside the "village envelope" and would encroach upon the "green corridor" that clearly defines the village from urban Butchery and Rosehill Industrial Estate.

9. It is well known that Cumbria Constabulary is short of money but surely they should seek extra funds from the Treasury not by selling the site for a greatly enhanced sum, after obtaining planning consent, to destroy a visually important space on the edge of the village, contrary to item 4.46 of Carlisle District Local Plan.
10. Those of us who live near Scotby House are very concerned about the future of the house if the appeal and/or the new outline application are turned down and hope that it will be sold to a responsible corporate or private buyer who will put it to a good, sensible use, approved by the people of Scotby.
11. Concerning the revised outline application ref: 01/0596 which has been submitted to Carlisle City Council is it right that this attempt at what can only be described as

"pressure" — an article in the local press suggests that the Police may withdraw the appeal if the revised application is approved — should be considered at all before the appeal which is pending has been dealt with and the Inspector's decision is known.

David A.B. McNay      Lilyan McNay  
pp.  
• DAVID A.B. and LILYAN McNAY  
'ARUNDEL', PARK ROAD, SCOTBY,  
CARLISLE.      CA4 8AT.

18th July 2001

Copy to: The Planning Inspectorate, Bristol.  
Carlisle City Council.  
Cllr Don Josselyn



PLANNING SERVICES	
REF	O1/0596
- 2 AUG 2001	
REMOVED TO	ON
FORWARDED TO	AMT
ACTION	

Trees

8 New Park  
 SCOTBY  
 CARLISLE  
 CA4 8AU  
 30/7/01

A M Taylor  
 Chief Development Control Officer  
 Dept. of Env. & Dep. Pl. Serv. Div.  
 Civic Centre  
 Carlisle  
 CA3 8QG

APPN REF O1/0596.

114 Scotby House, Park Road, Scotby, Carlisle

I wish to object to the above.

Scotby House is the first building on the left hand side as you enter the village of Scotby from Rosetill.

A large scale development on this land would totally spoil the village look/status.

I live in the area & see next to Scotby House & already have difficulty coming in & leaving the area due to work etc. due to severe traffic problems. Park Road can not cope with the volume of traffic now & additional housing would just add to the congestion.

There is presently an abundance of flora & fauna on the site which should also be taken into consideration.

2.  
Numerous trees (which I believe now have a preservation order on them) are used as homes by all sorts of birds & animals.

We were unable to stop the unsightly development of houses & (flets - not originally planned) which will add to the congestion at Scotby.

The one school is overcrowded already.

There is a waiting list now. There are children of the village of Scotby who are not guaranteed a place even though they were born here & actually live opposite the school. One class I know has 39 children in it.

I strongly object to the demolition of existing buildings & redevelopment of site for housing.

Yours sincerely

(Mrs) C. M. Samuel.

Crumham

Park Rd

Scotby

Carlisle CA4 8AT

Cumbria

1-8 01

PLANNING SERVICES	
REF	01/0596
- 2 AUG 2001	
RECEIVED	CN
SCANNED	
PASSED TO	AMT
ACTION	

Your Ref AMT/DC/01/0596

Dear Sir

Re Scotby House, Park Rd Scotby  
Application Ref 01/0596

We would like to record our objections to the above application.

- 1) We are in complete support with any objections and points raised by the Parish Council
- 2) We do not feel that a reduction in the number of houses has made any difference to any objections or fears raised. The road at this part of Scotby is already over used by cars, commercial vehicles using the as a well used for the Rochell Estate and when back to normality the cattle wagons leaving and returning at the auction. The road here is extremely narrow and with a steep corner at each side of the proposed site. We object to the demolition of 'Scotby House' as this is a focal point on the approach to the village and the green area at present is necessary to stop the approach of 'Suburbia' and lead to the eventual joining up of a village to a town. The dreadful development at the other end of Park Rd is totally out of keeping with the village and much of this must be prevented in order to preserve some rural landscape. We chose to 'live at a town' and choose the slowly being taken away.

Yours faithfully

John Inghs

### 3 Wellgate, Scotby, Carlisle CA4 8BA

Mr M Battersby C Eng MICE FIHT  
Director  
Department of Environment & Development  
CARLISLE CITY COUNCIL  
Civic Centre  
Carlisle CA3 8QG

31 July 2001

PLANNING SERVICES	
REF	01/0596
- 1 AUG 2001	
RECORDED	✓
SCANNED	
PASSED TO	AMT
ACTION	

Dear Mr Battersby

Proposal: Residential development (outline) (revised proposal)  
Location: L/A Scotby House, Park Road, Scotby, Carlisle Cumbria  
Appn Ref: 01/0596

I am not in agreement with the revised proposals for the above.

It remains a far too ambitious scheme for this location. The principal objection must be the problem of transport. Park Road is already heavily congested with traffic moving between the village and the city and this is aggravated by steady growth in traffic at the Rosehill Trading Estate using Park Road as an alternative route avoiding Warwick Road.

The village school creates its own problems with parents delivering and collecting their children from Park Road. Congestion is at its peak in this respect before 9am and after 3pm during term times and is a hazard to other road users.

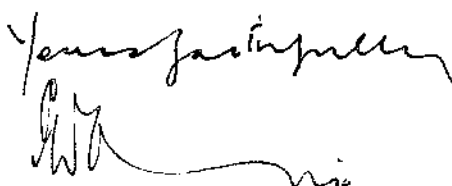
The proposal to alter the access to the Scotby House site does not alleviate congestion. I still maintain the site is suitable for no more than three/four superior dwellings set in an appropriate landscaped environment.

That said, the ideal solution would be to use Scotby House for educational purposes and transfer Scotby School to this site. It would allow the school much needed additional space and thus retain the site in public ownership and avoid the problem of 'best value' syndrome. The existing school buildings could then be demolished and the land sold off for a development of three/four dwellings as previously outlined.

The Scotby House site with its separate entrance and exit would be suitable for school traffic and avoid the need for mass parking in Park Road as at present. In any event the site has many features to commend it for school use.

There seems no way to lessen traffic impact in Park Road. Calming measures are not the answer as these are likely to slow down the traffic even more than at present and the weight restrictions of modest consequence have only recently been introduced. Again villagers have not seen the full impact of the Eden Gate development.

I trust these comments will help to indicate some local feeling in this matter.

*Yours faithfully*  


3 Near Park

The Head of Planning Services,  
Dept. of Environment + Development  
Planning Services Division,  
Civil Centre,  
Carlisle, CA2 8AG.

Scotby

PLANNING SERVICES	
REF	01/0540
31 JUL 2003	
RECORDED	ON
SCANNED	
PASSED TO	AMT
ACTION	

Carlisle

CA4840.

28 July 01

Dear Sir

Re the redevelopment of site for housing (outline) at  
Scotby House Park Rd. Scotby Carlisle.

The application for the development of the above site  
for outline planning permission to build a number of houses,  
was first made last year. That application was refused,  
and I fail to see that the reasons for that refusal  
have changed.

Regarding the traffic situation in Park Rd, - since the school  
is situated in this road - it can at times be quite  
dangerous. I can only imagine, and I'd ask your  
Planning Committee to bear in mind that a housing  
estate is in the process of being built in Park Rd  
- that a housing estate at Scotby House would  
exacerbate this even more.

I do feel that if you allow this site to

be developed, Scotby will lose its status as a village and become an urban sprawl. I find the thought quite disturbing, I'm happy to live in a village - even without street lighting!

Scotby House site is a beautiful well-wooded area, an asset to the village. I feel it would be almost a sacrifice to disturb the vast variety of bird and other wild life.

Pheasant, fox, and red squirrel are regularly seen. The wooded area becomes a wonderful carpet of bluebells in the Spring, and the public foot path a floor of crocus.

I ask the Planning Committee to note how our Cumbrian villages are losing their character because of over-development and please refuse this application for housing development.

Yours sincerely  
Wynne Fisher (Mrs)

RefAMI/DC/01/0596.

July 29<sup>th</sup>/01

Cathay,  
Park Road,  
Scotby,  
Carlisle, CA4 8AR.

Dear Sir,

In answer to your letter 11<sup>th</sup> July re the proposal to demolish Scotby House and Build houses on the land. I am against this because-

- 1.) There is far to much traffic on Park Road as it is, especially at School time
- 2.) To bring anymore traffic out on to the road will increase the danger.
- 3.) Quite a number of the trees cannot be cut down,
- 4.) Scotby House itself is over 100 years old and such a building is part of Scotby as a village To destroy these old buildings is taking away the rural life and the wild life that goes with it, before long Scotby will no longer be a village
- 5.) When I came to live here we were informed the drains could not take any more. Some are still on Septic tanks

I feel sure there must be an alternative Scotby house could be used for

*Sincerely,*

*Douglas M Strathern,*

PLANNING SERVICES	
REF	O/0596
31 JUL 2001	
RECORDED	en
SCANNED	
PASSED TO	ANT
ACTION	

PLANNING SERVICES	
REF	01/05/16
	31 JUL 2014
R	CN
S	
PASSED TO	AMT
ACTION	

MR DJ ROBINSON  
 66 SCOTBY RD  
 SCOTBY VILLAGE  
 CV CARNSLE  
 CV4 5BD

Dear Sir

I am writing to you to appeal for your  
 intervention to preserve our village status and to  
 fight with us to save a much loved house in  
 our village.

COMBRIA POLICE AUTHORITY are asking for  
 permission to build up to 40 houses on the Scotby  
 House site and demolish the large Victorian House and  
 when they gain permission they will sell the site off  
 to a Developer regardless of the safety of our village.

COMBRIA POLICE claim to adhere to Best Value  
 yet despite several invites they have attended no  
 Public Meetings, or consulted with any of our village  
 over 80 people attended a meeting on the 25<sup>th</sup> July of  
 some people were very shocked that they chose not to  
 attend knowing one of the Core Principles of Best Value  
 is Consultation

Interestingly our Police have spent considerable  
 time in Scotby monitoring traffic speeds up to 75 mph  
 in 30 mph zones

Sadly Scotby has seen much development over  
 recent yrs. Clearly there will be always small scale  
 building and our village has accepted that 4 or 5  
 houses could be possible on the Scotby House site over  
 the retention of the House

People in Scotby - want no further extension to  
 Borders - Park Rd - x Scotby Rd and areas



14 Ghyll Road,  
Scotby,  
Carlisle. CA4 8BT.

29th July, 2001.

Your Ref. AMT/DC/01/0596.

A. M. Taylor Esq.,  
Chief Development Control Officer,  
Dept. of Environment & Development,  
Planning Services Division,  
The Civic Centre,  
Carlisle.

PLANNING SERVICES	
REF	01/0596
31 JUL 2001 37	
RECORDED	CN
SCANNED	
PASSED TO	AMT
ACTION	

Dear Sir,

Notification of Planning Proposal.

Proposal : Residential development (outline) (revised proposal)

Location : L/A Scotby House, Park Road, Scotby, Carlisle, Cumbria

Appn Ref. 01/0596/

I note that an appeal has been lodged against the refusal of the above application, and that the appeal will be decided following a Public Inquiry.

You have already received many letters objecting to the original proposal and just because the number of dwellings proposed has been reduced to 19 I still see no reason for reconsideration. I object to the proposal to demolish Scotby House - it would be an act of vandalism and I am sure the Police would agree with this. Have the police tried to sell Scotby House. It would make an ideal Convelescent Home or Old Peoples Home and the tenants could enjoy the lawns and trees.

Scotby is a village and should remain one. At the other end of Park Road there is a development which I cannot understand having obtained permission. The houses are small, badly designed and over-priced. There appears to be a block of flats being crammed into the centre of the development of about the same size as Scotby House. Could not Scotby House be converted into say 5 flats and the gardens be left as they are. Already the school is full and Park Rd is an accident waiting to happen.

I hope you will continue to support us in preventing the destruction of this beautiful site.

Yours faithfully.

*Eric Jackson*

Mr J Duncan  
1 Nightingale Court  
Scotby  
CARLISLE  
CA4 8AY

The Samaritans

JULY 29 TH 2001

UR REF  
MT/DC/01/0596

EAR MR TAYLOR

20P-RESENTIAL DEVELOPMEN(OUTLINE) REV

IPPN REF 01/0596

PLANNING SERVICES	
REF: 01/0596	
31 JUL 27	
REVISED	AMT
PASSED	AMT
ACTION	

HAVE READ WITH INTEREST THE REVISED PROPOSAL WITH  
EGARDS TO SCOTBY HOUSE AND AM NOT IN AGREEMENT,

REMAIN IN TOTAL AGREEMENT WITH YOUR LETTER  
AMT/DC/00/0605 OF 8-12-2000 AND HOPE YOU DISAGREE  
WITH THEIR REVISED PLAN FOR 19 HOUSES (WHAT IS TO  
STOP THEM FROM REVISING UP AGAIN)

BEFORE ANOTHER HOUSE IS BUILT ON PARK RD THE TRAFFIC PROBLEM  
WOULD BE ADDRESSED

PARK RD IS HEAVILY CONGESTED EVEN BEFORE THE TRAFFIC  
FROM THE EDEN GATE DEVELOPMENT HAS EVEN STARTED.  
THE RECENT WEIGHT RESTRICTIONS HAVE NOT MADE  
ANY DIFFERENCE

THE PROPOSAL TO ALTER THE ACCESS TO SCOTBY HOUSE  
WILL NOT STOP THIS CONGESTION

I BELIEVE THE ANSWER TO THE PROBLEM IS STARING US  
IN THE FACE. THE SCHOOL SHOULD BE TRANSFERRED TO  
SCOTBY <sup>HOUSE</sup> WITH ITS EXIT AND ENTRANCE THE PROBLEM  
WOULD BE SOLVED AT A STROKE. THE SITE HAS MUCH  
TO COMMEND IT FOR SCHOOL USE, AND STILL REMAIN  
IN THE PUBLIC SECTOR  
IF IT IS NOT THE PROBLEM OF TOO MUCH TRAFFIC  
WILL CONTINUE.

MV JB ROBINSON  
64 SCOTBY RD.  
SCOTBY  
CA4 8BD.

Dear Sir

I write with disgust at certain Police proposals  
to Build 19 houses, at Scotby House.

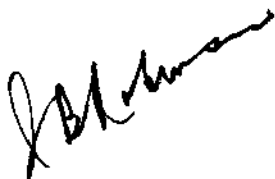
They are fully aware of the problems in Scotby of  
Traffic and Safety, particularly Park Rd.

Scotby House is a fine house that can be used  
in many ways, ie - Home - Flats etc.

Scotby is losing its Village Status. It's becoming  
a suburb of Coleridge; Scotby is full - the Road is  
full - the school is full, - and Safety is being compromised by  
financial greed and lack of consultation with those that make  
decisions - lack of care of understanding of Village life of communities.

I ask that Coleridge City Council Turn Down this Application  
for 19 houses, immediately, and ask the Authority to ~~revert~~  
to his house forthwith.

Agreed



PLANNING SERVICES	
REF	01/0546
27 JUL 2001	
RECORDED	en
SCANNED	
PASSED TO	AMS
ACTION	

116 + Mrs WJ Robinson  
66 Scotby Rd  
Scotby.  
TD 12 6LE  
CAH - 880.

PLANNING SERVICES	
REF	0110596
27 JUL 2001 45	
RECORDED	EN
SCANNED	
PASSED TO	AMJ
ACTION	

Dear Sir

We are writing to formally object to the Planning Application by Cumbria Police Authority for 19 Houses on One Scotby House Site

1 Objection. There is a need for Greenbelts throughout the boundaries of Scotby - to defend its identity, its local setting and Village status.

2 Scotby House is a Village landmark that has considerable history it was a World War 1 Hospital. Also a School - Home, Childrens Home - etc - It provides a home to protected rare species of Bats - owls etc and should be preserved to protect them but also studies that I understand hadn't been done to preserve this fine House.

3 Scotby Village is already stretched to breaking point the school is full - Park Road has continual problems of traffic - generated by - Rosehill - the school. Belsby - Auckon. The Road is Very Dangerous and despite continual work by believe it or not Cumbria Police - Heavy Vehicles - Traffic speeding up to 75 miles per hr in 30 mph zones have been recorded recently.

4 No consultation has taken place by the Police Authority. despite invitations & claims that they work to Best Value

400's  
0110596-404  
116 + JA Robinson

PLANNING SEC	
REF	01/5916
	11/45
RECORD	
SEARCH	CN
PAPER	
ACTION	AMT

66 Scotby Rd  
 Scotby  
 N Carlisle  
 CAH 83D

Dear Sir,

I write to formally object to the Planning Application by Cambria Police for 14 homes on the Scotby House site Park Rd Scotby

Scotby is a village that struggles with traffic, child safety, and is slowly losing its identity and character.

The constant demand for land in Scotby is distressing for residents particularly on Park Rd and Scotby Rd where traffic + child safety are being compromised for the gain of land owners and Builders.

I Ask that this planning request dated 10<sup>th</sup> July is rejected.

Yours Sincerely

WJ Robinson



# Appeal Decision

Inquiry held on 16 October 2001

by **Ruth V MacKenzie** BA(Hons) MRTPI

an Inspector appointed by the Secretary of State for Transport,  
Local Government and the Regions

The Planning Inspectorate  
409 Kite Wing  
Temple Quay House  
2 The Square  
Temple Quay  
Bristol BS1 6PN  
☎ 0117 372 6372  
e-mail: enquires@planning-  
inspectorate.gsi.gov.uk

Date 26 OCT 2001

## SUMMARY

Appeal Ref: APP/E0915/A/01/1066797

Scotby House, Scotby, Carlisle

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant outline planning permission.
- The appeal is made by Cumbria Constabulary against the decision of Carlisle City Council.
- The application (Ref No 00/0605, dated 17 July 2000) was refused by notice dated 8 December 2000.
- The development proposed is residential development.

**Decision: The appeal is dismissed.**

## PROCEDURAL MATTERS

1. The application was submitted in outline with all matters of detail, except the means of access, reserved for later determination. At the Inquiry, the appellants proposed that the means of access should also be reserved for later determination because of continuing uncertainties about where the access (or accesses) should go, and the size of visibility splays. I accepted this proposal because the means of access to the site has not been an issue for the Council, and because there is no reason why the details cannot be properly assessed at the reserved matters stage. I shall therefore determine the appeal on the basis that it relates to an outline application, with **all** matters of detail reserved for later determination.
2. When the planning application was made, the proposed development was described as "residential development". The number of dwellings was not specified. In a letter sent with the planning application, the appellants suggested that infrastructure constraints would limit the development to "about 40 units". However, none of the consultation letters sent out by the Council mentioned this figure; the proposal was described as "demolition of existing buildings and redevelopment of site for housing (outline)". At the Inquiry, the appellants expressed a willingness to accept a condition limiting the number of dwellings to 30. I shall consider the proposal on that basis, because no one consulted by the Council was misled by any mention of a higher figure.

## BACKGROUND INFORMATION

3. The 1.97ha appeal site lies on the western side of Scotby village. The M6 motorway is about 300m further to the west, separated from the appeal site by a large field. The eastern edge of Carlisle is on the other side of the motorway. There are 2 accesses into the site from Park Road. The eastern access goes to a secluded car park and then to the house and

the adjoining caretaker's accommodation and outbuildings. The driveway passes in front of these buildings, and leads out onto Park Road at the site's western access.

4. Scotby House is an imposing brick-built Victorian house, with extensive lawns to the front and side. It was last used as offices for the Policy Authority, but it is now largely vacant. It is the appellants' intention to demolish all of the buildings on the site. None of them is listed.
5. The site has trees along all of its boundaries and there are some within the site as well. Many of the site's trees are protected by a Tree Preservation Order (TPO 2000, No 158).

#### **MAIN ISSUE**

6. I consider that the main issue in this appeal is the effect of the proposed residential development on the character and appearance of Scotby.

#### **PLANNING POLICY**

7. The development plan for this area is the Cumbria and Lake District Joint Structure Plan 1991-2006 (SP), and the Carlisle District Local Plan (LP). SP policy 40 establishes that housing development will normally be permitted in rural settlements, provided that it would be in sympathy with the scale and character of the existing settlement. LP policy H5 lists Scotby as one of the settlements where large-scale residential development will not be permitted; small-scale development, on the other hand, will normally be acceptable subject to certain criteria. LP policy E50 makes it clear that the loss of significant open space within settlements will not be permitted. Many other policies have been brought to my attention, but I consider SP policy 40 and LP policies H5 and E50 to be the most relevant to this appeal.

#### **INSPECTOR'S REASONS**

##### **The scale of the proposed development**

8. As I have already said, the number of dwellings proposed for Scotby House has not been specified, but the appellants have stated a willingness to accept a condition limiting the number to 30. If I were to grant outline planning permission subject to such a condition, between 1 and 30 dwellings could be built. However, when assessing the effect of the proposal, I have envisaged the larger number of 30 dwellings; my assessment would be flawed and unrealistic if I were to do otherwise.
9. I have looked at the size and form of the village as a whole, and considered the effect of adding a new development of 30 dwellings. The settlement pattern of the village is a mixture of ribbon development and small estate developments. There are about 500 dwellings altogether. The proposed development would be larger than any other single development built in the village since 1983. It would therefore be at odds with the smaller developments in other parts of the village. It would also be outside the village's built-up confines, unlike the more integrated developments elsewhere (including the recent Eden Gate development further along Park Road). To my mind, it would appear as a self-contained enclave on the edge of, and unrelated to, the rest of the village. The presence of a large-scale development in such a location would imbalance, rather than consolidate, the form of the village.

10. SP policy 40 requires the scale of proposed development to be in sympathy with the scale of the existing settlement. In my view, the proposed development, because of its large size relative to other developments in the village, would not meet this requirement. Furthermore, LP policy H5 seeks to prevent large-scale residential development in Scotby. In the explanation of that policy, it says that 20 or more dwellings will be considered large-scale. Even if I were to disregard this precise figure, I would still come to the same conclusion that the proposed development is large-scale. The proposal is therefore contrary to LP policy H5.

#### **The loss of open space**

11. LP policy E50 seeks to protect significant public and private open spaces within settlements. Furthermore, the Council's Supplementary Planning Guidance entitled *Countryside Design Summary for Carlisle District* advises that, when assessing development in villages, particular note should be taken of the quality of existing open spaces. This is what I have done.
12. To my mind, the grounds of Scotby House constitute a significant amenity open space. The lawns and trees are visible from Park Road, and from the footpath that runs parallel to it just inside the site. This footpath is a permissive path, with lighting and a tarmac surface. It appears to be well used. From the many letters from residents of Scotby, it is clear to me that the grounds of Scotby House are a much-appreciated village amenity, and are perceived as an important part of the village's identity. They say that the trees and lawns provide an attractive entrance to the village, and a visual buffer between the built-up part of the village and the field adjoining the motorway. I share these views.
13. In my opinion, if the proposed development were to take place, the amenity value of the open space would be diminished. The houses, access roads and other features associated with a large-scale development, would dramatically alter the character of the site. It would no longer look like an open space, but a cluster of separate housing plots. From more distant views to the west and north, the loss of openness within the site would also be appreciable, although to a lesser extent in summer months when the surrounding trees are in leaf. According to LP policy E50, development that results in the loss of significant open space within settlements should not be permitted. I can see no good reason why I should disregard this policy.
14. The combined effects of the large scale of the development, its position on the edge of the village, and the loss of significant open space, leads me to the view that the proposed development would be materially harmful to the character and appearance of Scotby.

#### **OTHER MATTERS**

##### **The effect on trees**

15. There are over 100 protected trees on the site, and many more unprotected trees. The density of the trees along the Park Road frontage make it inevitable that the construction of a new access, or improvements to either of the 2 existing accesses, would result in a loss of some trees. Other losses within the site are impossible to predict. However, I am satisfied that, with careful siting, a development could take place without significant loss of trees. I can therefore confirm that the effect of the proposed development on the site's trees has not been a critical factor in my decision-making.



**Planning Policy Guidance No 3 (PPG3)**

16. I am mindful of the fact that recent government guidance in PPG3 encourages a more efficient use of land, with densities of between 30 and 50 dwellings per hectare, preferably on previously-developed land. The fact that the explanation to LP policy H5 sets a ceiling of 20 dwellings for any single development does not, in my view, diminish the weight that I should give that policy. It is a policy principally about scale, not density. I have already decided that the proposal constitutes a large-scale development and is therefore contrary to the policy. In any event, I note that PPG3 advises that the efficient use of land should not compromise the quality of the environment, and that opportunities should be taken to retain existing trees. If this advice were to be followed, PPG3's preferred density of between 30 and 50 dwellings per hectare would be difficult to achieve on this site.

**CONCLUSIONS**

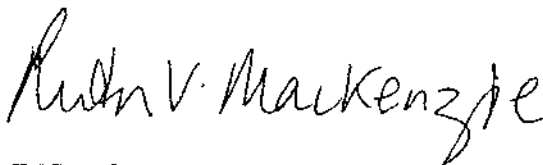
17. I have concluded that the proposed residential development would have a materially harmful effect on the character and appearance of Scotby. The proposal is therefore unacceptable.
18. In reaching this decision, I have taken into account all other matters raised. I have noted the concerns of local residents about traffic conditions in Park Road, and the pressure for places at the village school. However, whilst I accept that these concerns are important issues to the community, I can confirm that my prime consideration in this appeal has been the visual effect of the proposed development on the character and appearance of the village. There are no other matters of sufficient weight to cause me to reconsider my decision.

**FORMAL DECISION**

19. In exercise of the powers transferred to me, I dismiss the appeal.

**INFORMATION**

20. A separate note is attached setting out the circumstances in which the validity of this decision may be challenged by making an application to the High Court within 6 weeks from the date of this decision.



INSPECTOR

**APPEARANCES  
FOR THE APPELLANT**

Mr M Druce, of Counsel  
Instructed by Taylor & Hardy Ltd  
Chartered Town Planners  
9 Finkle Street  
Carlisle CA3 8UU

He called:

Mr B Taylor DipTP MRTPI  
Director  
Taylor & Hardy Ltd

Ms S Dodwell MA(LD) BSc MLI  
Woolerton Dodwell Associates  
5 Sandes Avenue  
Kendal LA9 4LL

**FOR THE LOCAL PLANNING AUTHORITY**

Mr I Copeland, of Counsel  
Instructed by John Egon  
Senior Solicitor  
Carlisle City Council

He called:

Mr A Taylor  
Chief Development Control Officer  
Carlisle City Council

**INTERESTED PERSONS**

Cllor D Joscelyne  
District Councillor  
118 Scotby Road, Scotby, Carlisle CA4 8BJ

**DOCUMENTS**

Document 1 List of persons present at the Inquiry.  
Document 2 Copy of the Council's letter of notification about the Inquiry  
Document 3 Plans, photographs and Documents 1-9 of Mr A Taylor's proof of evidence  
Document 4 Appendices 1-5 of Mr A Taylor's proof of evidence  
Document 5 Appendix 1 of Mr B Taylor's proof of evidence  
Document 6 Appendices 1-4 of Ms S Dodwell's proof of evidence  
Document 7 Statement of Common Ground (incorporating revised Section D)  
Document 8 Copies of consultation letters sent out by the Council in July 2000  
Document 9 Letter dated 14 September 2001 from Ms S Dodwell to the Council's  
Development Control Engineer, and his reply dated 19 September 2001  
Document 10 Committee Report relating to the Eden Gate development (RefNo 00/0242)  
Document 11 Letter dated 8 October 2001 from Mr B Taylor to the Council's Chief  
Development Control Officer

**APPLICATION PLANS**

- Plan A 1:2500 site plan
- Plan B Indicative Landscape Proposals Plan 1, Drwg No 4/11/500/2/Am0
- Plan C Initial Tree Survey, Drwg No 4/11/500/1/Am0
- Plan D Proposed new entrance to the site, Drwg No 4/11/500/5/Am0

**NON-APPLICATION PLANS**

- Plan E Site location plan
- Plan F Site location plan
- Plan G Indicative landscape proposals Plan 2, Drwg No 4/11/500/3/Am0
- Plan H Extract from approved plan of housing development at The Garlands, Carlisle

# The Planning Inspectorate

## RIGHT TO CHALLENGE THE DECISION

The attached appeal decision is final unless it is successfully challenged in the Courts. If a challenge is successful, the appeal decision will be quashed and the case returned to the Secretary of State for redetermination. It does not follow necessarily that the original decision on the appeal will be reversed when it is redetermined.

*You may wish to consider taking legal advice before embarking on a challenge. The following notes are provided for guidance only.*

Under the provision of section 288 of the Town and Country Planning Act 1990, or section 63 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a person who is aggrieved by a decision may seek to have it quashed by making an application to the High Court on the grounds:

1. that the decision is not within the powers of the Act; or
2. that any of the 'relevant requirements' have not been complied with; ('relevant requirements' means any requirements of the 1990 Acts or of the Tribunals & Inquiries Act 1992, or of any order, regulation or rule made under those Acts).

The two grounds noted above mean in effect that a decision cannot be challenged merely because someone does not agree with the Inspector's judgement. Those challenging a decision have to be able to show that a serious mistake was made by the Inspector when reaching his or her decision; or, for instance, that the inquiry, hearing or site visit was not handled correctly, or that the appeal procedures were not carried out properly. If a mistake has been made the Court has discretion not to quash the decision if it considers the interests of the person making the challenge have not been prejudiced.

*It is important to note that such an application to the High Court must be lodged with the Crown Office within 6 weeks from the date of the decision. This time limit cannot be extended.*

An appellant whose appeal has been allowed by an Inspector should note that 'a person aggrieved' may include third parties as well as the local planning authority.

If you require further advice about making a High Court challenge you should consult a solicitor, or contact the Crown Office at the Royal Courts of Justice, Queens Bench Division, Strand, London WC2 2LL. Telephone: 020 794 76000.

## INSPECTION OF DOCUMENTS

It is our policy to retain case files for a period of one year from the date of the Inspector's decision. Any person entitled to be notified of the decision in an inquiry case has a legal right to apply to inspect ~~472~~ the listed documents, photographs and

plans within 6 weeks of the date of the decision. Other requests to see the appeal documents will not normally be refused. All requests should be made quoting our appeal reference and stating the day on which you wish to visit, to:

Room 4/09 Kite Wing,  
Temple Quay House, 2 The Square,  
Temple Quay,  
Bristol BS1 6PN

Please give at least 3 working days notice and include a daytime telephone number, if possible.

### **COMPLAINTS TO THE INSPECTORATE**

Any complaints about the Inspector's decision, or about the way in which the Inspector has conducted the case, or any procedural aspect of the appeal should be made in writing and quoting our appeal reference, to:

The Complaints Officer,  
Quality Assurance Unit,  
Room 4/09 Kite Wing,  
Temple Quay House, 2 The Square,  
Temple Quay, Bristol BS1 6PN.

You should normally receive a reply within 15 days of our receipt of your letter. You should note however, we cannot reconsider an appeal on which a decision has been issued. This can be done following a successful High Court challenge as explained overleaf.

### **PARLIAMENTARY COMMISSIONER FOR ADMINISTRATION (THE OMBUDSMAN)**

If you consider that you have been unfairly treated through maladministration by us you can ask the Ombudsman to investigate. The Ombudsman cannot be approached direct; reference can be made to him only by an MP. While this does not have to be your local MP (whose name and address will be in the local library) in most cases he or she will be the easiest person to approach. Although the Ombudsman can recommend various forms of redress he cannot alter the Inspector's decision in any way.

### **COUNCIL ON TRIBUNALS**

If you feel there was something wrong with the basic procedure used for the appeal, a complaint can be made to the 'Council on Tribunals', 22 Kingsway, London WC2B 6LE. The Council will take the matter up if they think it comes within their scope. They are not concerned with the merits and cannot change the outcome of the appeal decision.

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# Carlisle Works

## INTERNAL MEMORANDUM

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**From:** THE GENERAL MANAGER  
**To:** PLANNING SERVICES  
**FAO:** Elizabeth Jackson

**Please ask for:** Alex Laver  
**Extension:**  
**E-mail:**  
**Your ref:** DC/APP 2001/0596  
**Our ref:** AL/GW  
20 November 2001

---

### **RE: EFFECT OF PROPOSED VEHICLE ACCESS ON PROTECTED TREES IN THE GROUNDS AT SCOTBY HOUSE, SCOTBY – TREE PRESERVATION ORDER NO. 158**

Further to your memo dated 6<sup>th</sup> November 20001, I have revisited the site to look at the new proposed western exit upgraded to form the main access to the site.

The felling of the four trees (2No. Common Beech – *Fagus Sylvatica* No.s 6 & 7 - 1 No. Norway Maple – *Acer platanoides* No.9 1 No. Large Leaved Lime – *Tillia platyphyllos*) would be a great loss, both as amenity trees, that is the view coming into the village so the collection as a whole, in particular Beech No.7 as it is one of the better Beeches on the site and the environmental impact would mean the loss of four mature trees.

However, the felling would not be the only damage done to the site from this upgrade, the widening of the road would involve removal of existing road and disturbance of soil wider than the finished width of the new road. This would effect the rooting system of several trees (3No. Sycamore *Acer Pseudoplatanus*. No.s 2,8 & 10 - 1No. Large Leaved Lime – *Tillia platyphyllos*. No.5 – 1No. Norway Maple *Acer platanoides*. No.4) if the access road is then going to have a footpath along one, if not two, sides the damage zone would expand by another 3 metres from the kerb edge.

The proposed visibility splay either side of the junction would effect the trees on the site in three ways:-

1. The Yew No. 30 would have to be removed or cut back so severely that it would damage the tree physically and aesthetically.
2. The trees on the side where the wall would be moved would suffer from root damage due to soil disturbance and change of soil levels.
3. A lot of the under planting would be lost, therefore the visibility into the property would be much more open, losing the effectiveness of the tree screen.

Looking further into the site, if the new road was to continue along the same route as the existing road, the widening would effect the roots of many more mature trees either side.

In conclusion, this new proposal is going to damage more trees than the original centrally suggested access, with the removal and root damage of more trees on the site. The site would be better suited to a similar one way system of traffic (in and out of the new proposed development).

I would also like to look in more detail as to the effect on the position of the 19 properties in relation to the existing trees, looking at the effect these trees will have in the future to the properties and the damage that may be caused during construction. Scotby House has an important and varied collection of trees, which is a great asset to the public and for future residents on the land, but only if we protect them properly.

**A Laver**

Foreman Arborist

## SCHEDULE A: Applications with Recommendation

ITEM NO. 22

Date of Committee: 14/12/2001

APPN REF NO:  
01/0691 /

APPLICANT:  
David Hesketh

PARISH:  
Wetheral

DATE OF RECEIPT:  
13/08/2001

AGENT:  
G S Design Service

WARD:  
Wetheral

LOCATION:

L/A plots 11-16 The Limes, Durranhill Road, Durranhil Carlisle 342800 555100

GRID REF:

PROPOSAL: Erection of place of worship with associated vehicular access  
and car parking

*Alan*

---

## REPORT

PLANNING POLICIES:-

### GAS PIPELINE SAFEGUARDING AREA

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

SUMMARY OF CONSULTATION RESPONSES:-

WETHERAL PARISH COUNCIL: the response to initial consultation indicated concerns about additional traffic the development would generate; its road safety implications and the design of the building. Following receipt of revised design details the Parish Clerk advises that her Council is satisfied with these changes but continues to be worried about increased traffic generated on a narrow, dark road;

HIGHWAY AUTHORITY: no objections subject to the imposition of 4 planning conditions. Concern was also expressed initially about the layout and efficacy of the car parking areas and the overall level of car parking provision since this may cause vehicles to be parked on the estate road. The applicant subsequently amended the layout to increase the level of car parking and the Highway Authority now considers the proposals to be acceptable;



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0691 /

ENVIRONMENT AGENCY: no objections subject to the imposition of a planning condition relating to car park drainage;

UNITED UTILITIES: no objections subject to the site being drained to separate systems;

TRANSCO: no comments received.

### SUMMARY OF REPRESENTATIONS:-

The proposal has been advertised through Site and Press Notices. One letter has been received, albeit not from an immediate resident of the area, which raises matters that are not "proper planning considerations" and objects to planning permission being granted. Members will recognise that the issues identified fall outside the ambit of the planning authority's consideration of the proposal.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Planning Consent was granted in April 1998 for the development of 82 dwellings on a 2.9 hectare site on the south east side of Durranhill Road that was allocated for housing purposes in the Carlisle District Local Plan.

Approvals for the substitution of house types on some plots within the development were issued in June 1999 and November 2000.

#### DETAILS OF THE PROPOSALS

Members will recall that a Report on this application was included in the Schedule of Applications at the ;ast meeting of the Committee held on on 2nd November. Consideration was deferred, however, in order to clarify the Highway Authority's requirements in relation to possible developer contributions to other works in lieu of car parking.

The application relates to a group of unbuilt plots within the overall housing development site at Durranhill Road. It is broadly triangular in shape and is bounded on two sides by roads constructed by the developers (Crowther Homes) as part of the approved layout with the southern boundary being the Carlisle-Newcastle railway line. Running parallel with that southern boundary is the route of the 18inch medium pressure gas pipeline feeding from Wetheral to Rome Street.

The application before Members seeks full planning permission to develop a single storey Church with a floor area of approx. 250 square metres. It is proposed to be site with its rear wall parallel to the rear boundary so that the main facade faces towards Durranhill Road.

The proposed building would contain a main hall with a raised platform at one end, two class rooms, lobby utility and chair

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0691 /

store rooms and W.C. facilities including one designed specifically for disabled persons. The development provides for 33 parking spaces within the site, albeit that some of these spaces appear to have limited accessibility/manoeuvring space. It is intended that the whole perimeter is enclosed by a painted panelled fence.

When initially submitted the building was proposed to be finished in red pitch faced concrete blocks with spar dashed rendered panels under a concrete tile roof with all paint finished in "blueberry". Concerns as to the design and finishes were raised by Wetheral Parish Council in their consultation response.

The Parish Council's misgivings relating to design and finishes are understandable and have been discussed with the applicants. In response they have supplied revised elevations which show a brown rustic brick built building with yellow facing brick detailing. The Parish Council has been provided with these amended details and is satisfied with the amendments.

The applicants were also made aware of the Highway Authority's concern at the level and layout of car parking that is proposed. They have responded with correspondence from their "planning" solicitor who cites the changed parking expectations within PPG 13 that now advocates less parking provision; the characteristics of the congregation and frequency of use of the premises that is expected. The Highway Authority initially took the view that the proposed development was deficient in parking provision and any shortfall could only be accepted if the applicants were prepared to fund other off-site works in lieu. However, since the last meeting the applicants have revised the layout to increase the car parking from 33 spaces to 39 spaces and the Highway Authority has confirmed that this is now acceptable.

The proposed site is within an allocated housing site in the District Plan. Notwithstanding, although there is no District Plan policy dealing specifically with them, it is reasonable to expect a Place of Worship to be located within a residential area. Policy H17 gives broad guidance in relation to non-residential uses within residential areas. Subject to the parking issue being resolved, it is considered that the relevant criteria of H17 can be met.

In conclusion, the application is recommended for approval.

### RECOMMENDATION: -

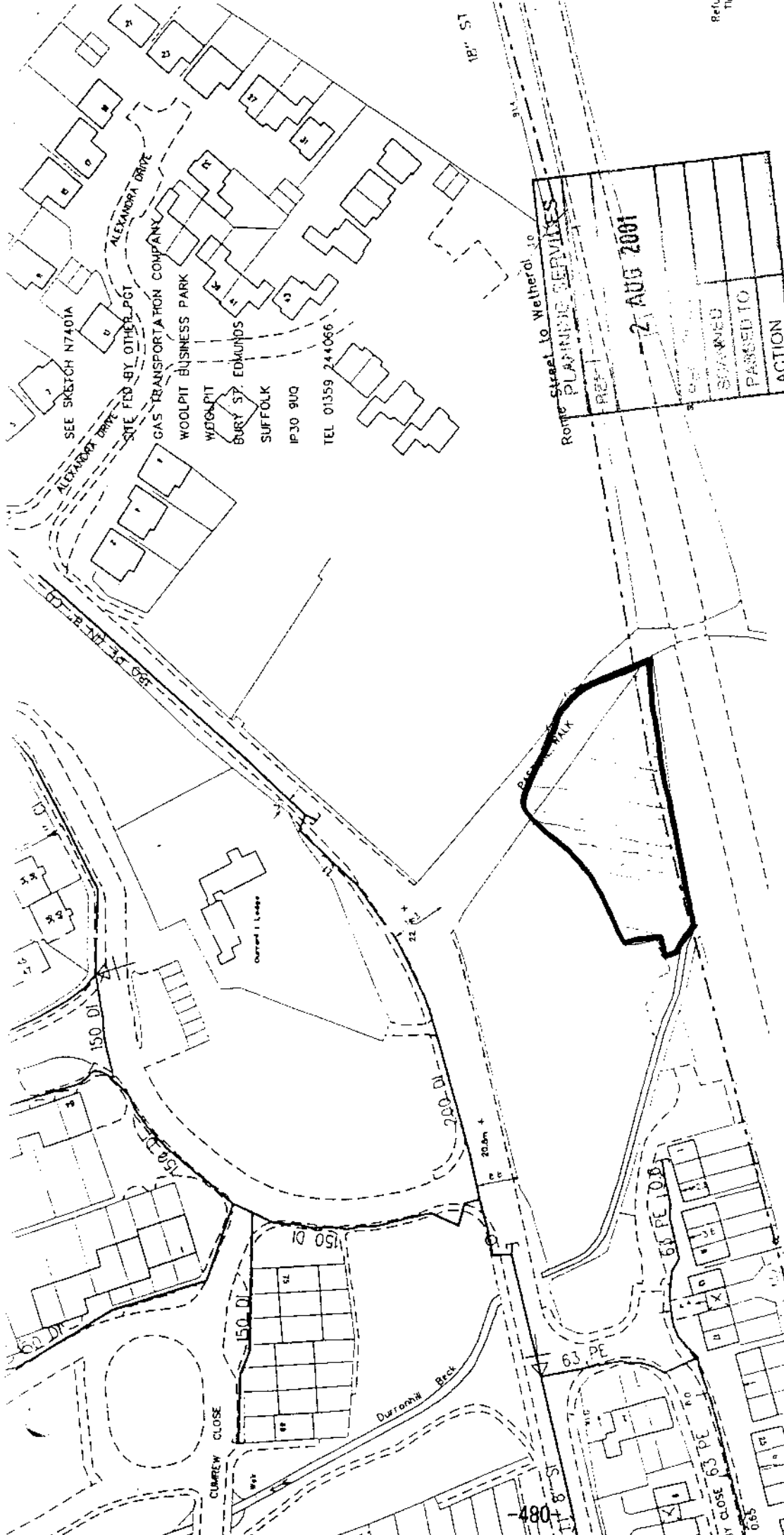
APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. Prior to being discharged into any watercourse, surface water sewer or soakaway system, all surface water drainage from the car park shall be passed through trapped gullies with an overall capacity compatible with the site being drained.

## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/0691 /

3. The proposed car parking area shall be surfaced in bituminous or cement bound materials, or otherwise bound, with individual parking spaces clearly marked out, and these facilities shall be constructed and completed before the proposed Place of Worship is brought into use.
4. Samples required notwithstanding
5. Provision & maintenance
6. Details of screen fencing/walling



SEE SKETCH N7401A  
 ALEXANDRA DRIVE  
 SITE FSD BY OTHER PGT  
 GAS TRANSPORTATION COMPANY  
 WOOLPIT BUSINESS PARK  
 WOOLPIT  
 BURY ST. EDMUNDS  
 SUFFOLK  
 IP30 9UQ  
 TEL 01359 244066

Route Street to Welherd, 30

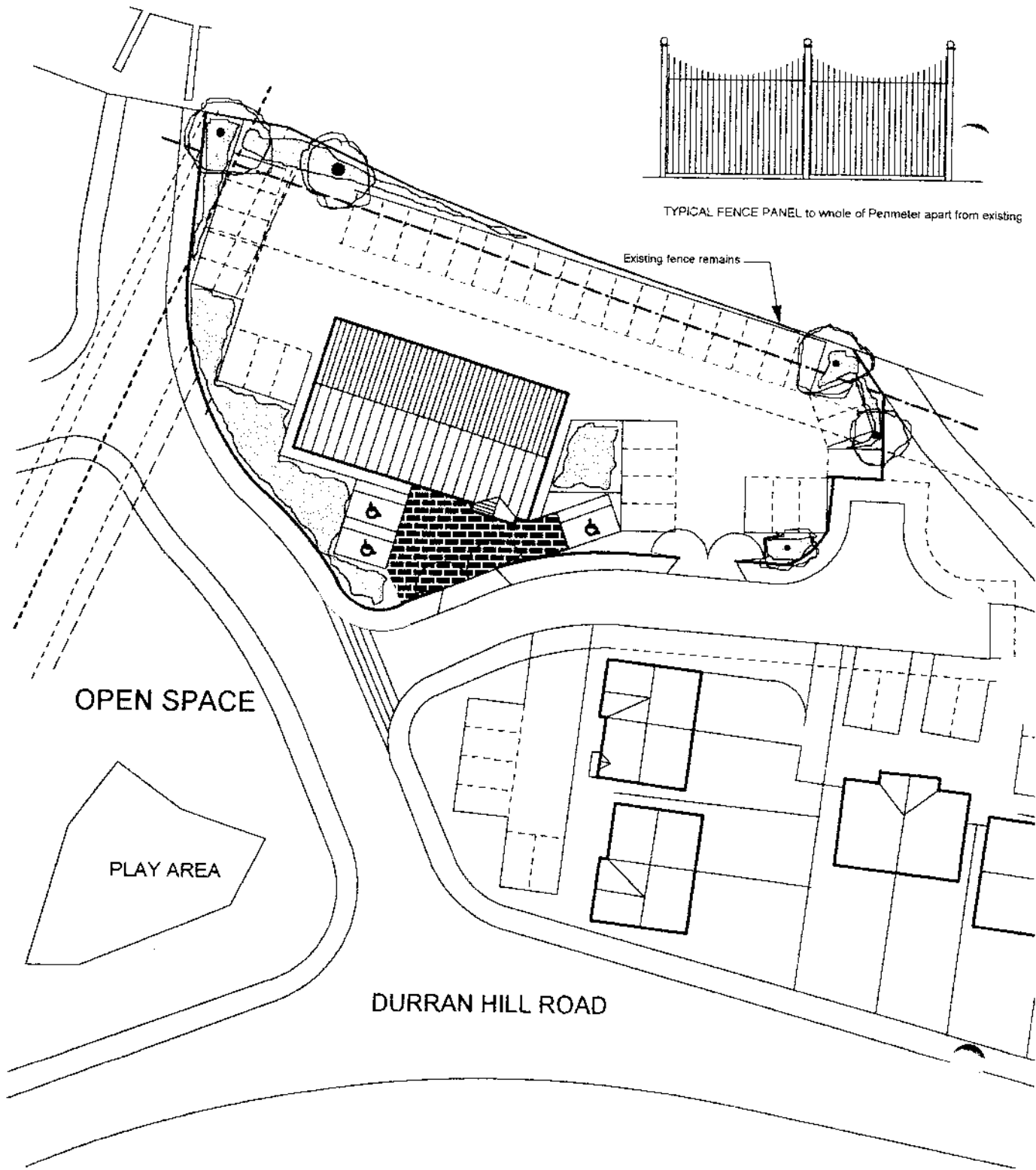
PLANNING SERVICES	21 AUG 2001
SEARCHED	
INDEXED	
SERIALIZED	
FILED	

# LOCATION PLAN

PROPOSED PLACE OF WORSHIP  
 at THE LIMES, DURRAN HILL ROAD, CARLISLE.

SCALE 1:250	JULY 2001	DRAWING NO. 6691/B
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**GS** Design Service  
 Riverside House,  
 1 Beech Street,  
 Padstham BB12 7EE  
 Daytime Tel. 01756 794881  
 Evening Tel. 01282 774635



# SITE PLAN

Revision A Car Parking amended 7:11:2001

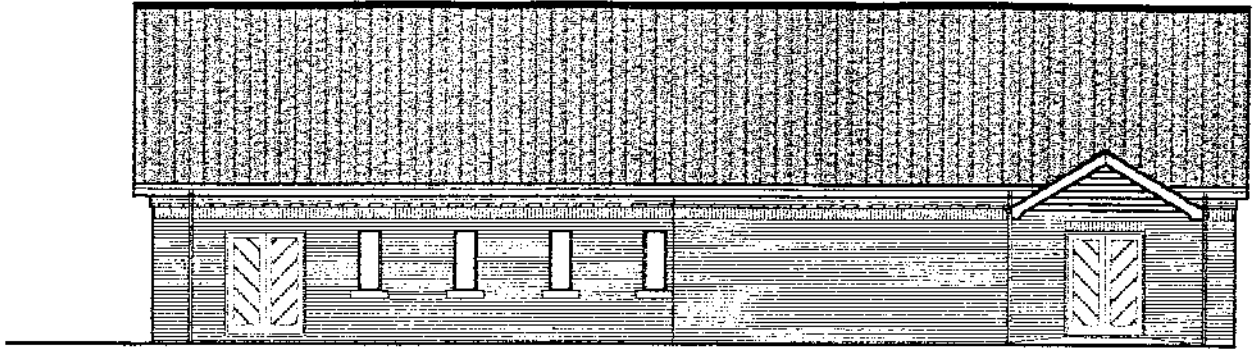
PROPOSED PLACE OF WORSHIP  
at THE LIMES, DURRAN HILL ROAD, CARLISLE.

SCALE 1:500	MARCH 2001	DRAWING NO 66975A
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**GS** Design Service  
Riverside House,  
1 Beech Street,  
Padiham BB12 7EE  
Daytime Tel. 01756 81  
Evening Tel. 01282 035

RECEIVED  
9 NOV 2001

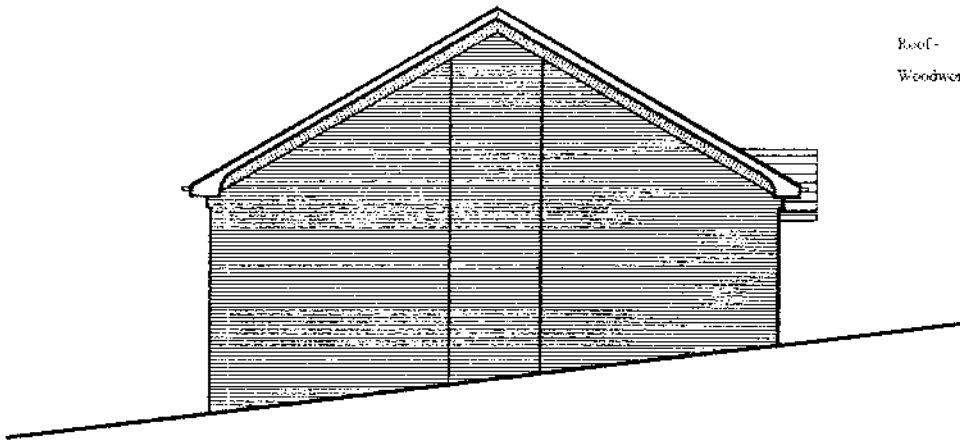
2001/0691



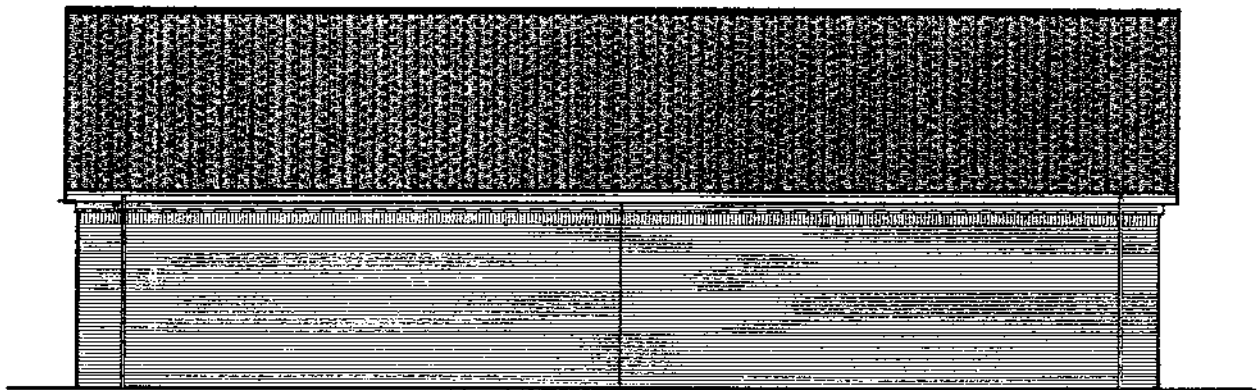
SOUTH ELEVATION

**MATERIALS**

- Walls - Brown multi rustic facing brick with yellow features
- Roof - Grey concrete tiles.
- Woodwork - Blueberry



GABLE ELEVATION



NORTH ELEVATION

**ELEVATIONS**

RECEIVED  
 17 MARCH 2001  
 2001/0621

PROPOSED PLACE OF WORSHIP  
 at THE LIMES, DURRAN HILL ROAD, CARLISLE.

SCALE 1:150	MARCH 2001	DRAWING NO. 669/4
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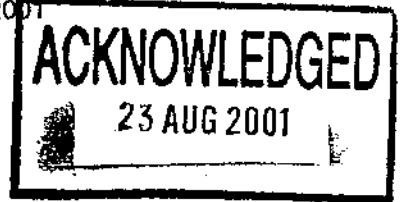
**GS** Design Service  
 Riverside House,  
 1 Beech Street,  
 Padiham BB12 7EE  
 Daytime Tel. 01756 794881  
 Evening Tel. 01282 774635

33 Mallyclose Drive  
Carlisle  
CA1 3HH

PLANNING SERVICES	
REF	01 ENQS 0311
20 AUG 2001	
20.8.01 (2)	
10	
JLE	
MR	

01/691

16<sup>th</sup> August 2001



The Chief Executive  
Carlisle City Council  
Civic Centre  
Carlisle

AMT

Dear Sir,

Please find enclosed a copy of a letter submitted to the News & Star in response to an article run by them today. In this piece, Mr House of the Jehovah's Witnesses labels those who might oppose a new meeting hall at Durranshill Road as 'cranks'.

As my letter contends, there are a great many people with profound unease at the activities and practices of the JW's. Councils are often felt obliged to grant planning applications for new buildings for fear of being labelled 'intolerant'. However, as negative reports of the JW's circulate now in their *thousands*, I am writing to you to ask that some positive action be taken on the council's behalf to research these reports. On the surface the JW's appear to be very similar to other churches promising community input and service. However, there are continuous reports of psychological duress placed on members in many parts of the world.

My principle concern is that the council is fully aware of the allegations made and court cases proven concerning the Jehovah's Witnesses. Although the local group may appear innocent and harmless, they are required to follow dictates from the Watchtower Organisation in Brooklyn, USA. Many of the web reports are detailed and disturbing involving split families, custody cases and child abuse. Most of the non-religious issues concern manipulation of members and forms of life-control. Although we must be cautious of basing research on 'the web', I feel there is enough established material to allow for instructive reading. One site I found was [www.freeminds.org](http://www.freeminds.org), although I don't necessarily condone everything on that site.

I therefore wish to register my concern and opposition to a new Jehovah's Witness building on Durranshill Road. I would welcome further local investigations as to the suitability of this local group and their activities.

From Saturday August 18<sup>th</sup> I am away for 2 weeks, but I would welcome further correspondence on this issue.

Yours sincerely,

A handwritten signature in black ink that reads "David Price". The signature is written in a cursive style.

David Price

Copy to Head of Planning

*Letter to The Editor of the News & Star*

**'Cranks' concerns over Jehovah's Witnesses**

Dear Sir,

In an article in the News & Star of 16<sup>th</sup> August Mr Derek House representing the Jehovah's Witnesses in Carlisle claimed that those who would oppose a new meeting hall in Durranhill Road, were 'cranks'.

Although it is likely the building project will go ahead, it is unwise to ignore widespread concerns about the methods and practice of the Jehovah's Witnesses. Over recent years the Witnesses have successfully re-packaged themselves as 'just another Christian Church'. The reality is that the JW's are still classed as a cult by informed investigators, researchers and governments. This is not 'name calling' but a way of defining an organisation that practices exclusiveness and control over it's members. Apart from very clear doctrinal issues which separate them in belief from the mainstream Christian churches, perhaps the most alarming aspect of their practice is in recruiting and maintaining membership of the organisation.

The Jehovah's Witnesses reputation of attempting to foretell the end of the world is accompanied by the firm insistence that to be saved from the impending apocalypse requires membership of their church. Unfortunately, membership of any other church does not count and one can only assume that they believe only 140 Carlisle people (their congregation) will survive to be given a second chance on 'paradise earth'. Membership also includes a regimented obedience to the organisation in many aspects of life not normally required in other churches. Their insistence on members not having blood transfusions is the most high-profile of these beliefs.

Most of us shrug this off and say, well, that's fine for them – after all we do practice freedom of religion. However, our concern must be directed towards well documented reports of emotional and psychological damage at the hands of the Jehovah's Witnesses. Most of this coercion appears to occur when a member expresses dissatisfaction or attempts to leave the movement. The form of persuasion and indoctrination that leads to control of most aspects of life is perhaps not immediately evident on the doorstep. In 1990, Exit-counsellor Steven Hassan, concluded in a report, that the Jehovah's Witnesses "exerted behaviour, information, thought and emotional control to maintain their membership". These are very serious allegations that none of us can afford to ignore even in our quiet Carlisle neighbourhood.

No doubt, Mr House would like to label all these concerns as the work of 'cranks' in his quest for acceptance. I would encourage him take account of the complete lack of endorsement from any of the Carlisle Churches in these plans to construct a new building.

**David Price**  
**33 Mallyclose Drive**  
**Carlisle CA1 3HH**

**Copies to: The Chief Executive, Carlisle City Council**  
**Head of Planning, Carlisle City Council**



## SCHEDULE A: Applications with Recommendation

ITEM NO. 23

Date of Committee: 14/12/20

APPN REF NO:  
01/0767 /

APPLICANT:  
Dr M A Briggs

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
24/08/2001

AGENT:

WARD:  
Stanwix Rural

LOCATION:

L/Adj Brunstock Cottage, Brunstock, Carlisle Cumbria

GRID REF:  
341770 559400

PROPOSAL: Erection of 2no. houses (outline)

*Angus*

---

### REPORT

PLANNING POLICIES:-

AFFECTING THE SETTING OF A LISTED BUILDING

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E18

Trees which contribute to amenity, and are under threat, will, in appropriate cases, be protected by means of Tree Preservation Orders, or conditions attached to planning permissions.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E19

In considering proposals for new development the City Council will where appropriate require the retention of existing trees, shrubs, hedges and other wildlife habitats, and the replacement of any environmental feature lost to development. Landscaping schemes to be implemented by the applicant will be required as part of most planning applications.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E50

The loss to built development of significant public and private open spaces within settlements will not be permitted.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E35

Proposals for new development which adversely affect a listed building or its setting will not be permitted. The City Council will seek to encourage any new development to be sympathetic in scale, character and materials.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H5

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock, Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lyneholmeford, Midgeholme, Milton, Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H16

High standards of design in new housing sites and dwellings will be required. Matters to be considered include: the layout of roads and buildings; footpaths and cycleways; the retention of existing trees and hedgerows; planning out crime; the provision of public open space; and the relationship to adjacent development.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

### SUMMARY OF CONSULTATION RESPONSES:-

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: The site is located in the village envelope of Brunstock where infill development is acceptable in principle under Policy H5. However, we note that the site is well planted with mature trees, including oak and beech. The site is therefore an attractive part of the village, which enhances its character. Criterion 6 of Policy H5 requires that infill residential development should not lead to the loss of amenity open space within or at the edge of the settlement.

In our judgement, the existing block of trees within the application site positively contribute to the amenity of the area, and provides a welcome visual break in built development. We note from the Council's Countryside Design Summary for the District that reference is made on page 7 to the need to consider and carefully assess the quality of public and private open spaces within the village. Views to and from these spaces, together with the presence of any natural features such as trees, hedges, ponds and streams are therefore considered by the Planning Authority to be important considerations as to the appropriateness of any development. The Design Summary then goes on to state on page 9 and there may be many natural features within and around a development site, such as mature trees and hedges, which should be retained. Such features can provide instant landscaping, and help to integrate the site with the surrounding area.

We have estimated that perhaps as many as 6 medium/large oak and at least 1 beech would be felled, in order to get the footings of the dwelling in situ. This is likely to be a conservative estimate, given the density of trees within the site and the need for vehicular access plus open garden space around the proposed dwelling. It is most likely that any potential occupier would wish to fell additional trees in proximity to the dwelling in order to gain natural light, and because of long-term concerns about potential damage to the property as well.

We therefore wish to express concern that in view of the number of trees likely to be felled as a result of development within the site, that the quality and visual amenities of this part of the village would be unduly impaired. In those circumstances, the criteria to Policy H5 and the advice given in the Countryside Design Summary would not be satisfied.

STANWIX RURAL PARISH COUNCIL: No wish to make any representations on the proposal.

HIGHWAY AUTHORITY: I would raise no highway objections to the formation of a new access which complied with the imposition of six conditions, one of which requires the provision of a visibility splay measuring 33m x 2m x 33m measured down the centre of the access road and the nearside channel of the county highway.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

UNITED UTILITIES: No objections but the following need to be kept in mind. The development is adjacent to an electricity sub-station and therefore it is essential that the applicant checks that our access rights are maintained; great care is taken to protect both the apparatus and any personnel working in its vicinity; and, should there be a requirement to divert the apparatus because of the proposed works, the cost of such diversion would usually be expected to be borne by the developer.

A 63mm water main supplying Brunstock House runs across the site and we need access for operating and maintaining it.

HEAD OF PARKS AND COUNTRYSIDE: The site is densely wooded, with a number of very large oak and beech trees being prominent, and occupying most of the land area.

The only plan supplied with the outline application is not sufficiently detailed enough to allow for specific comments to be made on the relationship between the proposed dwellings and the spread of the canopies and roots. The trees should be accurately plotted showing their spread and height. The houses should also be accurately located on the same plan.

It may be possible to locate the two dwellings in such a way as to not infringe on the canopies or root system of the trees, but this is unlikely. Even if this was achieved, the dwellings would be completely overshadowed by the very tall existing trees, which would threaten the trees future existence. Accessing the dwellings, which would have to be located, if at all, to the rear of the site, would be another problem. I can see no way that an access driveway could be provided without disturbing the root system of a number of mature trees.

The trees are part of the wooded centre of Brunstock Village, which form an important backdrop to the dwellings. As such, I feel that the trees should be made the subject of a Tree Preservation Order, due to their environmental importance to the village. It is my view that any attempt to develop this site would jeopardise the future well being of the mature Oak and Beech trees, which should be protected by a Tree Preservation Order.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of seven neighbouring properties. No observations have been received at the time of writing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1977, under application reference number 76/0994, outline planning permission was refused for the erection of a single

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

house. The two stated reasons related to the proposal detracting from the rural character of the village and because it would necessitate the felling of a number of mature hardwood trees.

### DETAILS OF PROPOSAL

This application relates to a small wood lying between the properties known as Brunstock Cottage and Whisperings. The site has a significant number of mature oak and beech trees and a range of small trees, especially yew, birch and horse chestnut together with some mature shrubs. The site has a frontage of approximately 36 metres delineated by a mature hedgerow. The northern boundary with Whisperings is marked by row of coniferous trees; the eastern boundary has a timber fence. Overhead telephone lines cross the site and an electricity sub-station is located in the south-eastern corner.

Brunstock Cottage and Whisperings are relatively substantial houses whilst there are four bungalows on the opposite side of the road. To the north of the site there is a series of converted residential units based around Brunstock Farm. To the east of the application site there is Brunstock House. Brunstock Cottage, Brunstock Farm, Brunstock House and its associated lodge are all listed buildings.

The current outline application seeks permission to erect two houses. The submitted plans include an index of existing trees.

On the 27th November the Council served a Tree Preservation Order on the applicant following notification that a tree surgeon was working on the site.

In considering this application and the comments of third parties, the main issue revolves around the potential impact on the existing mature trees and thus the character of the area.

As such it is felt that the following points should be kept in mind:

- a) Policy E19 of the Local Plan states that when considering proposals for new development the Council will require the retention of existing trees, hedges etc. The text explains that new buildings should not be positioned so that an occupier will want trees to be felled because of possible danger or overshadowing. Policies E50 and H5 seek to protect amenity open space within or at the edge of any settlement. Policy H16 also seeks to ensure a high standard of design in new developments, and states that one of the matters to be considered is the retention of existing trees and hedgerows.
- b) The Council has also adopted Supplementary Planning Guidance (SPG) concerning "Trees on Development Sites" which recommends that any wall of a dwelling should be

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

at least 10 metres from the edge of the crown spread of a tree. The aforementioned SPG goes on to explain that this is a general rule, and will be applied with some flexibility depending on the species, age and form of the tree. The reasons behind this general standard arise from the recognition that a mature tree can dominate a house and cause concerns about safety, loss of light, leaves blocking gutters and drains. Private gardens should also be planned to enable normal domestic use, and should be provided in addition to any areas of garden dominated by mature trees. The Countryside Design Summary for Carlisle District, which is also adopted supplementary planning guidance, explains that when considering applications for new development, the presence of any natural features such as trees and hedges should be taken into account.

- c) The mature oak and beech trees which dominate the site are of such a size and form that they are visible from a wide area. Mature trees and woodlands are an important feature of Brunstock which contribute to the character of this part of the village. They also contribute to the setting of Brunstock House and its associated Lodge.
- d) The applicant has submitted a plan detailing existing trees on the site. The aforementioned plan is not, however, considered sufficiently detailed enough in that not all the trees are identified, some trees shown are not in the correct position, and, no details are given of the spread of the canopies.
- e) It is, nevertheless, evident that towards the middle of the site there is a mature beech tree which is of outstanding form and crown spread which dominates a large part of the site (tree "13" on the applicant's plan). The branches of this tree interlock with those of a horse chestnut (15) which, in turn, interlock with another large beech (16). The applicant, however, has indicated a house between trees 13, 15 and 16. Any house built in this position is likely not only to endanger the trees (due to excavations for foundations severing roots), but create unacceptable living conditions likely to lead to requests from any future occupiers to fell or severely prune the trees, which would destroy their amenity value. The second house indicated on the submitted plan is similarly dominated by mature trees, including 13, a mature oak (11) and a semi-mature beech (14). The construction work necessary for the indicated drive is likely to severely damage a large proportion of the rooting area of trees 1, 2 and 13 (mature beech) and 12 (semi-mature beech), rendering the trees unsafe.
- f) The County Highways Engineer has also submitted a sketch which shows that approximately half the length of the hedge fronting the road will need to be removed

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0767 /

to achieve the recommended visibility splay.

Members will recall that this application was deferred at their last Meeting in order to allow further information to be sought from the applicant. This information is still awaited at the time of preparing the report.

Based on the currently available information it is not considered possible to develop the site without seriously damaging the existing mature trees and/or creating unacceptable living conditions for future occupiers of any dwellings.

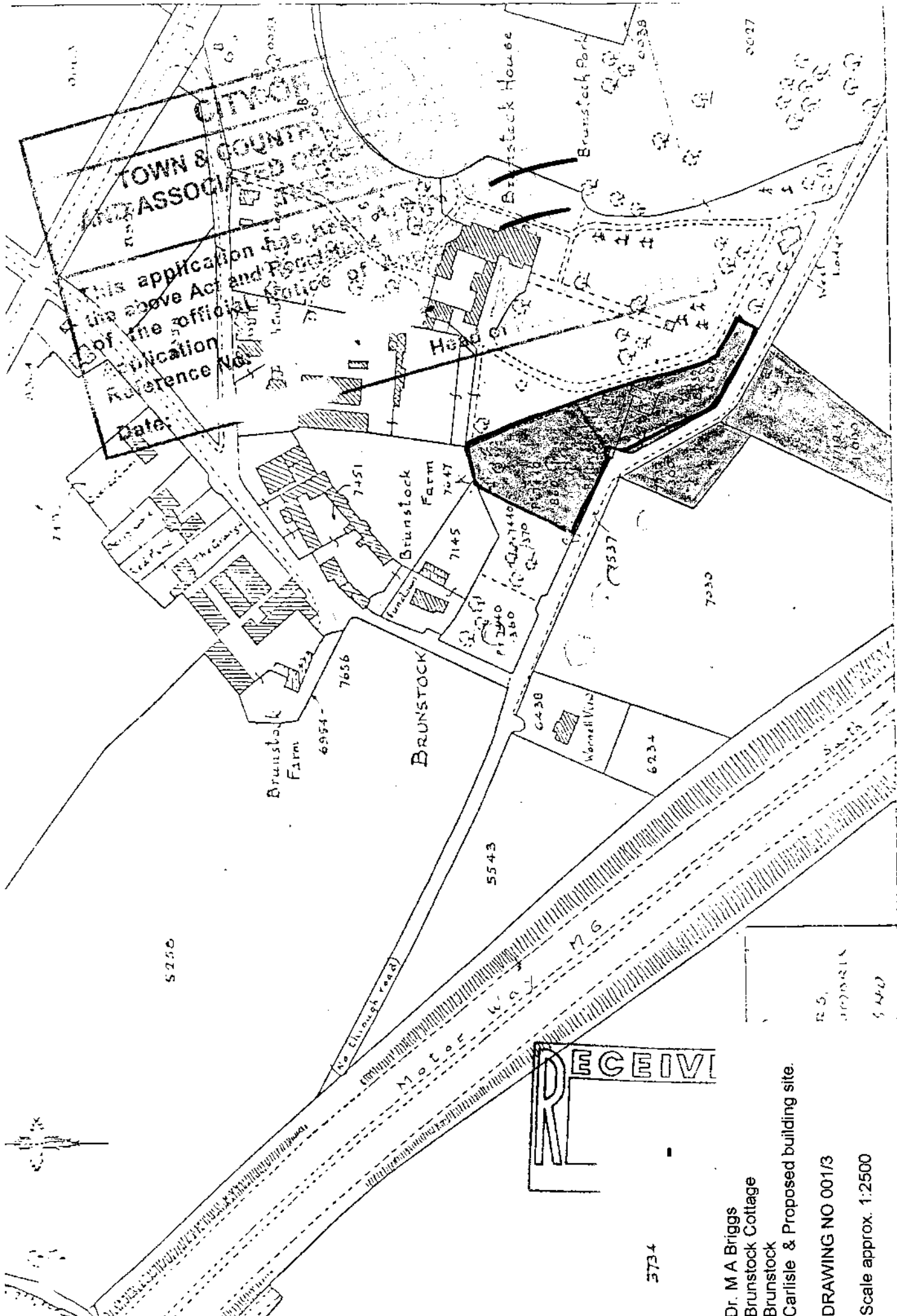
The applicants rights are respected but to allow the proposal would, be contrary to the objectives of Policies E19, E50 and H5 of the Local Plan.

### RECOMMENDATION: -

REFUSE

1. REASON: The application site is a small wood which is a significant open space providing a positive contribution to the character of this part of the village and also acts as a backdrop to neighbouring listed buildings. In such a sensitive location the proposed development will harm the amenity value of the site by leading to the removal of a substantial stretch of hedging fronting the road; endanger existing mature trees; and, create unacceptable living conditions, leading to requests from any future occupiers to fell or severely prune the trees. The proposal is therefore contrary to the objectives of Policies H5, E19 and E50 of the Carlisle District Local Plan.

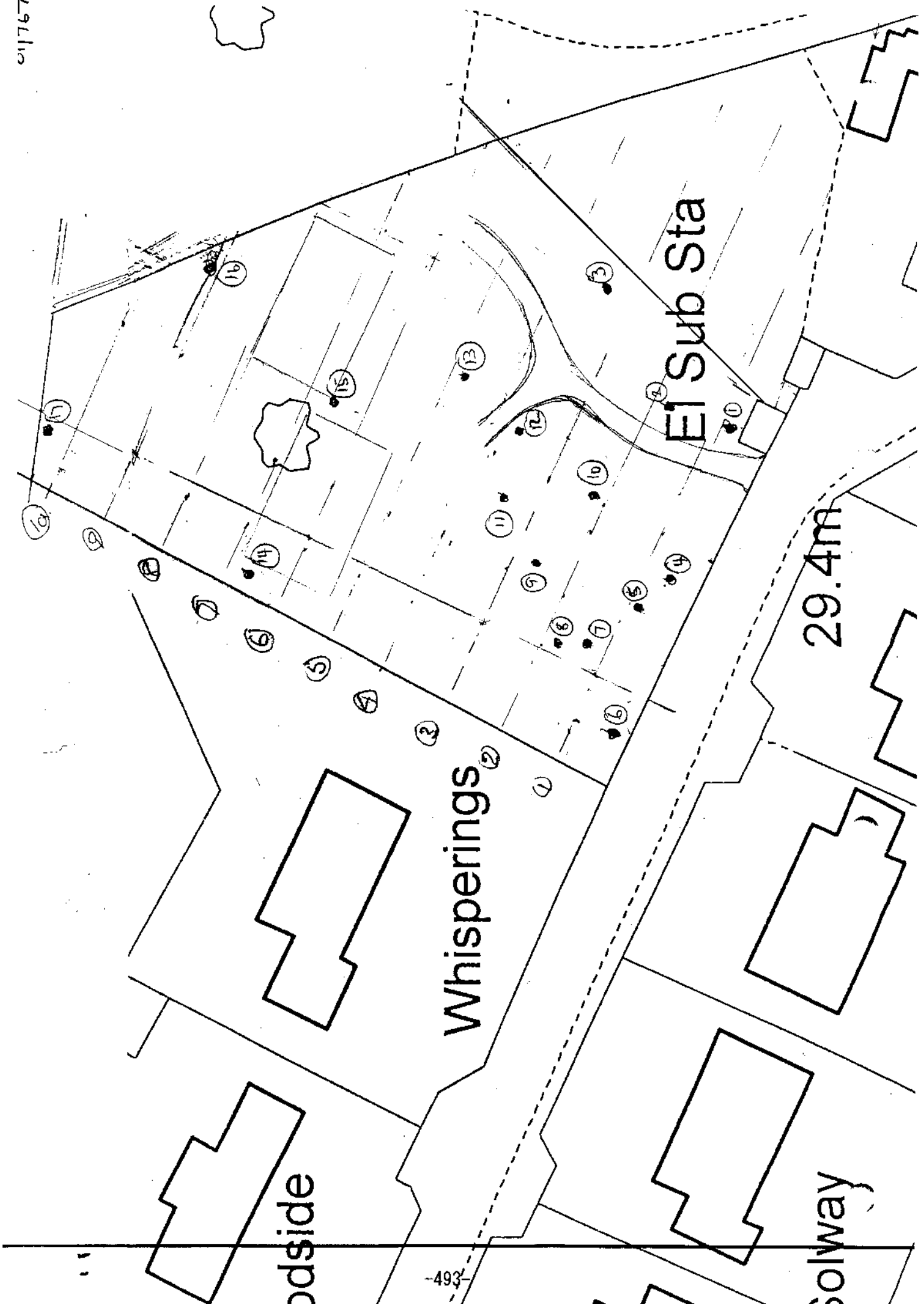
*Deferred ✓*



Dr. M A Briggs  
 Brunstock Cottage  
 Brunstock  
 Carlisle & Proposed building site.

DRAWING NO 001/3  
 Scale approx. 1:2500





## SCHEDULE A: Applications with Recommendation

ITEM NO. 24

Date of Committee: 14/12/2001

APPN REF NO:  
01/0785 /

APPLICANT:  
Susan Hutton

PARISH:  
Carlisle

DATE OF RECEIPT:  
29/08/2001

AGENT:

WARD:  
Belle Vue

LOCATION:  
24 Berkeley Grange, Carlisle Cumbria

GRID REF:  
337850 556000

PROPOSAL: Erection of boundary fence

AMENDMENT: i) Revised plan received 24th October 2001.

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E50

The loss to built development of significant public and private open spaces within settlements will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objections.

#### SUMMARY OF REPRESENTATIONS:-

This application was reported at the previous meeting when it was explained that the proposal has been advertised in the form of the direct notification of the occupiers of four neighbouring properties. In relation to the originally submitted scheme, two letters of objection have been received. The issues raised are: the applicant should not be erecting fencing because Berkeley Grange is an open plan estate; no one else has violated the terms of residence within Berkeley Grange and further action will be taken to enforce the removal of the fencing; the erection of the fencing commenced before applying for planning permission; the fencing is at least 2.5 metres in

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0785 /

height; and, the fence spoils the whole outlook of the place.

In regard to the revised details one letter of objection has been received on the basis that:

- the proposal will be a danger to all traffic leaving the cul-de-sac
- there are various fences already erected on the property, different colours, different styles and different height, and feel another fence would turn the property at the entrance to the cul-de-sac into even more an eyesore.
- another fence at the height it is going to be contravenes the "open plan" aspect of the estate
- feel if another fence is erected it would close our property in even more
- cannot see that by erected an extra fence this will improve security

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1987, under application reference numbers 87/0636 and 87/0637, planning permission was given for residential development.

In the intervening years permission has been granted for the development of the various plots. In the case of the current application site, permission was given for a bungalow in 1989, under application number 89/0751. The aforementioned permission did not contain any conditions withdrawing permitted development rights concerning the subsequent erection of any fences etc at the "front" of the property.

#### DETAILS OF PROPOSAL

Members will recall that this application was considered at their last Meeting when authority was given to approve the proposal. The application is being re-presented in order to rectify an error made in relation to the planning history of neighbouring properties; and, in response to the letter of objection received following the Meeting.

24 Berkeley Grange is a detached bungalow with brick walls and tiled roof located on the northern side of the estate road to the immediate west of a cul-de-sac serving 8-22 Berkeley Grange. The application relates to the sloping side garden area lying between the bungalow and the highway serving the cul-de-sac.

The proposal involves the erection of a fence to incorporate the side garden. The reasons given are a combination of security, privacy, to minimise problems with dog fouling, and,

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0785 /

also for the concrete sections to act as a retaining wall.

From the outset, and with specific reference to the Code of Conduct, Members need to be aware that the applicant is employed in the City Council's Housing Department. Needless to say, Mrs Hutton has not been involved in the determination of the application outside of her role as applicant.

When considering such applications there are potentially two main issues. Namely, the impact of the proposal on traffic safety and the character of the area.

In relation to traffic safety, the County Highways Authority have not raised any objections.

With regard to the character of the area it should be noted that timber fences already exist along the side gardens of the properties at 22, 23, 77, 83 and 99 Berkeley Grange.

In relation to the properties at 23, 77, 83 and 99 the available planning records do not show, however, permission having been granted for the enclosure of the side gardens. The fences in question, nonetheless, have the appearance of being in place for at least four years.

A distinctive characteristic of the estate, however, is the way the fences, which are in a variety of styles, are generally in line or set back from the front walls of the dwellings. In order to maintain the character of the area the applicant has submitted a revised scheme which deletes four panels originally shown to avoid projecting beyond the front wall of the bungalow. The applicant has also agreed to stain the proposed and existing fences the same colour.

In response to the comments by third parties on the alleged content of any covenants attached to the deeds of the property, this is a civil matter which is distinct from the relevant planning legislation.

In conclusion, the Highways Authority have not raised any objections to the proposal. When considering the impact of the proposal on the character of the area, Members can make a judgement based on the originally approved plans for the estate, or, based on the current appearance of the neighbourhood. On the basis that enforcement action is unlikely to be appropriate and/or successful in relation the dwellings at 23, 77, 83 and 99 Berkeley Grange it is recommended that any judgement should be made with regard to the existing character of the estate. When considering the proposal with regard to the current character of the area it is deemed to be acceptable.

The rights of the objectors are respected, however, the proposal is recommended for approval.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0785 /

### RECOMMENDATION:-

APPROVE WITH CONDITIONS

1. Standard time limit



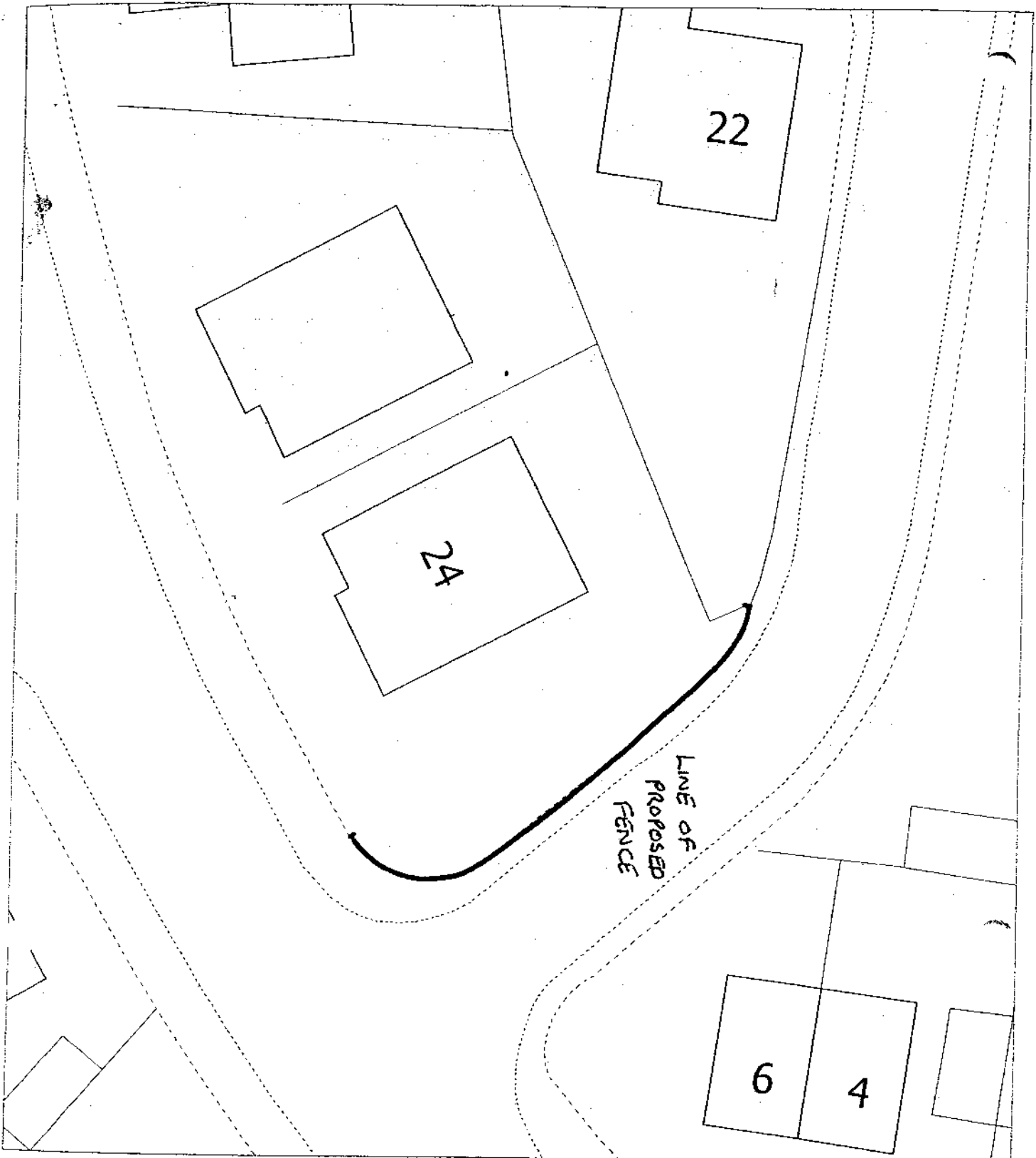

**Carlsle City Council**  
 Department of Environment & Development  
 Planning Services Division

RECEIVED  
 29 AUG 2001  
 2001/0785

1:1,250  
 30/8/2001

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Head of Planning : Alan Eales MTP MRTPI  
 Civic Centre Carlsle 89G  
 Tel (01228) 817000 Fax (01228) 817199



**Carlisle City Council**  
 Department of Environment & Development  
 Planning Services Division

RECEIVED  
 29 AUG 2001  
 20010785

1:250 30/8/2001

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Head of Planning : Alan Eales DipTP MRTPI  
 Civic Centre Carlisle CA3 8QG  
 Tel: (01228) 617000 Fax: (01228) 617199



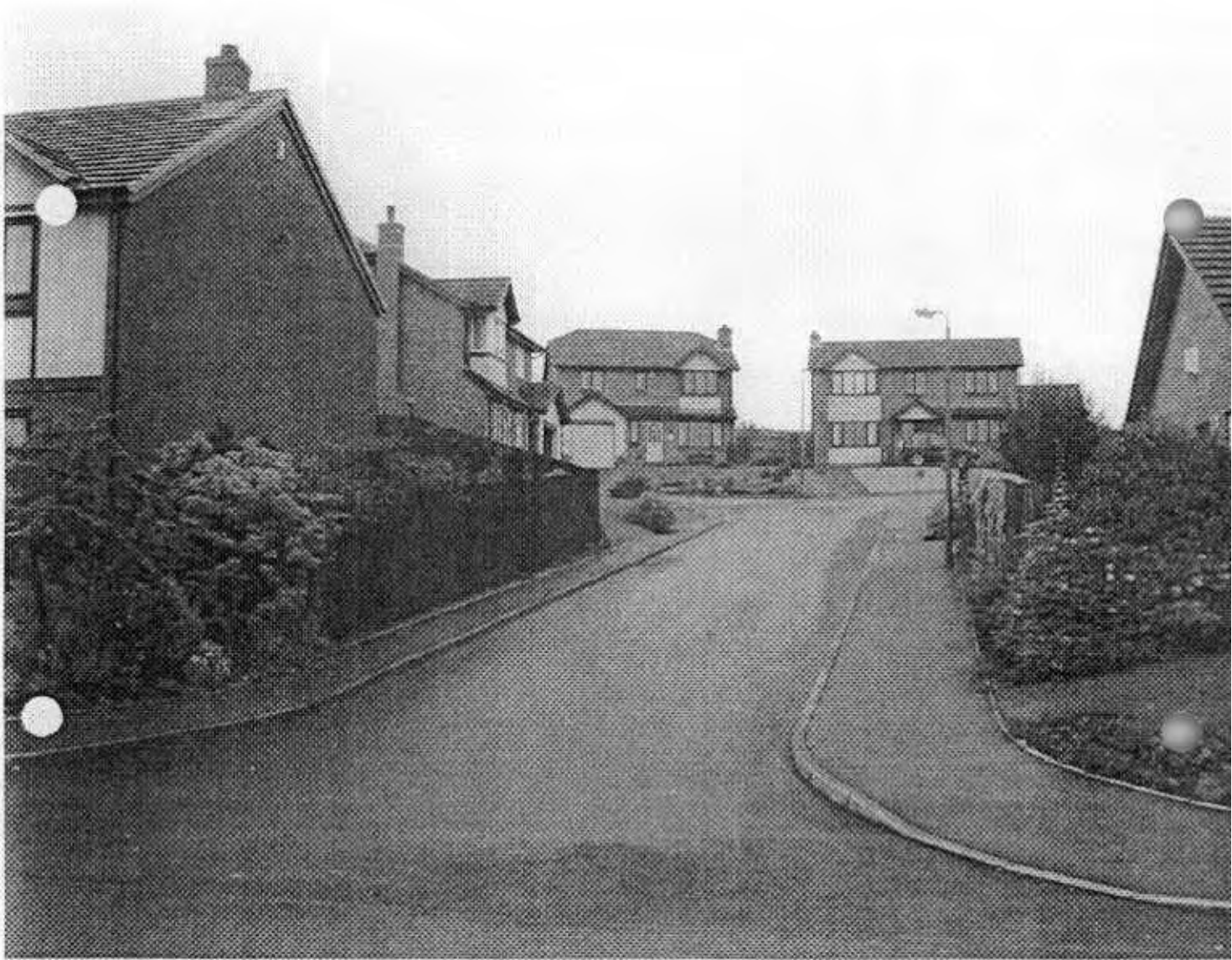














PROPOSED

RETAINING WALL  
FENCE

(THIS FENCE  
BE STRIPPED)

PROPOSED  
RETAINING WALL  
LESS THAN 24 IN.  
(IN HEIGHT)

PROPOSED  
REDO

RETAINING  
FENCE

2A

22

01/0785  
SCHEDULE A  
PAGE 408  
ITEM 23

Department of Environmental Health & Safety  
**01/0785**  
 Planning Services  
 Director: M. Berkeley Grange (415) 873-7000  
 Head of Planning Services: Alan Tates (415) 873-7000  
 One Center Building, Suite 300, Berkeley, CA 94702

24 Berkeley Grange

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1:250 24/10/2001

Appn No: 01/0785  
817173

25 Berkeley Grange,  
Belle Vue  
Carlisle  
Cumbria CA2 7PN  
6th September 2001  
Delivered by hand.

PLANNING SERVICES	
REF	01/0785
07 SEP 2001	
REQ	al
PLAN	
DISCU	AM
ACTION	

For the attention of:-  
Mr. Angus Hutchinson  
Case officer  
Carlisle City Council  
Planning Services

Dear Mr. Hutchinson, Re: Susan Hutton, 24 Berkeley Grange.

I am writing on behalf of myself and other neighbours about the above property, and I enclosed a photograph for your attention.

Initially, I would like to inform you that Susan Hutton is well aware that she is in breach of the terms residence within Berkeley Grange. To use her own words after moving into No 24 "We've never heard so many rules and regulations read to us, but we are not going to take any notice"; March 1999. She and her late husband have already kept a caravan for five months before it was forcibly removed, and to continue, she is well aware that she should be keeping the garden in a neat and tidy condition and she should NOT be erecting fencing, as this is an open plan estate.

No one else has violated the terms of residence within Berkeley Grange and further action will be taken to enforce the removal of the fencing, so was the caravan.

Further for your attention, the erection of fencing took place BEFORE planning permission was applied for, in fact the construction was brought to an abrupt halt when a gentleman called with measuring rod, authorisation and a large white envelope on Monday 20th August 2001. It is also observed that no notice of intention has been erected for the residents of Berkeley Grange to object to, and finally the fencing is at least two and half metres in height, which is one and a half higher than permissible by planning permission.

In conclusion, I would appreciate it if you would let me know if planning permission is to be permitted in order that I can instigate further action, which as residentially, is our right to pursue.

Yours sincerely,

Christine I. Williams (Mrs)

c.c. copy retained for further legal action.  
encl. photograph taken on 20th August 2001.

PLANNING SERVICES	
REF	01/0785
19 SEP 2001 2	
CN	

8 Berkeley Grange  
 Carlisle.  
 CA2 7PW.

Dear Sir

With regards to the  
 Planning Permission for 24 Berkeley  
 Grange Ref. 01/0785. In the Paper  
 it says Relocation and Replacement  
 of Boundary Fence. There has  
 never been a fence there before.  
 I understood we open plan.  
 Mrs Mutton has all ready put a fence  
 up last year when there was never  
 one before. I suppose it is a  
 Waste of time writing the letter  
 as the fence is already up. all  
 7 ft of it. It spoils the whole  
 outlook of the place.

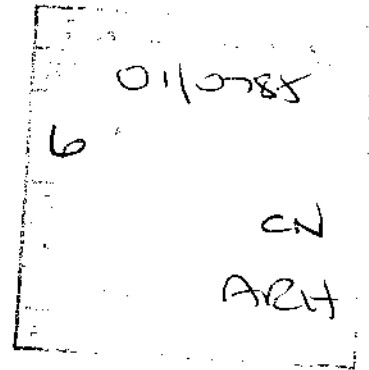
Mrs. B. Purdhan



Silverpoint  
10 Berkeley Grange  
Carlisle  
Cumbria  
CA2 7P

8<sup>TH</sup> November 2001

Mr A R Hutchinson  
Department of Environment & Development  
Planning Services Division  
Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG



Reference: Notification of Planning Proposal  
Location: 24 Berkeley Grange, Carlisle, Cumbria  
Appn Ref: 01/0785?

Dear Mr Hutchinson

I have looked at the plans submitted by the resident of 24 Berkeley Grange and have seen the already erected fence post and I object of the following issues:

1. The first point is I feel is the most important in that it is an issue of danger. Because of the already erected fence posts we have to drive further out of the cul-de-sac in order to get a clear view of traffic approaching from the right as this is a 'blind corner'. Once the panels are installed in the fence our view will be further restricted. I feel this is a danger to all traffic leaving the cul-de-sac.
2. There are various fences already erected on the property, different colours, different styles and different height, and feel another fence would turn the property at the entrance to the cul-de-sac into even more of an eyesore.
3. Surely another fence at the height it is going to be contravenes the 'open plan' aspect of the estate? A president would be set if permission were given to no. 24, allowing others on the estate to erect border fences thus changing the whole aspect of the open-plan estate.
4. The fence opposite our property (at No.22) was erected by the original builders and we were aware of it when we bought our house. Although we are not allowed to object if another fence is erected we feel it would close our property in even more.
5. I understand that the occupant of No. 24 wants the fence for extra security. As the property would remain open at the front I cannot see that by erecting an extra fence this goal would be achieved.

I would appreciate your comments on the above points. I am not in the habit of raising issues, but on these points I feel quite strongly.

Yours sincerely

A handwritten signature in cursive script, appearing to read 'B V M Plaskett'.

B V M Plaskett

## SCHEDULE A: Applications with Recommendation

ITEM NO. 25

Date of Committee: 14/12/2001

APPN REF NO:  
01/0867 /

APPLICANT:  
Mr W Roper

PARISH:  
Wetheral

DATE OF RECEIPT:  
24/09/2001

AGENT:  
C & D Property Services

WARD:  
Great Corby & Gel

LOCATION:

L/A part field 7900, Brocklewath Farm, Great Corby, Carlisle, 348940 552000

GRID REF:

PROPOSAL: Erection of agricultural workers dwelling (outline)

*Refused*

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H6

Within the remainder of the Plan area, outside areas covered by Proposal H1 and Policies H2-H5, permission will not be given for dwellings, except where applications are supported by a proven agricultural or forestry need.

SUMMARY OF CONSULTATION RESPONSES:-

WETHERAL PARISH COUNCIL: This is an isolated development in open countryside which would not usually obtain planning permission unless as an agricultural workers dwelling. The PC is concerned about such developments and would recommend to planners that unless the applicant can produce significant evidence that it is to be used as an agricultural workers dwelling and ownership of the land to which the development is related it should be refused.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0867 /

HIGHWAY AUTHORITY: No objection subject to conditions.

ENVIRONMENT AGENCY: No objection subject to a condition and supplementary informative.

COUNTY LAND AGENT: Although the propose site in this application is closer to the building than originally proposed, it is still at some distance and due to the topography of the ground, the buildings will not be visible from the proposed dwelling.

It would appear that one of the reasons for the proposed location is to perhaps maintain control over traffic from the gravel workings which is of course not an agricultural enterprise.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice. At the time of writing this report, no representations have been received.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

An application for outline planning permission for the erection agricultural workers bungalow was approved on 12 June 1981, under reference 81/0404.

This approval was renewed on 10 August 1984, under reference 84/0383.

Outline planning permission for the erection of an agricultural workers bungalow was withdrawn on 15 October 1987, under reference 87/0700.

Outline planning permission was refused on 26 June 1992, under reference 92/0262.

An application for outline planning permission for the erection of a bungalow with detached garage for the accommodation of an agricultural worker was withdrawn on 8 August 2001, under reference 01/0162.

#### DETAILS OF PROPOSAL

This application seeks outline planing permission for the erection of a bungalow with detached garage for occupation by an agricultural worker on 1/a part field 7900, Brocklewath Farm, Great Corby.

The site is accessed from a narrow surfaced road, the turn off for which is situated on the Great Corby to Cumwhitton road. This road winds past the poultry farm known as 'Randlawfoot' and finishes at Brocklewath Farm.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0867 /

Members should note that the planning history does not necessarily relate to the specific site location which is the subject of this application, but also includes other sites within the holding for which planning permission has been sought.

The agricultural land is bounded to the west by the River Eden, which is designated in the local plan as being a County Landscape. A number of Ancient Woodlands also exist close to the site. However, the agricultural land, and the site which is the subject of this application, are not designated within the Carlisle District Local Plan. The land is level when entering the site from the surfaced road, but slopes steeply down towards the agricultural building and the river in the valley. This is illustrated from the contour lines shown on the location plan which is reproduced following this report.

The circumstances relating to this application are unusual. There is an existing farmhouse at Brocklewath, together with a range of traditional farm buildings. It appears that these have been sold by the applicant (planning permission has been granted for conversion of the farm buildings to residential units). The applicant now lives in Heads Nook and travels to the farm, where the only buildings remaining in his ownership are a range of modern farm buildings.

As far as the agricultural need issue is concerned, the County Land Agent concludes that the business is financially viable and that there is a functional need for an agricultural worker to be resident on the farm. This issue is not in dispute.

The siting of the proposed dwelling is of greater concern. The farm buildings themselves are located along an unmade access track leading from the edge of the agricultural land where the dwelling would be sited, due west and down a very steep gradient. The buildings cannot be visibly seen from the proposed development site. Although the land is not specifically designated within the Local Plan, it remains an area of undeveloped open countryside. Policy E8 requires that development should be well related to existing buildings.

Policy H6 requires that a proven agricultural or forestry need will need to be demonstrated in order that planning permission may be granted. As mentioned previously in this report, this issue is not under debate.

Paragraph 4.48 of the supporting text states:

"Where an agricultural or forestry need is established, the City Council will be particularly concerned to ensure that the siting of the new dwelling is well related both to existing development and local landscape features. The fact that the principle of a new dwelling has been established does not mean that development in sensitive locations should be approved."

Officers have been in contact with the applicant's agent with a

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0867 /

view to seeking a revised site for the proposed dwelling. The applicant would appear unwilling to amend the details of the application and a copy of the letter of response is reproduced following this report.

The applicant's agent outlines the reasons behind the siting of the dwelling in this location. These can be broken down into two issues, namely the short proximity of the proposed dwelling to the agricultural buildings, and the policing of persons entering the land. Counter arguments are put forward against other issues raised by the County Land Agent but no new planning matters have been raised.


Further advice in the consideration of this application has been obtained from Annex I to PPG7 (The Countryside: Environmental Quality and Economic and Social Development). Paragraph I13 states:

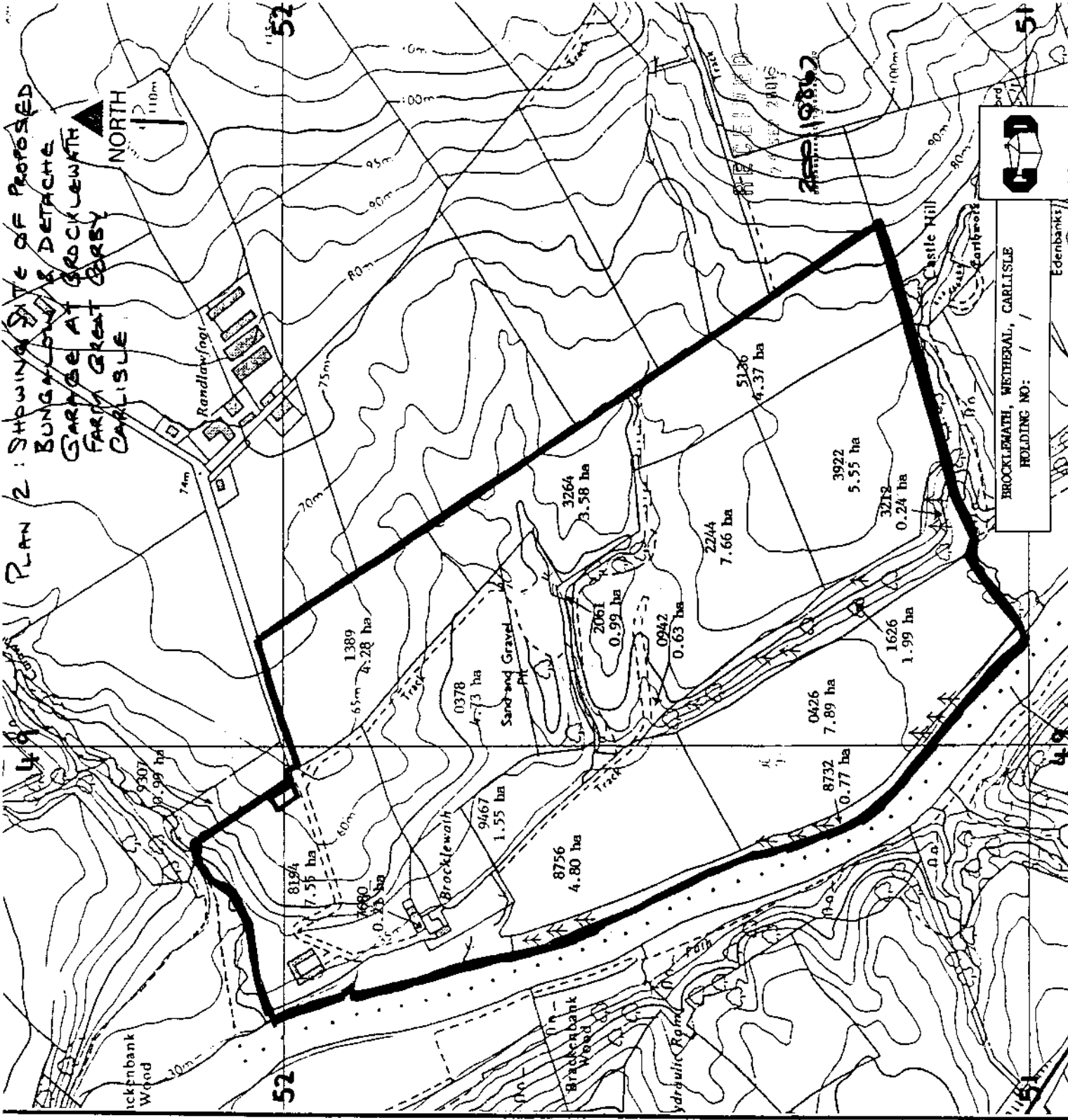
"Care should be taken to choose a site which is suitably located to meet the identified need and well-related to existing farm buildings or other dwellings."

In conclusion, whilst the principle of the need for an agricultural worker to be resident on the site has been accepted, the granting of planning permission is also subject to other criteria, such as siting. In this instance, the siting of a dwelling in this area of undeveloped open countryside would be unacceptable and contrary to current planning policy.

### RECOMMENDATION: -

REFUSE

- Del.* 
1. REASON: The proposal to site a dwelling in this sensitive location in the open countryside, unrelated to the existing farm complex, would be an unacceptable visual intrusion contrary to Policy E8 (Remainder of the Rural Area) of the Carlisle District Local Plan.
  2. REASON: Although an agricultural need has been <sup>claimed</sup> ~~proven~~ and <sup>accepted</sup> ~~proven~~ in support of this application, the siting is unrelated to the farm buildings and would form an unacceptable visual intrusion in this area of open countryside. In these circumstances, the proposal is contrary to the advice contained within PPG7 and Policy H6 (Agricultural and Forestry Need of the Carlisle District Local Plan).



Taken from NY455E

LEGEND

- Limit of land being farmed
- ~~~~~ Hedge
- Stone wall
- Rows of trees, including hedgerow trees
- Bridleway
- Ditch or other water course (unless already marked)
- Pond
- Other features

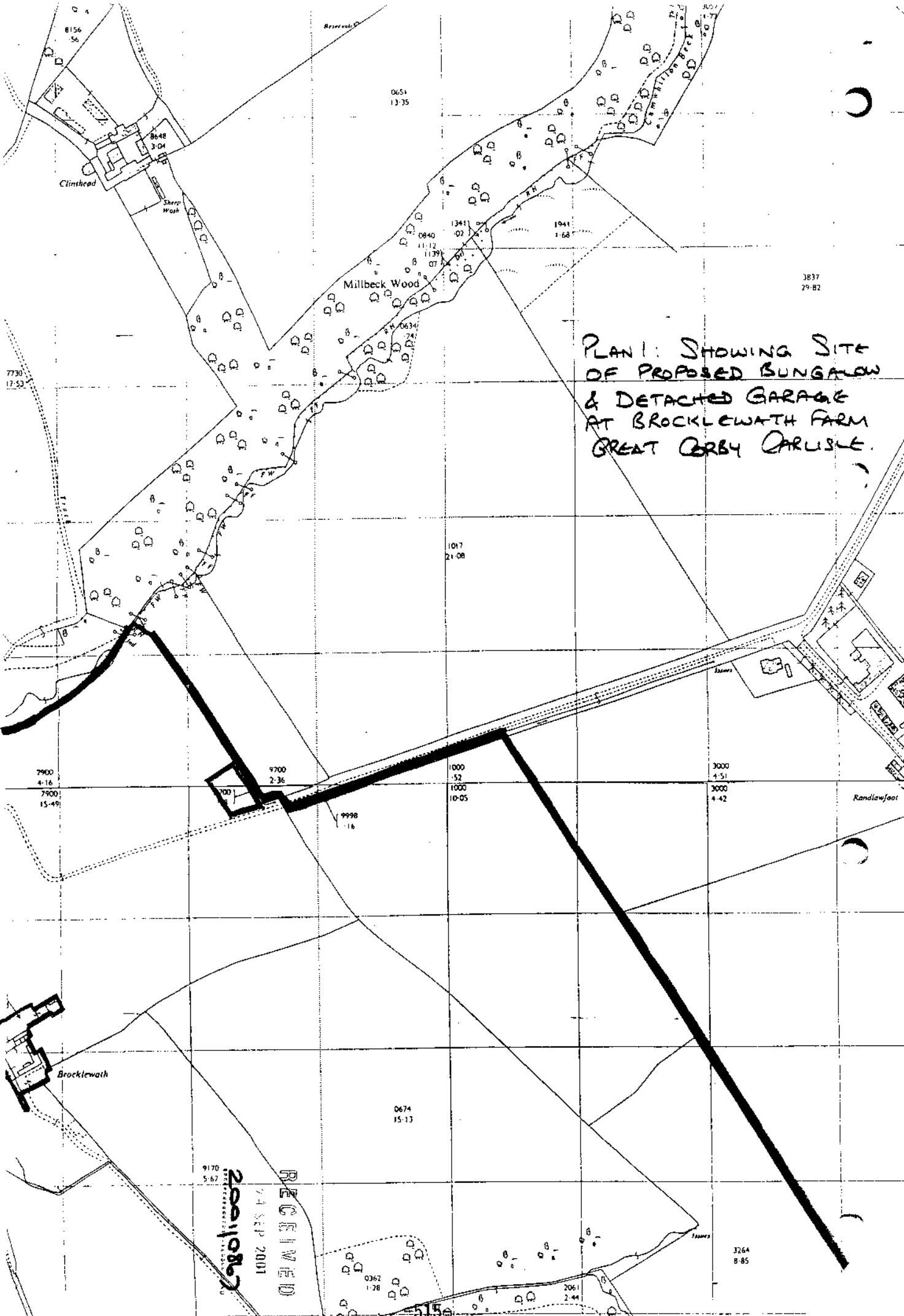
Field Nos taken from O.S. 1:2500  
 Sheet Numbers: NY4851, 4852, 4851 & 4852

Scale: 1:5,000  
 Name: Mr. W. Roper  
 Signature:  
 Date:

Copyright Date: 1992  
 Copyright Licence No: ES772356

Based on O.S. 1:10,000 map with the permission of  
 The Controller of HMSO

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PLAN 1: SHOWING SITE  
 OF PROPOSED BUNGALOW  
 & DETACHED GARAGE  
 AT BROCKLEWATH FARM  
 GREAT CORBY CARLISLE.

RECEIVED  
 24 SEP 2001  
 20010827

8156  
56

0651  
13-35

Climthead

3648  
3-04

Sharp  
Wash

Millbeck Wood

1341  
02

1941  
1-68

3837  
29-82

7730  
17-52

1017  
21-08

7900  
4-16

7900  
15-49

9700  
2-36

1000  
52

1000  
10-05

3000  
4-51

3000  
4-42

Randlawfoot

9998  
-16

Brocklewath

0674  
15-13

9170  
5-62

3264  
8-85

0362  
1-28

2061  
2-44

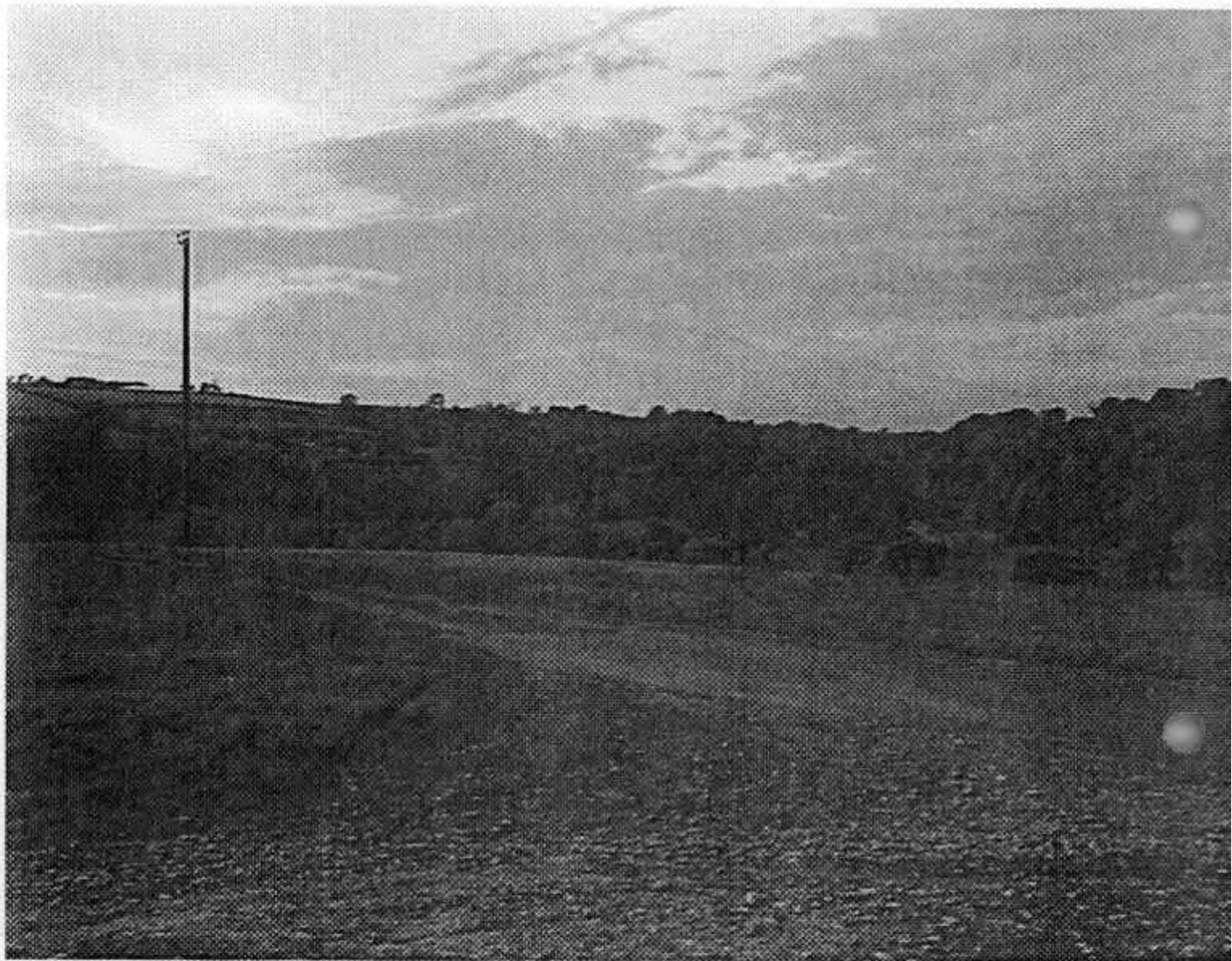
515

2001 / 0867





2001/0867



**FIELD 1000 – BROCKLEWATH FARM  
GREAT CORBY, CARLISLE**

**Report on the agricultural aspects in relation to a proposed agricultural workers dwelling in Field 1000 – Brocklewath Farm, Great Corby, Carlisle.**

CAPITA*db*s  
Clint Mill  
Cornmarket  
PENRITH  
CA11 7HP



June 2001

## **Proposed Agricultural Workers Dwelling field 1000 – Brocklewath Farm, Great Corby, Carlisle**

### **1.0 Introduction**

- 1.1 This report has been prepared at the request of Carlisle City Council to advise on the agricultural aspects of the proposal to provide an agricultural workers dwelling in Field 1000 – Brocklewath Farm, Great Corby, Carlisle.
- 1.2 I met the applicant's agent Mr Colin Beattie of C & E Property Services, Longtown, Carlisle on 5 June 2001. The following information was provided by Mr. Beattie on behalf of the applicant.

### **2.0 Land Occupied**

- 2.1 Mr Roper's agricultural holding extends in total to 80 hectares (200 acres) and is made up of the following blocks of land.
  1. 60 hectares (150 acres) of land at Brocklewath Farm, Great Corby as shown edged blue on the plan attached to the application. This land is owner occupied by the applicant.
  2. 20 hectares (50 acres) of land rented in the locality on a seasonal grazing basis.

### **3.0 Livestock**

- 3.1 The applicant normally keeps the following numbers of livestock on the holding: -
  1. 120 head of Beef Cattle. These are bought in as week old calves and reared to 12-18 months of age when they are sold as store cattle.
  2. 350 Grey Faced Breeding Ewes lambing in February, March and April. The lambs are sold fat off the holding in the following autumn and winter. There is a quota allocation of 319 units.
  3. Between 700 and 1000 Store Lambs are bought each autumn and fattened off the holding from February the following year onwards.
  4. The applicant purchases around 3000 day old Turkey chicks in July/August. Approximately 1800 of these are sold on as growers at 6 weeks old and the remaining 1200 are retained on the holding and fattened for the Christmas trade.

#### **4.0 Cropping**

4.1 The cropping on the farm comprises the following:

1. 20 hectares (50 acres) of hay/silage for feeding to the livestock.
2. 11 hectares (27 acres) of oats again for feeding to the livestock
3. The remainder of land is in grass for grazing the livestock.

#### **5.0 Farm Buildings**

5.1 The farm buildings are situated a little way down the farm entrance track as shown on the application plan. They comprise a general purpose steel framed building measuring about 35m x 21m and bounded on three sides by lean to sheds about 7m wide. There is also another shed of timber frame and corrugated metal construction measuring about 27m x 11m.

#### **6.0 Domestic Buildings**

6.1 There are no domestic buildings on the holding. The applicants agent advised that the former farmhouse and traditional buildings on the holding were sold off approximately 10 years ago by the applicant and are no longer available to the business.

#### **7.0 Labour and Residence**

- 7.1 The labour on the holding is provided by the applicant who works full-time together with one other full-time employee.
- 7.2 The applicant lives at 17 Cairnwood, Heads Nook which is approximately 15 minutes traveling time away from Brocklewath. The full time employee lives off the holding in Carlisle.

#### **8.0 Other Information**

8.1 The applicant advised that he wished to provide an agricultural workers dwelling on the holding to have a worker on site to deal with the livestock, especially at lambing time and when the turkeys were being reared before Christmas. He

advised that he had experienced some problems with theft, particularly of diesel from the holding. He also wished to employ a further worker.

## **9.0 PPG 7 And The Need For Agricultural Workers Dwellings**

9.1 The need for agricultural workers dwellings is covered in planning policy guidance note PPG7 “The Countryside Environmental Quality and Economic and Social Development” (revised in February 1997) and in particular annex I to that publication.

9.2 Guidance is given on the criteria to be met for agricultural dwellings and in the relation to a permanent agricultural workers dwelling these criteria are set out in paragraph 15 of annex I to PPG7. These criteria are: -

### **a. There is a clearly established existing functional need**

An established existing functional need arises from the care of the cattle, sheep and turkeys. In particular there will be an intensity of need when the ewes are lambing in March and April. There will also be a need to carry out routine management tasks to ensure the well being of the livestock

### **b. The need relates to a full time worker**

I have calculated the labour requirements of the holding based on the existing numbers of livestock and cropping and am able to advise that it has a labour requirement of at least 2 full time workers.

### **c. Financial Test**

Viability can be defined as offering a competent farmer the prospect of a sufficient livelihood. In practice this can mean a net farming income after expenses such as feed, fertilizer and property maintenance at least equivalent to an agricultural workers minimum wage which is currently in the region of £8,700 per annum. I have calculated the likely net farm income from the livestock normally kept on this holding and am able to advise that it is financially viable.

### **d. Other Accommodation on the Holding**

These days it is only really necessary for specialist workers to live on or immediately adjacent to agricultural holdings. In this instance I am of the opinion that it is necessary for 1 full time worker actively involved in the management of this unit to be resident on or immediately adjacent to this holding to deal with emergencies and the overall need to protect property.

e. **Other normal planning requirements**

These are beyond my instructions.

**10.0 CONCLUSION**

10.1 I am therefore able to advise as following:

1. There is a clearly established existing functional need for a worker to be resident on this holding.
2. The labour requirement is for a minimum of 2 full time workers and therefore the test in relation to a full time worker is met.
3. The business is financially viable and therefore the financial test is met.
4. There is no existing accommodation on the holding.

10.2 As you will appreciate where livestock have to be the subject of close supervision for example lambing ewes in the springtime it is the usual practice for the agricultural workers dwelling to be in reasonable proximity to the farm buildings. In this case the proposed site is at some distance from the farm buildings and I would advise that it would be more practical in the supervision of livestock to have any dwelling in reasonable close proximity to the farm buildings and not at a distance as proposed.

10.3 In relation to the existing farmhouse and traditional buildings that were sold off from the holding some time ago I would refer you to paragraph I7 in annex I to PPG7 in which it states that where dwellings may have been sold separately to farmland such a sale could constitute evidence of a lack of agricultural need.



A G Jackson BSc FRICS FAAV  
CAPITAdbs  
Clint Mill  
Cornmarket  
PENRITH

14 June 2001

# C & D Property Services

Land and Estate Agents, Valuers and Surveyors

(part of Cumberland & Dumfriesshire Farmers Mart plc  
and incorporating Thomson, Roddick & Laurie, agency and valuations)

17/19 High Street  
Longtown  
Carlisle  
Cumbria CA6 5UA

Tel: (01228) 792299

Fax: (01228) 792284

Website: www.cdproperty.co.uk

E-mail: office@cdproperty.co.uk

Planning Services Division  
Department of Environment & Development  
Carlisle City Council  
The Civic Centre  
CARLISLE  
CA3 8QG

Your Ref:

Our Ref:

31st October 2001

For the Attention of Richard Maunsell, Esq.

Dear Sirs

**Our Client Mr W Roper, Brockleworth Farm, Great Corby**  
**Erection of Agricultural Worker's Dwelling**  
**Application No 2001/0867**

We refer to your letter dated 30th October 2001 in relation to the above subject, and thank you for enclosing a copy of the County Land Agent's Report. We confirm that we have no difficulty in agreeing to an extension of the 8-week period as referred to in your letter. We have considered the Application in the context of your earlier letter dated 23rd October and the County Land Agent's Report. We would respond to the various points raised as follows:-

1. In the first place, responding to the third paragraph of your letter dated 23rd October, we accept that the agricultural buildings would not be visible from the proposed dwelling. We do not however accept the implication that this in any way defeats the objective of erecting the dwelling. We can point to countless examples of working farms where there is no clear path of vision between the farmhouse and the steading. This seems to have no impact on the effectiveness of the business. Even in cases where the steading can be seen directly from the farmhouse, the farmer has no way of inspecting livestock or

machinery within the farm buildings, unless he actually enters the buildings. We suggest that access - not visibility - is important here. The proposed site enjoys good pedestrian and vehicular access to and from the farm buildings.

2. With regard to the third paragraph of the County Land Agent's Report dated 9th October, we suggest that the proposed dwelling would be "within reasonable proximity to the farm buildings". The question of whether a dwelling is within "reasonable proximity" is a matter of construction, and the answer will be informed substantially by reference to Paragraph I13 of PPG7 (referred to below).

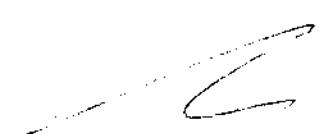
3. The County Land Agent quotes Paragraph I13 of PPG7 which states that "Care should be taken to choose a site which is suitably located to meet the identified functional need and well related to existing farm buildings or other dwellings".

We suggest that the identified functional need would be met by the current proposal, and that the following factors are relevant here:-

(a) (most obviously) the site would accommodate an agricultural worker, who would be on the farm at all times to supervise its efficient running. In some cases, animals or agricultural processes require to receive essential care at very short notice. Emergencies require to be dealt with quickly. This would easily be accomplished by the proposed site, which offers good access to, and is within a minute's walking distance of, the farm buildings.

(b) the main entrance to the farm can be seen from the site. Traffic to and from both the farm steading and the quarry could be effectively policed from the proposed site. Our client has also experienced problems in the past with theft from the farm, and with the unlawful tipping of rubbish on the farm. The proposed site would address all these issues. In contrast site nearer the farm buildings would compromise our Client's ability to police access to and from the farm.

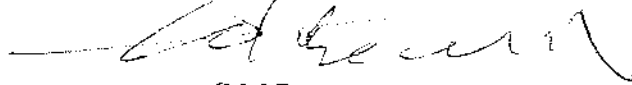
On the question of whether the proposed site is "well related to existing farm buildings or other dwellings", it is noted that visibility and distance are not specifically mentioned. As to visibility, see our comments at Paragraph 1 above. On the question of distance, we suggest that the site is "well related" in that it is situated within a minute's walk of the buildings, enjoys good access to the buildings, is situated immediately adjacent to the farm road, and would meet the functional needs of our Client. The land immediately adjacent to the steading is characterised by steep slopes. The proposed site is therefore by far the better site on this criterion.





We respectfully request that the above points be considered in the determination of this Application. We shall look forward to hearing from you when a decision is made, but if in the meantime you require clarification on any point then please do not hesitate to contact the writer.

Yours faithfully

A handwritten signature in black ink, appearing to read 'C M Beattie', written in a cursive style.

C M Beattie  
For C & D Property Services

## SCHEDULE A: Applications with Recommendation

ITEM NO. 26

Date of Committee: 14/12/2001

APPN REF NO:  
01/0885 /

APPLICANT:  
Mr Richard Dixon

PARISH:  
Wetheral

DATE OF RECEIPT:  
02/10/2001

AGENT:

WARD:  
Great Corby & Gel

LOCATION:  
L/A Longthwaite Farm, Warwick Bridge, Carlisle Cumbria

GRID REF:  
347970 556670

PROPOSAL: Use of land for the storage of light vans and cars

*Angus*

### REPORT

#### PLANNING POLICIES:-

##### PUBLIC FOOTPATH

The proposal relates to development which affects a public footpath.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 1

New development will be provided, mainly in the towns, to meet the social and economic needs of the County's population, but in a manner which, through appropriate location, scale, design or use, does not diminish the quality of the environment within the County or beyond, or for future generation.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 3

The diversification of the rural economy and the maintenance of the vitality of rural life will be assisted through a favourable response to developments which provide local benefits and are sensitive to the local environment.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0885 /

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

CARLISLE DISTRICT PLAN  
EMPLOYMENT - POLICY EM10

Within the remainder of the Plan area permission will not be granted for industrial, warehousing and commercial development. However, small scale development within existing settlements, the curtilage of existing employment premises, or groups of farm buildings, or moderate extensions to existing premises will be acceptable provided:

1. there is no unacceptable adverse impact on the local landscape; and
2. there is no unacceptable adverse effect on nature conservation interests; and
3. adequate access and appropriate parking provision can be achieved; and
4. there is no unacceptable adverse affect on the amenity of any adjacent properties.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections.

THE RAMBLERS: Comments awaited.

ENVIRONMENT AGENCY: No wish to object subject to the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0885 /

attachment of a supplementary informative note.

WETHERAL PARISH COUNCIL: The Members feel that there is sufficient commercial usage in this area on the Mill site without extending it into a residential development which is visible from the road. The Members would not wish to see a residential dwelling become surrounded by a commercial operation such as this proposes.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: The site is situated well beyond the Cumberland Mills, beyond the village envelope of Warwick Bridge and extends out into open countryside. There appears to be some form of untidy scrap storage use taking place already on the site that seems out of place in this rural location. The adjoining residential properties appear to be part of a recent development, and their amenities may well be adversely affected by the current situation, although we have no direct evidence from occupiers to support that opinion.

However, we consider that if the area were to be used for the storage of vehicles, the general amenities of the locality and the visual intrusion into the surrounding countryside would not be acceptable in planning terms. The application site lies well outside the village envelope, and therefore is situated in the open countryside. Such a storage use would be better located at commercial premises, in an approved industrial location. For these reasons, we consider the proposal would fall foul of Policies E8 and EM10 of the Local Plan, and we would recommend refusal accordingly.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice. No formal observations have been received at the time of preparing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The property has a relatively extensive planning history. In 1990, under application number 90/1028, planning permission was given, but not implemented for the conversion of the outbuildings into 11 dwellings. In 1996, and 1997 under application numbers 96/0643 and 96/0985 planning permission was given for the conversion of two barns to form two dwellings.

In 1997, application number 97/0366, permission was given to modernise the farmhouse and build a garage/bedroom extension.

In 1998, application number 97/0871, permission was granted for the erection of two dwelling. In 1999, application number 99/0478, permission was given for the erection of a detached garage.

#### DETAILS OF PROPOSAL

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0885 /

Longthwaite Farm consists of the original farmhouse, the converted barns and one of the dwellings approved under application number 97/0871.

The site consists partly of the garden of 2 Longthwaite Farm and the plot for the second dwelling which lies to the east of the farmhouse.

Members need to be aware that there is a distinction in planning terms between the storage of vehicles and the parking of motor vehicles ancillary to a particular use. Despite the description on the submitted forms, the current application is for a vehicle hire depot with ancillary valeting. The applicant has not given any indication of repairs being carried out on the premises. The use had commenced on the site with the garage partly used as an office. At the end of October it was apparent that the applicant had moved operations from Longthwaite Farm to Burgh Road Trading Estate. The activity employs a total of eight staff.

The principal planning issues raised by this application are:

- a) potential disturbance to neighbours due to increased vehicle movements and ancillary activities; and,
- b) impact on the visual character of the area.

In relation to the first matter this Section has not received any observations although this may reflect the fact that the applicants brothers, sister and mother reside in the neighbouring properties.

When assessing the visual impact of the proposal it is readily apparent that the effect of parked cars and vans is not an attractive sight. The property is visible from the public highway and a public footpath which runs past the courtyard.

In conclusion, it is felt that the proposal would be detrimental to the character of the area. It is also recognised that the use is not one which needs to be in a countryside location.

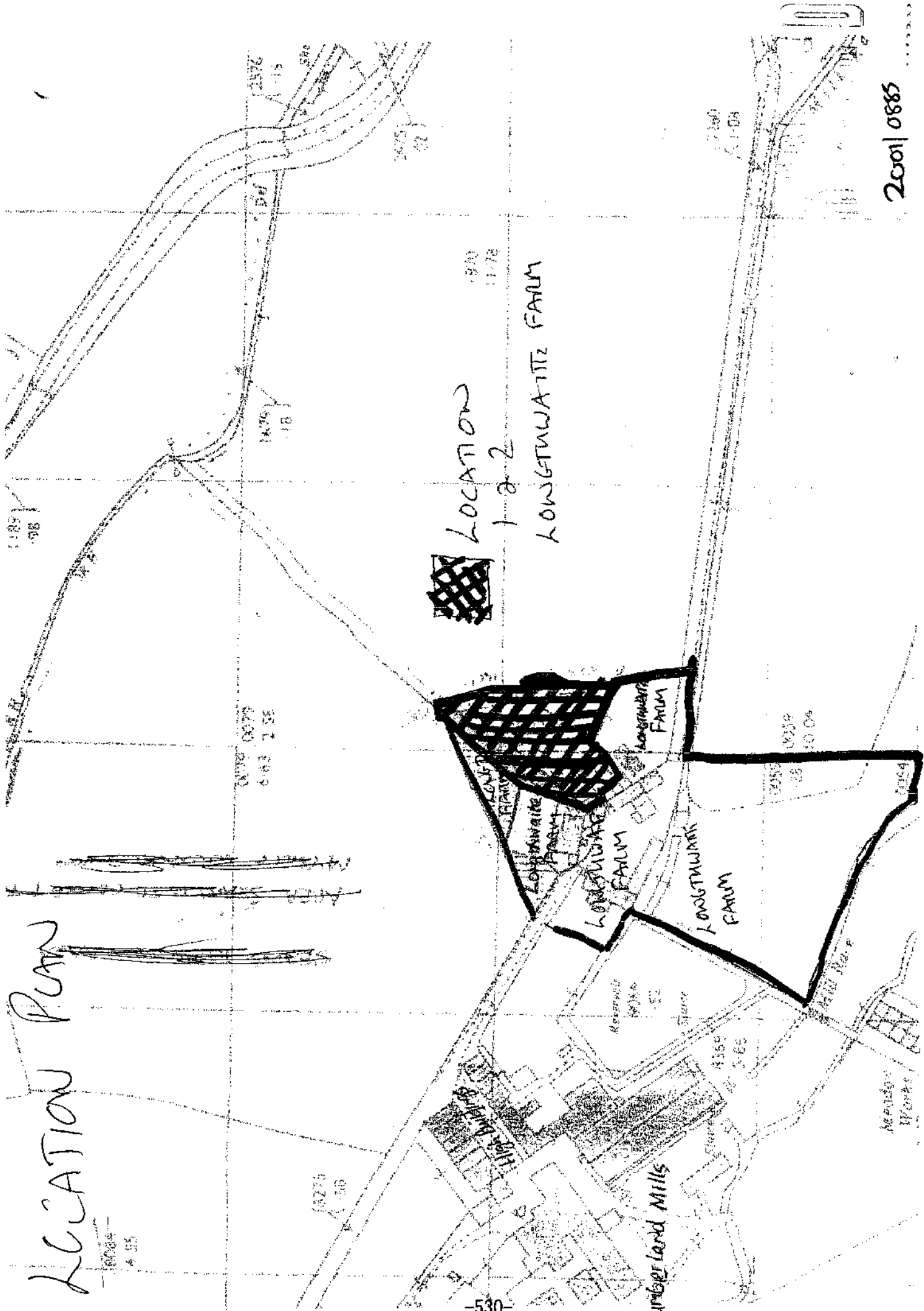
The applicants rights are respected, however, the proposal is considered contrary to the objectives of policies E8 and EM10 of the Local Plan.

### RECOMMENDATION: -

REFUSE ✓

1. REASON: Longthwaite Farm consists of an isolated group buildings associated with the open countryside. In such a sensitive location the proposed vehicle hire depot/storage of vehicles would be detrimental to the visual amenities character of the area contrary to the objectives of Policies E8 and EM10 of the Carlisle District Local Plan.

LOCATION PLAN



LOCATION  
1 & 2  
LONGTWAITE FARM

LONGTWAITE FARM  
LONGTWAITE FARM  
LONGTWAITE FARM  
LONGTWAITE FARM

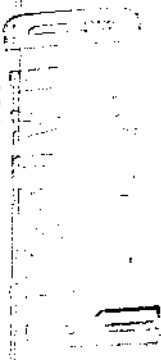
Cumberland Mills

2001/08/25

EXISTING SITE / PROPOSED SITE AS IS EXISTING



0 5 10 15 20 75 m  
SCALE 1:500



2001/0885

## SCHEDULE A: Applications with Recommendation

ITEM NO. 27

Date of Committee: 14/12/2001

APPN REF NO: 01/0887 /                      APPLICANT: Ms P L Hurst                      PARISH: Farlam

DATE OF RECEIPT: 02/10/2001                      AGENT: H2R Design                      WARD: Irthing

LOCATION: Sunny Barns, Farlam Farm, Farlam, Brampton Cumbria                      GRID REF: 355535 558790

PROPOSAL: Conversion of part of barn into study, amendment of rear boundary of barn "A", minor alterations to window configuration and provision of oil storage tank (retrospective application)

*John*

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### REPORT

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objection.

FARLAM PARISH COUNCIL: Comments awaited.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. One letter of objection has been received. This letter argues that the proposals for the courtyard (including barns B and C) need to be considered as a whole, and that approval of the current application, would prejudice the achievement of satisfactory parking and access for barns B and C.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

Planning permission (application 99/0381) was granted in July 1997 for the conversion of the barn complex to form three dwellings, with the erection of a new garage, in addition to the existing farmhouse.

In July this year, application 01/0623 for a new vehicular access for barn B from the Talkin road, was submitted, but was subsequently withdrawn.

##### DETAILS OF PROPOSAL

This application relates to barn A of the complex of converted barns at Farlam farm. It will be noted that in 1999, an application was approved for the conversion of the barns to form 3 dwelling, plus the erection of a garage. In addition to the barns, there is also an existing farmhouse.

The conversion of one of the barns (barn A) has proceeded, but the permission granted has not been observed in a number of respects. This revised application is the result. The



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0887 /

principal differences between the current proposal and that previously approved are as follows:

1. The 1999 approval included a double garage within a range of single storey outhouses on the roadside, plus two single garages in a further extended area. These garages which were to have provided garaging for the farmhouse (double garage) and barn B and C, have not been provided. Instead, an enlarged utility room and study for barn A have been provided, with a new window in the gable, and pedestrian access from the road.
2. In place of the open courtyard in front of the buildings, the area in front of barn A is separated from the remainder by a low timber fence and hedging. This reflects the amended property boundaries, and prevents access to the area referred to in 1 above from the courtyard.
3. The window details have been amended so that there is an additional window on the gable elevation, plus two windows repositioned on the courtyard elevations.
4. An oil storage tank has been sited in the corner of the rear yard, next to the garage.

The net result of this proposal, in terms of access and parking, is that there is a new detached garage for barn A in the rear yard, with the new access as previously approved. Access to the farmhouse and barns B and C remain via the original access at the road junction. The two garages in the original scheme are no longer available, but there is sufficient space within the courtyard area to provide the six parking spaces required. It should be noted however that neither the re-arrangement of courtyard parking nor a new vehicular access for barn B as proposed by application 01/0623, form part of the current application.

In terms of the merits of the current application, Members should consider whether the alterations from the approved proposal are acceptable, when assessed against the criteria of Policy H12. Officers consider that the window and other minor alterations are acceptable, and that the most significant changes are those to the access. In this regard, the original movements are regarded as preferable, but the revisions in respect of barn A are acceptable, and the new boundary fence although sub-dividing the courtyard, is not obtrusive. There is also the potential to resolve the parking provision for the farmhouse and barns B and C within the remaining area of the courtyard.

It will be noted a number of representations have been received regarding the application. These draw attention to the additional access which was the subject of application 01/0623. This was on the drawing for the current application, but has now been deleted, thereby removing any indication that the new access might have been part of the current application.

## SCHEDULE A: Applications with Recommendation

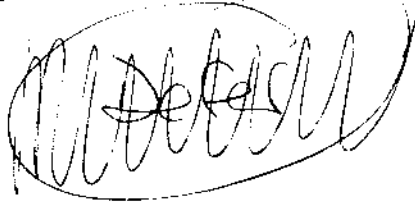
Schedule continued for 01/0887 /

The proposal is therefore considered acceptable, and approval is recommended.

### RECOMMENDATION:-

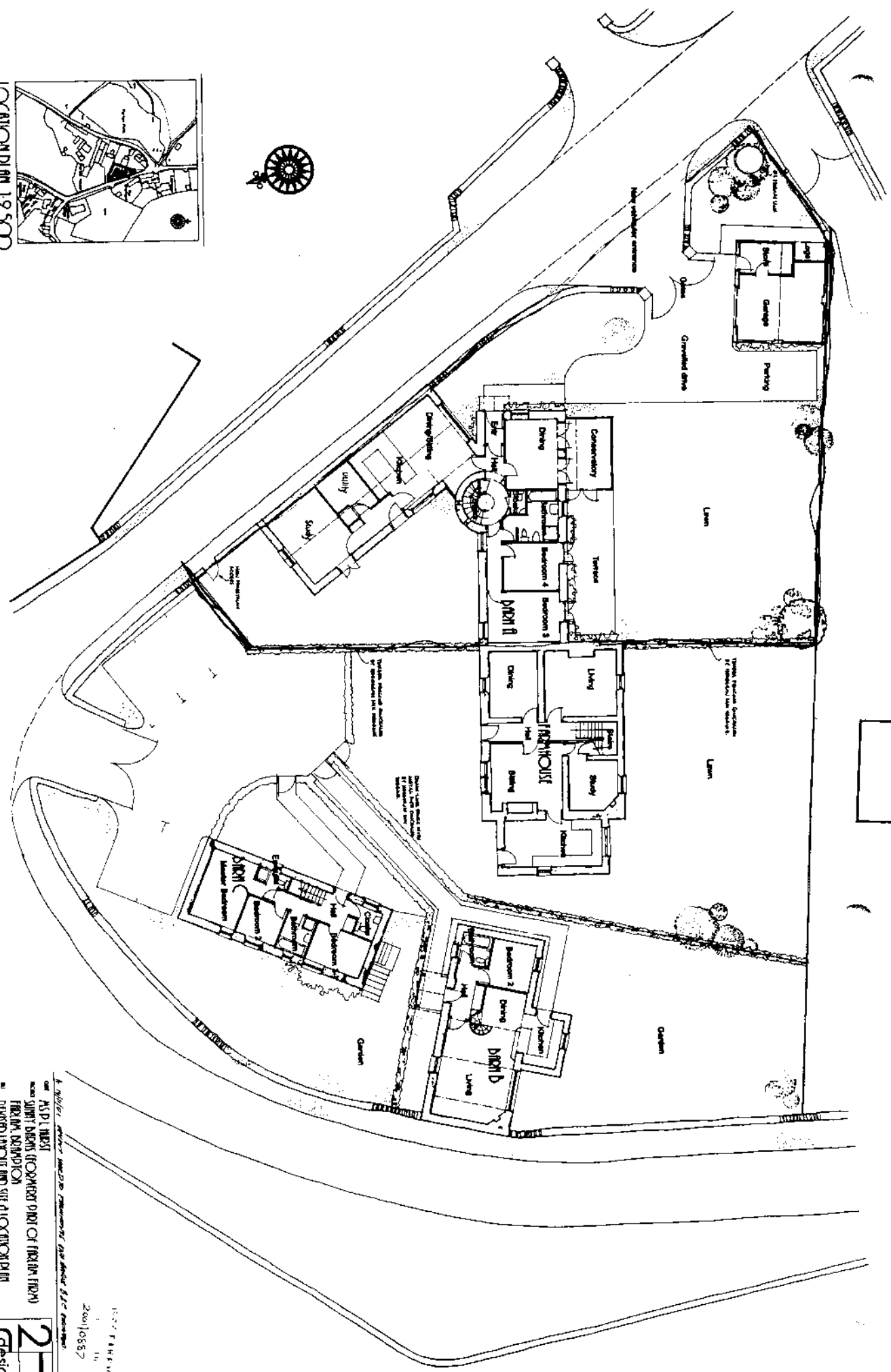
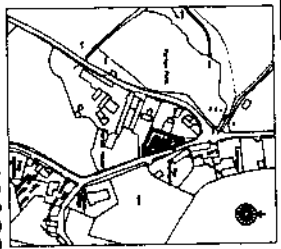
APPROVE WITH CONDITIONS ✓

1. Standard time limit
2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the dwelling unit to be formed in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the local planning authority.
3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking or re-enacting that Order), no building, garage, shed or other structure be erected within the curtilage of the dwelling hereby permitted without the prior permission of the local planning authority and the approval by them of the design, siting and external appearance of such structure.



Supp Schedule -  
PS3-57

LOCATION PLAN 1:2500

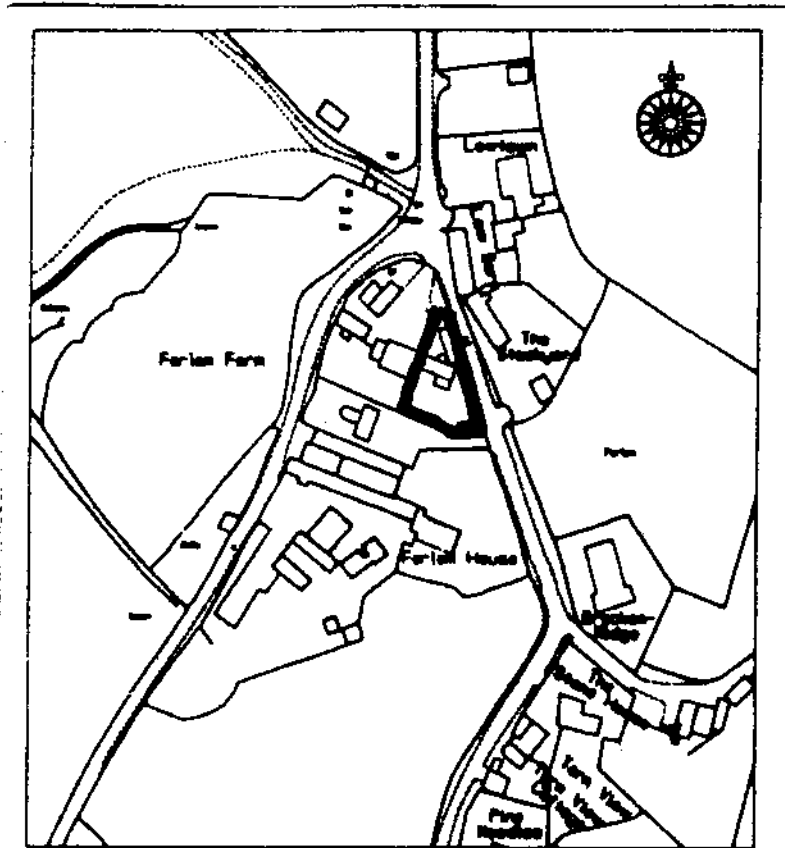
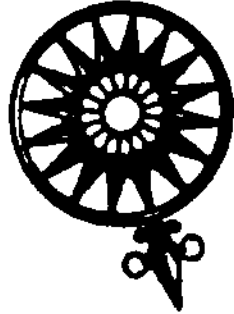


AS P L INEST  
 NAME SUITE BROWN (FOOD COURT PART OF FRIELAN FIRM)  
 FRIELAN DESIGNION  
 DEVED LINDOUT FND SITE d LOCKMOR PLAN

1:2500:01 1:1,000 1:500 1:200 1:100 1:50 1:25 1:10 1:5 1:2 1:1

27 design





LOCATION PLAN 1:2500

**CARLISLE  
CITY COUNCIL**



From Councillor:  
**Ray Knapton**  
Gillfoot  
Walton  
Brampton  
Cumbria  
Telephone: 016977 2679

City Councillor for:  
Irthing Ward

17<sup>th</sup> Oct. 2001.

Dear Milce,

I wish planning application  
ref. 01/0887 be placed before the Planning  
Committee & not be dealt with under  
delegated powers.

Yours sincerely,

Ray Knapton.

PLANNING SERVICES	
REF	01/0887
22 OCT 2001	
RECORDED	MH.
BOARDED	
PASSED TO	ADH
ACTED	

⑥

<b>ACKNOWLEDGED</b>
22 OCT 2001

DEPT. ENV & DEV.	
CENTRAL UNIT	
FILE	
18 OCT 2001	
PASSED TO	Alan Taylor
ANSD	

Linford House  
Farlam  
Nr. Brampton  
Cumbria  
CA8 1LA

4<sup>th</sup> December 2001

Dear Mr. Hamer,

**Objection to Planning Application 01/0887**

I am writing to object to this application which deals in part with permission for retention of buildings or continuation of use for which planning permission has not been granted.

I would refer you to my previous letter of objection dated 22/10/01 in response to an earlier application for retrospective planning permission for Barn A at Farlam Farm, Farlam which sets out my grounds for objection.

In summary I am concerned about the knock-on effect that retrospective planning approval would have on the rest of the courtyard at Farlam Farm in terms of access and parking for the Farmhouse and Barns B and C.

It is my view that Barns A, B and C along with the Farmhouse form represent a coherent whole for development purposes. This view was taken by the Planning and Land Use Sub Committee when it granted permission for a courtyard development with shared access and sufficient parking for all. Granting Barn A retrospective planning approval in isolation from resolution and approval of shared parking and access arrangements for the remainder of the courtyard development would leave the Sub Committee and residents of the courtyard few practical options to satisfactorily provide adequate parking and turning space for Barns B and C and the Farmhouse.

I took the opportunity to discuss the application with the Case Officer, Mr. Hamer. He tells me that he has arranged a meeting with the courtyard residents on 7<sup>th</sup> December 2001 to discuss a possible solution which would allow Barn A to receive retrospective planning permission as it is now and provide suitable access and parking arrangements for the Farmhouse and Barns B and C. This arrangement for 5 cars is shown on the agents drawing although it is not part of the application. Final resolution would require an additional space to be found within the courtyard necessitating removal of internal and artificial boundaries within the courtyard and a return as far as is practical to the original planning approval for a courtyard development.

This solution would have my support. It seems a common sense and practical way forward which seeks to resolve a number of problems stemming from construction on site that does not comply with existing permission and the way that the courtyard has been parcelled up and sub divided amongst the parties without regard to the existing planning permission. It may be that solicitors will need to redraw the boundaries to recognise the communal elements of the courtyard but this is not a land-use matter of concern.

I would therefore prefer approval for Barn A to be deferred until a revised application can be submitted detailing suitable access and parking arrangements for the whole development which closely matches the Case Officer's proposals to the respective parties for 6 parking spaces within the courtyard, the removal of internal fencing and a return to the original entrance.

In conclusion, until a satisfactory solution for the whole courtyard is before the Sub  
Committee I would wish my objection to stand.

Yours sincerely

A handwritten signature in black ink that reads "Alex McKenzie". The signature is written in a cursive style with a large initial 'A'.

Alex McKenzie

Copies:

Councillor Ray Knapton  
Mr. J. Simpson, Chairman, Farlam parish Council



## SCHEDULE A: Applications with Recommendation

ITEM NO. 28

Date of Committee: 14/12/20

APPN REF NO:  
01/0907 /

APPLICANT:  
Wm Armstrong (Longtown) Ltd

PARISH:  
Kirkandrews

DATE OF RECEIPT:  
03/10/2001

AGENT:  
Tsada Building Design Services

WARD:  
Longtown & Rockcl

LOCATION:  
Wm Armstrong Ltd., Townfoot, Longtown Carlisle

GRID REF:  
337670 568940

PROPOSAL: Extension to wagon park, security fences and wagon wash. *John*

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### REPORT

#### PLANNING POLICIES:-

##### EXPLOSIVES SAFEGUARDING AREA

The proposal relates to land or premises situated within or adjacent to an Explosives Safeguarding Area.

##### WASTE DISPOSAL SITE

The proposal site is within or adjacent to a Waste Disposal Site.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E5

Within Areas of Local Landscape Significance, permission will not be given for development which adversely affects the open character of the areas. Development of open space recreational uses such as golf courses and playing fields which retain the essential open nature will be acceptable. In addition, small scale development within or adjacent to established farmsteads and other groups of buildings, together with buildings associated with and required for the use of the area for open recreational areas will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the amenity of neighbouring property; and
3. there is no unacceptable adverse effect on the character and appearance of the surrounding area; and
4. where appropriate satisfactory access and car parking can be achieved.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E6

Within Areas of Landscape Improvement, the City Council will encourage landscape improvement schemes. Permission will not be given for development which adversely affects the open character of the areas. Development of open space recreational uses such as golf courses and playing fields which retain their essential open nature will be

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0907 /

acceptable. In addition small scale development within or adjacent to established farmsteads and other groups of buildings, together with buildings associated with and required for the use of the area for open recreational uses will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the amenity of neighbouring property; and
3. there is no unacceptable adverse effect on the character and appearance of the surrounding area; and
4. where appropriate satisfactory access and car parking can be achieved.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E20

Development which would result in the raising of the floor of the floodplain, or which would have an adverse impact on the water environment due to additional surface water run off, or adversely affect river defences will not be permitted unless appropriate alleviation or mitigation measures are included. This applies to the floodplains of the River Eden, Caldew, Petteril, Esk, Irthing and Lyne and their tributaries which are all subject to periodic flooding.

CARLISLE DISTRICT PLAN  
EMPLOYMENT - POLICY EM10

Within the remainder of the Plan area permission will not be granted for industrial, warehousing and commercial development. However, small scale development within existing settlements, the curtilage of existing employment premises, or groups of farm buildings, or moderate extensions to existing premises will be acceptable provided:

1. there is no unacceptable adverse impact on the local landscape; and
2. there is no unacceptable adverse effect on nature conservation interests; and
3. adequate access and appropriate parking provision can be achieved; and
4. there is no unacceptable adverse affect on the amenity of any adjacent properties.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: Comments awaited.

KIRKANDREWS PARISH COUNCIL: The application is supported.

ARTHURET PARISH COUNCIL: Comments awaited.

ENVIRONMENT AGENCY: No objection, subject to drainage

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0907 /

conditions. The site is on a flood risk area, and the application should carry out a flood risk assessment.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice. No representations have been received.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In March 1999, planning permission was granted for an extension to the site for lairage and paddock.

#### DETAILS OF PROPOSAL

Permission is sought for the extension to the existing Armstrong's haulage yard at Townfoot, Longtown. The premises are situated on the north bank of the River Esk, west of the A7 and comprise of a range of office/vehicle maintenance buildings with a car park on the road frontage. The proposal is to create an extended heavy goods vehicle parking area to the rear of the existing developed site on land which is currently a paddock. The area involved is 46 metres x 95 metres, and is located along the boundary bordering the River Esk. The area would provide parking for 40 trailer/tractor units together with a wagon wash unit. Screening would be provided by a 5 metre wide planting screen along the northern and eastern boundaries of the site, together with a new hedge along the western boundary which borders a public right of way.

The application raises a number of issues. Firstly, in the Longtown Inset of the Carlisle District Local Plan, the existing haulage depot is allocated as an employment area, the area to the north, including the application site is both an area of landscape significance and an area of landscape improvement. These allocations recognise both the importance of the river to the setting and character of Longtown and the need to improve the landscape of the river corridor. Policy E5 of the Local Plan aims to retain the open character of the area, and presumes against development which would have an adverse impact on this. This proposal would obviously be a commercial use beyond the existing site, and there is therefore to some extent at least a conflict with Policy E5. An effort has been made to minimise the visual impact of the proposal, but there is no doubt that, at least in the first instance, before the landscaping matures, that the site will be visible, especially from across the river in the region of The Scaur. It should be recognised however that this view includes a large mobile phone mast which lies beyond the application site.

The weight to be given to Policy E5 in determining the application must be balanced against the employment aspect of the proposal. The proposal represents an expansion of the applicant's business and the submitted details indicate that 12 new jobs would be created. It is also apparent that there is

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0907 /

no alternative location for a vehicle parking area of this size, and that if the application were to be refused, the business would not be able to expand, at least not as proposed.

In considering this issue, Officers consider that a distinction should be made between the expansion of an existing business, leading to a significant number of new jobs and a situation where a new development is proposed within an area subject to Policy E5. On balance therefore, it is considered that the proposal can be justified on the basis of Local Plan policies.

A further consideration is that the whole site lies within a recognised floodplain area, subject to Policy E20. The proposal will not however have a significant affect on the storage capacity of the floodplain because levels are not being raised. The applicants recognise that flooding may occur, and that this is not seen as a material advantage of the proposal.

The application is therefore recommended for approval.

### RECOMMENDATION:-

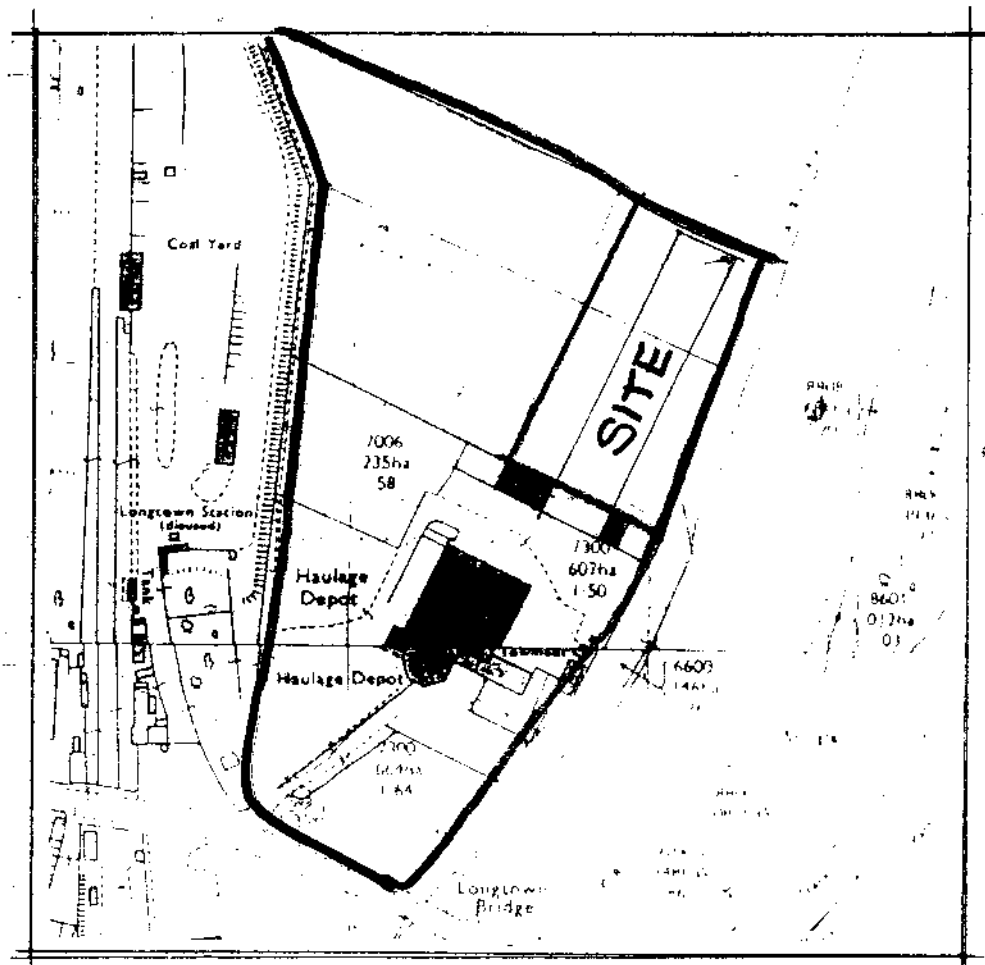
#### APPROVE WITH CONDITIONS

1. Standard time limit
2. The development shall be screened particularly along the northern, eastern and western boundaries of the site, in accordance with a detailed planting scheme, based on the approved drawing. The submitted scheme shall include details of the proposed type and species of all planted material including particulars of the proposed planting height and planting densities.
3. Scheme to be implemented and maintained
4. Prior to being discharged into any watercourse, surface water sewer or soakaway system, all surface water drainage from hardstanding areas shall be passed through an oil interceptor designed and constructed to have a capacity and details compatible with, the site being drained. Roofwater shall not pass through the interceptor.
5. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved by the local planning authority. The scheme shall then be completed in accordance with the approval plans.
6. There shall be no interference with the public's right of way over Public Footpath No 122001.

*Deferred - see officer's  
A + I - see officer's  
to resolve.*

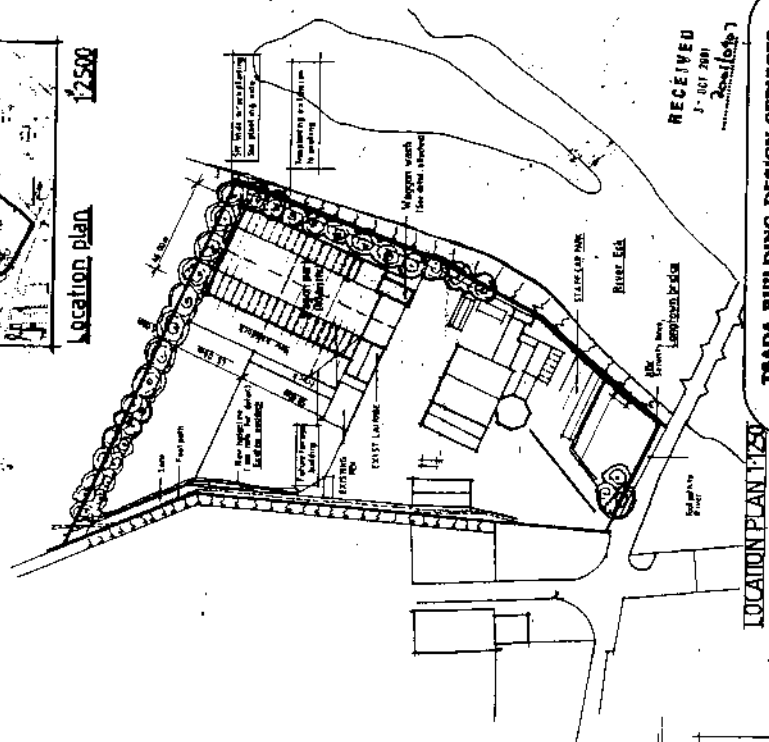
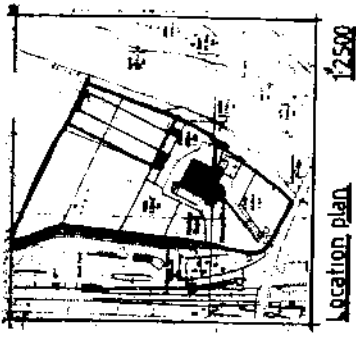
*Deferred,  
Highways Agency - need TIA-type study*

*See Page 58*



Location plan.

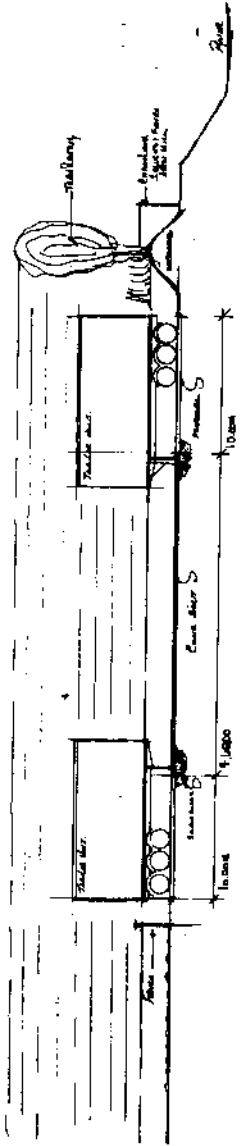
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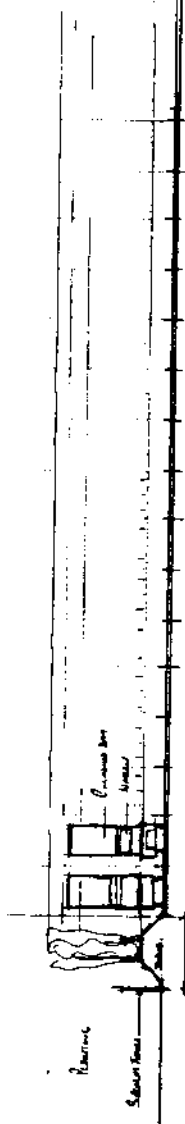
RECEIVED  
3-10-01 2001  
2001/03/10

**TSADA BUILDING DESIGN SERVICES**  
 Trade Centre, Longtown, Co. Wick, Co. Wick, Co. Wick  
 Telephone: 01226 791877  
 Fax: 01226 791878

Job title  
**Proposed Extension Wagon park  
 Security fence & Wagon Wash  
 at Townfoot**



Cross Section 1/2000



Long. Section 1/2000

**NOTES**  
 1. All dimensions are in millimetres unless otherwise stated.  
 2. All dimensions are to the centre line of the fence unless otherwise stated.  
 3. All dimensions are to the face of the concrete unless otherwise stated.  
 4. All dimensions are to the face of the brickwork unless otherwise stated.  
 5. All dimensions are to the face of the masonry unless otherwise stated.  
 6. All dimensions are to the face of the steelwork unless otherwise stated.  
 7. All dimensions are to the face of the timber unless otherwise stated.  
 8. All dimensions are to the face of the plaster unless otherwise stated.  
 9. All dimensions are to the face of the paint unless otherwise stated.  
 10. All dimensions are to the face of the finish unless otherwise stated.

Drawing by <b>W.R. Faulder</b>	Client <b>Wm. Armstrong (Longtown) Townfoot</b>	Drawn by <b>Wm. Armstrong (Longtown) Townfoot</b>	Date <b>2/10/2001</b>
Amendments	Client <b>Wm. Armstrong (Longtown) Townfoot</b>	Drawn by <b>Wm. Armstrong (Longtown) Townfoot</b>	Date <b>2/10/2001</b>
	Client <b>Wm. Armstrong (Longtown) Townfoot</b>	Drawn by <b>Wm. Armstrong (Longtown) Townfoot</b>	Date <b>2/10/2001</b>
	Client <b>Wm. Armstrong (Longtown) Townfoot</b>	Drawn by <b>Wm. Armstrong (Longtown) Townfoot</b>	Date <b>2/10/2001</b>

## SCHEDULE A: Applications with Recommendation

ITEM NO. 29

Date of Committee: 14/12/2001

APPN REF NO: 01/0915 /  
APPLICANT: Alfred McAlpine Homes (Cumbria) Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 05/10/2001  
AGENT:  
WARD: Harraby

LOCATION: L/A Hillcrest Avenue, Carlisle Cumbria  
GRID REF: 341511 554552

PROPOSAL: Erection of 34no. mews apartments

*Angus*

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### REPORT

#### PLANNING POLICIES:-

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H2

Within the Primary Residential Areas defined on the Inset Maps for Carlisle, Brampton, Longtown and Dalston, proposals for new residential development will be acceptable provided that:

1. existing areas of open space and other amenity areas are safeguarded; and
2. the proposed development does not adversely affect the amenity of adjacent residential property; and
3. the proposed development complements or enhances existing adjacent residential areas and their amenity; and
4. satisfactory access and appropriate parking arrangements can be achieved.

Proposals for uses other than residential will not be permitted in Primary Residential Areas other than where they do not adversely affect residential amenity. Development that would create unacceptable noise, smell, safety and health impacts or excessive traffic generation will not be acceptable. Such schemes falling within the scope of this Policy will be considered against the above criteria as well as other Policies of the Plan appropriate for the proposed use.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H11

Proposals for housing development in large back gardens or behind existing housing developments will be acceptable providing that:

1. the scale, design and siting of the proposal is appropriate for the site and is in keeping with the character and quality of the local environment; and
2. there is no loss of amenity to surrounding properties; and
3. existing landscape features are retained, and additional planting is included as an integral part of the scheme; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

4. appropriate access and car parking can be achieved.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H16

High standards of design in new housing sites and dwellings will be required. Matters to be considered include: the layout of roads and buildings; footpaths and cycleways; the retention of existing trees and hedgerows; planning out crime; the provision of public open space; and the relationship to adjacent development.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E9

Landscaping schemes will be required for development permitted on the periphery of settlements in order to fully integrate the development with its settlement and the surrounding countryside.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E22

New development will only be permitted if foul sewers and sewage treatment works of adequate capacity and design are available or will be provided in time to serve the development. Within unsewered areas, development which requires the use of septic tanks or other waste water management systems will only be permitted if ground conditions are satisfactory and the plot of land is of sufficient size to provide an adequate subsoil drainage system.

### SUMMARY OF CONSULTATION RESPONSES:-

ENVIRONMENT AGENCY: No objection to the proposal providing it is subject to a condition concerning the disposal of foul and surface waters.

Further testing is required to assess the solubility of contaminants in the soil and thus determine the pollution potential the development will have on water resources. The tests should provide confidence to pore water analysis i.e. undertake leaching tests using preferred Agency methodology. The Agency has no knowledge of flooding in this vicinity. However, it is advised that the City Council's Engineers are consulted prior to the granting of planning consent.

HIGHWAYS AUTHORITY: No objections subject to the imposition of three conditions.

HEAD OF ENVIRONMENTAL SERVICES: No objections to the above proposal, however, the developer should ensure that during excavations, if any contaminant "hot spots" are noted, then that Environmental Services or Planning Services are notified.

HEAD OF DESIGN (DRAINAGE): Although the application form states that both foul and surface water drainage is to discharge to public sewers it is unclear from the drawings where exactly this connection is to take place.



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

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However if the developer intends to connect to the existing public sewer in Hillcrest Avenue then the following restrictions will apply. There is sufficient capacity in this sewer to accept foul flows and roofwater runoff from the development. It will not be acceptable to discharge adoptable highway/footway drainage to this sewer and that will need to be disposed of by other means.

### SUMMARY OF REPRESENTATIONS:-

Publicity for this application has been in the form of a site notice and the direct neighbour notification of the occupiers of 28 properties. In response two letters of objection have been received on the basis that: to erect the mews apartments with 4 storeys in a residential area of 2 storey houses is unacceptable; draw attention to paragraphs 4.2 and 4.3 of the Development Brief; surely 4 storey high apartments will overlook existing houses; extra traffic created by this development will be unacceptable and cause problems to the existing residents on Hillcrest Avenue; unsure where the children would play; the size and proximity of the proposed buildings; noise from the development when being built and when finished; query whether security will be adversely affected; and, query the tenure of the apartments.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The site has an extensive planning history when considered as part of the former BT premises. In more recent times planning permission was given in 1994, under application reference number 94/0036, to use the land for the storage of machinery and equipment in connection with a civil engineering contractor.

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In 1998 and 1999, application reference numbers 98/0651, 98/0908 and 99/0019, permission was granted for two buildings lying to the immediate north of the current application site to be used as a driving test centre and as offices respectively.

In 1999, application number 99/0205, outline permission was given for residential development.

#### DETAILS OF PROPOSAL

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

This application relates to 0.35ha of land located to the immediate north and west of 1-41 Hillcrest Avenue. The site was previously used for the storage of vehicles, machinery and equipment associated with Malcolm Wright Ltd, a civil engineering contractor. To the immediate north of the site there are allotments whilst to the west is an office occupied by the applicants. There is a mixture of mature deciduous hedging with hedge trees and timber-fencing along the boundary of the site with the houses at Hillcrest Avenue. Overall the site slopes down from east to west and is in an elevated position with extensive views particularly of London Road.

The current application seeks full permission to erect 34 mews apartments in a series of six linked blocks. The accommodation is on two, three or four floors and externally finished with brick and rendered walls, and, tiled roofs. The submitted layout plan shows a total of 34 parking spaces, a landscaped buffer around the perimeter, and, the erection of a 1.8 metre high boundary fence - see attached copies of plans.

In considering this application it is felt that the following points should be kept in mind:

- a) Ministerial advice contained in PPG3 "Housing " (revised 2000) gives priority over greenfield housing development to the re-use of brownfield land. A need to create sustainable housing developments is emphasised, and ways of building are advised which would create "more sustainable patterns of development ... which exploit and deliver accessibility by public transport to jobs, education and health facilities, shopping, leisure and local services". A national 2008 target of 60% of additional housing to be provided on brownfield land or by conversions, is introduced. In the context of general advice to make the best and most efficient use of land PPG3 states that more than half of all new dwellings are built at 20 dwelling per hectare which is a level of land take which is high and can no longer be sustained. In the future local authorities should "avoid developments which make inefficient use of land (those of less than 30 dwellings per hectare) and encourage housing which makes more efficient use of land (between 30 and 50 dwellings per hectare).

PPG3 advise on design is that "in determining applications, local authorities should reject poor designs particularly where their decisions are supported by clear plan policies and adopted supplementary planning guidance, including village design statements".

- b) Under the Carlisle District Local Plan the site is identified as being within a Primary Residential Area. Policies H2 and H11 set out to ensure amongst others things that new residential development will not adversely affect the amenity of adjacent residential

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

property, and, that it complements or enhances existing adjacent residential areas. Policy H16 also states that high standards of design in new housing sites and dwellings will be required.

- c) In 1999, the City Council also produced a Development Brief for the site in consultation with local residents. Paragraph 4.2 of the Brief states:

"The scale of the development should reflect that of the surrounding housing on Hillcrest Avenue. However, the slope of the site may offer opportunities to integrate different design solutions, provided the amenity and privacy of the surrounding properties is not prejudiced".

Paragraphs 4.3 and 4.4 go on to say that:

"Existing residential properties on Hillcrest Avenue bound the site to the immediate south and east. Care must be undertaken when designing any housing layout to ensure that the rear elevations and gardens of the existing housing are not directly overlooked. In particular, the rear gardens of 3, 33, 37, 39 and 41 Hillcrest Avenue are either relatively low rear hedges or fences compared with the other houses that adjoin the site. The privacy of these and the other existing properties should not be unreasonably adversely affected by any proposed housing layout, or by the positioning of primary (kitchen, living room) windows on any new housing" (paragraph 4.3).

"The City Council will require adequate distances between principal windows, and between windows and gable ends. These will usually be 21 metres and 12 metres respectively. These distances are the minimum required between existing and proposed housing and between the proposed housing on the site. Where existing housing adjoining the site has low rear boundary hedges/fences, then the distance between the existing housing and the elevations of the new housing may need to be greater than 21 metres. This is in order to ensure that there is no loss of amenity. There should also be adequate space around proposed new buildings to ensure that they can be properly maintained" (paragraph 4.4).

In relation to the issue of design the Brief also explains that:

"The most significant element when integrating new development into the landscape is likely to be the design and form of the buildings. The height, shape, mass and design of the houses and garages etc on the site should complement the character, topography and landscape/site, for example, by levelling or drastically altering the site gradient. The design

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

objective should be to harmonise and integrate the development with the landscape setting" (paragraph 6.2).

- d) The site is clearly classed as brownfield and a sustainable location with good public transport accessibility. The site also has a history of a previous outline permission for residential development. In addition, it is acknowledged that the applicants are anxious to build at the highest density acceptable to their potential customers. The extent and design of any associated amenity space is thus also largely a matter for the developers and customers.
- e) In light of the more recent advice contained in PPG3 there is an obvious need to up-date the policies contained in the Local Plan and the principles outlined in the Development Brief. Notwithstanding the guidance within PPG3 advocating higher densities this is clearly not meant to be at the expense of good design or making the living environment for neighbours, who reside in lower density housing, unacceptable.
- f) It is appreciated that there are commercial properties within the immediate vicinity and neighbouring the site. The majority of the proposal would, however, be viewed within the context of the existing two storey houses at Hillcrest Avenue. The design of the proposed scheme, however, looks dominant, bulky and out of scale with the neighbouring residential properties.
- g) When considering the issue of amenity, the most seriously affected properties are felt to be 37 and 39 Hillcrest Avenue. The submitted section and elevation plan shows the distance between the proposed apartments and the existing houses at 37/39 Hillcrest Avenue to be 21.8 metres. The submitted layout plan shows the distance to be 23.4 metres. In reality the distance between the buildings approaches the former rather than the latter. The major concern in this instance, and with reference to paragraphs 4.3 and 4.4 of the Development Brief, is the proximity and height of the apartments to the eastern boundary, and, the degree of overlooking which would be detrimental to the amenity of the neighbouring residents at 37 and 39 Hillcrest Avenue.

These observations have been made to the applicant's who have, nevertheless, asked for the proposal to be considered as submitted.

The applicants rights are respected, however, the proposal is considered contrary to the objectives of Policies H2 and H11 of the Local Plan.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

RECOMMENDATION:-

REFUSE

- DEFERRED AT APP'S REQUEST -*
1. REASON: The proposal relates to an elevated site primarily viewed within the context of two storey semi-detached houses. In such a location the proposed news apartments, which are at a density of 97 units per hectare, represent an overdevelopment of the site with the building not only looking bulky and out of scale but also, by reason of its height and disposition in relation to the eastern boundary, would have a harmful effect on the amenities enjoyed by the occupants of the adjoining residential properties contrary to the objectives of Policies H2 and H11 of the Carlisle District Local Plan.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 29

Date of Committee: 14/12/2001

APPN REF NO:  
01/0915 /

APPLICANT:  
Alfred McAlpine Homes (Cumbria) Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
05/10/2001

AGENT:

WARD:  
Harraby

LOCATION:  
L/A Hillcrest Avenue, Carlisle Cumbria

GRID REF:  
341511 554552

PROPOSAL: Erection of 34no. mews apartments

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H2

Within the Primary Residential Areas defined on the Inset Maps for Carlisle, Brampton, Longtown and Dalston, proposals for new residential development will be acceptable provided that:

1. existing areas of open space and other amenity areas are safeguarded; and
2. the proposed development does not adversely affect the amenity of adjacent residential property; and
3. the proposed development complements or enhances existing adjacent residential areas and their amenity; and
4. satisfactory access and appropriate parking arrangements can be achieved.

Proposals for uses other than residential will not be permitted in Primary Residential Areas other than where they do not adversely affect residential amenity. Development that would create unacceptable noise, smell, safety and health impacts or excessive traffic generation will not be acceptable. Such schemes falling within the scope of this Policy will be considered against the above criteria as well as other Policies of the Plan appropriate for the proposed use.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H11

Proposals for housing development in large back gardens or behind existing housing developments will be acceptable providing that:

1. the scale, design and siting of the proposal is appropriate for the site and is in keeping with the character and quality of the local environment; and
2. there is no loss of amenity to surrounding properties; and
3. existing landscape features are retained, and additional planting is included as an integral part of the scheme; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

4. appropriate access and car parking can be achieved.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H16

High standards of design in new housing sites and dwellings will be required. Matters to be considered include: the layout of roads and buildings; footpaths and cycleways; the retention of existing trees and hedgerows; planning out crime; the provision of public open space; and the relationship to adjacent development.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E9

Landscaping schemes will be required for development permitted on the periphery of settlements in order to fully integrate the development with its settlement and the surrounding countryside.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E22

New development will only be permitted if foul sewers and sewage treatment works of adequate capacity and design are available or will be provided in time to serve the development. Within unsewered areas, development which requires the use of septic tanks or other waste water management systems will only be permitted if ground conditions are satisfactory and the plot of land is of sufficient size to provide an adequate subsoil drainage system.

### SUMMARY OF CONSULTATION RESPONSES:-

ENVIRONMENT AGENCY: No objection to the proposal providing it is subject to a condition concerning the disposal of foul and surface waters.

Further testing is required to assess the solubility of contaminants in the soil and thus determine the pollution potential the development will have on water resources. The tests should provide confidence to pore water analysis i.e. undertake leaching tests using preferred Agency methodology. The Agency has no knowledge of flooding in this vicinity. However, it is advised that the City Council's Engineers are consulted prior to the granting of planning consent.

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## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

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## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

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## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

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## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0915 /

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## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/0915 /

### **RECOMMENDATION:-**

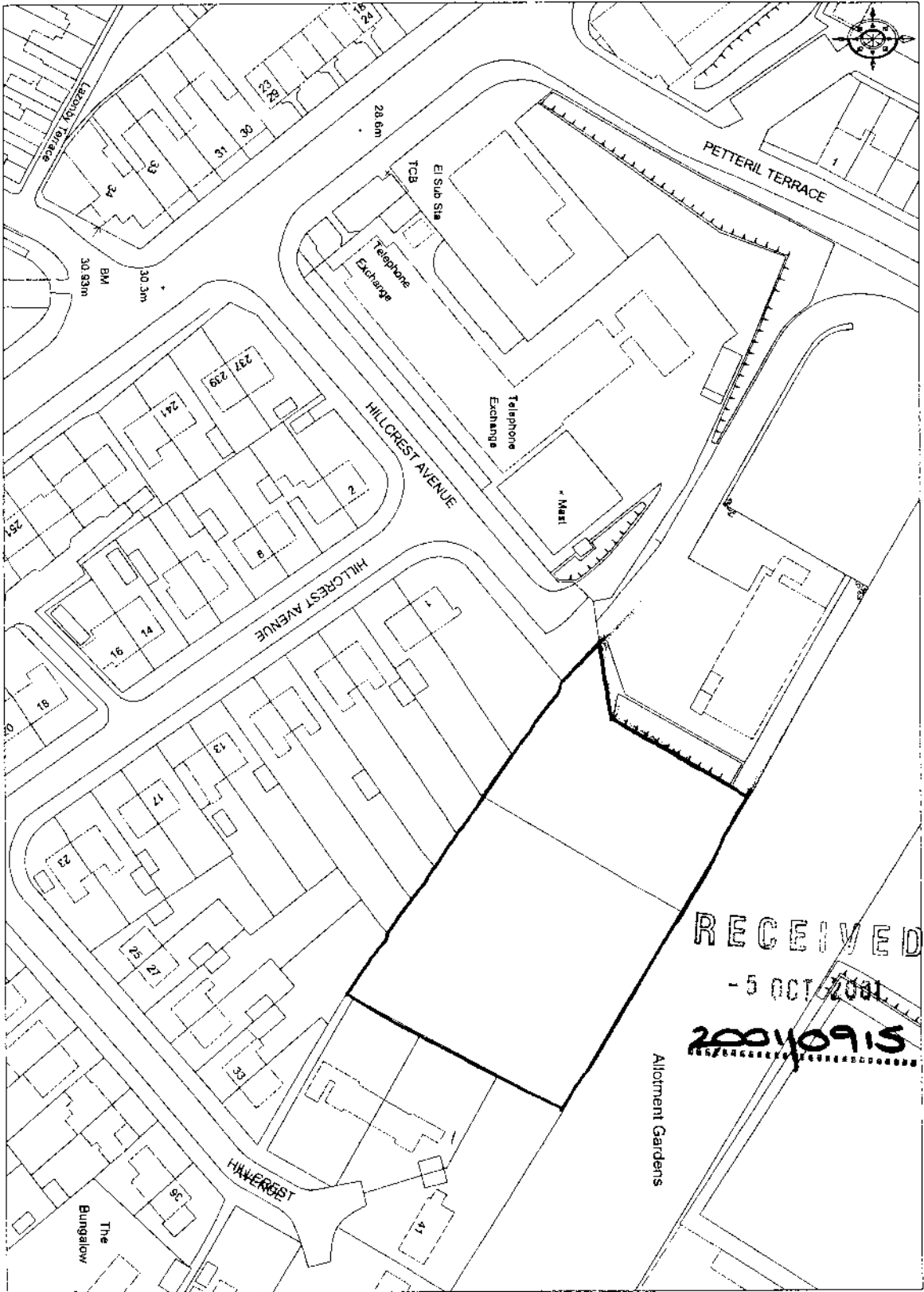
#### **REFUSE**

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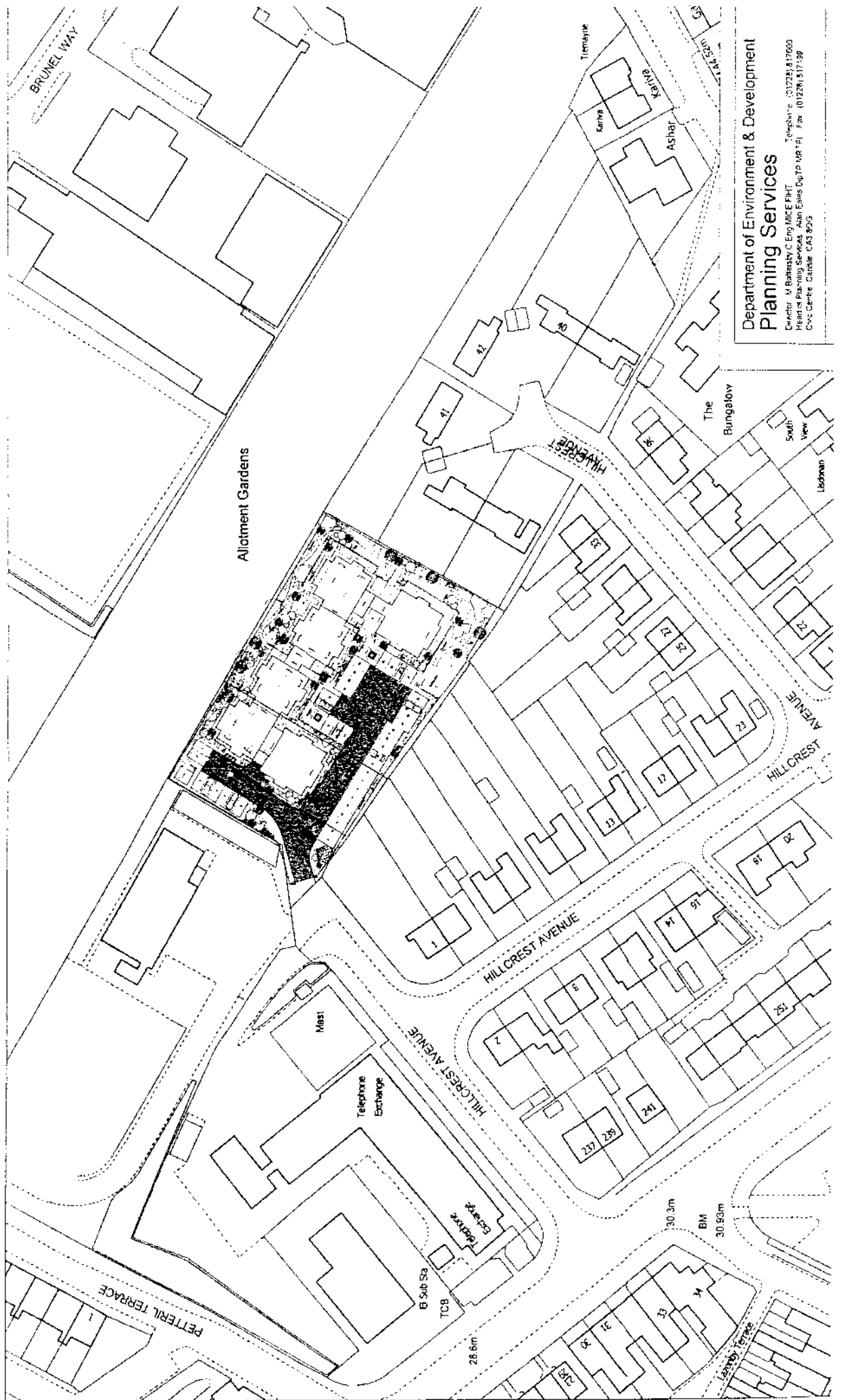


OS Ordnance Survey

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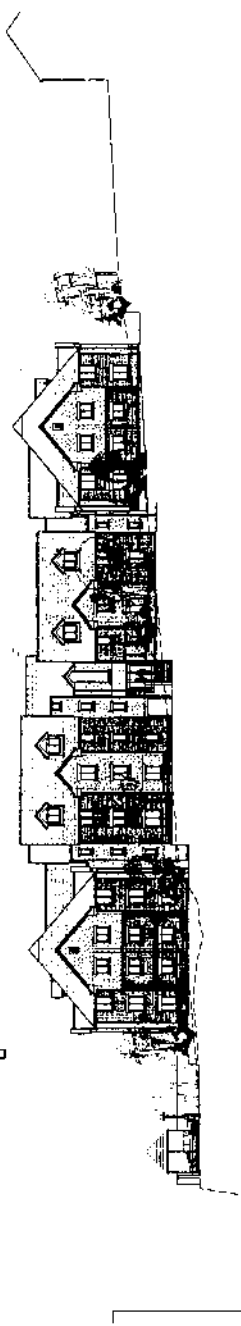


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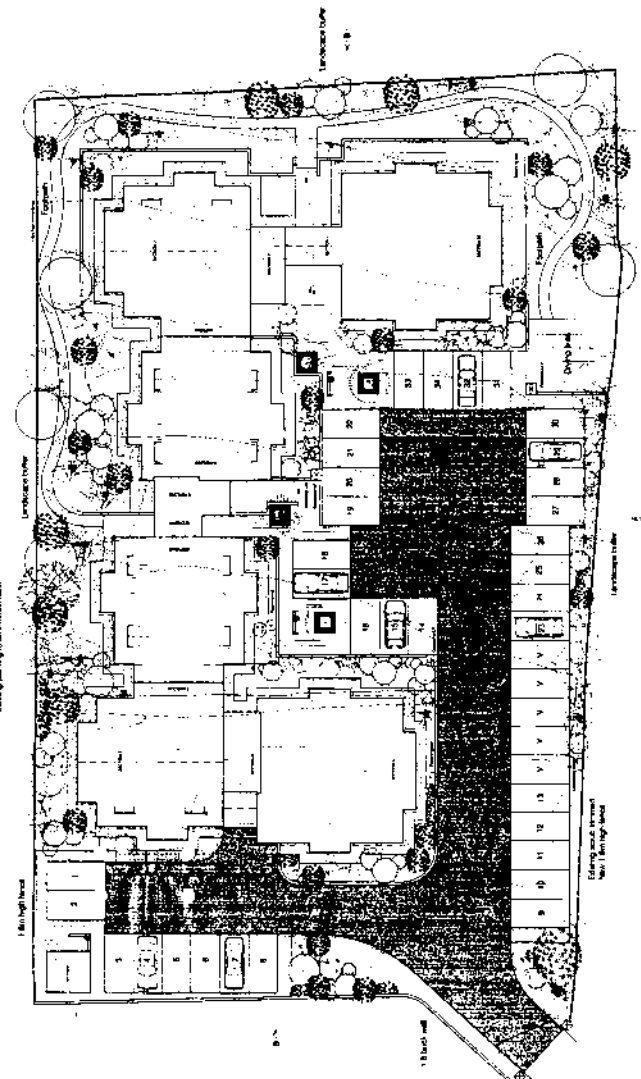


Department of Environment & Development  
**Planning Services**  
 Director: M. Babakshy C. Eng. MICE FIHT  
 Head of Planning Services: Alan Elias OUPD MR FI. Fax: (01226) 417198  
 Civic Centre, Castle, CA3 9UG

# hillcrest mews proposed site plan



SECTION & ELEVATION



SITE PLAN

THE INFORMATION CONTAINED HEREIN IS FOR THE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

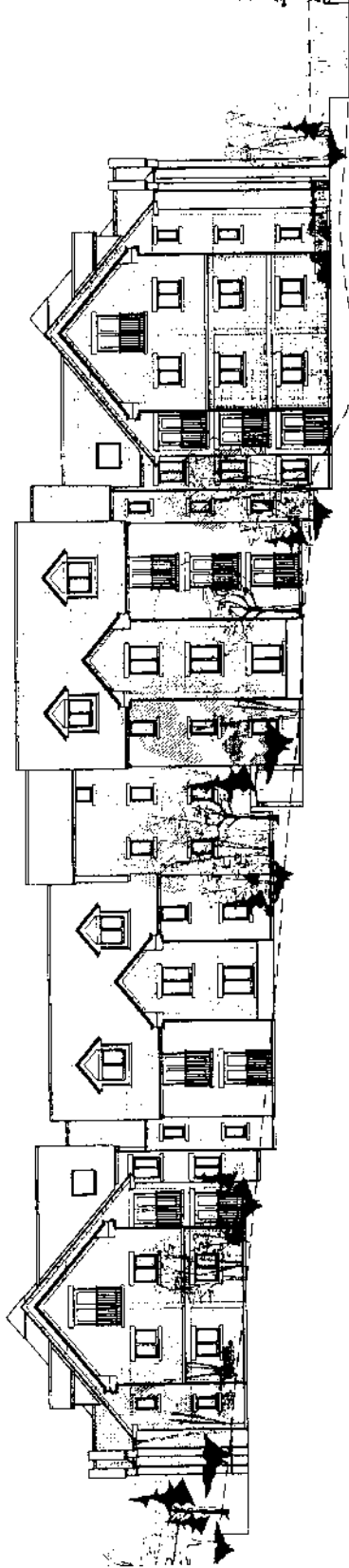
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 PROJECT: Hillcrest Mews Development  
 ADDRESS: Hillcrest Avenue, Carlisle  
 CLIENT: Hillcrest Mews Development Ltd  
 CONSULTANT: Hillcrest Mews Development Ltd  
 PROJECT NO: 10/20/2019

PROPOSED Mews Development  
 Hillcrest Avenue, Carlisle  
 Site Plan

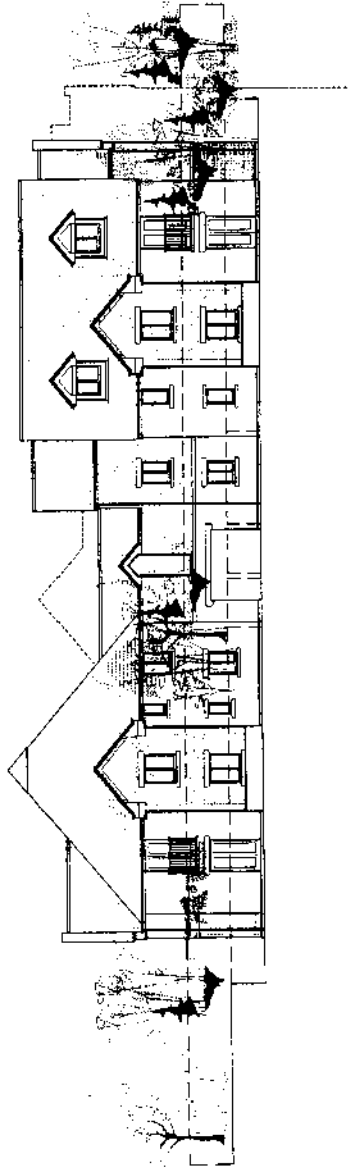
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10/20/2019	AM	1:100	99
10/20/2019	AM	1:100	100

# hillcrest mews



Elevation C



Elevation D

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Proposed Mews Development  
 Hillcrest Avenue, Caniste

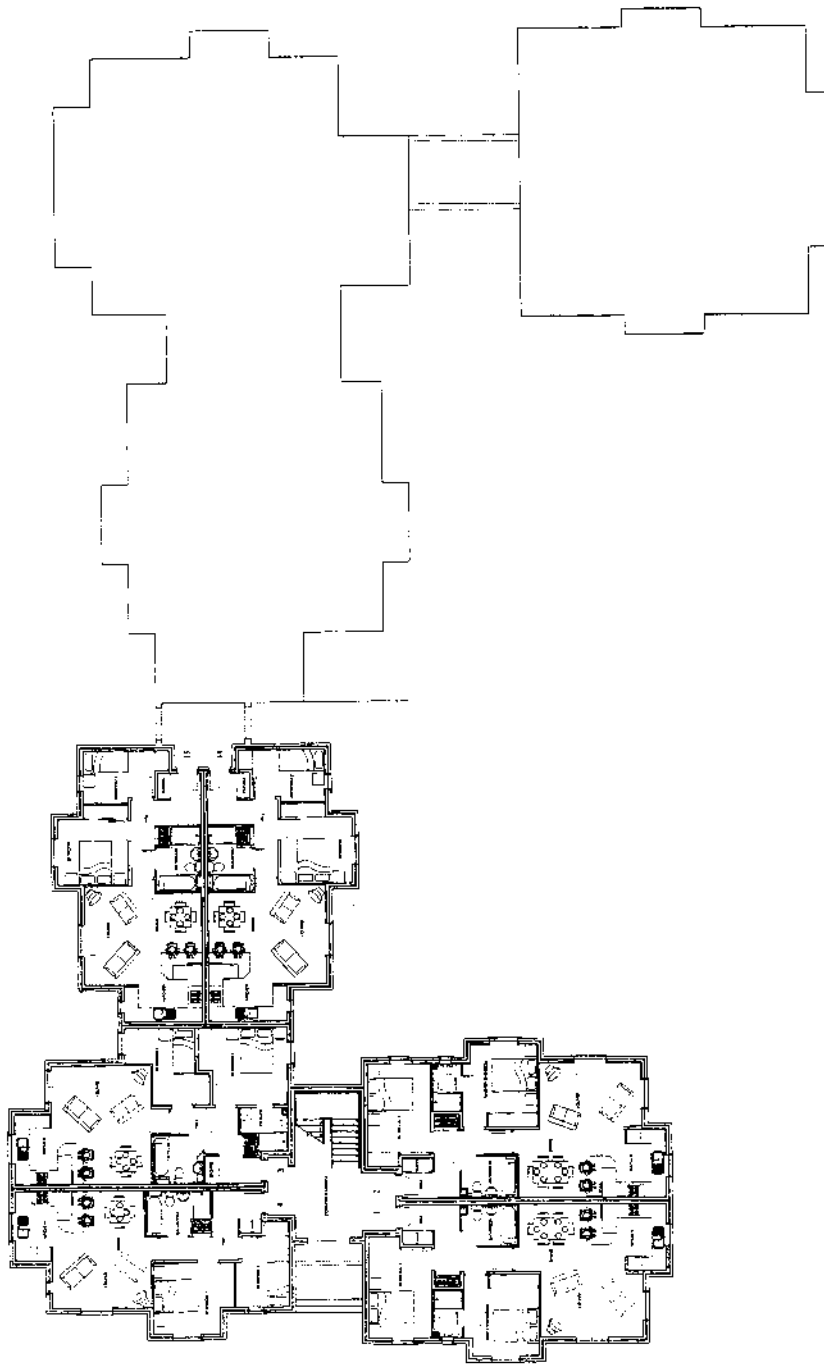
ELEVATIONS

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# hillcrest mews



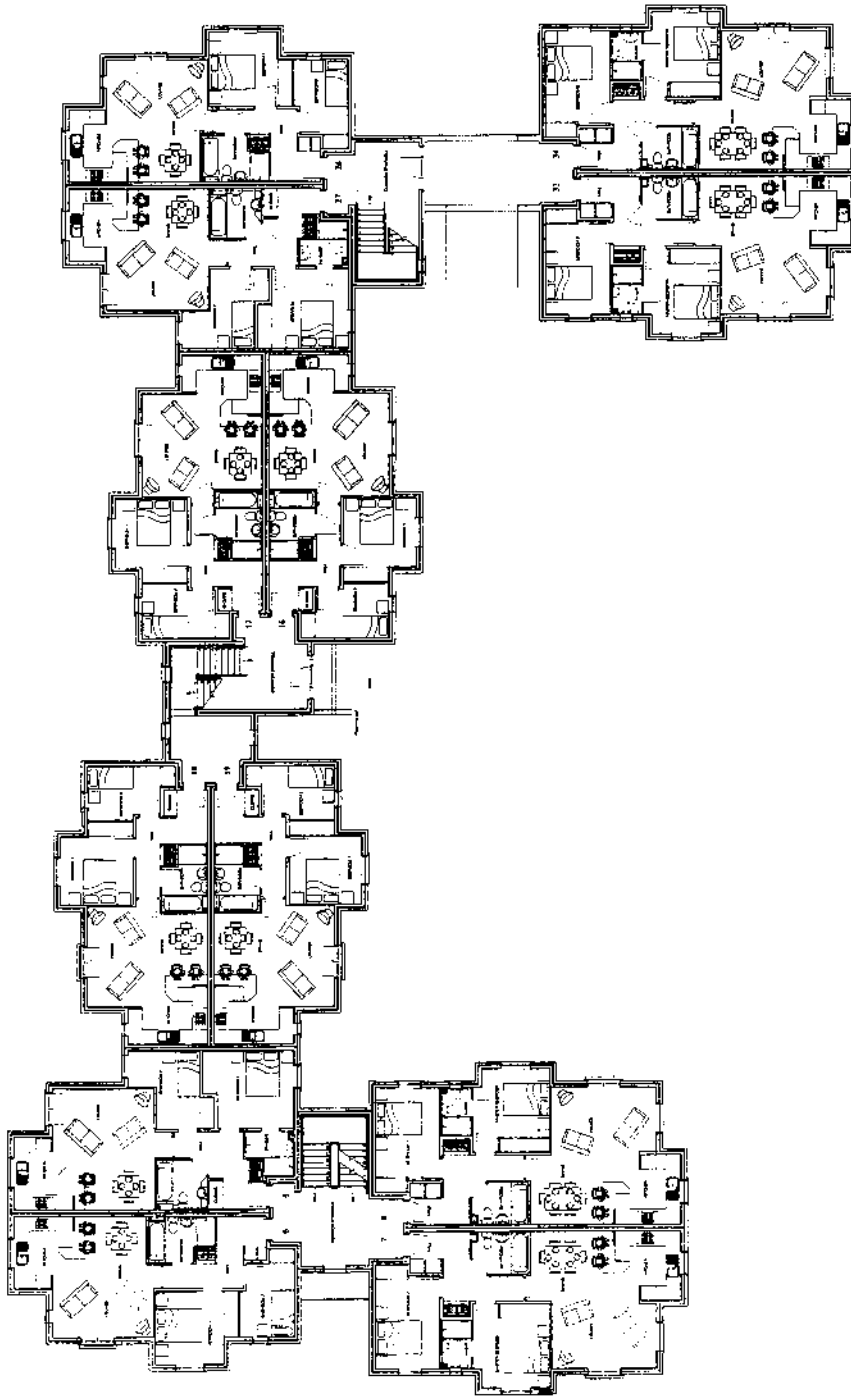
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Proposed Mews Development  
Hillcrest Avenue, Canlisle  
Lower Level

PLANNING DWG  
DRAWN BY: J. [unclear] DATE: 22/04/04  
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NO. OF SHEETS: 1  
NO. OF PAGES: 1  
REVISION: A

# hillcrest news



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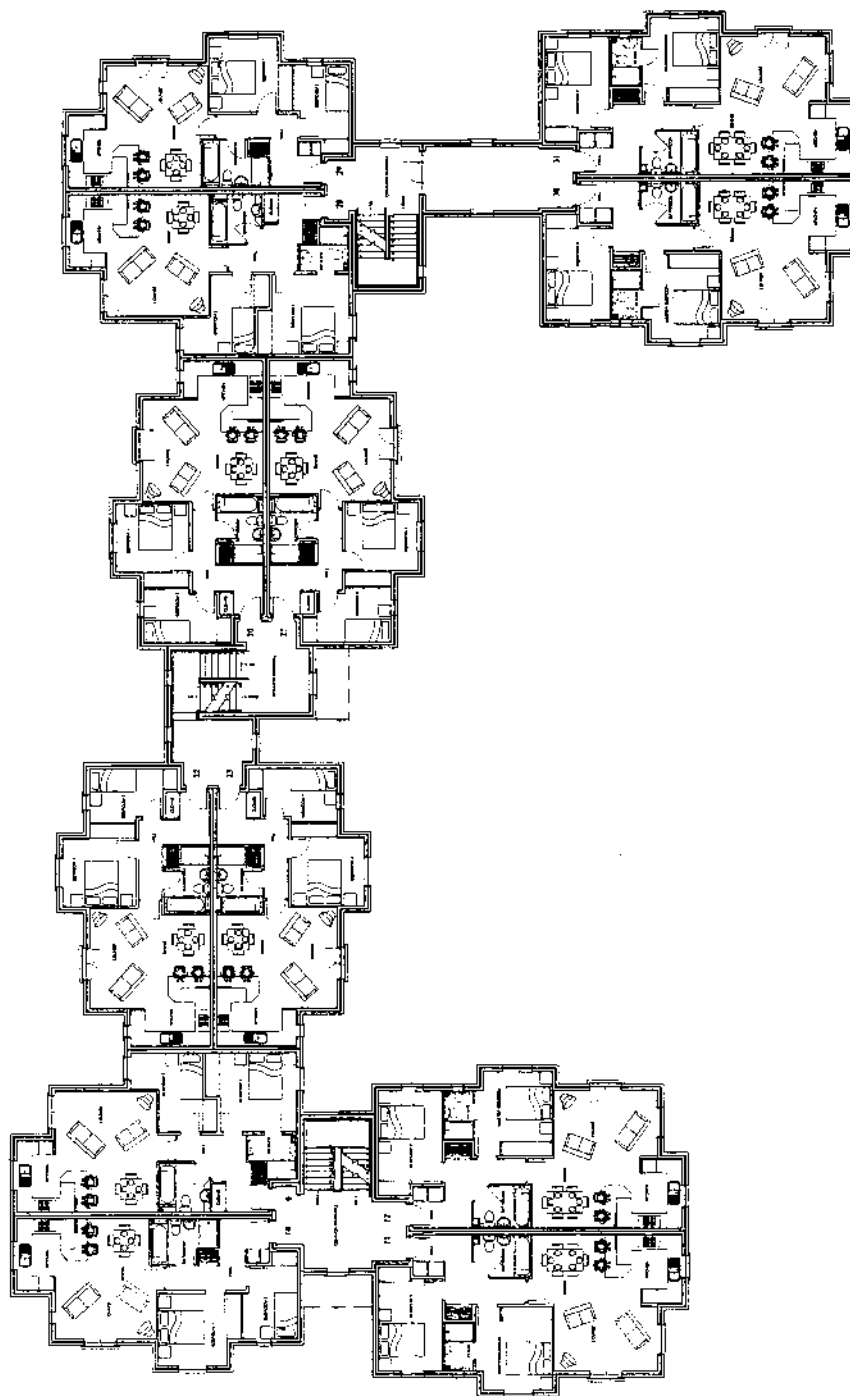
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**Hillcrest Mews**  
 Hillcrest Avenue  
 Carleton Place, Ontario  
 L9C 9V7  
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 Fax: 905.882.8888

**Proposed Mews Development**  
 Hillcrest Avenue, Carleton Place,  
 Level 2

**PLANNING DWG**

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hillcrest news



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ALTRAD MARKETING PARTNERS LTD  
ALTRAD MARKETING PARTNERS LTD

**Altrad Marketing Partners**  
Hillcrest  
Carfax  
Oxford  
OX1 2JH  
Telephone: 01865 827200  
Facsimile: 01865 827204

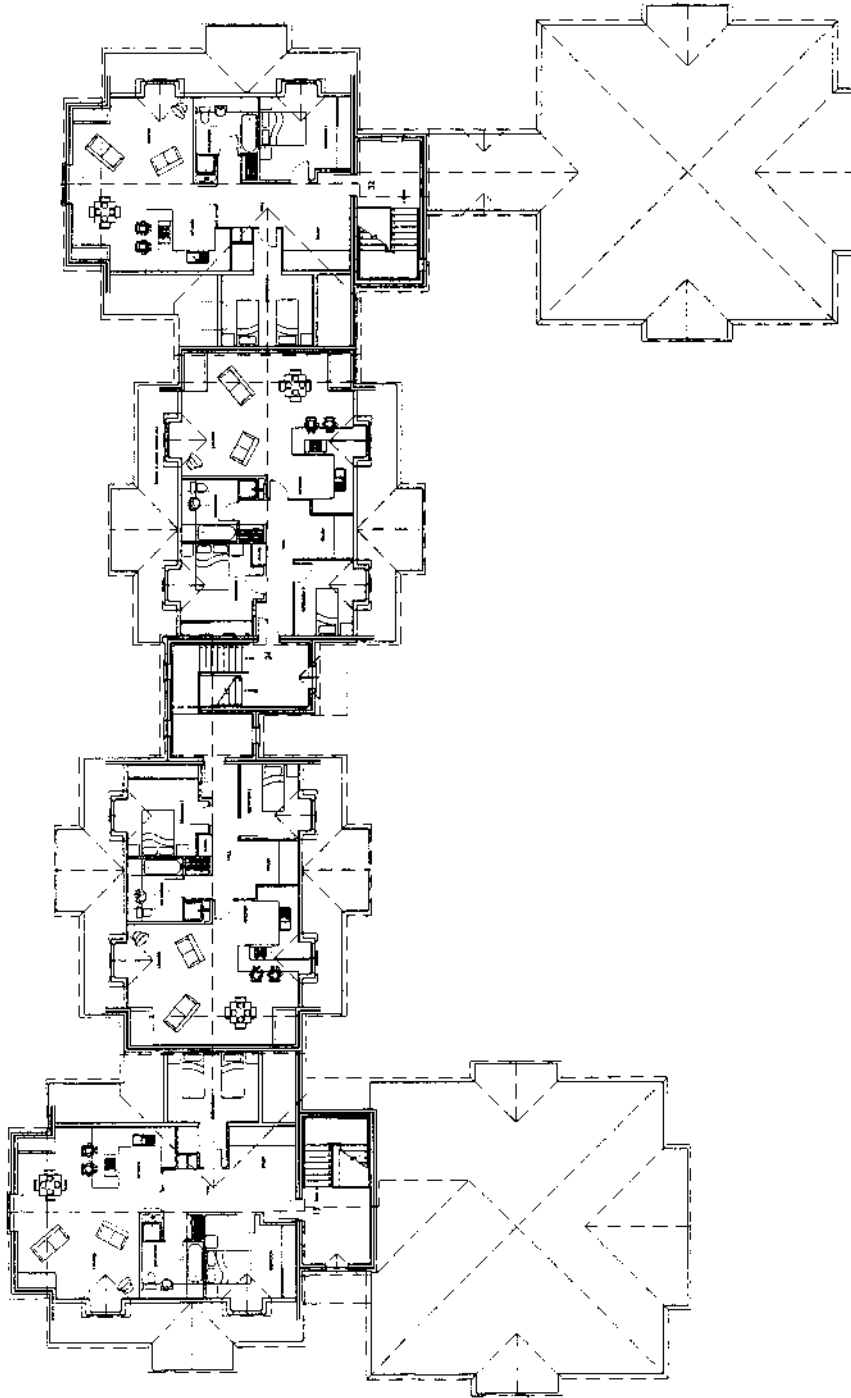
Proposed News Development  
Hillcrest Avenue, Carlisle

Level 3

PLANNING DWG

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# hillcrest news



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File # 1000000000

PROPOSED DEVELOPMENT OF PROPOSED WORK  
HILLCREST NEWS DEVELOPMENT

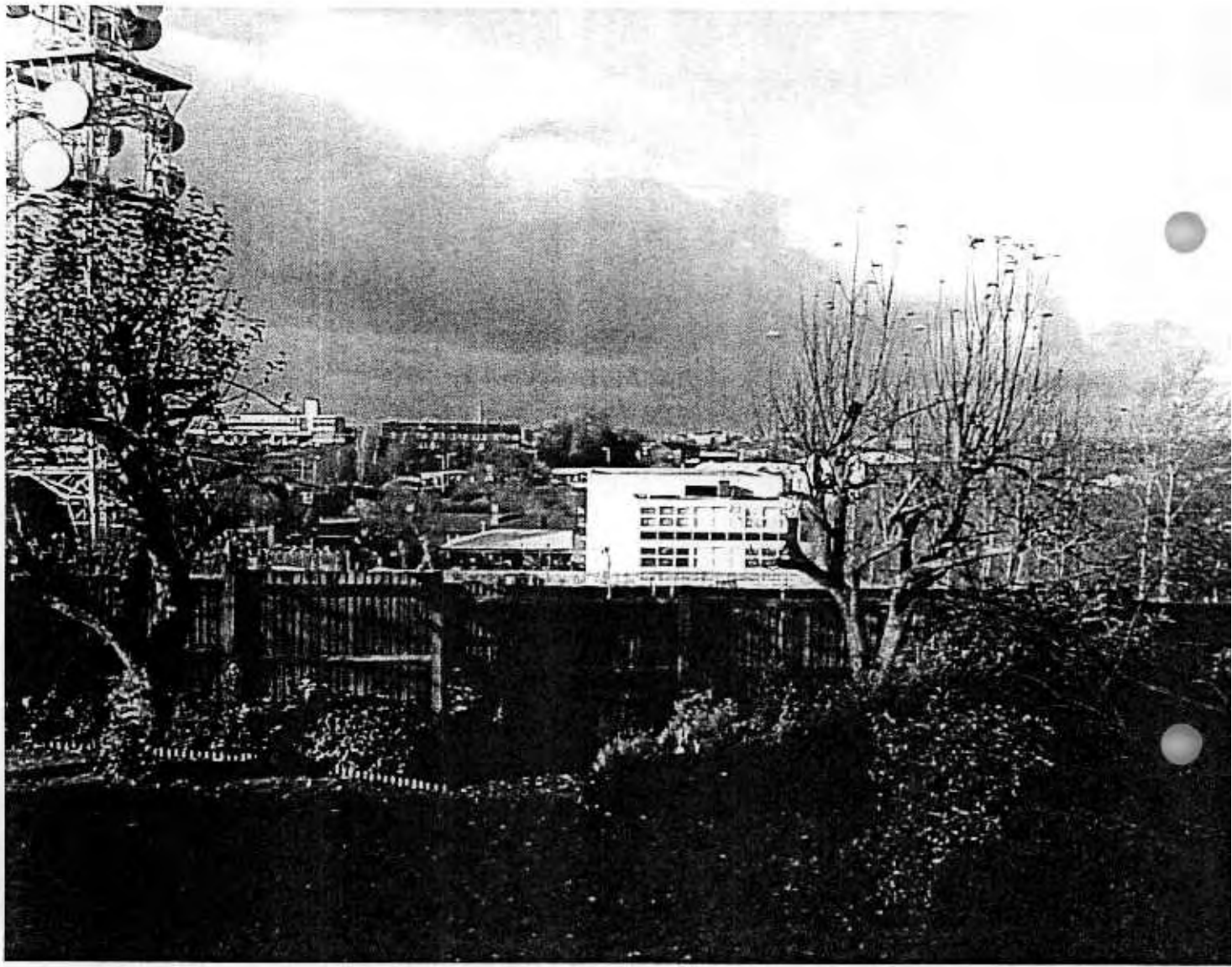
Alfred McAlpin & Associates  
 4th Floor  
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The Proposed Mews Development  
 Hillcrest Avenue, Cardiff.

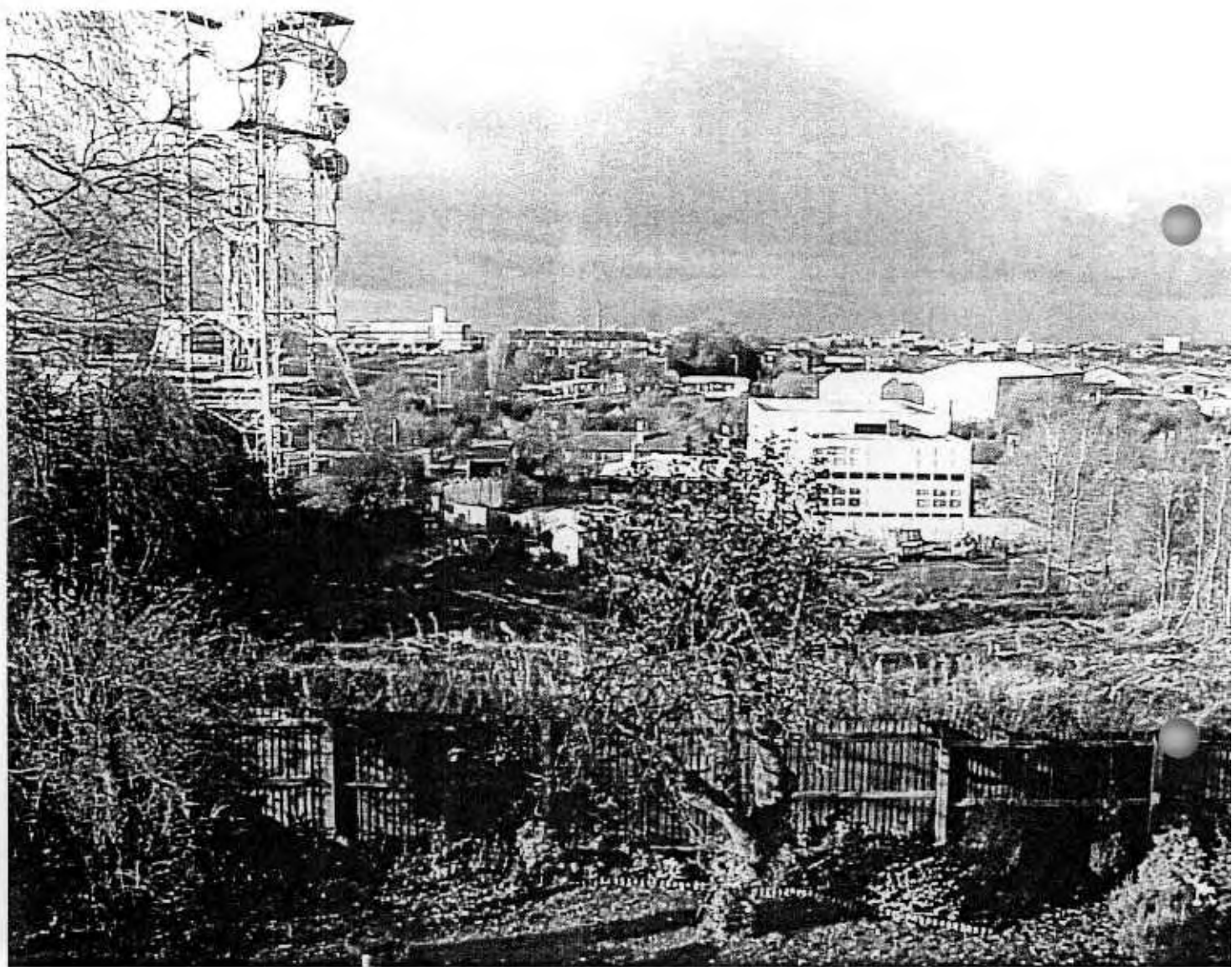
Level 4 (Atrio)

PLANNING DWG

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SCALE	A
NO. OF SHEETS	1
TOTAL SHEETS	1







Mr & Mrs R Proudfoot  
3 Hillcrest Avenue  
CARLISLE  
CA1 2QJ

28 October 2001

FAO Mr A R Hutchinson  
Department of Environment & Development  
Planning Services  
The Civic Centre  
CARLISLE  
CA3 8QG

Dear Mr Hutchinson

**Planning Proposal of 34 mews apartments Ref: 01/0915**

We are writing to lodge our observations / concerns with regard to the planning proposal to build 34 mews apartments on land at the rear of Hillcrest Avenue, Carlisle Ref:01/0915.

Ninety nine per cent of houses in Carlisle are 1 or 2 stories high, we feel to erect 4 storied mews apartments in a residential area is unacceptable.

I would like to draw your attention to the Development Brief, October 1999, section 4 Scale and Density of Development - in particular 4.2 and 4.3.

Surely 4 storied mews apartments would definitely be overlooking Hillcrest Avenue.

Also section 6 Materials and Design – in particular 6.3.

Again how can mews apartments 4 stories high avoid overlooking existing housing.

We believe the extra traffic created by this development to be unacceptable and would cause problems to the existing residents on Hillcrest Avenue.

Finally where would the children play? In the development brief it recommends Melbourne Park, a short walk away, accessed by Harraby Bridge, along the river Petteril. We as adults would be reluctant to use this access to Melbourne Park, and it would certainly pose a safety hazard for young children.

Yours sincerely

*R + E Proudfoot*

Richard & Edith Proudfoot

Delivered by hand 29 October 2001 *REP*

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REF	01/0915
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MR G DUNCAN  
'THE BRAMBLES'  
39, HILLCREST AVENUE  
CARLISLE  
CA1 2GJ

PLANNING SERVICES	
REF	01/0915
24 OCT 2001 2X	
RECORD	CN
SCOPE	
PASSED TO	ALL.
ACTION	

23<sup>rd</sup> October 2001  
YR REF ARH/OC/01/0915

Dear MR HUTCHINSON

Reference Notification of Planning proposal for the erection of 34 Mans apartments. After my visit with you, I still have a number of reservations about the above apartments. My main concerns are:

1. Loss of Privacy
2. The size of the nearest building i.e. the three storey building nearest my private dwelling
3. The distance from my dwelling and the new buildings
4. Noise from the above development when being built and when finished.
5. Extra volume of traffic from the above site.
6. Fence areas for security. Will my security be adversely affected
7. Will the apartments be sold to private landlords for letting or can we be assured that the properties are sold to genuine private property buyers

Will all my concerns be addressed properly and can I take this opportunity to suggest that the three storey building be reduced to two storeys; if this is not possible I would like to remind that council policy states that only houses of the same type should be erected, as per last planning permission dated two years ago.

Yours faithfully

## SCHEDULE A: Applications with Recommendation

ITEM NO. 30

Date of Committee: 14/12/2001

APPN REF NO:  
01/0942 /

APPLICANT:  
Mr Rahman

PARISH:  
Carlisle

DATE OF RECEIPT:  
16/10/2001

AGENT:  
Lakeland Business Design

WARD:  
Morton

LOCATION:  
129 Newlaithes Avenue, Morton Park Carlisle, Cumbria

GRID REF:  
338290 554200

PROPOSAL: Change of use to hot food take-away

*Andy*

---

## REPORT

### PLANNING POLICIES:-

#### CARLISLE DISTRICT PLAN HOUSING - PROPOSAL H10

Proposals for the residential use of upper floors over shops will be encouraged and permitted provided that:

1. where appropriate access and car parking provision can be achieved; and
2. the proposal does not result in the creation of substandard units; and
3. adequate internal and external space is provided.

#### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

#### CARLISLE DISTRICT PLAN SHOPPING - POLICY S10

Within Denton Holme, other neighbourhood centres and major new housing areas, shopping proposals that serve these areas will be acceptable, provided that:

1. they do not adversely affect the local environment or the amenity of surrounding residential areas; and
2. satisfactory servicing access can be achieved; and

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0942 /

3. appropriate parking arrangements can be made; and
4. the scale of development is appropriate to the centre where it is located.

### CARLISLE DISTRICT PLAN SHOPPING - POLICY S15

Within the Plan area, proposals for uses within Use Class A3 (food and drink, including restaurants, public houses, wine bars and take aways) will be approved provided that:

1. the proposal does not involve disturbance to occupiers of residential property; and
2. the proposal does not involve unacceptable intrusion into open countryside; and
3. the proposal, whether new development or conversion complements surrounding development or the character of the existing building; and
4. appropriate access and parking can be provided; and
5. within the City Centre Shopping Area opening hours are restricted to no later than 1.30 am. Here and elsewhere in the Plan area opening hours will be imposed having regard to the surrounding uses, the character of the area and the possibility of disturbance to residential areas.

### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T7

The level of car parking provision for development will be determined on the basis of the following factors:

1. the Parking Guidelines for Cumbria as detailed in Appendix 2;
2. the availability of public car parking in the vicinity;
3. the impact of parking provision on the environment of the surrounding area;
4. the likely impact on the surrounding road network; and
5. accessibility by, and availability of, other forms of transport.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections.

ENVIRONMENTAL SERVICES: Have requested that details of storage and preparation areas, appliances, and the extraction system are submitted if the application is successful.

PROPERTY SERVICES: No objections.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0942 /

CUMBRIA CONSTABULARY: Response awaited.

*see obj's*

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice, and the direct notification of 29 neighbouring properties.

In response, five letters have been received objecting to the proposal. The issues raised are: increase in noise and litter, increase in cooking odour, loss to property values, detrimental effect to neighbouring business, effect on the neighbouring Chinese Takeaway, precedent of two hot food takeaway establishments side by side, attraction of undesirable youths.

The applicants agents, Lakeland Building Design, have submitted a letter in support of the application.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1976 a memo was sent between Environmental Services and the Planning Department regarding the erection of a timber shed in the back yard of 129 Newlaithes Avenue. The property was a Grocery Store at the time.

In 1994 The Chinese Takeaway obtained planning permission for the erection of an external flue located to the rear of the building.

#### DETAILS OF PROPOSAL

Full planning permission is sought for the change of use of this vacant unit to a hot food takeaway. After discussion with the estate agents marketing the property, Cariget & Cowen, it has been established that the property was formerly a Hairdressing Salon.

129 Newlaithes Avenue is the ground floor unit subject to this application. Directly above it on the first floor is 129a Newlaithes Avenue, a domestic dwelling unconnected to the shop below.

The building is part of a terraced shopping area on Newlaithes Avenue. There are a total of six retail units in the block. They are: a Butchers; Post Office; Newsagent; Chinese Takeaway; the vacant unit; and a Turf Accountant. All of the retail properties have residential accommodation above them at first floor level.

The Chinese Takeaway occupying the neighbouring unit has been operating for at least the last 8 years. A new extraction system was fitted in 1994, but this did not resolve the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0942 /

problems experienced by occupants of the upstairs flats. The flue was moved to the position shown in the photographs after this report.

This application relates solely to the ground floor unit. No external alterations are proposed as part of this application. The applicant is aware that he will need to submit details of extraction flues and signage if the application is successful. The applicant has agreed to install an extraction system approved by the Environmental Services Division, if the application is successful.

The Agent dealing with the application has confirmed in writing that the proposed opening hours are to be:

5.30pm - 11.00pm	Sunday - Thursday
5.30pm - 11.15pm	Friday & Saturday

In comparison, the advertised opening hours of the "Double Happiness" Chinese Takeaway at 127 Newlaithes Avenue are:

5.00pm - 11.00pm	Monday, Tuesday & Thursday
CLOSED	Wednesday
5.00pm - 11.30pm	Friday & Saturday
5.30pm - 11.00pm	Sunday

It is proposed that parking for the takeaway is provided within the existing roadside bays. The highways authority have raised no objection.

There is a litter bin directly outside 129 Newlaithes Avenue.

The objections on the grounds of potential loss to property values caused by this proposal is not a material planning consideration and must be discounted.

There have been several letters of objection received to this application. The most important of these comes from the occupant of 129a Newlaithes Avenue, Mrs Miller. This is the property directly above the proposed takeaway. The photographs reproduced directly after this report show the rear of her flat. The existing extractor from the Chinese Takeaway is attached to the gable wall of her flat. Mrs Miller has highlighted that the amenity she enjoys from her property has been reduced by its proximity to the Chinese Takeaway at 127 Newlaithes Avenue.

Policy H17 of the Local Plan is intended to prevent development that causes detrimental effects upon the amenities enjoyed by neighbouring residential properties. In this instance it is felt that the amenity enjoyed by the occupant of 129a Newlaithes Avenue would be significantly reduced were this application successful. Although the flat is already next to a hot food takeaway use, it is apparent that an additional hot food takeaway unit, situated directly below Mrs Miller's flat would considerably affect the amenity she gains from her home.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0942 /

This application is therefore recommended for refusal.

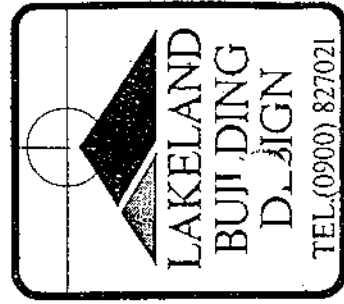
### RECOMMENDATION:-

PS99 →

#### REFUSE

1. REASON: The proposal is contrary to policy H17 (residential amenity) and polilcy S15 (Food and Drink) of the Carlisle and District Local Plan.
2. REASON: The proposal, by virtue of its adverse effect on neighbouring amenity, is contrary to policy S10 of the Carlisle and District Local Plan.

Sup - PS99  
Reason for Refusal

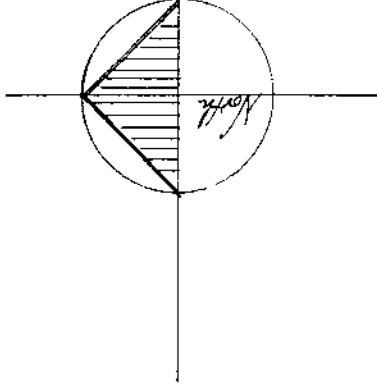
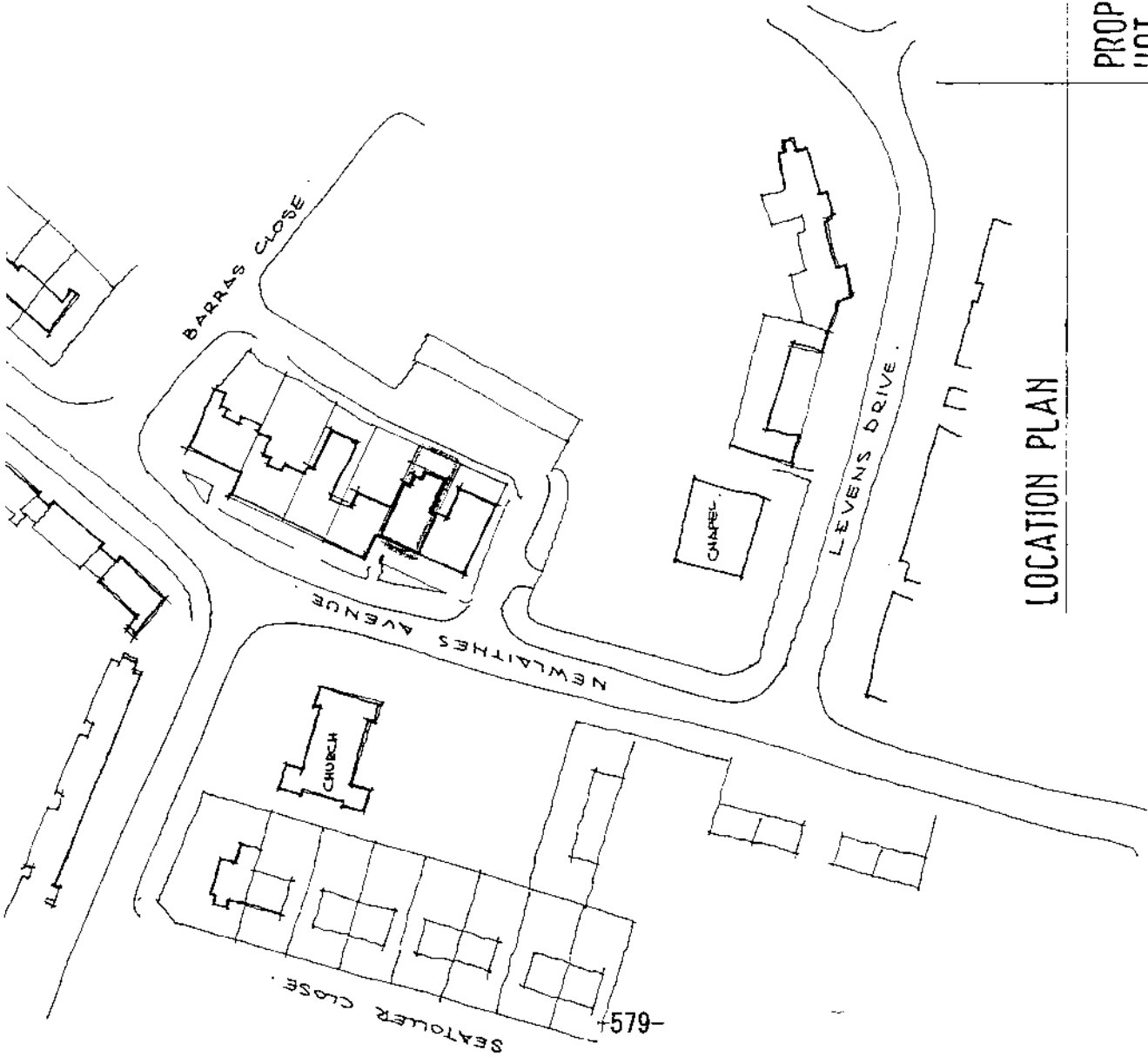


DWG 015401

PROPOSED CHANGE OF USE TO  
HOT FOOD TAKE-AWAY  
129 NEWLAITHES AVENUE CARLISLE

SCALE 1:1250

LOCATION PLAN



16 OCT 2001  
2001/0942



2001 OCT 2001

2001 OCT 2001

2001/0942





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29 OCT 2001

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14 NOV 2001

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RECEIVED

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2001/0982

**WE THE UNDERSIGNED DISAGREE TO  
A SECOND TAKEAWAY ON NEWLAITHES AVENUE**

NAME

ADDRESS

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	29 OCT 2008 31
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SCANNED	
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*[Signature]*  
E. Marshall  
R. Ross

A. Love

*[Signature]*  
O. Marshall

J. F. Hood

R. W. Hunt

J. Ogilvie

*[Signature]*  
A. Foster

J. Rowley

J. Ramett

J. Ogilvie

S. Wynter

L. Ogilvie

B. Holmes

M. Smith

P. Smith

*[Signature]*  
K. P. Ogilvie

*[Signature]*  
K. Ross

*[Signature]*  
K. Ross

*[Signature]*  
K. Ross

W. B. Scott

Peter Farmer L. V. L. 20.0

Wharfedale

St. Barnaby

~~BARRAS CROSK~~

*[Signature]*

154 Newlaithes Avenue

101 Newlaithes Ave

newlaithes Avenue

Langrigg Road

Newlaithes Avenue

BURRICK

Newlaithes Ave

Ellesmere Way

106 Newlaithes Avenue

BARRAS CROSK

98 Newlaithes

Newlaithes Ave

106 Levens Drive Monton

25 Castlemyg Monton

214 DALSHOL ROAD



**WE THE UNDERSIGNED DISAGREE TO  
A SECOND TAKEAWAY ON NEWLAITHES AVENUE**

NAME	ADDRESS
<u>G. BELL</u>	<u>124 NEWLAITHES AV MORTON PAR</u>
Jamie Foster	58 Stonegarth morton Pa
M. Lawes	23 SWITTOLE CLOSE
J Routledge	15 AVON CLOSE
E McLaughlin	3 MIDDLERIGG
J McLAUGHLIN	3 MIDDLERIGG.
D. WATSON	6 BURNRIGG, morton Pa
M. WATSON.	48 BANNISDALE WAY.
D. MURPHY	131 <sup>A</sup> NEWLAITHES AVE
L. Dryden	AVON CLOSE
L. Davy	+ house sheds
I. SCOTT	65. CASTLERISS DRIVE MORTON
<u>I. Wilson</u>	Fulwinds Drive
G. Hodson	103 CASTLEWAY.
A. Heron	99 NEWLAITHES AVE
Kerry Dixon	17 prescott R
A. Dixon	45 East Del St
L. James.	116 newlaithes.
Kim C + P.C.	DUNMAIL DR.
MR. M <sup>C</sup> GEORGE	MOSS RIGG, MORTON.
ALEX M <sup>C</sup> GEORGE	CUNREW CLOSE.

-589- 

**WE THE UNDERSIGNED DISAGREE TO  
A SECOND TAKEAWAY ON NEWLAITHES AVENUE**

**NAME**

**ADDRESS**

M. Irwin	8 Burnmore
J. Langan	Deepdale
C. McCulloch	Seaford Close
A. McCulloch	Seaford Close
M. McCulloch	Seaford Close
John L.	Newlaithes
Lane John L.	Newlaithes
Helen Moore	Massrigg
J. Little	Westing Road
E. HUNTER	RASHDALL RD.
J. Grady	BANNISDALE WAY
J. Park	Esleomere way
J. Nicholson	Wensfell D.
S. Shutz	BARRAS CLOSE
G. P. Elsworth	153. <del>Barras Close</del>
W. Furlong	Newlaithes Rd
J. Hayes	Newlaithes Ave
K. M. C.	2 BARRAS CLOSE
A. B. Blythe	33 Rashdall Rd
J. Richardson	105 Castbergg Gate
A. D. Gibson	49 Ashness Drive

A. Finnigan  
C. Reeci  
K. Paterson  
H. Arnold

D. Abba

R. Vaux

J. Rafferty

K. Ansell

D. Brown

J. Muir

R. Oleskurd

Y. Wilson

K. Wilson

MR DAVID McMILLAN

E. Burns

J. Burns

Newlathos A.

Levens Lane

Hallin Cres.

SCALG H#4

Wincadale

ASITHLES DR.

156 NEWLATHOS A.

1 MIDDLE RIGG, MOX

WESTRIGG Rd.

BARRAS CLOSE

St. Edmunds Church

RASHDALL RD

RASHDALL RD

2 HALLIN CRESENT.

3 BORROWDALE R

3. Borrowdale Rd.

WE THE UNDERSIGNED DISAGREE

WITH A SECOND TAKEAWAY ON NEWLATHES AVENUE

NAME	ADDRESS
G J Park	21 DEEPDALE DR
M Park	"
B T ...	41 DEEPDALE DRIVE
G Mc Brull	19 DEEPDALE DR
E. Ellison	Deepdale.
W Ellison	Deepdale.
A Terry	Deepdale
K Rickerby	Barnes Hill
Mlet	
A HARRIS	Greystone Road.
PCAVERS.	
P F Egan	CARLISE
J Witherington	CARLISE
K DAVIDSON	DEEPDALE DRIVE
J Witherington	DEEPDALE DRIVE
A Davidson	Deepdale Drive

Your Ref: AE / DC / 01 / 0942  
Our Ref: DM / AT / VM / 01

131a, Newlaithes Avenue,  
Morton Park.  
( 01228 ) 542912

31 . Oct . 2001

Dear Sir,

**Letter of Objection To :-**

**Proposal : Change of use to hot food take-away**

**Location : 129 Newlaithes Avenue, Morton Park, Carlisle, Cumbria**

**Appn Ref : 01 / 0942 /**

01/0942  
36  
AE

We wish to state our objections to the above proposal, these being :-

1) In the commercial block of Newlaithes Avenue an existing ( Chinese ) takeaway already exists. The amount of noise from custom throughout the evening and subsequent litter is tolerable but to propose doubling this with a second such establishment would be excessive.

2) Odours from the existing establishment carry over the boundaries of both 129a and 131a also the heat extraction flue causes inconvenience to 129a ( by virtue of escape of cooking fluids and subsequent insect infestation ) and again to double this situation would be excessive to both parties.


Please note that as stated in your letter dated 29 . Oct . 2001 Ref: AE/DC/01/0942 these objections do not fall under the surprisingly over-ruled objection stated in paragraph four. It seems that the Council does not consider property value loss as a valid objections from tax-paying home owner constituents situated closest to the proposed site.


Another query is that in neither the general letter of planning proposal or the reply to objections from 129a does the actual date of the meeting of the Planning and Land Use Sub Committee appear. If as stated in paragraph eight (of your letter ) that ten days notice be given for the intention to speak at the aforesaid meeting at least could you have the good grace to inform constituents of the place and time.

We therefore give prior notice of intention to speak at the meeting against the proposal.

We fully understand that this letter to your office will be made publicly available.

Yours Sincerely,

  
Mr D . Murphy

  
Ms. A . Tiffen

  
Ms . V . Miller

From: Mr and Mrs Lauder, 2 Middle Rigg, Morton, Carlisle. CA2 6NY

01/0942
8
ON
AE
AE

To: Department of Environment & Development,  
Planning Services Division,  
Civic Centre,  
Carlisle. CA3 8QG.

1 November, 2001-11-01

Dear Sirs,

**Proposal: Change of Use to hot food take-away, 129 Newlaithes Ave., Morton  
Park Carlisle. Appn Ref: 01/0942.**

We wish to object to the proposal as above on the grounds that we already have a hot take-away, almost next door to the one proposed.

The Chinese take away has served this community well and not only would another hot take-away be detrimental to their business, but it would also cause more problems with litter etc.

We wish this objection to be noted in the minutes of the meeting.

Yours faithfully,

*M & R. Lauder*

M and R. Lauder.

Mrs J. Ogilvie  
Ogilvie's Butcher

21 Newlaithe  
Ave  
Banisle  
01228 539485

PLANNING SERVICES	
REF	01/0942
29 OCT 2001	
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Department of Environment  
& Development

Dear Mr Evans.

I would like to object to the proposal put forward to change 129 Newlaithe Avenue into a hot food takeaway (Indian I believe)

Reasons as follows:-

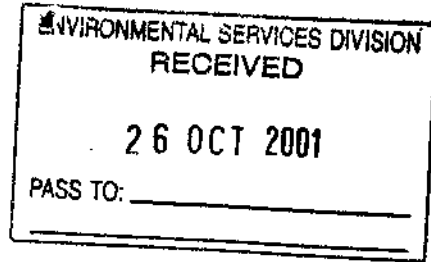
- 1) We already have a Chinese takeaway, the business is long established. Another takeaway next door to them will probably close them down.
- 2) Late night opening food takeaways, attract on estates, young people, who tend to hang about outside causing trouble. The Chinese takeaway have already had to call the police on several occasions to youths giving verbal abuse & causing problems. We already have on this estate a problem with gangs of youths causing havoc, only last week we had problems with a bus, damaged by stones.
- 3) They also cause a little problem, wrapping paper, uneaten food, we also have had to clean food off our windows.

Would it not be better to have a day  
opening business, that might bring more trade to  
the whole parade of shops in daytime hours and  
thus benefit all the shopowners.

G. Ogilvie



Department of Environment & Development  
7<sup>th</sup> Floor  
Civic Centre  
CARLISLE  
CA3 8QG



Double Happiness (Chinese  
Takeaway)  
127 Newlaithes Avenue  
CARLISLE  
CA2 6PP  
20th October 2001

**Planning Advise Notice Regarding 129 Newlaithes Avenue Carlisle CA2 6PP**

Dear Sirs

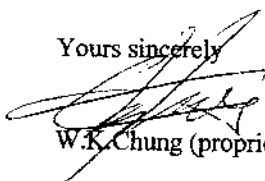
I would like to raise my objections to the above proposed planning application for the change of use to a "Hot Food Takeaway" which would be immediately next door to my own business premises, which is a "Hot Food Takeaway".

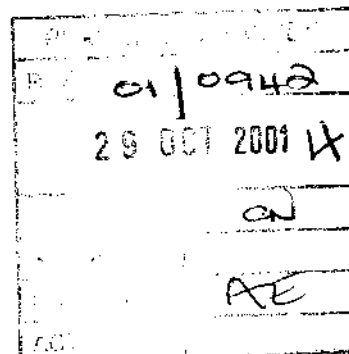
You will therefore be aware that this would have a severe detrimental effect on my long established business. My business would then not be viable as a going concern and therefore request that planning permission be refused on these grounds.

So far as I am aware, there are no instances within the Carlisle area where there are two "Hot Food Takeaway" businesses trading immediately next door to each other and even if they are in the same street, they are usually some distance away from each other.

I trust my objections will be taken into account in deciding the outcome of the planning request and remain

Yours sincerely

  
W.K. Chung (proprietor)



PLANNING SERVICES	
REF	CA/0942
29 OCT 2001 30	
RECORD	25
SCANNED	
PASSED TO	AE
ACTION	

MRS VIVIANNE MILLER  
 129A, NEWLAITHES AVE  
 MORTON PARK  
 CARLISLE  
 CA2 6PP.

Dear Sir

I wish to put in an objection to an Indian Takeaway leasing the shop below me at 129A Newlaithes Ave. As I am next door to a Chinese takeaway the fumes from their shop filter through into my hall beside that they have a chimney attached to my outside wall which emits grease onto the wall attracting a lot of small flies in the summer so an Indian would add to the discomfort I have to put up with already.

Yours faithfully  
 V. Miller

## SCHEDULE A: Applications with Recommendation

ITEM NO. 31

Date of Committee: 14/12/20

APPN REF NO:  
01/0950 /

APPLICANT:  
Mrs J Menezes

PARISH:  
Carlisle

DATE OF RECEIPT:  
17/10/2001

AGENT:  
Mr Jock Gordon

WARD:  
Harraby

LOCATION:  
L/Adj Southmarsh, High Road, Carlisle Cumbria

GRID REF:  
341615 554279

PROPOSAL: Erection of detached dwelling and garage

### REPORT

#### PLANNING POLICIES:-

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H2

Within the Primary Residential Areas defined on the Inset Maps for Carlisle, Brampton, Longtown and Dalston, proposals for new residential development will be acceptable provided that:

1. existing areas of open space and other amenity areas are safeguarded; and
2. the proposed development does not adversely affect the amenity of adjacent residential property; and
3. the proposed development complements or enhances existing adjacent residential areas and their amenity; and
4. satisfactory access and appropriate parking arrangements can be achieved.

Proposals for uses other than residential will not be permitted in Primary Residential Areas other than where they do not adversely affect residential amenity. Development that would create unacceptable noise, smell, safety and health impacts or excessive traffic generation will not be acceptable. Such schemes falling within the scope of this Policy will be considered against the above criteria as well as other Policies of the Plan appropriate for the proposed use.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H16

High standards of design in new housing sites and dwellings will be required. Matters to be considered include: the layout of roads and buildings; footpaths and cycleways; the retention of existing trees and hedgerows; planning out crime; the provision of public open space; and the relationship to adjacent development.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0950 /

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E19

In considering proposals for new development the City Council will where appropriate require the retention of existing trees, shrubs, hedges and other wildlife habitats, and the replacement of any environmental feature lost to development. Landscaping schemes to be implemented by the applicant will be required as part of most planning applications.

### SUMMARY OF CONSULTATION RESPONSES:-

ENVIRONMENT AGENCY: No wish to make any comments

HIGHWAYS AUTHORITY: No objections

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of 7 neighbouring properties. In response one letter of objection has been received on the basis that: light will be cut by the utility room of the proposed bungalow; the wish to see a leylandii hedge and trees retained which create a barrier with the Pinegrove Hotel; existing access to garage and parking area; object to the use of the lane for construction traffic because it is the only vehicle access for residents of Grange Road and is maintained by the residents of these houses; query whether the contractors will make good any further damage to the road during the building of the bungalow; and, as the road is only narrow will the contractors leave sufficient parking space for residents cars to enter and leave their premises.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1984, under application reference number 84/0231, planning permission was given for the erection of a detached bungalow.

#### DETAILS OF PROPOSAL

This application for full permission relates to part of the southern garden associated with the bungalow known as Southmarsh. The site lies between the terraced houses served by Grange Road and the aforementioned property known as Southmarsh, and, to the immediate west of the Pinegrove Hotel.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0950 /

Vehicular access to the site is via High Road. The submitted plans show the site having a frontage of approximately 19 metres which is delineated by a mature overgrown hedgerow.

The proposal involves the erection of a dormer bungalow and detached garage to be finished externally in grey concrete tiles on the roof and red/brown brick walling. Foul and surface water drains serving the proposed dwelling will be connected to the existing public sewer - see attached copies of plans.

The applicant, who resides at Southmarsh, is also the current proprietor of the Pinegrove Hotel. The intention is for the applicant's daughter to live in the proposed dwelling.

In response to comments made by the neighbouring resident, the applicant's agent has explained:

- a) The proposal is much lower in height than the adjacent property (at 5 Grange Road), with the proposed utility room being single storey and on the opposite side of the site. There should therefore be no loss of light to the adjacent property;
- b) The intention is to retain the boundary hedging between the proposal and the adjacent property although it may need to be pruned back. The rear conifer hedge will remain in place, as it screens the proposal from the hotel; and,
- c) Should the proposal proceed provision can be made for all the contractors vehicles to be accommodated within the site without having to park on High Road.

In overall terms the proposal is considered to be acceptable and consistent with the policies of the Local Plan. The objector's rights are respected but the proposal is recommended for approval.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

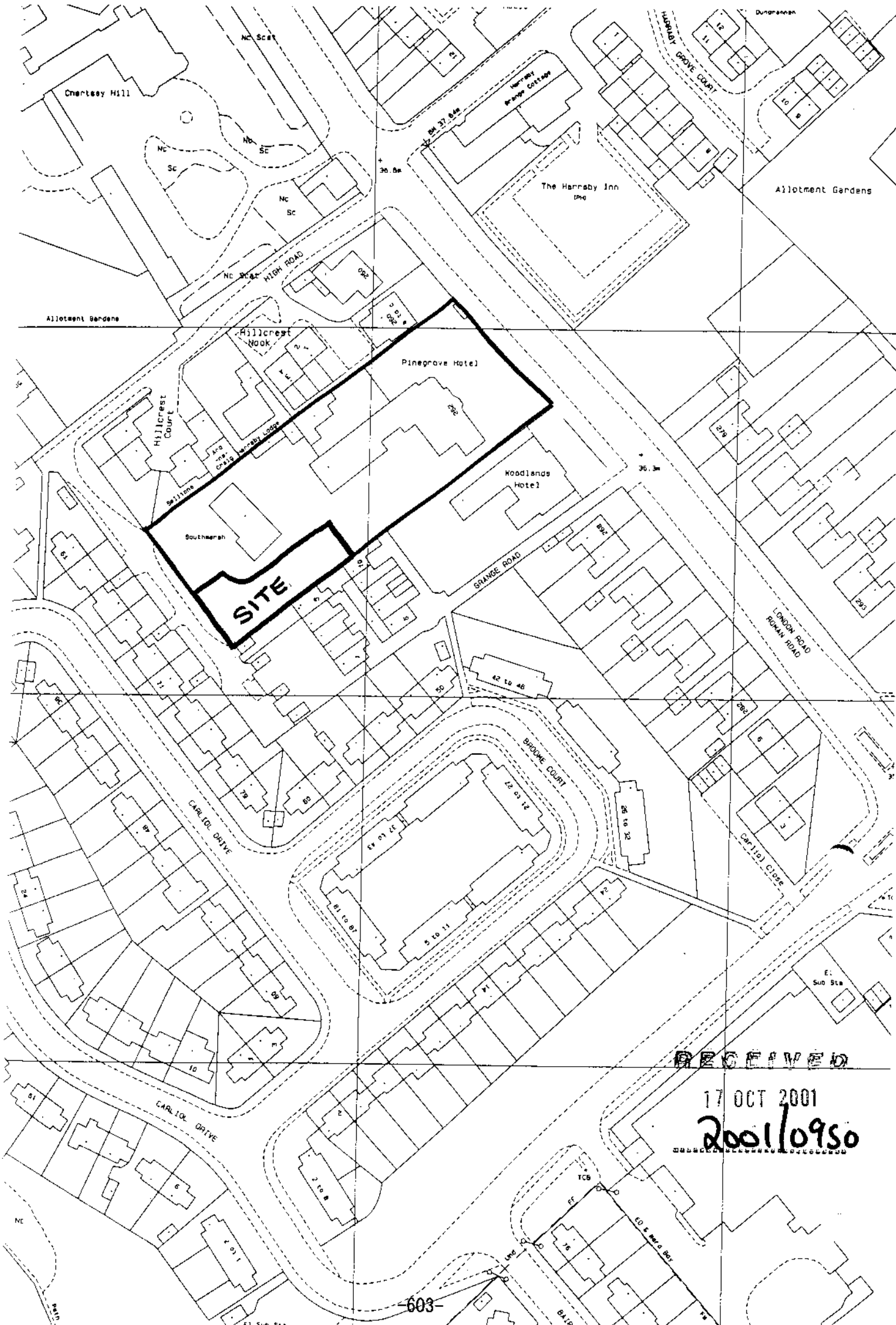
1. Standard time limit
2. Before the dwelling is occupied space for at least one garage and one parked car shall be provided together with vehicular access thereto in accordance with the approved plans. The access and spaces for garage and parking shall be used for no other purpose without the prior approval of the local planning authority.
3. Details of screen fencing/walling
4. Submission of a landscape scheme
5. Before development is started details shall be submitted to and approved by the local planning authority showing the proposed measures for the

## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/0950 /

retention of all existing hedgerows and specifying the stage in the development by which these measures are to be completed.

6. Scheme to be implemented and maintained
7. Materials - submission of samples
8. Hard surface details



**SITE**

RECEIVED

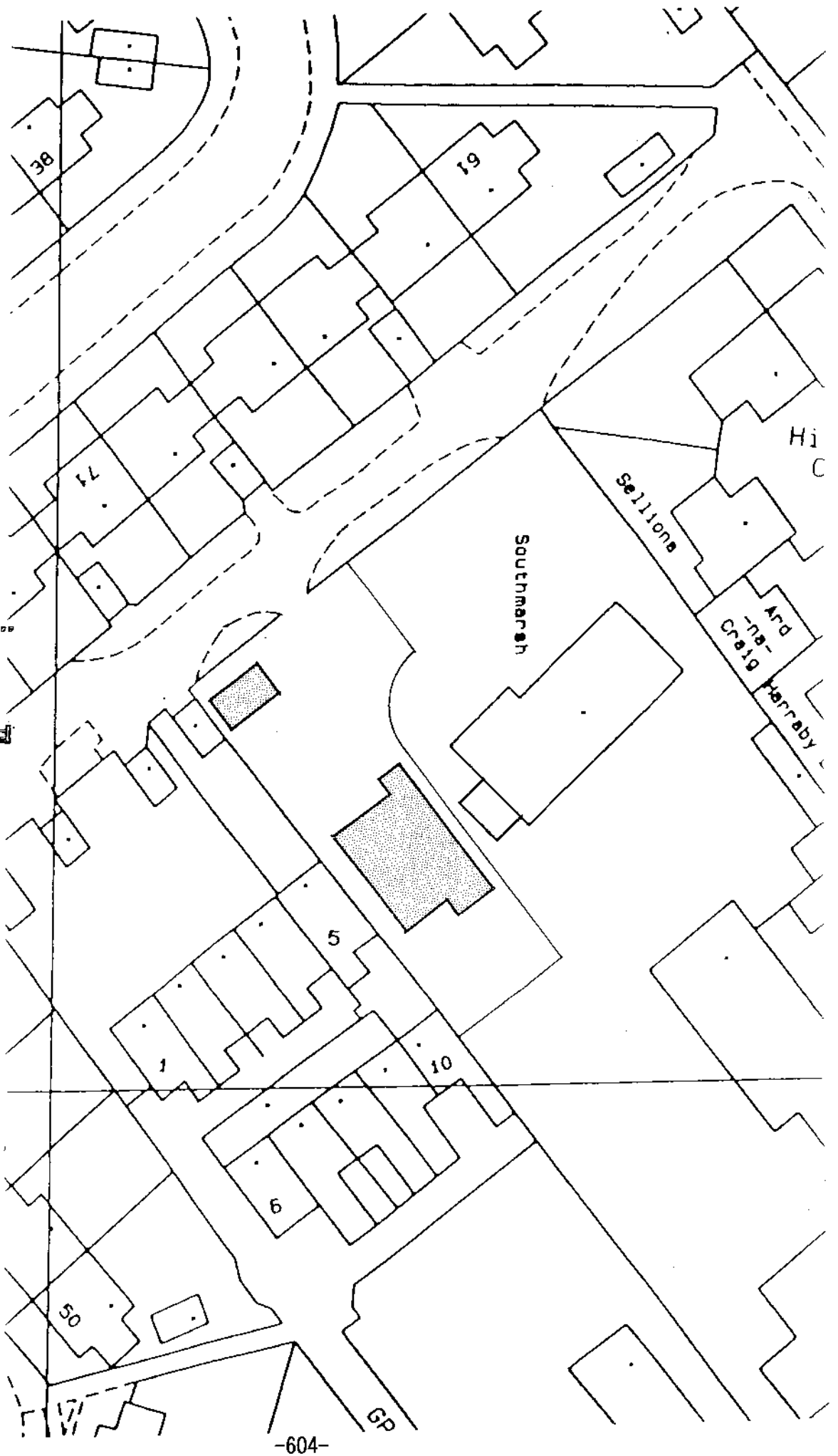
17 OCT 2001

2001/0950

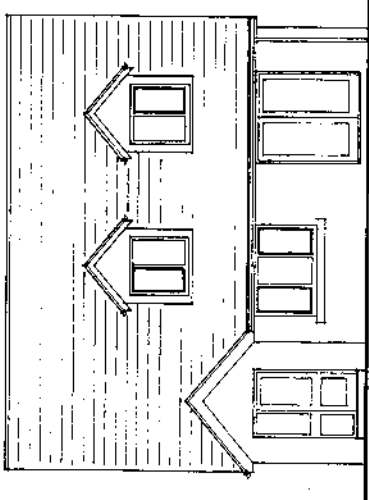
PROPOSED DWELLING  
SOUTHMARSH  
HIC# ROAD  
PARLISLE

RECEIVED  
17 OCT 2001  
2001/0950

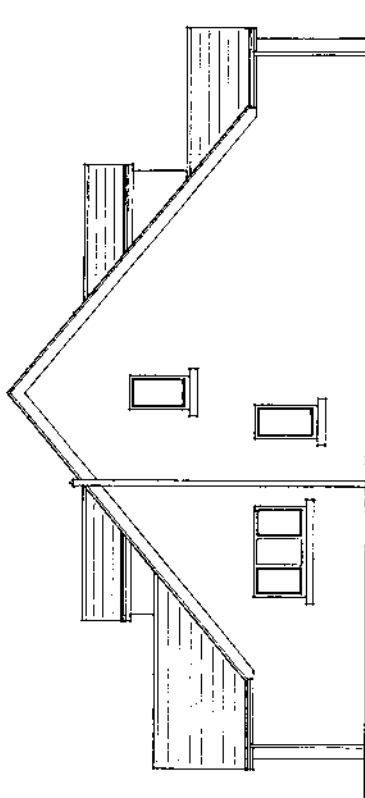
SITE PLAN  
Scale: 1:500



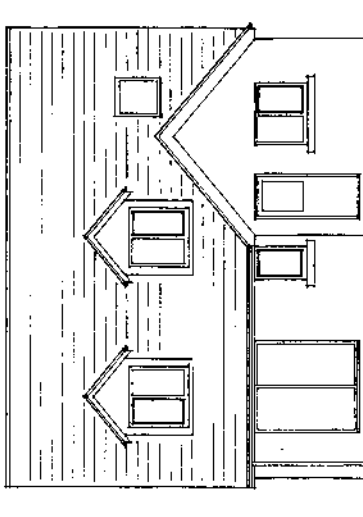




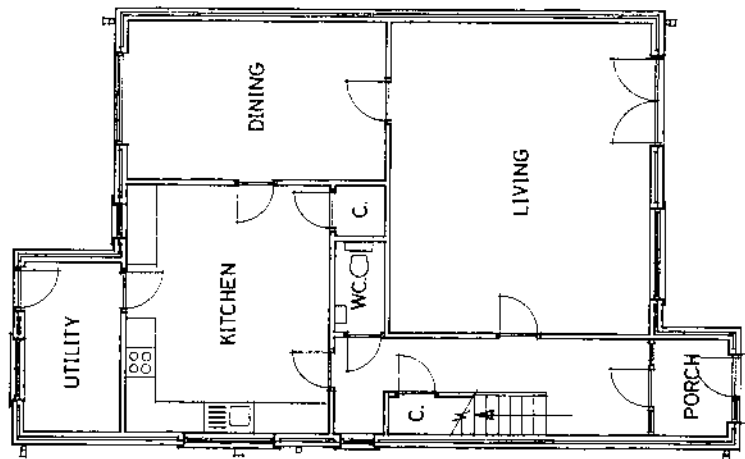
FRONT ELEVATION



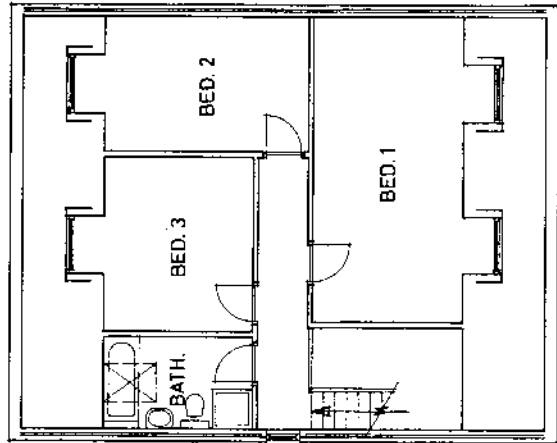
SIDE ELEVATION



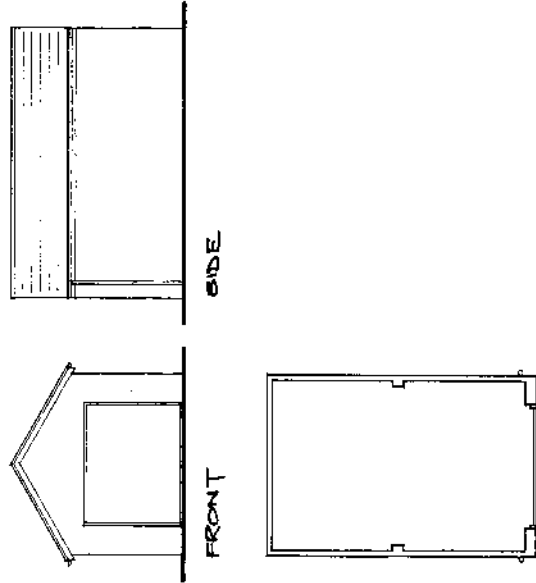
REAR ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN



RECEIVED  
11-OCT-2001  
JONES & CO.

PROPOSED DWELLING & GARAGE  
SOUTHMARSH - HIGH ROAD - CARLISLE

DRG. No. 997/1  
SCALE: 1-50  
DATE: OCT. 2001

JOHN BURNHAM  
ARCHITECTURAL  
47 BOOTHAM ROAD  
CARLISLE  
TEL. 01274 624200

5 GRANGE ROAD CARLISLE CUMBRIA CA1 2QT

5-11-01

Your Ref: ARH/DC/CI/0950

01/0950
2001
CI
ARH

Dear Sir,

Proposal: Erection of detached dwelling and garage.

Location: L/Adj Southmarsh, High Road, Carlisle, Cumbria.

Appn Ref. CI/0950

I live at 5 Grange, and am writing further to viewing the plans on 26th October 2001 and would like to make the following pointers:-

- ① I am concerned that my light will be cut in the rear of my premises by the utility room of the proposed bungalow, as South Marsh sits slightly higher than my property.
- ② I am also very concerned with regard to the Boundary - 10ft - Leylandii hedge at the front of my property. I would like to know if it will be retained as it makes the gardens between 5 Grange Road and Southmarsh very private, and makes a

2

5 GRANGE ROAD CARLISLE CUMBRIA CA1 2QT

Sound barrier from the Pinegrove Hotel which can be very noisy at weekends.

③ I am also very concerned about the trees at the rear of my property that belong to Southmarsh, as this also makes a sound barrier from the Pinegrove Hotel.

④ Access to my garage and parking area.

⑤ I object to the use of the lane for construction traffic as it is the only vehicle access for the residents of Grange Road and is maintained by the residents of those houses and not the Council.

This lane or road is also used by residents of Carlisle Drive who have erected garages to their premises. As this is an unmade road from High Road to Grange Road it carries a fair number of vehicles and consequently large-potholes appear regularly.

Will the building contractors make good any further damage to this road during the building of the hangar.

3  
5 GRANGE ROAD CARLISLE CUMBRIA CA1 2QI

- ⑥ As the road is only narrow will the Contractors leave sufficient parking space and room for residents cars to enter and leave their PREMISES.

Yours faithfully,

Jane E. Harding.

F.A.O Mr. A. R. Hutchinson,  
Department of Environment and  
Development,  
Planning Services Division,  
The Civic Centre,  
Carlisle,  
CA3 5QA.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 33

Date of Committee: 14/12/2001

APPN REF NO:  
01/0963 /

APPLICANT:  
D & F Dalrymple

PARISH:  
Upper Denton

DATE OF RECEIPT:  
23/10/2001

AGENT:  
C & D Property Services - N P Harris

WARD:  
Irthing

LOCATION:  
L/A part field 3230 Gilsland, Cumbria

GRID REF:  
363330 566380

PROPOSAL: Erection of single storey dwelling (outline)

*Angus*

---

### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 1

New development will be provided, mainly in the towns, to meet the social and economic needs of the County's population, but in a manner which, through appropriate location, scale, design or use, does not diminish the quality of the environment within the County or beyond, or for future generation.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 2

The County's scenic beauty, natural resources and the quality of its built environment will be protected from inappropriate development, especially those areas and features of international or national conservation importance where harmful development will not be permitted.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 12

Development and other land use changes detrimental to the distinctive character of designated County Landscapes, will not normally be permitted. Development required to meet local infrastructure needs which cannot be located elsewhere, will normally be permitted, provided it is sited to minimise environmental impacts and meets high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E4

Within County Landscapes (as defined on the Proposals Map) permission will not be given for development or land use changes which would have an unacceptable effect on their distinctive landscape character.

Development required to meet local infrastructure needs which cannot be located elsewhere will be permitted provided it is sited to minimise environmental impact and meet high standards of design.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E9

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0963 /

Landscaping schemes will be required for development permitted on the periphery of settlements in order to fully integrate the development with its settlement and the surrounding countryside.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E26

Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable adverse impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E50

The loss to built development of significant public and private open spaces within settlements will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H5

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and
2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock,

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0963 /

Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lynholmeford, Midgeholme, Milton, Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H16

High standards of design in new housing sites and dwellings will be required. Matters to be considered include: the layout of roads and buildings; footpaths and cycleways; the retention of existing trees and hedgerows; planning out crime; the provision of public open space; and the relationship to adjacent development.

### SUMMARY OF CONSULTATION RESPONSES:-

UNITED UTILITIES: No objection to the proposal. There are no water supply mains in the vicinity of the site. It is recommended that the Council's Head of Design is also consulted to find out if the sewers can accept the expected flows from the development.

HIGHWAYS AUTHORITY: The applicant has stated that no new vehicular access is required onto the public highway. It is therefore assumed that the existing access which presently serves a garage will be used in connected with the proposed development. In this respect I would raise no highway objections to the proposal.

UPPER DENTON PARISH COUNCIL: Concerns have been raised about this proposed development and Upper Denton Parish Council would like to convey the following concerns, questions and comments at this point in time.

1. The access is on a very sharp corner and the levels of the road up to the site of the existing garage look rather steep.
2. Would this property have an effect on the local Heritage i.e.
  - a) The Roman Wall
  - b) The Methodist Chapel
  - c) Mumps Ha
  - d) Meg Merrilees CottageThese are all very close to the proposed site and in direct view of the proposed development. The Council and the parish in general feels their unique and valuable history must be preserved above any considerations.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0963 /

3. Would an additional development have any effect on the water and sewage systems in Gilsland which are poor and said to be at their full capacity?
4. Would the initial building of this property lead to a larger development on the ground in the same field?
5. Another application to build was approved on a lower out of view site adjacent to the Bridge Inn car park which has now run out.
6. Would this second development have an effect on the first if it were re-applied for?
7. In general Upper Denton Parish Council would be pleased to have more properties in the parish but if this outline application is successful we would like to be consulted at every step of the process to preserve the local heritage and character of our village.

COUNTY ARCHAEOLOGIST: No objections to the proposal.

ENVIRONMENT AGENCY: The Agency understands that it may be the intention to culvert the existing watercourse to facilitate the development of the site. Any culverting of a watercourse requires the prior written consent of the Agency under the terms of the Land Drainage Act 1991/Water Resources Act 1991. The Agency seeks to avoid culverting, and its consent for such works will not normally be granted except for access crossings. The Agency advises against building over any new or existing culverted watercourses.

This aside, details of any works which may affect the flows within the watercourse on site should be submitted to the Agency to determine whether formal consent is required under the Land Drainage Act 1991 or Water Resources Act 1991.

NORTHUMBRIAN WATER: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of seven properties. No formal observations have been received at the time of preparing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In relation to the north-western corner of field number 3230 planning permission was given to erect a bungalow in 1986 and 1987 under application numbers 86/0586 and 87/0136.

#### DETAILS OF PROPOSAL

This application relates to the site of an existing domestic



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0963 /

garage and the eastern most portion of an open field which lies on the southern side of the Gilsland road opposite the Methodist Church, Mumps Hall and 1-3 Hall Terrace. The applicants property is The Garth which was originally approved under application number 87/0136. To the immediate east of the existing garage there is the entrance to the car park serving the Bridge Inn. On the northern side of the road there are a series of domestic properties including Hadrian's Crescent. The path of Hadrian's Wall lies to the south of the application site - see attached copies of plans.

A distinctive feature of this open area, but not readily apparent from the submitted plans, is its topography. From the west to the east along the road the land drops from a spot height of approximately 135 metres by The Garth to 130 metres near the Methodist Church and 122 metres near the Bridge Inn. In a north to south axis the land dramatically rises away from the road then drops to a stream and rises again. The only relatively level piece of land tightly follows the outline of the existing garage.

In considering this application it is felt that the main issue revolves around the potential impact of the proposal on the character of the area. As such, the following points should be kept in mind:

- a) Current ministerial guidance contained in PPG7 "The Countryside and the Rural Economy" (revised) explains that:

"New housing will continue to be required in rural areas, to sustain healthy economic activity and the viability of village communities. Many villages can accommodate modest development without damage to their character or to the countryside. New housing can help to sustain villages by providing the basis for maintaining local services. New housing developments in the countryside should be designed and sited with particular care and sensitivity".

- b) Under the Cumbria and Lake District Joint Structure Plan (SP) the site is part of a designated Landscape of County Importance. Policy 12 of the SP and Policy E4 of the Carlisle District Local Plan (CDLP) both seek to ensure that permission is not given for development which would have an unacceptable effect on its landscape character. The proposal is also within the buffer zone of Hadrian's Wall Military Zone World Heritage Site and therefore subject to Policy E26 of the CDLP. In addition Policies E50 and H5 of the CDLP seek to protect amenity open space within or at the edge of any settlement.

- c) The application site is part of an open field with a road frontage of approximately 122 metres. It performs an important function to the settlement as an open space part of the surrounding countryside.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0963 /

- d) The applicant has submitted a site location plan which only identifies a spot height and a single contour line. The aforementioned plan, nevertheless, shows that the majority of the site would be formed by encroaching into the field beyond the area taken up by the existing garage. When visiting the site it also becomes apparent that any proposal, because of the constraints set by the stream and topography of the site, is likely to involve the building up of land to the east and excavation leading to the formation of an embankment to the west in order to get a level area sufficient to accommodate a bungalow. Excavations are also likely along the north-south axis for the same reason.

Based on the available information it is therefore considered that the proposal would not only lead to the loss of amenity open space but, in combination with the likely amount of excavation work necessary, look incongruous causing harm to the character of the area. The applicant's rights are respected but it is considered that to allow the proposal would be contrary to the objectives of Policy 12 of the Cumbria and Lake District Joint Structure Plan and Policies E4, E50 and H5 of the Carlisle District Local Plan.

RECOMMENDATION: -

REFUSE ✓

1. REASON: The application site is part of a field which is a significant open space providing a positive contribution to the character of this part of the village. In such a location the proposed development will harm the character and amenity value of the site by not only encroaching into the field, but also, because of the scale and nature of the work necessary to level the site. The proposal is therefore considered to be contrary to the objectives of Policy 12 of the Cumbria and Lake District Joint Structure Plan and Policies E4, E50 and H5 of the Carlisle District Local Plan.

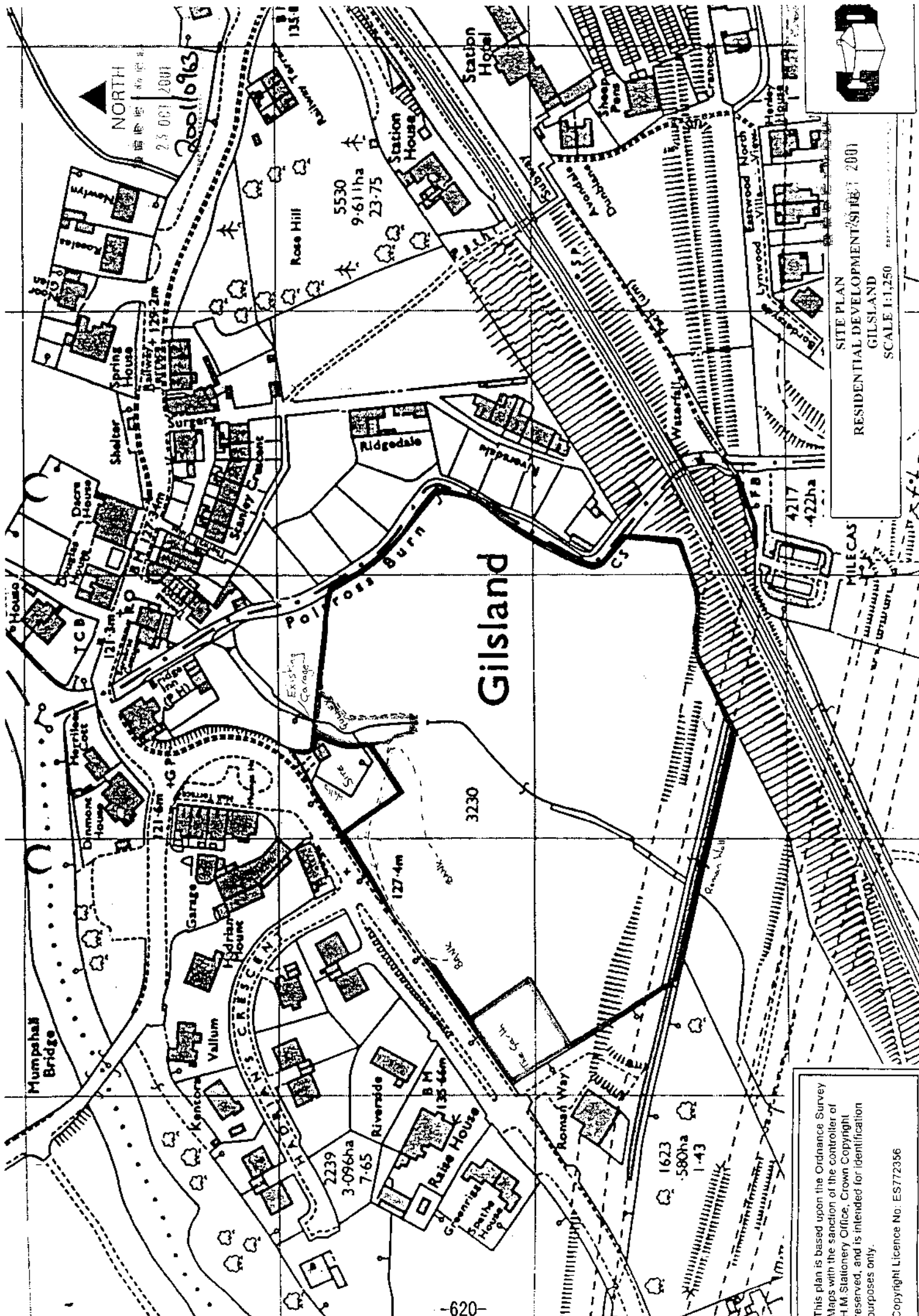
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P 00-63

P624 →



NORTH  
 25 OCT 2001  
 20010913



SITE PLAN  
 RESIDENTIAL DEVELOPMENT/SITE 7 2001  
 GILSLAND  
 SCALE 1:1,250

This plan is based upon the Ordnance Survey Maps with the sanction of the controller of H.M. Stationery Office, Crown Copyright reserved, and is intended for identification purposes only.  
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## SCHEDULE A: Applications with Recommendation

ITEM NO. 34

Date of Committee: 14/12/2001

APPN REF NO:  
01/0969 /

APPLICANT:  
Mr P J Ashworth

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
26/10/2001

AGENT:  
Mr Jock Gordon

WARD:  
Stanwix Rural

LOCATION:  
L/Adj The Far Boot, Townhead, Houghton Carlisle, Cumbria

GRID REF:  
340970 560165

PROPOSAL: Erection of dwelling (outline)

John

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H5

Within the following settlements, large scale residential development will not be permitted. Proposals for small scale residential development will normally be acceptable providing that:

1. the site is well related to the landscape of the area and does not intrude into open countryside; and
2. the scale of the proposed development is well related to the scale, form and character of the existing settlement; and
3. the layout of the site and the design of the buildings is well related to existing property in the village; and
4. the siting and design of the buildings is well related to and does not adversely affect the amenity of neighbouring property; and
5. appropriate access and parking can be achieved; and
6. the proposal will not lead to the loss of amenity open space within or at the edge of the settlement; and
7. the proposal will not lead to the loss of the best and most versatile agricultural land.

Aglionby, Baldwinholme, Banks, Barclose, Beaumont, Blackford, Blackwell, Boltonfellend, Boustead Hill, Broadwath, Brisco, Brunstock, Burgh-by-Sands, Burnrigg, Cardewlees, Cargo, Carleton, Castle Carrock, Cotehill, Cumdivock, Cummersdale, Cumrew, Cumwhinton, Cumwhitton, Durdar, Easton, Farlam, Faugh, Fenton, Gaitsgill, Gilsland, Great Corby, Great Orton, Grinsdale, Hallbankgate, Harker, Hayton, Hayton Townhead, Heads Nook, Hornsby, Houghton, How Mill, Irthington, Kirkcambeck, Kirkandrews-on-Eden, Knells, Lanercost, Laversdale, Linstock, Little Orton, Low Crosby, Longburgh, Low Row, Lyneholmford, Midgeholme, Milton, Moat, Monkhill, Moorhouse, Newby East, Newtown, Raughtonhead, Rockcliffe, Rickerby, Scaleby, Scotby, Smithfield, Stainton, Stockdalewath, Talkin, Tarraby, Thurstonfield, Tindale, Todhills, Walton, Warwick-on-Eden, Warwick Bridge (Including Little Corby & Corby Hill), Westlinton, Wetheral, Wetheral Pasture.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0969 /

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS: No objection, subject to conditions

STANWIX RURAL PARISH COUNCIL: The Parish Council has no objection to the principle of the application but is concerned about the proposed access.

ARCHAEOLOGY: No observations.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. One letter has been received, which raises concerns about highway access and drainage.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

A similar application was refused in 1991, for the following reasons:-

The proposal has been refused because it would lead to the erosion of the existing informal and loose knit pattern of development, which would be detrimental to the character of the area and is unrelated to an agricultural need. This would be contrary to the provisions of Policy H8 of the Cumbria and Lake District Structure Plan and Proposal H8 of the draft Carlisle Rural Area Local Plan.

#### DETAILS OF PROPOSAL

Outline permission is sought for the erection of a dwelling on a site of 0.1ha at Far Boot, Townhead, Houghton. The site is located on the south east side of the road from the A689 towards The Knells and Scaleby, and currently forms part of the garden of the property known as The Far Boot, a house of traditional character, sited on the road frontage. Opposite the site are houses of similar character to The Far Boot, while to the north east are large modern detached houses, set in large gardens.

In determining this application, members should consider whether the site is acceptable on the basis of Policy H5. The site is not within a recognised settlement, in that it is separated from the village of Houghton itself by the M6 and the A689. Nevertheless, Policy H5 does recognise that in certain instances, sites not within recognised settlements may be acceptable. This situation is covered in paragraphs 4.46 of the District Plan, which is reproduced in the schedule.

In this particular case, it will be apparent that this site is within, "a group of dwellings" which extends from the A689 along the road towards Scaleby; this area is generally known as The Knells. It comprises a series of dwellings of varying



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0969 /

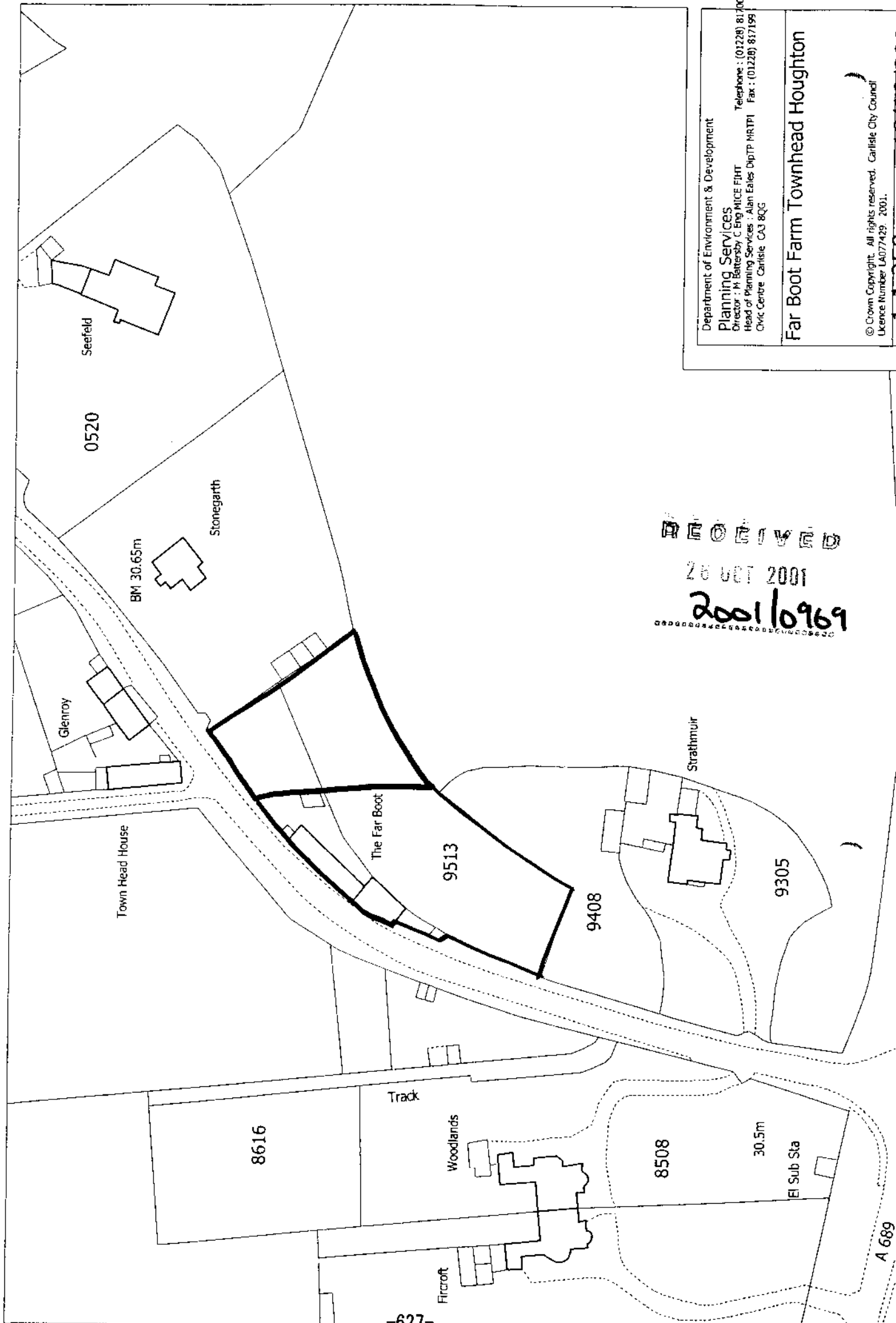
character, mostly on the south east side of the road, with concentrations at certain points. The whole area is shown in a plan in the schedule, which also identifies sites where approval has been granted for new dwellings on the basis of paragraphs 4.46 and H5. It will be from both paragraph 4.46 and the plan, that a principal consideration in cases like these is the location of the site in relation to neighbouring development, and in particular whether the site can properly be regarded as an individual infill site, or whether approval would set a precedent for other gap sites in the vicinity. In the latter case, it would clearly not be in accordance with paragraph 4.46 and policy H5 if the net result was a significant number of new dwellings in an area outside a recognised settlement.

The application site although forming a plot of sufficient size for a dwelling, adjoins two detached properties set within large garden areas. Other similar properties also exist further along the road. In this situation, there would clearly be the potential for further individual dwellings to be sited within some at least of these extensive garden areas. This would intensify the sporadic nature of development in this area and would clearly be contrary to the intention of paragraph 4.46 of the local plan. Officers consider that this is a fundamental drawback in relation to the current application, and this is therefore recommended for refusal.

### RECOMMENDATION: -

REFUSE ✓

1. The application proposes the erection of a dwelling on a site of 0.1ha. on the south east side of the road between the A689 and Scaleby. It is presently part of the garden of the property known as the Far Boot, and its development as proposed would set an undesirable precedent for further individual dwellings within the garden areas of nearby properties. Cumulatively this would intensify the sporadic nature of development in the area with consequent erosion of its rural character, contrary to Policy H.5 of the Carlisle and District Local Plan and Policy 40 of the Cumbria and Lake District Structure Plan.

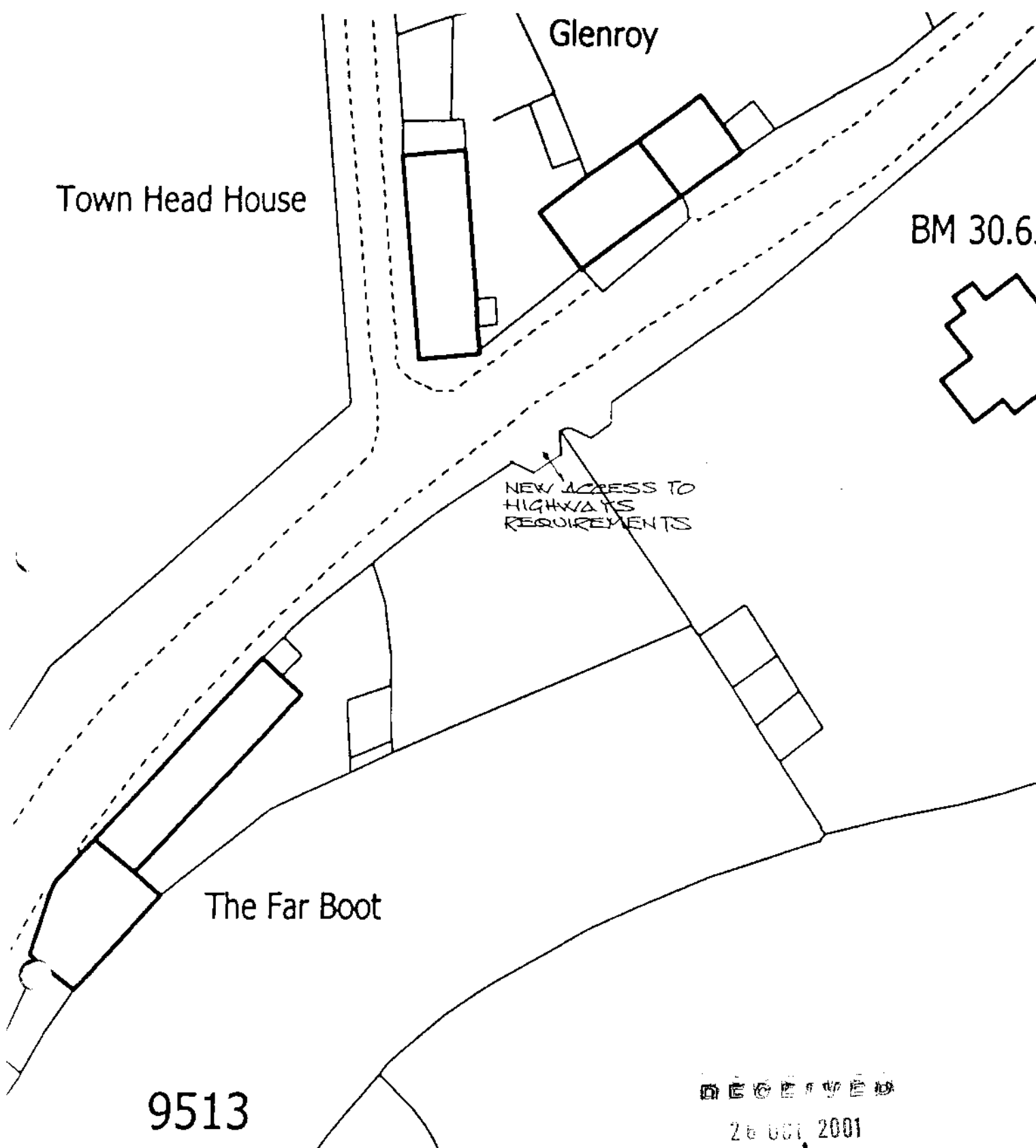


**RECEIVED**  
 26 OCT 2001  
 2001/0969

Department of Environment & Development  
**Planning Services**  
 Director: M Battersby C Eng MICE FIHT Telephone: (01228) 817000  
 Head of Planning Services: Alan Eales DipTP MRATPI Fax: (01228) 817199  
 Civic Centre Carlisle CA3 8QG

**Far Boot Farm Townhead Houghton**

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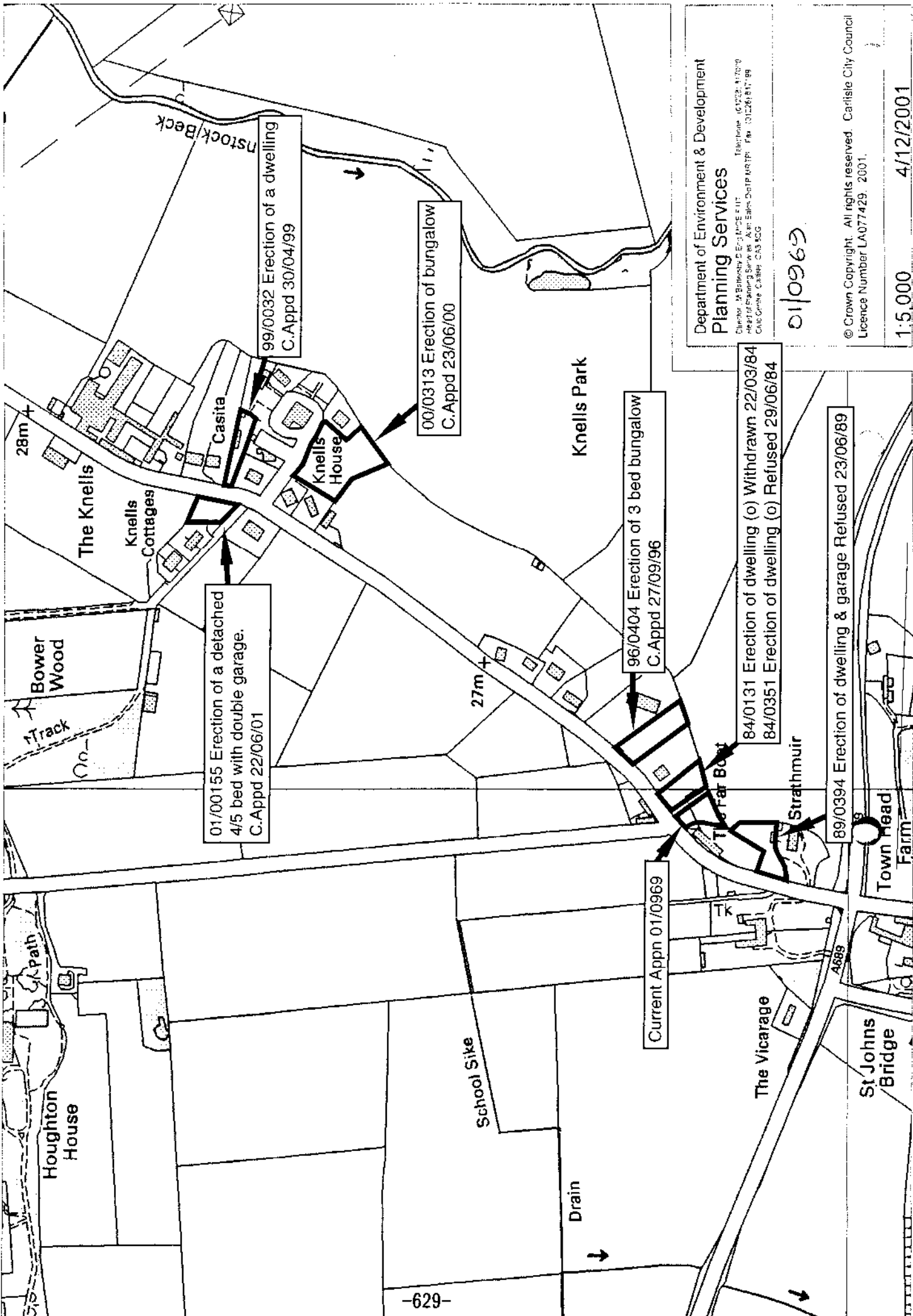
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26 OCT 2001  
2001/0969

PROPOSED DWELLING  
THE FAR BOOT  
TOWN HEAD  
HOUGHTON.

SITE PLAN.

Scale: 1/500



Department of Environment & Development  
**Planning Services**  
 Director: M. Boleyn, D. Eng. (MCE) & IT Telephone: 01202 417200  
 Head of Planning Services: Alan Sales, Dept. M/PT/PA Fax: 01202 417199  
 Civic Centre, Carlisle, CA3 8JG

01/0969

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1:5,000 4/12/2001

**"Stonegarth"**  
**Houghton**  
**Carlisle**  
**Cumbria, UK**  
**CA6 4JF**

**Tel: + 44 (0) 1228 541614**  
**Fax: + 44 (0) 1228 515747**  
**Mobile: + 44 (0) 7880 727272**  
**E-mail: mike27ml@btinternet.com**

**FAX TRANSMISSION**

PLANNING SERVICES	
REF	010969
2 8 10/11/01	
REC'D	<i>[Signature]</i>
SEARCHED	
PASSED TO	<i>[Signature]</i>
ACTION	

**To: Mr. J Hamer**

**Fax No: 01228 817199**

**From: Mike Little**

**Date: 19-11-01**

**No of Pages:**

Your ref 01/0969 out line erection of dwelling The Far Boot Houghton

Dear Sir I would like to express my concern regarding the above proposal Firstly the entrance could be a traffic hazard as it is on a bad corner and there as been accidents in the past. Secondly the effluent from the septic tank outlet will be difficult to get rid of as all the existing properties in the area have problems with septic tank outlets.

I am sure you or your colleagues will remember this site as been turned down in the past I think for these reasons.

Best Regards Mike Little



to this Proposal vary considerably in terms of size and character and therefore what constitutes large and small scale will vary considerably from settlement to settlement. In all cases, however, developments of 20 dwellings or more will be considered large scale. Development proposals in any of these villages will be assessed on the basis of the stated criteria. Therefore, the scale, form and character of development which will be appropriate will vary considerably depending on the village in which it is to be located. In the smallest villages, one or two dwellings may well be all that is acceptable.

4.41 The impact of a proposal on the landscape will be a significant factor in determining whether it is acceptable. In most cases it will be more acceptable to locate new housing within the settlement rather than outside the boundary. Sites may also be permitted on the edge of villages providing they: relate well to and are contained by the existing landscape features of the area; relate well to the form, scale and character of the rest of the village; and the scheme does not adversely affect the amenity of adjacent dwellings. Proposals which will extend a settlement in such a way as to act as a precedent for the release of other land for development beyond the village limits will not be acceptable.

4.42 A further important factor in determining the acceptability of a development scheme will be the scale of development in relationship to the size of the existing village. Proposals that clearly imbalance, in terms of scale, the relationship between existing and new development will not be permitted.

4.43 Many villages have open areas such as village greens, orchards or mature gardens which make a significant contribution to the character of the settlement. These open areas are often an integral part of the village, providing important views within the settlement, or out into the open countryside. The development of such areas will not normally be permitted.

4.43 Other open areas within settlements will, however, be regarded as infill sites suitable for development, provided they satisfy the criteria in Policy H5. Infill sites are generally defined as gaps in an otherwise built up frontage or area of development. What is considered an acceptable infill site for development will obviously vary depending on its location within and the size of the village. In the smaller villages it is unlikely that development would be allowed except in narrow gaps capable of supporting no more than one or two houses.

4.44 The City Council will be producing Supplementary Planning Guidance based on the Countryside Commission's Technical Report *Design in the Countryside*. This will provide more detailed guidance for developers on these issues.

4.45 Defining the boundaries to some settlements can be difficult and each case must be examined individually, particularly where there are scattered areas of housing along road frontages. Depending upon their location and the distance from other property they may not be considered to be within the village envelope, and as such development will not normally be permitted.

4.46 The list of settlements does not include all of the smaller hamlets and groups of dwellings in the rural part (outwith the Remote Rural Area) of the District. There may be opportunities for acceptable infill development within these smaller hamlets and groups of dwellings. It is, however, the case that not all infill sites are suitable for development, particularly where it would merely extend ribbon development or involve the development of visually important open space (see also Policy E50).

## SCHEDULE A: Applications with Recommendation

ITEM NO. 35

Date of Committee: 14/12/2001

APPN REF NO:  
01/0970 /

APPLICANT:  
Mr & Mrs Buchanan

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
26/10/2001

AGENT:  
Mr Jock Gordon

WARD:  
Stanwix Rural

LOCATION:  
L/A Stile Farm, Linstock, Carlisle Cumbria

GRID REF:  
342830 558430

PROPOSAL: Erection of dwelling (revised application)

*John*

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E29

Elsewhere in the Plan area, on other known sites and monuments of archaeological significance, permission for development will be granted, provided the applicant can demonstrate that the site will be either satisfactorily preserved or appropriate arrangements for excavation and recording have been made. These cases will be judged against the following:

1. the importance of the archaeological features;
2. the effects of the proposal on the archaeological features;
3. the need to retain and where possible enhance the features which have a particular archaeological and/or landscape significance;
4. the applicant's arrangements for in situ preservation of the features.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objection.  
STANWIX RURAL PARISH COUNCIL : no observations  
ARCHAEOLOGY : no objection, subject to condition requiring an investigation to be carried out

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. One letter of objection has been received, which is reproduced in the Schedule. This argues:

1. that the site is beyond the confines of the village
2. the proposal encroaches on a site of architectural and historic importance
3. together with other recent development in Linstock, the proposal would create traffic and other problems in the village.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0970 /

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In October 2000, outline application 00/0670 for the erection of a dwelling on this site was refused, following a Committee site visit, four reasons relating to the potential impact on the nearby archaeological site at Linstock Castle and the poor relationship with the form of Linstock Village.

At the Committee on 21st September, a full application was approved for a bungalow with rooms in the roof space/

#### DETAILS OF PROPOSAL

This application relates to a revised application for the erection of a dwelling at Stile Farm, Linstock. The site lies beyond the existing dwelling and associated farm buildings and is currently used as garden area. It is bordered to the north by a line of trees, to the south by a post and wire fence and to the east by the moat of Linstock Castle. It will be noted from the history that following an earlier refusal of an outline application, a full approval was granted in September this year. It was considered that this proposal overcame the reasons for the refusal of the outline application which concerned the relationship between the site and the adjacent moat to Linstock Castle, and the adjoining agricultural land.

The September approval was for a bungalow with rooms in the roofspace. The current application is for a revised proposal for a similar dwelling in the same location. The new proposal has the same layout and overall height (i.e. 5.9 metres) as the approved proposal, but has a lower eaves level and steeper roof pitch. A further difference is that there is now a straight gable instead of a hipped roof.

The application is reported to the Committee as a result of an objection from a third party. It will be noted that this raises issues which relate to the principle of a dwelling on the site rather than the current proposal itself or the differences between that and the earlier approval. It should be noted that neither the existing approval nor the current proposal include a garage, and that parking is proposed to be in the yard area. As with the approved proposal, further planting is proposed along the southern boundary. The proposal is considered to be acceptable, and approval is recommended.

#### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

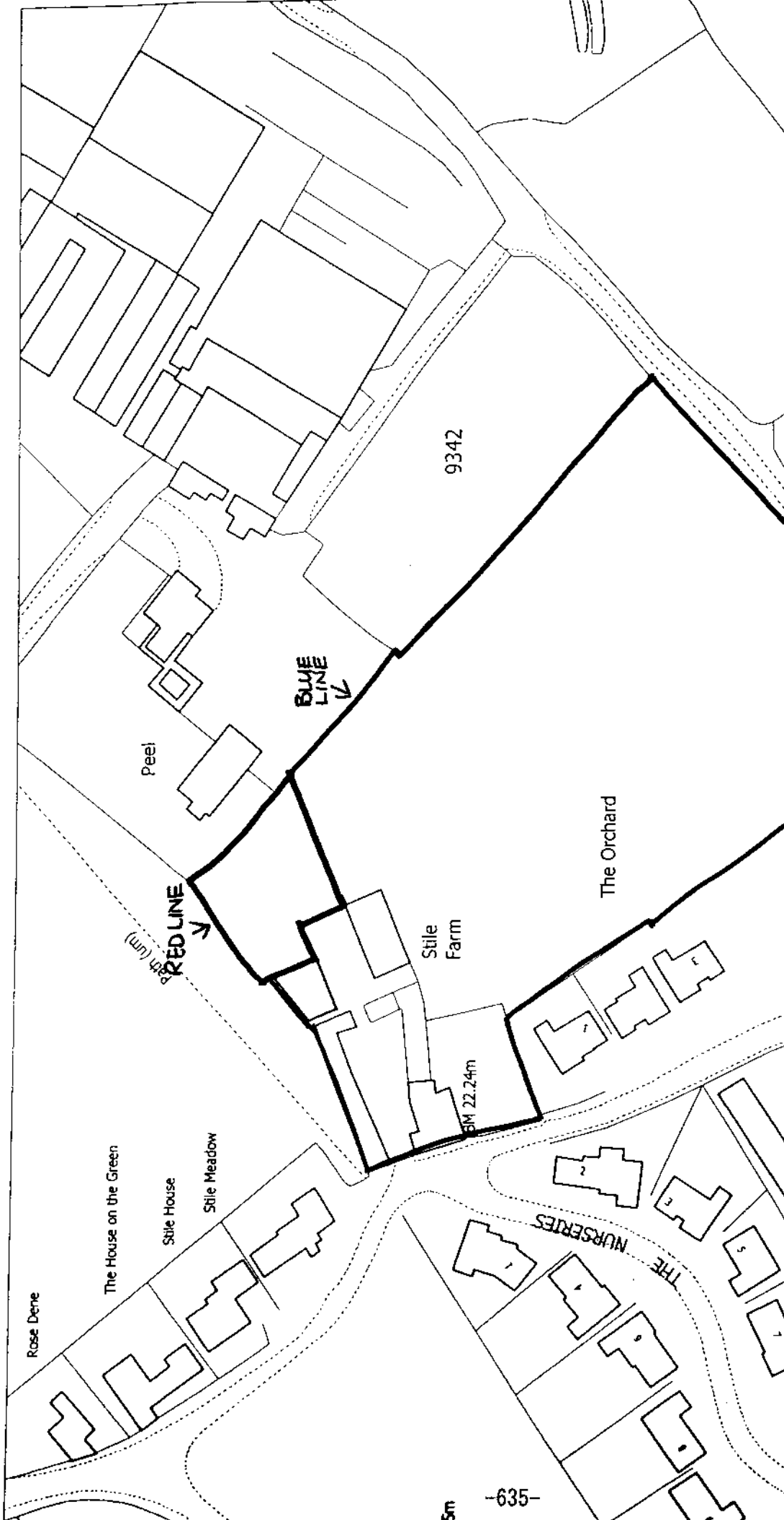
1. Standard time limit
2. Materials - submission of samples
3. Hard surface details



## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/0970 /

4. Protection of trees & hedges
5. Scheme to include species
6. Scheme to be implemented and maintained
7. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved by the local planning authority.



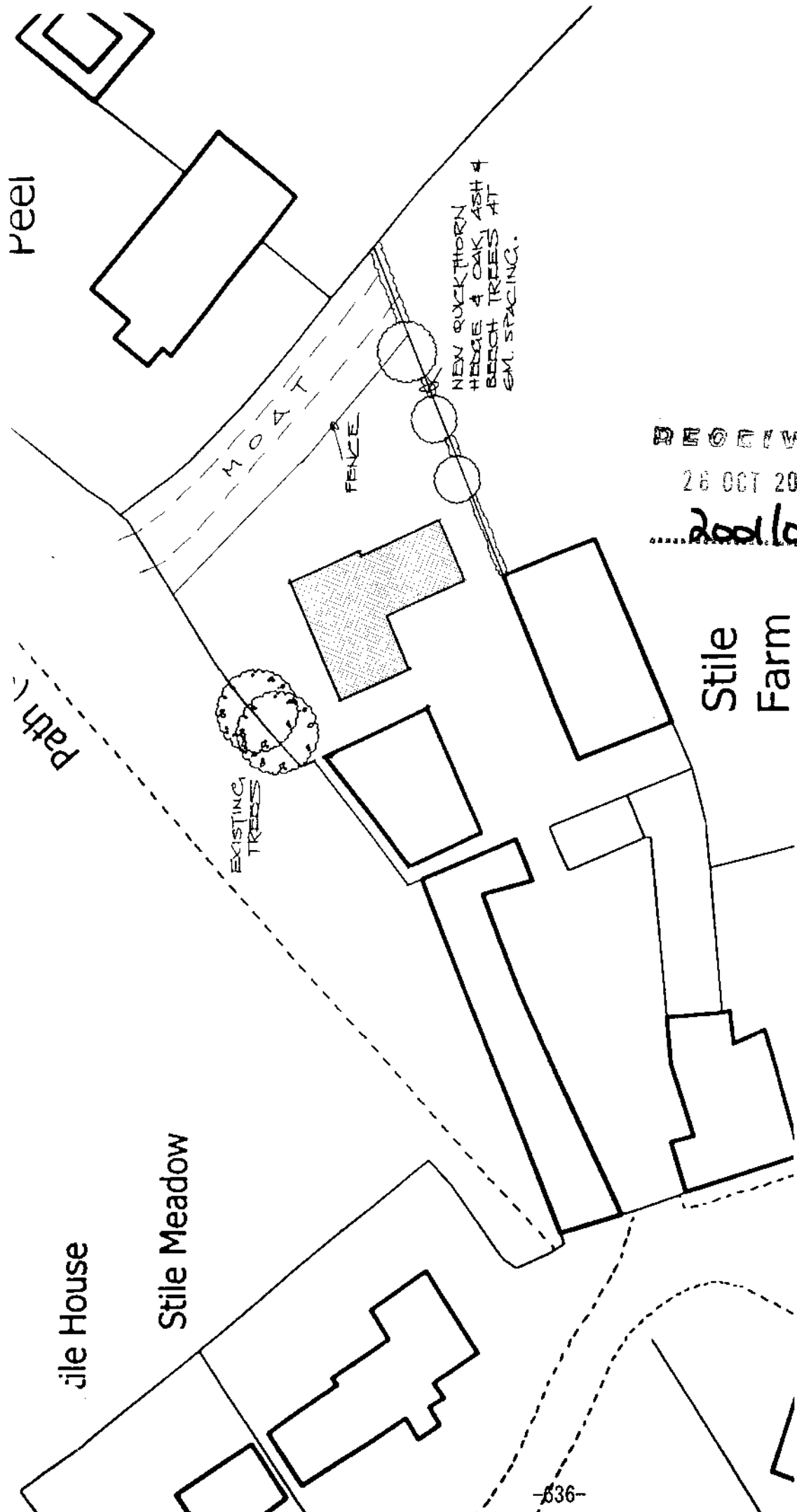
Department of Environment & Development  
**Planning Services**  
 Director : H. Battersby C Eng MICE FIHT Telephone : (01228) 812000  
 Head of Planning Services : Alan Eales DipTP MRTPH Fax : (01228) 817199  
 Civic Centre Carlisle CA2 8QG

**Stile Farm Linstock**

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**1:1,250** 19/10/2001

**RECEIVED**  
 26 OCT 2001  
 2001/10/26



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26 OCT 2001

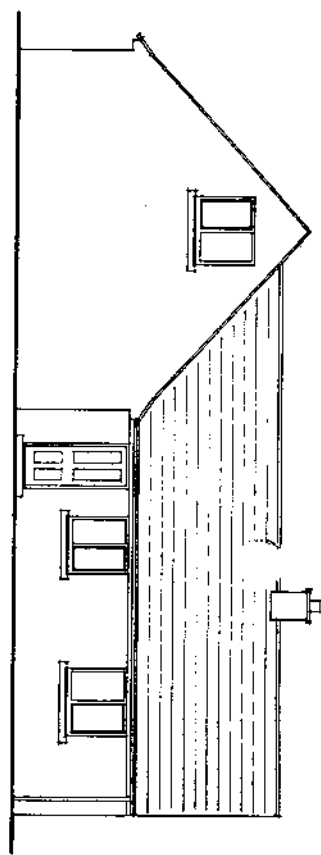
20010970

SITE PLAN  
Scale: 1:500

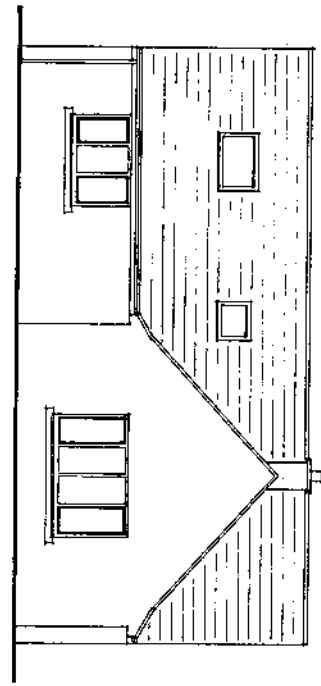
Stile Farm

PROPOSED DWELLING  
STILE FARM  
LINSTOCK  
CARLISLE.

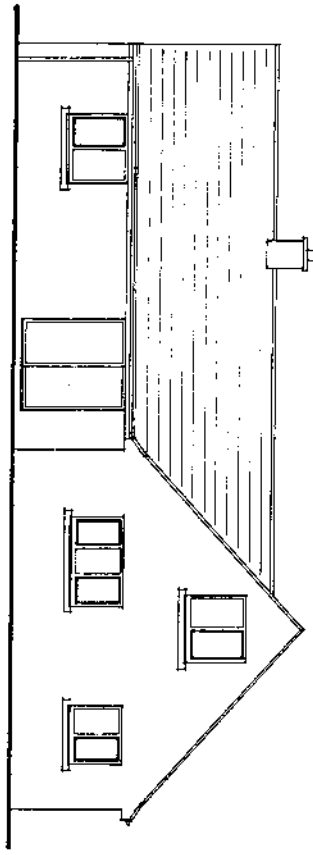
WEST ELEVATION



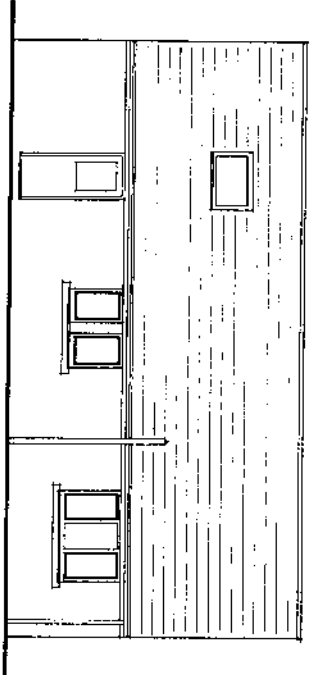
SOUTH ELEVATION



EAST ELEVATION

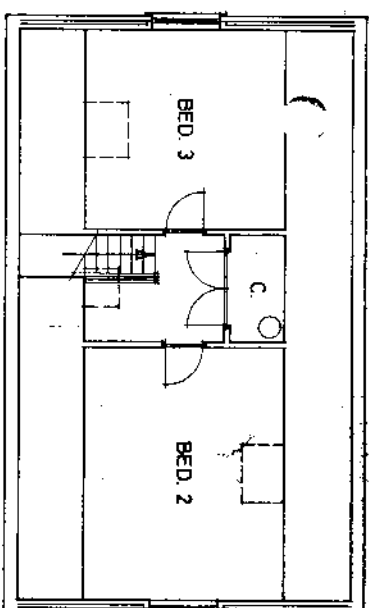


NORTH ELEVATION

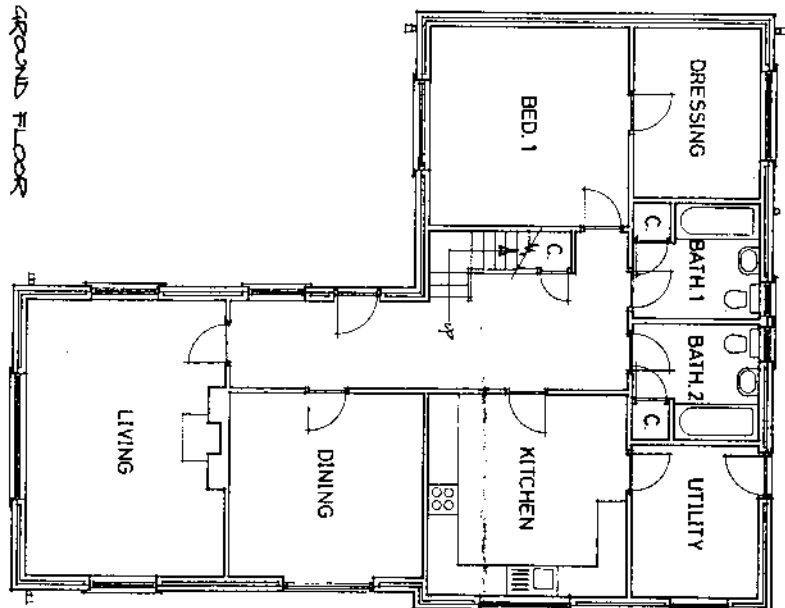


Materials:  
Siding: Vertical Siding  
Windows & Doors: Brown  
Roof: Brown  
Chimney: Brown

FIRST FLOOR



GROUND FLOOR



8888888888  
78 OCT 2001  
Architects

PROPOSED DWELLING  
STILE FARM - LINSTOCK - CARLISLE  
FOR MR & MRS BUCHANAN

Drawn: No. 399/1  
Scale: 1/50  
Date: OCT 2001

01/0970

2

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ACTION	

"Selah"  
 Chestnut Grove  
 Linstock  
 Carlisle  
 Cumbria  
 CA6 4RS

Tel No. 01228 590530

E-Mail- [ajjhg@netscapeonline.co.uk](mailto:ajjhg@netscapeonline.co.uk)

1st November 2001

Dear Mr Hamer,  
 Re Revised Application 01/0970 Stile Farm.

Thank you for your letter of the 29/10/01 advising me of the above application. Would you kindly note that my objections to this application remain and I highlighted these in an earlier letter when the first application was submitted. The revised plans do not alter my objections.

I have viewed the plans and would be obliged if you could note the following observations;

- ◆ The plans submitted do not accurately reflect the further development of this part of Linstock. the Nurseries site has additional housing and the site named " The Orchard" should have 4 dwellings shown, not 3 as indicated. Each of the new dwellings has 2 cars making the congestion and potential for accidents at the entrance to the Stile Farm yard highly problematic.
- ◆ The plans for the dwelling at stile Farm do not indicate whether there is to be a garage.
- ◆ The dwelling continues to encroach on what is a site of architectural and historical importance.
- ◆ The application states that there is not to be a change of use. I am surprised at this as the site is currently an agricultural site not purely residential. Are there plans to run a business from the site?
- ◆ I still have significant concerns that the planning authority is not taking sufficient note of the need to consider developments in Linstock as a whole. Pockets of piecemeal development are in my view causing significant local problems. Despite the developments there have been no commensurate improvement in facilities, roads or amenities in the village.
- ◆ I take the view that this dwelling would be built beyond the proposed building line of past village plans.

There are alternative buildings available for conversion without the need to resort to a new build in my view.

I regret that I have to object again to the plans however my considerations are in regard to the development of Linstock as a whole and the continuing change of use and threats to the land surrounding the village.

Yours sincerely

*Alan K Gadman*

Alan K Gadman .

## SCHEDULE A: Applications with Recommendation

ITEM NO. 36

Date of Committee: 14/12/20.

APPN REF NO: 01/0981 /  
APPLICANT: Birketts division of Greggs PLC  
PARISH: Carlisle

DATE OF RECEIPT: 02/11/2001  
AGENT: Mr Brian Halliburton  
WARD: Castle

LOCATION: 24 Scotch Street, Carlisle Cumbria  
GRID REF: 340086 556113

PROPOSAL: Installation of new shop front and erection of non-illuminated signage (LBC) (Retrospective)

*Review*

---

### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CONSERVATION AREA

The proposal relates to land or premises situated within the City Centre Conservation Area.

##### LISTED BUILDING IN A CONSERVATION AREA

The proposal relates to a building listed as being of Special Architectural or Historic Interest and which is situated within the City Centre Conservation Area.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E45

Well designed and appropriate shopfronts whether original or reproduction should be retained wherever practicable and if necessary restored when the opportunity arises. New shop fronts should relate in scale, proportions, materials and decorative treatment to the relevant facade of the building, and, where appropriate, to adjacent buildings and/or shopfronts.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E34

Applications for alterations or extensions to listed buildings must have regard to the scale, proportions, character and detailing of the existing building (both internally and externally) and of its windows and doorways. Any proposals which adversely affect the listed building will not be permitted.

#### SUMMARY OF CONSULTATION RESPONSES:-

COUNTY HIGHWAYS - no objections  
CONSERVATION AREA ADVISORY COMMITTEE - recommends that the application be refused on the grounds of the inappropriate

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0981 /

appearance of the style and finish of the shopfront.

### SUMMARY OF REPRESENTATIONS:-

Publicity has been given to this application by means of press and site notices. In response a letter has been received from the Carlisle and District Civic Trust objecting to the proposal on the grounds that the materials and design are unacceptable on a listed building.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

This building has a long and complex planning history dating back to 1949, relating to its use as a shop.

#### DETAILS OF PROPOSAL

Listed building consent is sought for the installation of a replacement shopfront at this grade II listed building which is located within the City Centre Conservation Area. A related application for approval under the Advertisement Regulations (ref. 2001/0982) immediately follows in the schedule. An application for planning permission has not yet been submitted. The application is retrospective as the works have already been carried out.

24 Scotch Street was until recently a jewelers. It is located in the middle of a listed terrace which stretches from the junction of Scotch Street with West Tower Street to the Market entrance. All of the shopfronts in this terrace have been altered over the years, mostly to the detriment of the character of the listed building. The Council's policy has therefore been to seek improvements to the appearance of these shopfronts when proposals for their redevelopment came forward. This is in line with the policies set out in the Council's adopted Shopfront Design Guide.

Recently, the jeweler moved away from 24 Scotch Street while at the same time "Birkets" decided to relocate from their premises further along the street. At a preliminary site meeting with Birkets' agent it was explained that Birkets would be moving into the premises and would want to install their corporate style of shopfront. The Assistant Conservation Officer explained that this would not be acceptable as the building is listed and located within a conservation area. The discussion that followed centred around the depth of the fascia and the agent was advised to follow the advice contained in the Shopfront Design Guide.

Applications for listed building consent and advert consent were duly submitted and went some way to ameliorating the more unacceptable aspects of the Birkets corporate style. However before further discussions could take place on specific details of the design, work had commenced on site. The shopfront that has been installed comprises a rectangular section aluminium

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0981 /

frame, a tiled stallriser and an illuminated aluminium fascia. The detailing, finish and means of illumination of this shopfront are not acceptable on a listed building. This point was put to the applicant's agent when it was also explained that a breach of listed building control had occurred. However rather than alter the shopfront to improve its appearance it has been decided by the applicant to have the application considered by Members as submitted. Therefore it is recommended that due to the inappropriate style, finish and method of illumination of the shopfront, this application be refused permission and enforcement proceedings commenced to remedy this breach of listed building control. ✓

RECOMMENDATION:-

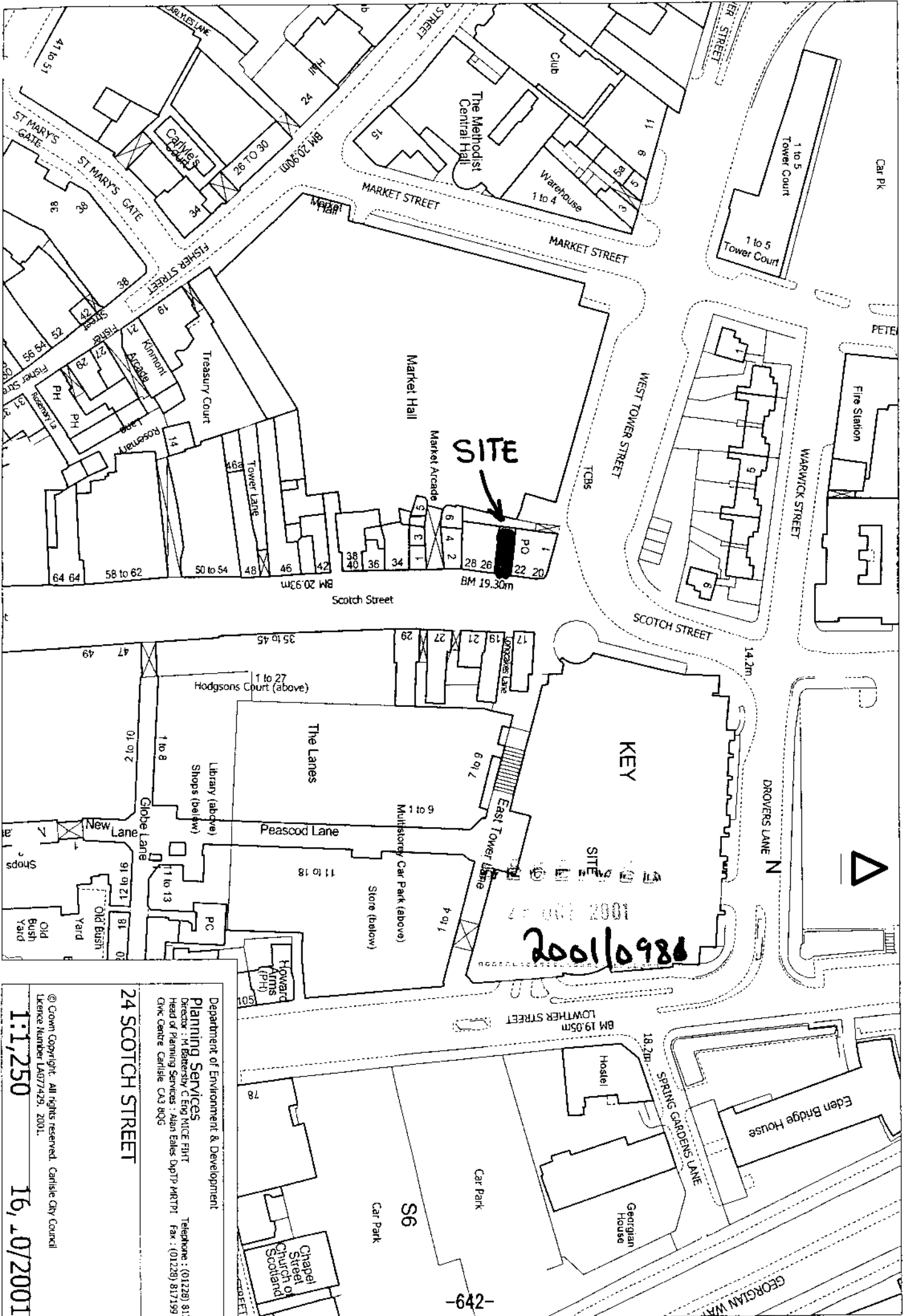
REFUSE ✓

1. REASON: The shopfront by virtue of the detailing of the aluminium frame, the materials used on the frame, fascia and stallriser and the method of illumination to the fascia, is detrimental to the character and architectural integrity of the listed building and detracts from the appearance of the Carlisle City Centre Conservation Area, and is therefore contrary to policies E34 and E45 of the Carlisle District Plan and the advice contained in the City Council's Shopfront Design Guide.

Suff

Agtes 163 - photos





Department of Environment & Development  
**Planning Services**  
 Director : M. Patterson C.Eng. MICE FIHT  
 Head of Planning Services : Alan Eales DipTP MRTP1 Fax : (01228) 817199  
 Civic Centre Carlisle CA3 9QS

**24 SCOTCH STREET**

Telephone : (01228) 817000

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**1:1,250**      **16, 10/2001**



# BIRKETTS

BAKERS & CONFECTIONERS

Hutton Hall Bakery, Penrith, Cumbria CA11 7YN Telephone: 01768 864666 Fax: 01768 864602

Mr R McCoy  
Planning Department  
Carlisle City Council  
Civic Centre  
Carlisle  
Cumbria

3 December, 2001

Dear Mr McCoy

As per our telephone conversation I now write to you regarding our alterations at 24 Scotch Street, Carlisle.

We have considered the concerns and complaints you have received from the Civic society but feel we have enhanced the looks of that particular building by following your guidelines which we have discussed on two occasions. Taking into account the shops on either side of us and listening to your concerns and compromising on various issues we hope that we have achieved a compromise that pleases all concerned and would like to see the application passed without any alterations.

I would also bring to your attention to something that was not on the application a trough light has been added to light up the fascia. We haven't switched the lights on as yet and we would like your approval on this matter. Normally we would have asked for a back lit fascia but we thought that it would not be considered at all for a listed building, but maybe a trough lights would be more suitable.

Yours sincerely



Paul Mitchell  
Shopfitting Manager

PLANNING SERVICES	
REF	01/0281
- 4 DEC 2001	
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INDEXED	RMC
ACTION	PAO

## SCHEDULE A: Applications with Recommendation

ITEM NO. 37

Date of Committee: 14/12/20

APPN REF NO:  
01/0982 /

APPLICANT:  
Birketts division of Greggs PLC

PARISH:  
Carlisle

DATE OF RECEIPT:  
02/11/2001

AGENT:  
Mr Brian Halliburton

WARD:  
Castle

LOCATION:  
24 Scotch Street, Carlisle Cumbria

GRID REF:  
340086 556113

PROPOSAL: Erection of non-illuminated fascia signage (Retrospective)

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### REPORT

#### PLANNING POLICIES:-

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### CONSERVATION AREA

The proposal relates to land or premises situated within the City Centre Conservation Area.

##### LISTED BUILDING IN A CONSERVATION AREA

The proposal relates to a building listed as being of Special Architectural or Historic Interest and which is situated within the City Centre Conservation Area.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E45

Well designed and appropriate shopfronts whether original or reproduction should be retained wherever practicable and if necessary restored when the opportunity arises. New shop fronts should relate in scale, proportions, materials and decorative treatment to the relevant facade of the building, and, where appropriate, to adjacent buildings and/or shopfronts.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E34

Applications for alterations or extensions to listed buildings must have regard to the scale, proportions, character and detailing of the existing building (both internally and externally) and of its windows and doorways. Any proposals which adversely affect the listed building will not be permitted.

#### SUMMARY OF CONSULTATION RESPONSES:-

COUNTY HIGHWAYS - no objections  
CONSERVATION AREA ADVISORY COMMITTEE - recommends that the application be refused on the grounds of the inappropriate appearance of the style and finish of the shopfront.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0982 /

### SUMMARY OF REPRESENTATIONS:-

Publicity has been given to this application by means of press and site notices. In response a letter has been received from the Carlisle and District Civic Trust objecting to the proposal on the grounds that the materials and design are unacceptable on a listed building.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

This building has a long and complex planning history dating back to 1949, relating to its use as a shop.

#### DETAILS OF PROPOSAL

Consent is sought under the Advertisement Regulations to retain signage which has been erected on this grade II listed building. A related application for listed building consent (ref. 01/0981) appears earlier in the schedule.

### RECOMMENDATION:-

REFUSE 

1. REASON: The signage, by virtue of the materials used and the method of illumination employed, is detrimental to the character and architectural integrity of the listed building and detracts from the appearance of the Carlisle City Centre Conservation Area, and is therefore contrary to policies E34 and E45 of the Carlisle District Plan and the advice contained in the City Council's Shopfront Design Guide.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 38

Date of Committee: 14/12/2001

APPN REF NO: 01/0986 /                      APPLICANT: T Zihni & Niyazi Enver                      PARISH: Carlisle

DATE OF RECEIPT: 29/10/2001                      AGENT: Zihni Kale                      WARD: Castle

LOCATION: 97 Botchergate, Carlisle Cumbria                      GRID REF: 340489 555462

PROPOSAL: Variation of condition 3 attached to consent 97/0043 to allow opening on Thursday to Sunday from 03.00pm to 03.00am

---

### REPORT

*Richard*

#### PLANNING POLICIES:-

##### WASTE DISPOSAL SITE

The proposal site is within or adjacent to a Waste Disposal Site.

##### CONSERVATION AREA

The proposal relates to land or premises situated within the Botchergate Conservation Area.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E43

The City Council will encourage, and permission will be granted for development within and adjoining Conservation Areas which preserves or enhances their character. The City Council will seek to ensure any new development or alterations to existing buildings are in sympathy with the setting, scale, density and physical characteristics of Conservation Areas, and protect important views into or out of such areas. Applications for outline planning permission will not be accepted for proposals in Conservation Areas.

##### CARLISLE DISTRICT PLAN SHOPPING - POLICY S15

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0986 /

Within the Plan area, proposals for uses within Use Class A3 (food and drink, including restaurants, public houses, wine bars and take aways) will be approved provided that:

1. the proposal does not involve disturbance to occupiers of residential property; and
2. the proposal does not involve unacceptable intrusion into open countryside; and
3. the proposal, whether new development or conversion complements surrounding development or the character of the existing building; and
4. appropriate access and parking can be provided; and
5. within the City Centre Shopping Area opening hours are restricted to no later than 1.30 am. Here and elsewhere in the Plan area opening hours will be imposed having regard to the surrounding uses, the character of the area and the possibility of disturbance to residential areas.

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

ENVIRONMENTAL HEALTH OFFICER: This Division wished to raise its concern regarding the erosion of the existing opening hours which I believe were put in place to safeguard the local residents.

If the later opening were permitted it would adversely affect local residents by people going/ leaving the premises in the early hours of the morning.

This Division has no powers to abate this type of disturbance and responsibility would lie with the police.

CUMBRIA CONSTABULARY: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice and press notice. No response has been received.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Planning permission was granted for the change of use to a pet shop on 1 April 1970, under reference TP2202.

Planning permission was granted for the change of use from Class A1 retail to Class A3 takeaway retail, on 21 March 1997, under reference 97/0043.

#### DETAILS OF PROPOSAL

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0986 /

The premises which is the subject of this application currently operates as a hot food takeaway in accordance with the planning permission granted in 1997. Condition number 3 of this permission states:

"The premises shall not be open for trading except between 0800 hours and 0130 hours on Mondays to Saturdays and not after 0130 on Sundays."

This application seeks planning permission to vary the details of this condition to allow trading until 0300 hours on Thursday to Sunday. The site is located on the eastern side of Botchergate close to the junction with Tait Street.

There are two primary issues involved in the determination of this application. The first of which is the proximity of the application site to Tait Street, which is a Primary Residential Area.

Following the granting of planning permission under application reference 97/0043, the applicants lodged an appeal with the Planning Inspectorate against the condition restricting the permitted trading hours. A copy of the Inspector's decision letter is reproduced following this report.

Members will note that the Inspector's conclusion in paragraph 9 which reads:

"I conclude that the variation in hours of trading you seek would cause demonstrable harm to living conditions for the occupiers of nearby dwellings and the bed and breakfast accommodation above the appeal premises by reason of noise and disturbance at unsocial hours. This would also conflict with the objectives of the development plan policies for Class A3 uses."

A significant consideration is that whilst the appeal centered around trading hours for Monday to Sundays, the current application seeks permission to vary the condition to allow late trading on Thursday to Sundays only.

In determining planning applications, a material consideration is the development plan policies. With regard to this application, in this instance Policy S15 of the Carlisle District Local Plan applies. Members will be aware that criteria 5 of this Policy requires that the opening hours of premises within the City Centre Shopping Area will be restricted to no later than 01.30am.

A number of hot food establishments are located on Botchergate and operate beyond 0130 hours. However, these were granted planning consent prior to the to the Carlisle Urban Area Local Plan, adopted in 1992, which contained a policy specifically for dealing with A3 uses, a criteria carried forward in policy S15 of the Carlisle District Local Plan. As already mention, this policy prevents any proposals for new hot food




## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/0986 /

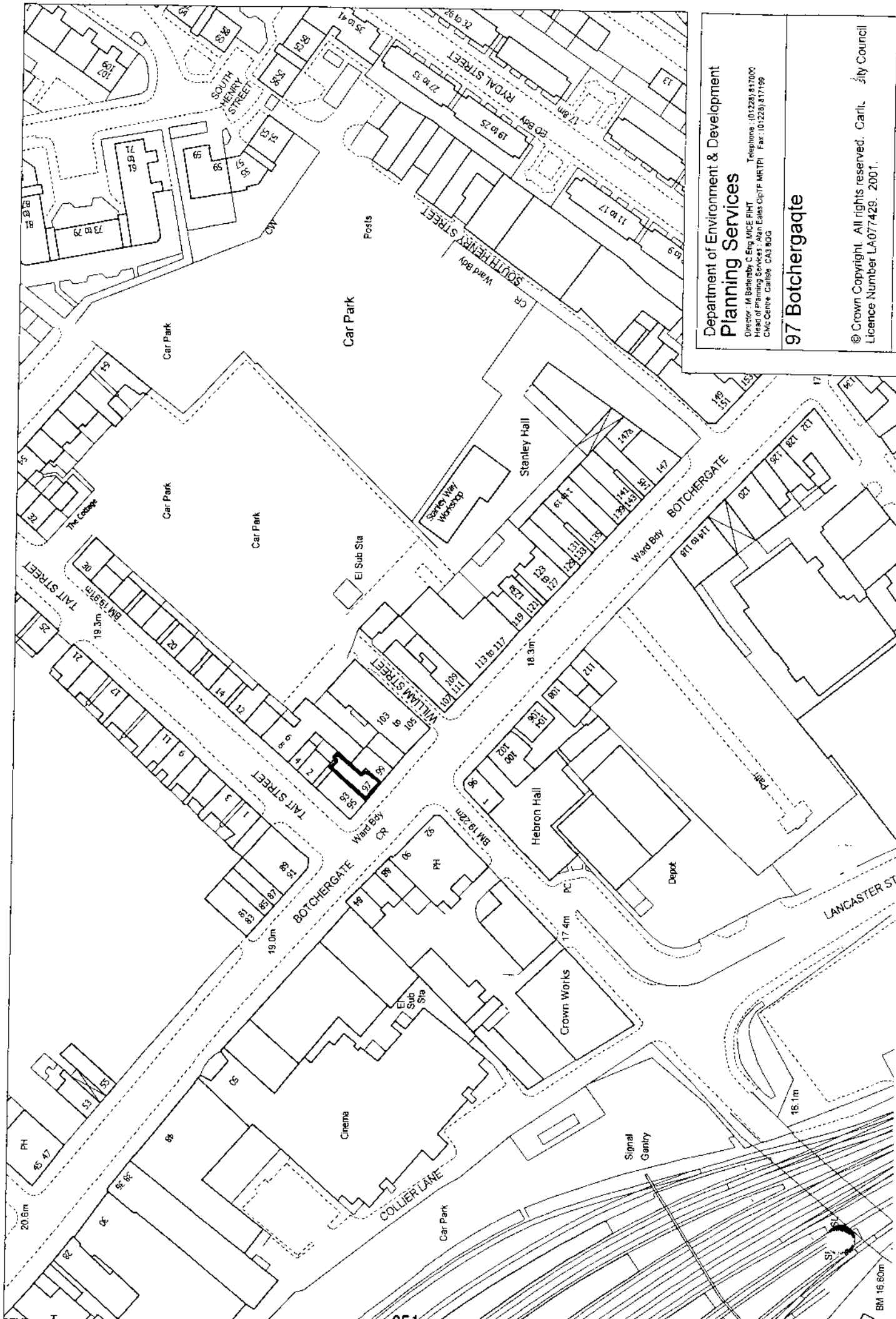
establishments within the City Centre to be open for trading after 0130 hours.

It is not considered that there has been any significant alteration in circumstances to warrant an approval of this current application and that the issues and conclusions drawn in the 1997 Planning Inspectorate's report remain relevant and applicable.

### RECOMMENDATION: -

REFUSE 

1. REASON: The application site is a hot food takeaway which is located within the Botchergate Conservation Area and the City Centre Shopping Area as defined in the Carlisle District Local Plan. The proposal is to vary the condition to allow the premises to open beyond 0130 hours would attract significant numbers of customers after many of the licensed premises close resulting in noise and disturbance in the surrounding area. The proposal is therefore contrary to Policy S15 of the Carlisle District Local Plan which restricts opening hours of A3 uses within the City Centre Shopping Area to no later than 0130 hours.
2. REASON: The premises is located close to a Primary Residential Area as defined in the Carlisle District Local Plan with residential accommodation also on the first floor of the premises. An approval to allow trading later than 0130 hours would result in an unacceptable level of noise and disturbance to local residents contrary to Policy H17 (Residential Amenity) of the Carlisle District Local Plan.



Department of Environment & Development  
**Planning Services**

Director: M Boreddy, C Eng, MICE, ERMH  
 Head of Planning Services: Alan Eales, CIPF, MR, TP1  
 CMC Centre, Canine, CA3 8DG  
 Telephone: (0)1228 817000  
 Fax: (0)1228 817199

**97 Botchergate**

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# The Planning Inspectorate

LP

*An Executive Agency in the Department of the Environment and the Welsh Office*

Room 1404  
Tollgate House  
Houlton Street  
Bristol BS2 9DJ

Direct Line 0117-987-8927  
Switchboard 0117-987-8000  
Fax No 0117-987-8769  
GTN 1374-8927

Mounseys  
19 Castle Street  
Carlisle  
CA3 8SY

Your Ref:  
A/E.29862  
Our Ref:  
T/APP/E0915/A/97/281320/P7  
Date:

**01 SEP 1997**

Dear Sirs

**TOWN AND COUNTRY PLANNING ACT 1990, SECTION 78 AND SCHEDULE 6  
APPEAL BY NIYAZI ENVER  
APPLICATION NO: 97/0043**

1. I have been appointed by the Secretary of State for the Environment to determine the above mentioned appeal against the decision of the Carlisle City Council to grant planning permission subject to conditions for a change of use from Class A1 retail to Class A3 take-away retail at 97, Botchergate, Carlisle. I have considered the written representations made by you and by the Council and also the representation made directly to the Council by Mr Eric Martlew MP which has been forwarded to me. I inspected the site and the surroundings on 19 August 1997.

2. The condition in dispute is no 3 which provides that "the premises shall not be open for trading except between 0800 hours and 0130 hours on Mondays to Saturdays and not after 0130 hours on Sundays". The reason given for this condition is "to prevent disturbance: nearby occupants".

3. The appeal premises are located within the Botchergate Conservation Area wherein there is a statutory duty, imposed by Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, to pay special attention to the desirability of preserving or enhancing the character or appearance of Conservation Areas. The Council have made no comment on the implications of varying the disputed condition for the Botchergate Conservation Area. The properties fronting onto Botchergate are in mixed uses and several are occupied by Class A3 (food and drink) businesses. Many premises are vacant and boarded up. In my view Botchergate has a rather run-down and neglected appearance at present. I consider that a variation in the hours of trading at the appeal premises would have little effect on the character or the appearance of the Conservation Area.

4. From my inspection of the appeal site and the surroundings and from my consideration of the written representations, it appears to me that the principal issue upon which this case turns is the effect of a variation in the hours of trading upon living conditions for the occupiers of nearby properties, by reason of noise and disturbance at unsocial hours.

5. The Carlisle Urban Area Local Plan, adopted in December 1992, contains a policy dealing specifically with proposals for Class A3 uses. A criterion within this policy has been carried forward in Policy S15 of the emerging Carlisle District Local Plan. It says that within the City Centre Shopping Area, opening hours for Class A3 uses will be restricted to no later than 1.30 am and that opening hours will be imposed having regard to the surrounding uses, the character of the area and the possibility of disturbance to residential areas. Proposals for Class A3 uses have been subject to this policy since it was adopted for development control purposes in 1991. The Council expect the emerging Local Plan to be formally adopted later this year. At this late stage leading to the adoption of the emerging Local Plan, and given the inclusion of a similar policy in the extant Local Plan, I attach considerable weight to Policy S15.

6. Section 54A of the 1990 Act, as inserted by the Planning and Compensation Act 1991, requires that planning applications be determined in accordance with the development plan unless material considerations indicate otherwise. The requested variation of condition 3 would conflict with the requirements of the present Local Plan policy and the emerging Policy S15. In support of your case you refer to the appellant's previous business at 73, Botchergate where he was able to trade lawfully until 0300 hours every day. The proposed redevelopment of part of Botchergate has caused the appellant to relocate to the appeal premises and continue his business from there. You argue that for this reason he is not creating a new business in the area. You also refer to 2 new Class A3 uses permitted by the Council in the Botchergate area which are not subject to the restriction imposed on the appeal premises. A recent planning permission for a nightclub almost directly opposite the appeal site will allow the club to remain open until 0200 hours.

7. The appeal premises are close to the junction with Tait Street, the predominant use of which is residential, the properties being older terraced houses opening directly onto the footway. You argue that the nightclub permitted by the Council carries a much higher risk of noise and disturbance for local residents than did the appellant's business when located at 73, Botchergate or at his present premises. The Council say that the Class A3 uses you refer to at 8 and 9, The Crescent and 4, Botchergate are now vacant but were occupied by Class A3 uses with planning permissions which pre-date the present policy.

8. I note that the upper floors above the appeal premises are occupied by a small hotel which the Council say offers bed and breakfast accommodation. The Council are also promoting the conversion of upper floors in Botchergate to residential use. The policy relating to Class A3 uses was introduced because of evidence of an increase in late night disturbance in the city centre and the control of opening hours of these uses was seen as a measure to combat the problem. The recent planning permission for a change of use to a nightclub at 84/88, Botchergate appears to me to conflict with this objective. I acknowledge that the policy in respect of Class A3 uses does not extend to nightclubs but given the purpose of the condition it is reasonable to expect that the same reasoning would apply to proposals for other late night uses in the city centre.

9. In my opinion the nightclub is likely to be a potential source of late night noise and disturbance when customers leave on closing at 0200 hours. By remaining open until 0300 hours it is likely that your client's business would encourage late night revellers to linger in Botchergate and extend the potential for noise and disturbance. I acknowledge that residents

in the city centre cannot expect the same degree of peace and quiet late at night as residents in the suburbs. However, I do not consider noise and disturbance until 0300 hours every night to be reasonable even for city centre dwellers. I do not find the arguments you advance in support of the proposal to be of sufficient weight to justify setting aside the relevant policies of the extant and the emerging Local Plans. I conclude that the variation in hours of trading you seek would cause demonstrable harm to living conditions for the occupiers of nearby dwellings and the bed and breakfast accommodation above the appeal premises by reason of noise and disturbance at unsocial hours. This would also conflict with the objectives of the development plan policies for Class A3 uses.

10. For the above reasons, and in exercise of the powers transferred to me, I hereby dismiss this appeal.

Yours faithfully

A handwritten signature in cursive script, appearing to read 'Roy Wilson', written in black ink.

ROY WILSON DipTP MRTPI  
Inspector

## SCHEDULE A: Applications with Recommendation

ITEM NO. 39

Date of Committee: 14/12/20

APPN REF NO: 01/1010 /                      APPLICANT:                      ARC Car Wash                      PARISH:                      Carlisle

DATE OF RECEIPT: 07/11/2001                      AGENT:                      Active Signs                      WARD:                      Belah

LOCATION:                      Arc Car Wash, Kingstown Road, Kingstown Carlisle, Cumbria                      GRID REF:                      339688 558157

PROPOSAL: Erection of internally illuminated and non-illuminated signage (retrospective)

*Richard*

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E47

Proposals for advertisements in Carlisle, Brampton and Longtown will be permitted providing that:

1. it is an appropriate location for advertising given the character and appearance of the surrounding area; and
2. the general siting, size and dominance of the advertisement will not have an adverse impact on the amenity of adjacent property; and
3. any relevant road safety issues are taken into consideration; and
4. within Conservation Areas particular attention must be given to the design, siting and illumination of the advertisements to ensure the preservation and enhancement of the special character and appearance of the area.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice. Nineteen individual letters to the occupiers of adjacent properties have also been sent. At the time of writing this report no representations have been received.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

There are a number of planning applications pertaining to this site but most of them relate to the food retail store adjacent to the site.

Of particular relevance, however, is an application for advertisement consent to display advertisements related to the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1010 /

previous car wash. This application was approved on 5 October 1993, under reference 93/0168.

### DETAILS OF PROPOSAL

This application seeks advertisement consent for the erection of various illuminated and non-illuminated signage at ARC Car Wash, Kingstown Road, Carlisle. The site is on Kingstown Road adjacent to the Aldi retail store. The site formerly traded under the name 'Imo'.

The advertisements which are the subject of this application, include a variety of signage attached to and within the main building on the site. Three fascia signs have been erected on three sides of the building and measure 1.94 metres in width by 1.31 metres in height and are part illuminated. These fascias contain the company name 'ARC'. The remaining signage is either wall or post mounted and includes non illuminated advertisements such as wash menus, instructional or informational 'lollipops', internal wash hall signage, maximum height disclaimer and exit signage.

The most prominent advertisement is the 'totem' sign which is situated on a piece of land between the exit from the car wash building and the entrance to the adjacent Aldi store, and close to Kingstown Road. The sign measures 6 metres in height by 2 metres in width and is internally illuminated.

Kingstown Road is one of the main thoroughfares into the city centre when approaching from the north.

Applications for advertisement consent can only be controlled in the interests of 'amenity' and 'public safety'. The Highway Authority have no objection. Whilst the signs may attract attention they would probably not be sufficient to cause a distraction and therefore pose a threat to users of the highway.

The merits of the application must therefore be assessed under 'amenity' grounds.

Advertisement proposals should have regard to the environment and the visual amenity of the area, as defined in Planning Policy Guidance Note 19 (Outdoor Advertisement Control). The signage, as proposed, would appear over-dominant and incongruous to the surroundings.

Policy E47 (Advertisements) of the Carlisle District Local Plan provides the relevant material considerations in drawing a conclusion on the merits of this application. The site is not within a conservation area and the matter of the highway issues has already been discussed. Therefore, criterion 3 and 4 of the Policy are not relevant.

The first criteria requires that the location is appropriate for an advertisement given the character and appearance of the area. The advertisements which have been erected on the

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1010 /

building are not sufficiently detrimental as to warrant a refusal of this application. However, the concern revolves around the size of the 'totem' signs.

Criteria number 2 requires that the siting, size and dominance of the advertisement will not be detrimental to the amenity of the occupiers of adjacent properties. The sign is of a significant size but it is considered that whilst it does form an obscure feature on the landscape, it does not adversely affect the amenity of the occupiers of any neighbouring residential properties.

The previous signage on the site measured approximately 4 metres in height.

The site is situated adjacent to a Primary Residential Area. The sign faces towards the end of, and opposite, a number of residential properties, and the scale of the sign is such that it dominates the site upon which it is sited. The sign has a detrimental effect on the character of the street scene.

Officers have written to the applicants with a view to obtaining an amended scheme but at the time of writing no response has been received.

NS

I would draw Members attention to the fact that enforcement action has already been authorised following an agenda item presented at the meeting of the Planning and Land Use Sub Committee on 21 September 2001. ✓

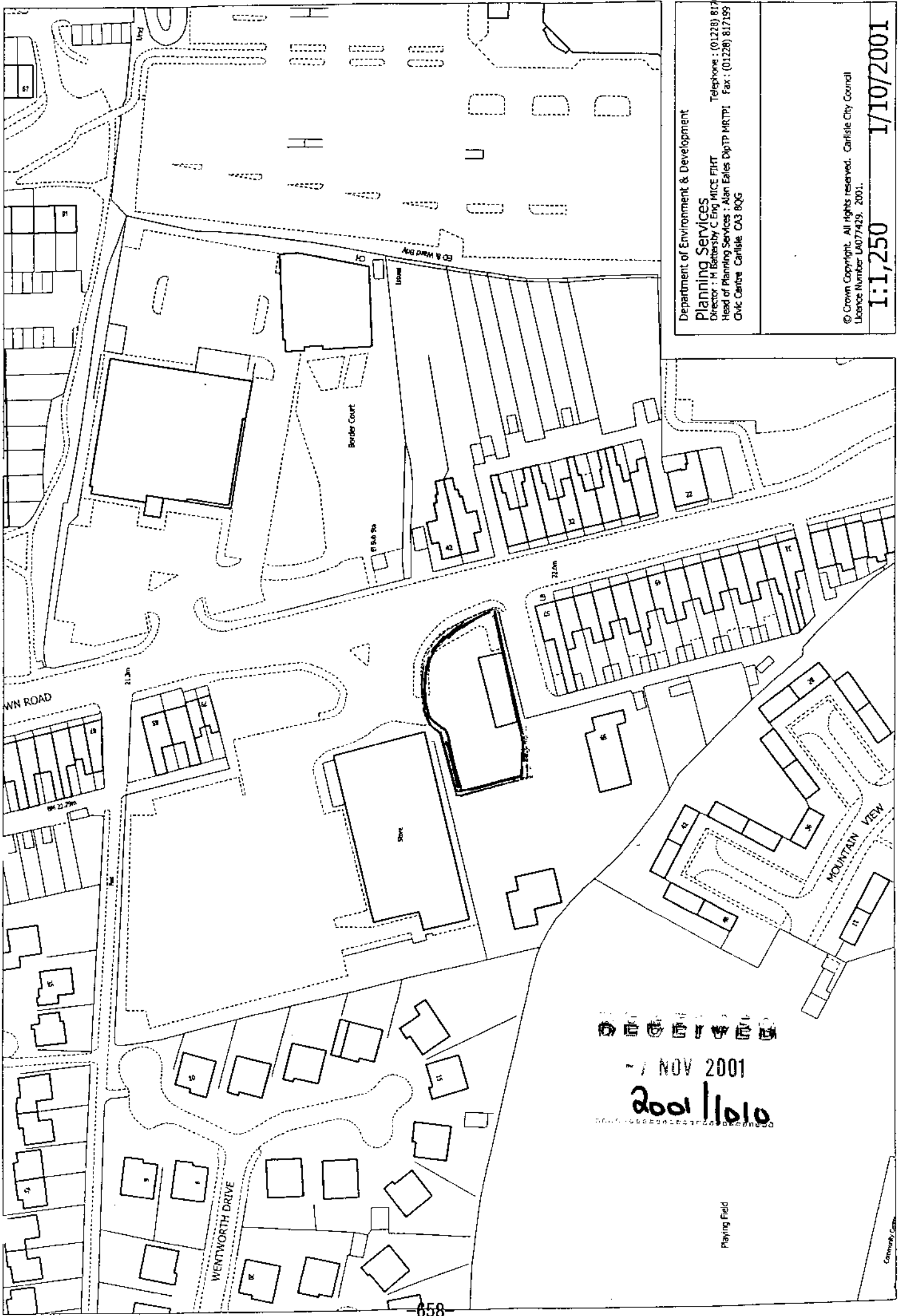
### RECOMMENDATION:-

REFUSE ✓

1. REASON: The erection of the signage, particularly the 'totem sign, by reason of its scale, design and illumination, is excessively dominant and incongruous to the streetscene and its surroundings. The signage does not positively contribute to the appearance of the environment and adversely affects the character and amenity of the area, contrary to Policy E47 (Advertisements) of the Carlisle District Local Plan.

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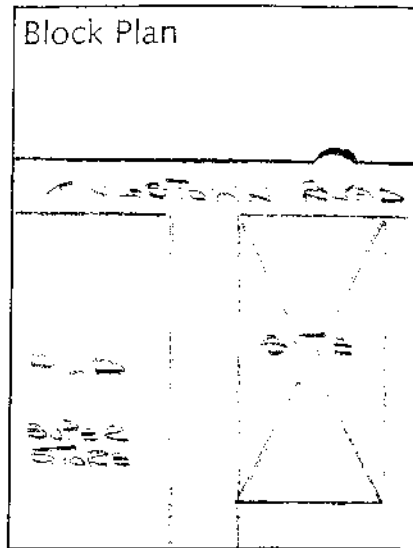




Department of Environment & Development  
**Planning Services**  
 Director : H. Battersby C Eng MICE FIHT Telephone : (01228) 817000  
 Head of Planning Services : Alan Eales DipTP MRTP1 Fax : (01228) 817199  
 Civic Centre Carlisle CA3 8QG

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**1:1,250** **1/10/2001**

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 2001/1010



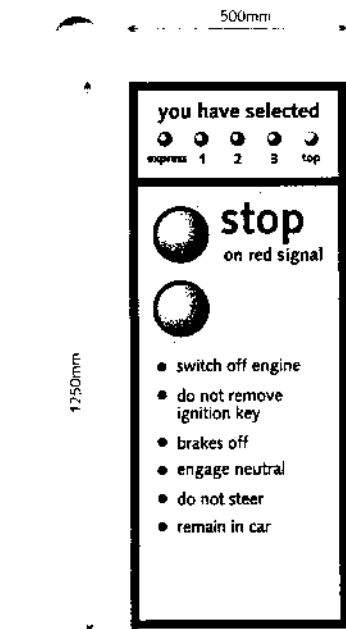
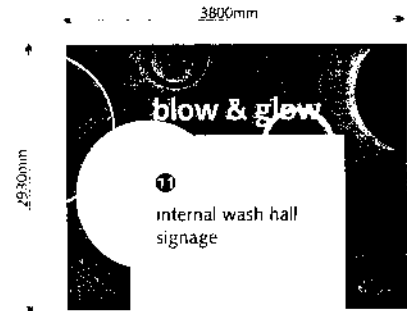
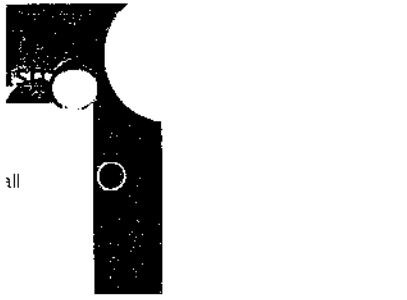
Existing signage removed. Majority of building clad with profiled steel horizontal blue sheath and flat silver rectangular panels adjacent to entry and exit.

Superimposed upon cladding, 2m x 1.3m part illuminated signs (1000 candela per sq metre) to enable Arc logo only to illuminate. New pylon sign part illuminated with Arc logo and yellow circular price disc. Sign 6m high x 2m wide.

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2001/1010

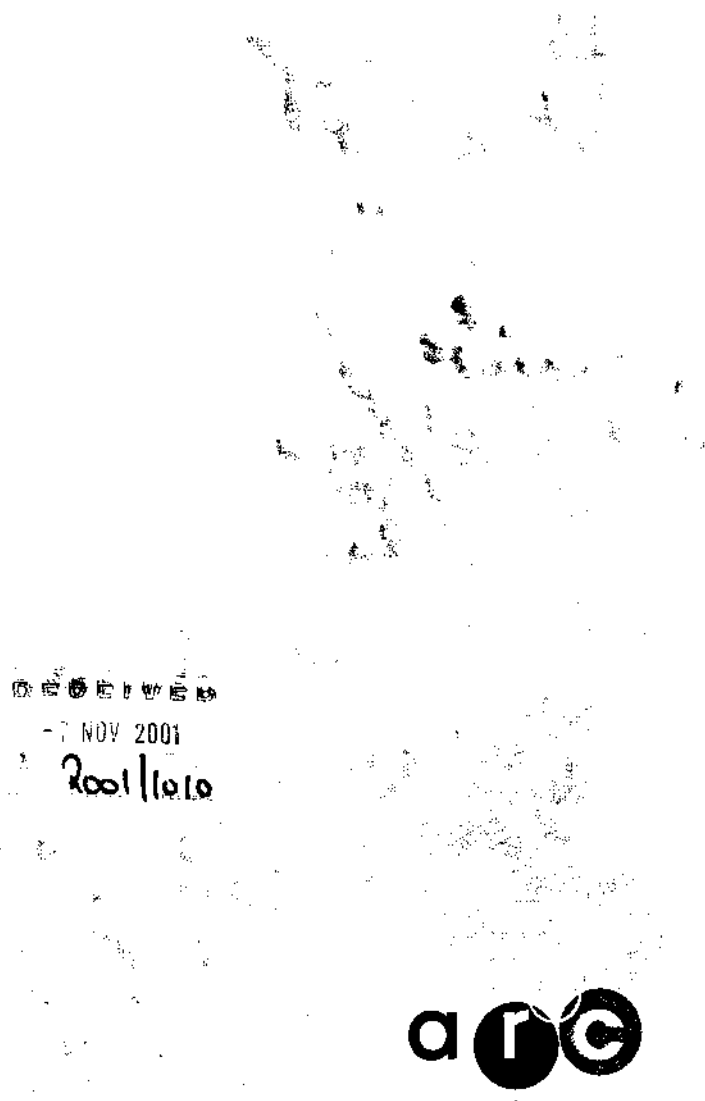
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# typical corporate sign & cladding installations



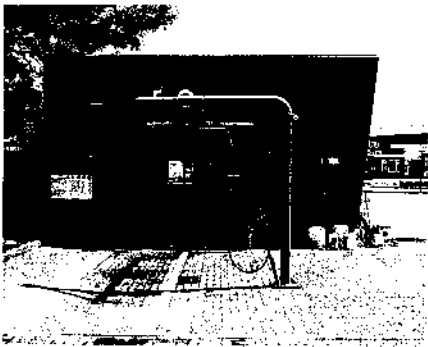
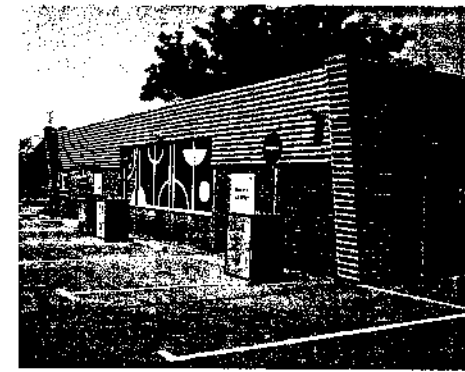
14 control box

Active Signs Limited  
Road, Haine Industrial Park, Ramsgate, Kent, England  
SA0800 F. +44 1843 852830 [www.activesigns.co.uk](http://www.activesigns.co.uk)



# refit

[ new installations

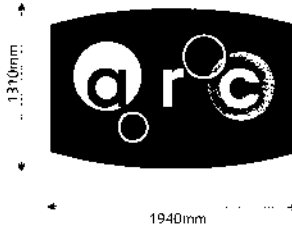


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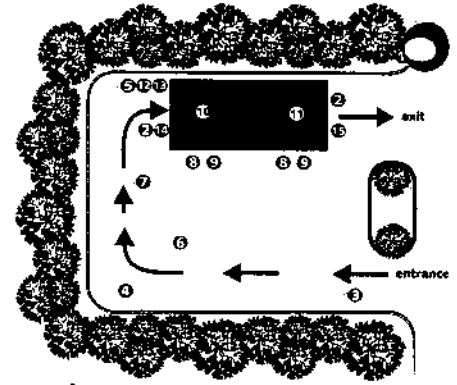
## ...typical site plan displaying common sign positions



1 free standing lotem



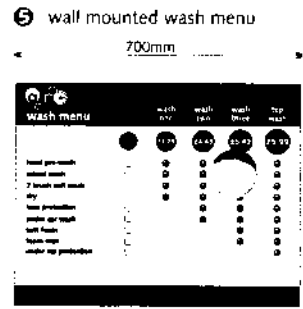
2 fascia pods



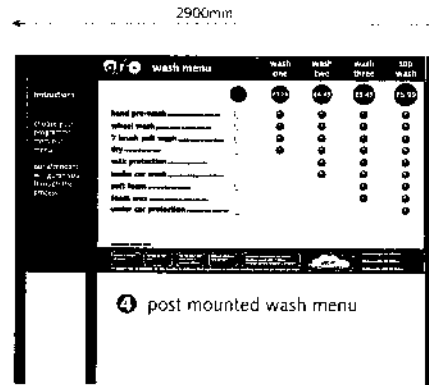
Note:  
items 1 & 2  
to be part illuminated,  
all other signage to be  
non illuminated



free standing or wall mounted  
poster frames to accept current  
poster campaign



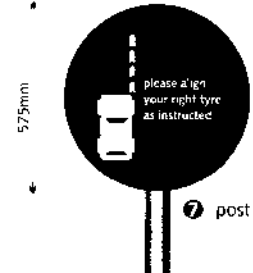
5 wall mounted wash menu



4 post mounted wash menu



6 post mounted lollipop



7 post mounted lollipop

## SCHEDULE A: Applications with Recommendation

ITEM NO. 40

Date of Committee: 14/12/2001

APPN REF NO:  
01/1011 /

APPLICANT:  
ARC Car Wash

PARISH:  
Carlisle

DATE OF RECEIPT:  
07/11/2001

AGENT:  
Active Signs

WARD:  
Harraby

LOCATION:  
ARC Car Wash, London Road, Carlisle Cumbria

GRID REF:  
341272 554727

PROPOSAL: Erection of internally illuminated and non-illuminated  
signage (retrospective application)

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E47

Proposals for advertisements in Carlisle, Brampton and Longtown will be permitted providing that:

1. it is an appropriate location for advertising given the character and appearance of the surrounding area; and
2. the general siting, size and dominance of the advertisement will not have an adverse impact on the amenity of adjacent property; and
3. any relevant road safety issues are taken into consideration; and
4. within Conservation Areas particular attention must be given to the design, siting and illumination of the advertisements to ensure the preservation and enhancement of the special character and appearance of the area.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice.  
No representations have been received.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

Planning permission was granted for the erection of a car wash and ancillary development on 26 April 1991, under reference 91/0125.

Advertisement consent was granted for fascia signs, goal post sign and information signs on 30 April 1991, under application reference 91/0147.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1011 /

### DETAILS OF PROPOSAL

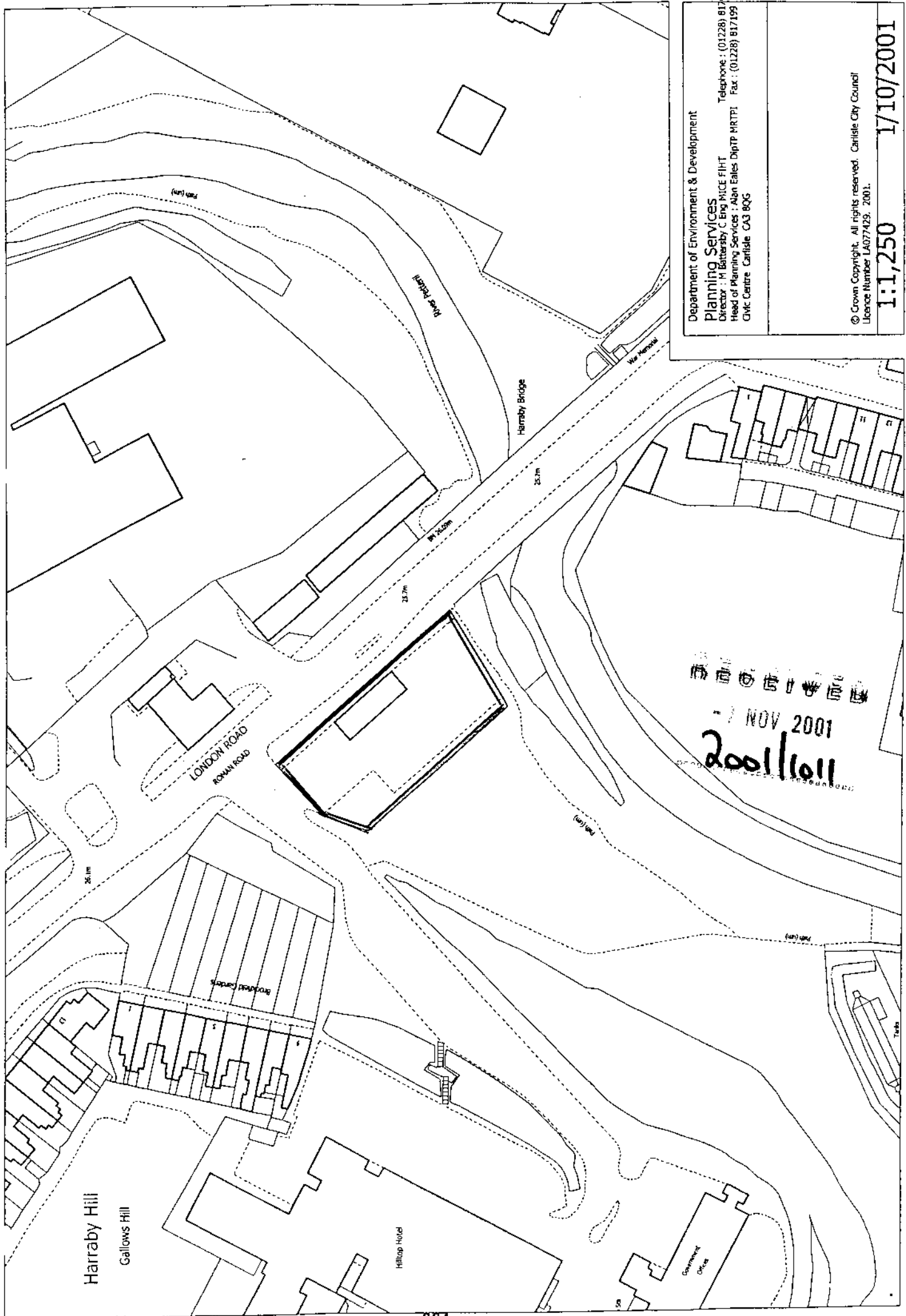
For commentary on this application, see report under reference 01/1010 found elsewhere in this agenda. The relevant issues are considered to be comparable.

### RECOMMENDATION: -

REFUSE ✓

1. REASON: The erection of the signage, particularly the 'totem' sign, by reason of its scale, design and illumination, is excessively dominant and incongruous to the streetscene and its surroundings. The signage does not positively contribute to the appearance of the environment and adversely affects the character and amenity of the area, contrary to Policy E47 (Advertisements) of the Carlisle District Local Plan. ✓

OB ENFORCEMENT



Department of Environment & Development

Planning Services

Director : M Batterby C Eng MICE FIHT

Head of Planning Services : Alan Eales DipTP MRTPI

Civic Centre Carlisle CA3 8QG

Telephone : (01228) 817000

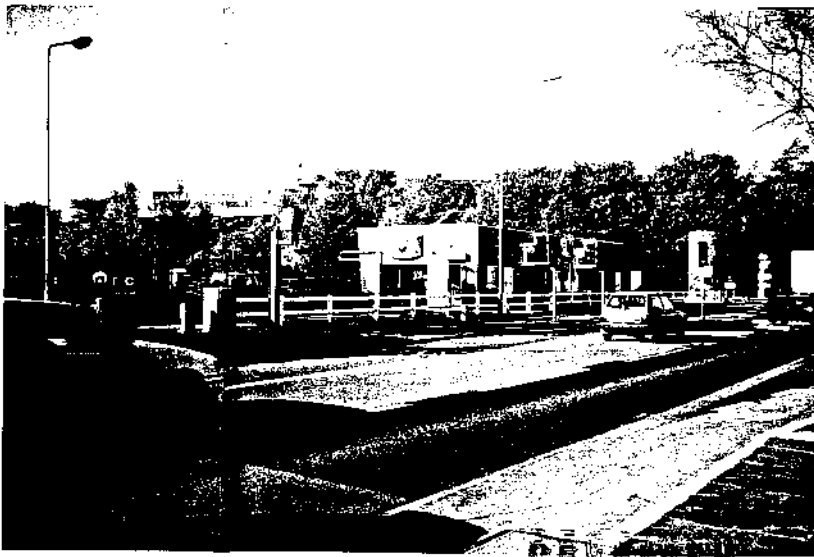
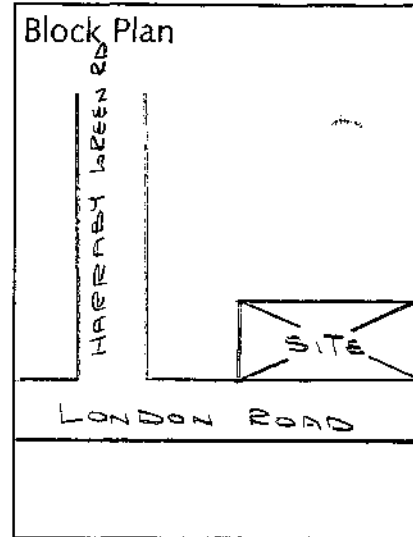
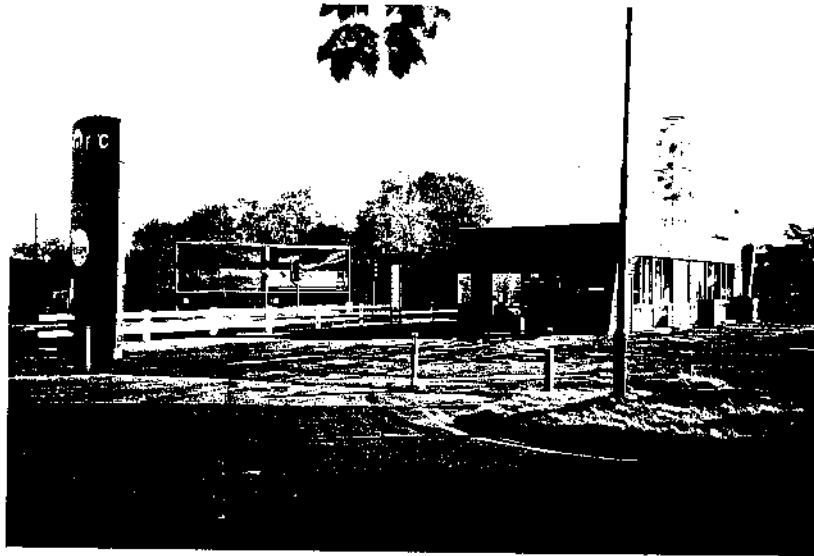
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1/10/2001

NOV 2001  
2001/1011



Existing signage removed. Majority of building clad with profiled steel horizontal blue sheet and flat silver rectangular panels adjacent to entry and exit.

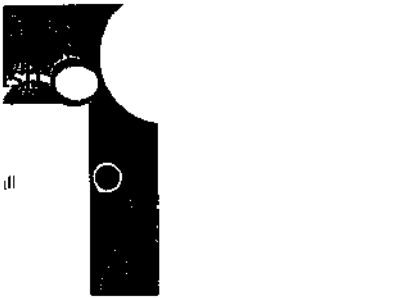
Superimposed upon cladding, 2m x 1.3m part illuminated signs (1000 candela per sq metre) to enable Arc logo only to illuminate. New pylon sign part illuminated with Arc logo and yellow circular price disc. Sign 6m high x 2m wide.

-7 NOV 2001  
2001/10/11

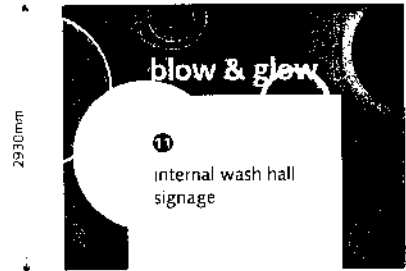
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# typical corporate sign & cladding installations

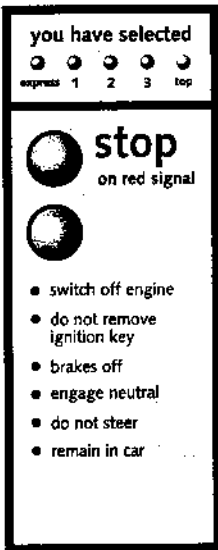


3800mm



2930mm

500mm

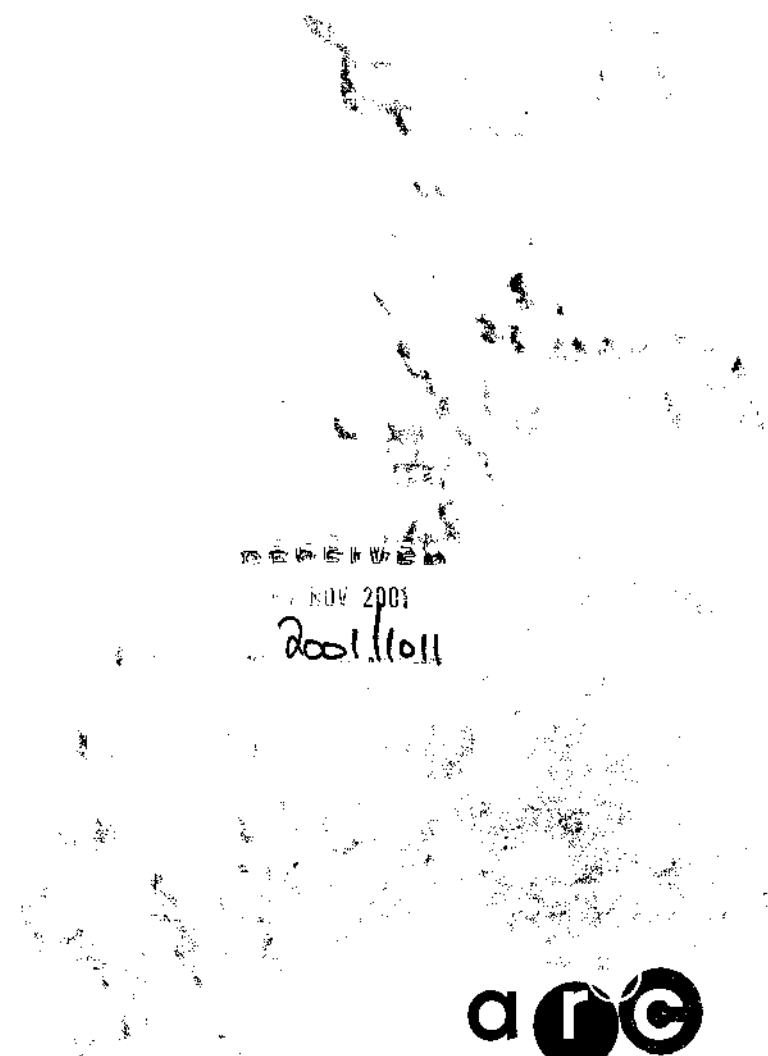


1250mm

14 control box

Active Signs Limited

oad, Haine Industrial Park, Ramsgate, Kent, England  
0800 F. +44 1843 852830 www.activesigns.co.uk

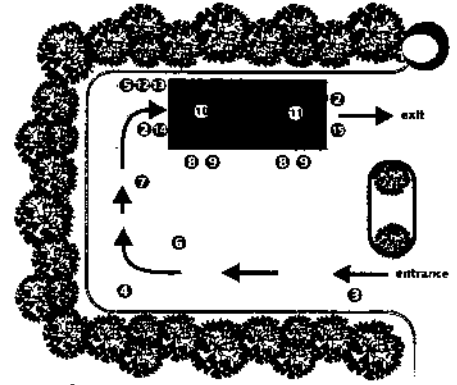


# refit

new installations

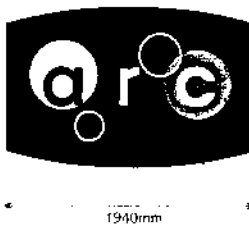


## ...typical site plan displaying common sign positions



1 free standing totem

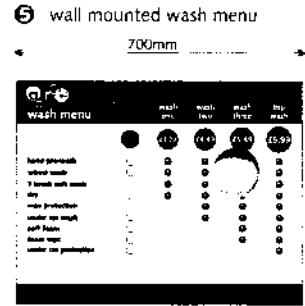
**Note:**  
items 1 & 2  
to be part illuminated,  
all other signage to be  
non illuminated



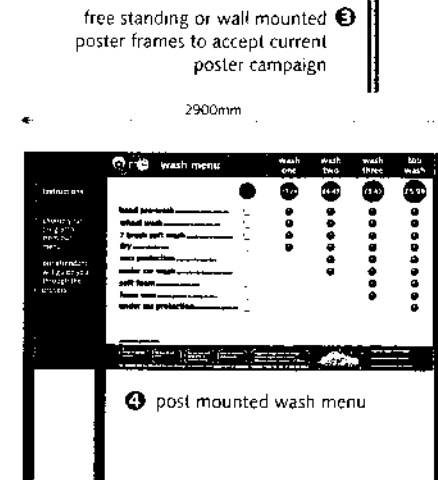
2 fascia pods



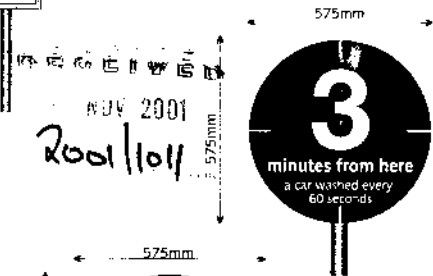
free standing or wall mounted  
poster frames to accept current  
poster campaign



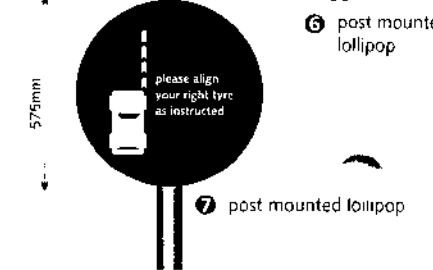
5 wall mounted wash menu



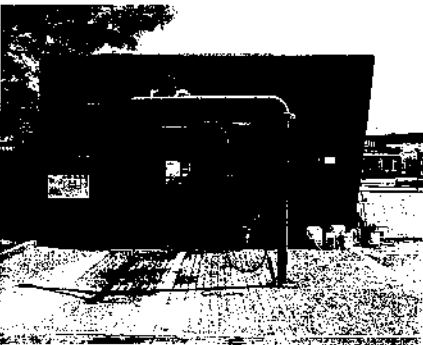
4 post mounted wash menu



6 post mounted lollipop



7 post mounted lollipop



38c pms 101c

## SCHEDULE A: Applications with Recommendation

ITEM NO. 41

Date of Committee: 14/12/2001

APPN REF NO:  
01/1022 /

APPLICANT:  
Scottish & Newcastle Pub Ent.

PARISH:  
Rockcliffe

DATE OF RECEIPT:  
09/11/2001

AGENT:  
Ditchburn Edwards Associates

WARD:  
Longtown & Rockcl

LOCATION:  
Crown & Thistle, Rockcliffe, Carlisle Cumbria

GRID REF:  
335950 561517

PROPOSAL: Creation of improved vehicular access to site

*Approved*

### REPORT

#### PLANNING POLICIES:-

##### PUBLIC FOOTPATH

The proposal relates to development which affects a public footpath.

##### LISTED BUILDING

The proposal relates to a building which has been listed as being of Special Architectural or Historic Interest.

##### AFFECTING THE SETTING OF A LISTED BUILDING

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E26

Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable adverse impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E34

Applications for alterations or extensions to listed buildings must have regard to the scale, proportions, character and detailing of the existing building (both internally and externally) and of its windows and doorways. Any proposals which adversely affect the listed building will not be permitted.

##### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T7

The level of car parking provision for development will be determined on the basis of the following factors:

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1022 /

1. the Parking Guidelines for Cumbria as detailed in Appendix 2;
2. the availability of public car parking in the vicinity;
3. the impact of parking provision on the environment of the surrounding area;
4. the likely impact on the surrounding road network; and
5. accessibility by, and availability of, other forms of transport.

### CARLISLE DISTRICT PLAN TRANSPORT - POLICY T15

Within the Plan area existing provision for cyclists and pedestrians will be protected. The improvement of provision for cyclists in the form of both highway improvements and secure parking facilities will be encouraged. All new development will be designed to provide safe and convenient access for cyclists and pedestrians. This should include the provision of secure cycle parking facilities where appropriate.

### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

### SUMMARY OF CONSULTATION RESPONSES:-

ROCKCLIFFE PARISH COUNCIL: Comments awaited.

HIGHWAYS AUTHORITY: No objections but with regard to the retaining wall it will be necessary for the applicant to conform to the procedures set out in the County Council guidelines for new structures before any works commence on site. This will involve the applicant securing the services of a qualified structural or civil engineer who will need to certify that the full design details and section of the new wall comply with the current appropriate British Standards and Codes.

THE RAMBLERS: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1022 /

notice and the direct notification of the occupiers of 13 neighbouring properties. No formal observations have been received at the time of writing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1984, under application reference number 83/0902, planning permission was given for a rear lounge and kitchen extension.

In 1985, application reference number 85/0311, 85/0689 and 85/0723, planning permission and listed building consent was given for a car park and porch extension.

In 1990, application reference numbers 90/0809 and 90/0869, planning permission and listed building consent was given for a lounge extension and internal alterations.

Last year, under application reference numbers 00/0662, 00/0663 and 00/0870 planning permission and listed building consent were granted for alterations and extensions to the building, and, creation of a beer garden.

#### DETAILS OF PROPOSAL

The Crown and Thistle (PH) is a grade II listed building with white painted walls and principally a slate roof. There are also two single storey extensions one of which has a slate roof and the other a flat roof. A single storey outbuilding used as a beer cellar/store lies to the west of the main building. There is also a car park marked out with 30 spaces although the remaining tarmaced area can accommodate at least another 10 vehicles. The detached house called Methven which lies to the north-west of the public house is also owned by the applicants.

Members may recall that the planning permission granted under application number 00/0662 not only involved altering and extending the public house but also improving the existing vehicular access serving the property. A dispute over land ownership has meant that the originally approved access cannot be implemented. The applicants have therefore submitted the current application which involves improving the access but based on the reduced amount of available land.

It is considered that the revised access will achieve the same objectives as the previously approved scheme and, therefore, is recommended for approval subject to the formal observations of interested parties.

#### RECOMMENDATION:-

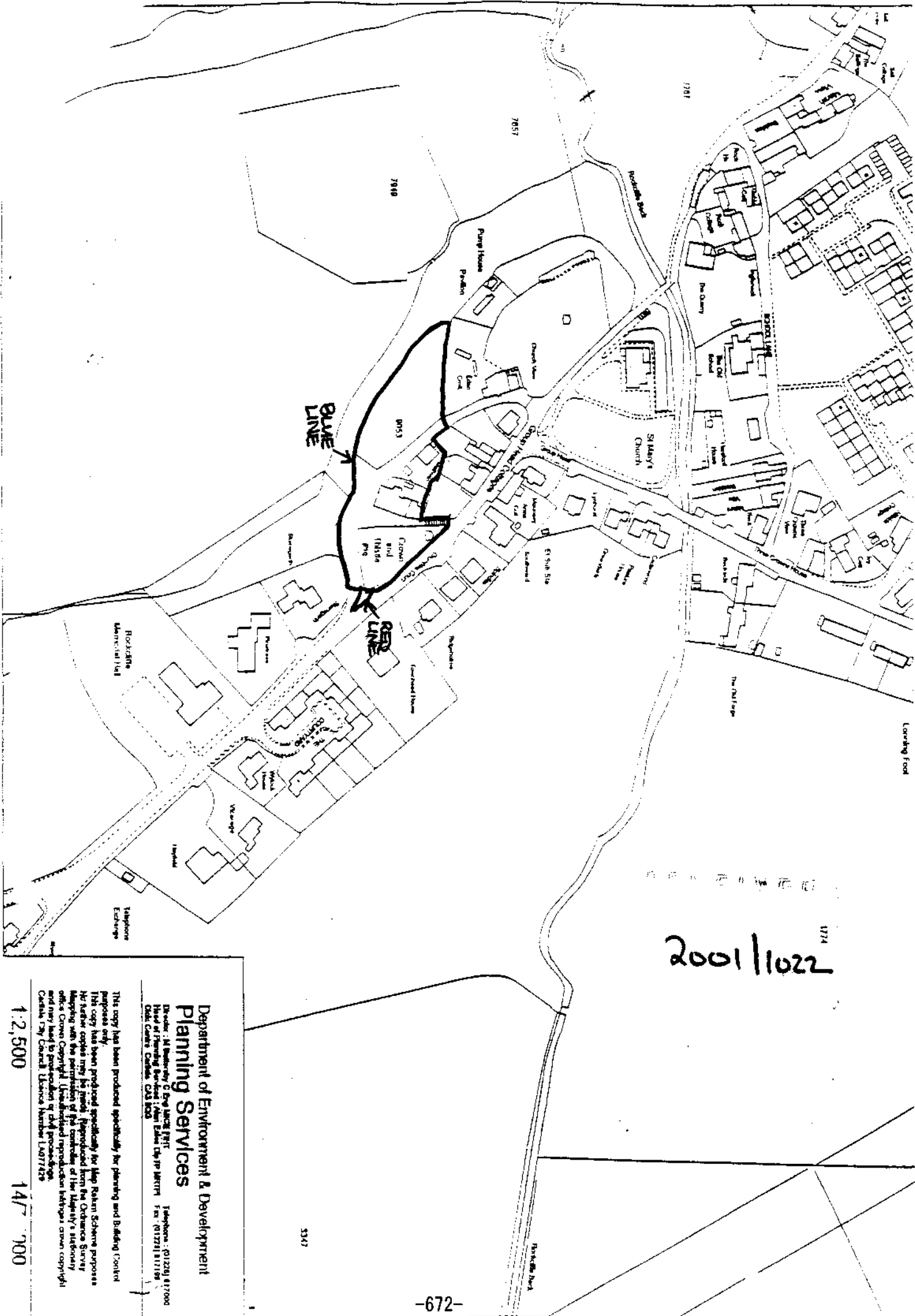
#### APPROVE WITH CONDITIONS

1. Standard time limit
2. No development shall commence until full design details have been

## **SCHEDULE A: Applications with Recommendation**

Schedule continued for 01/1022 /

submitted of the new access, including the retaining wall, and approved in writing by the local planning authority. The scheme shall be constructed and completed in accordance with the approved plans.



2001/1022

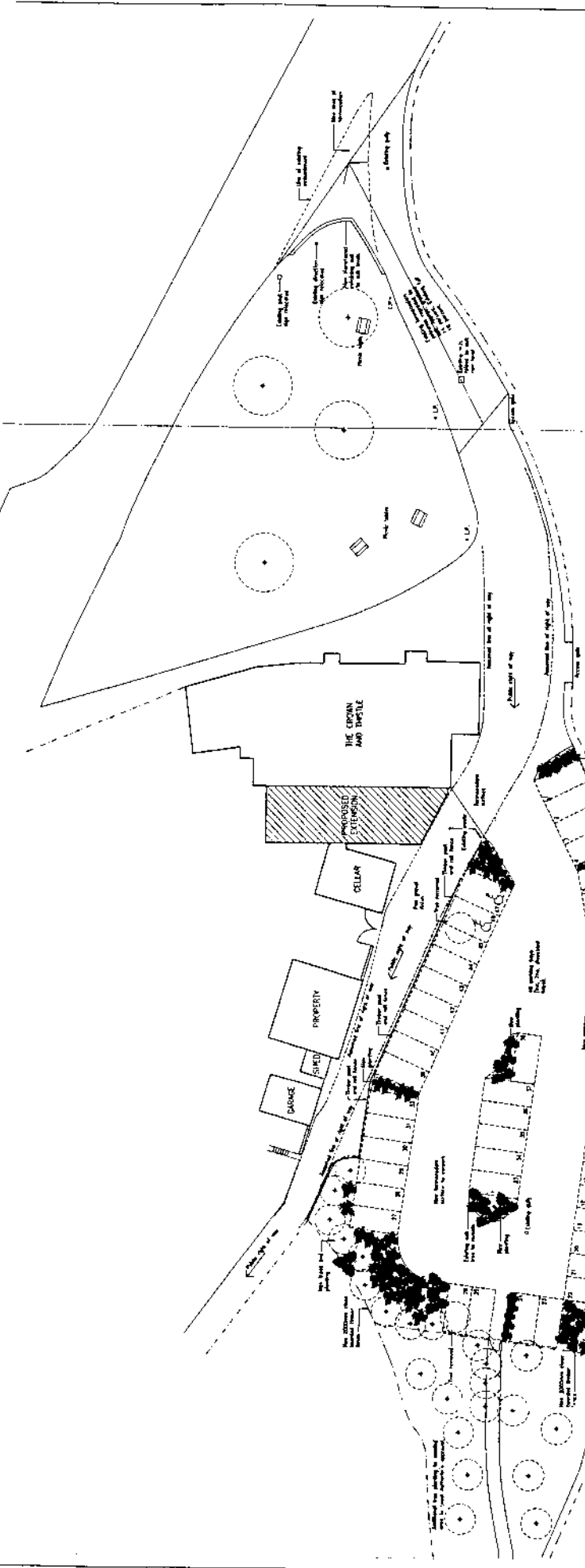
**Department of Environment & Development  
Planning Services**

Division: Planning & Development  
 Head of Planning Services: Mr. J. P. Martin  
 Mail Centre: Castle Hill NSW 2157  
 Telephone: (01221) 817000  
 Fax: (01221) 817119

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1:2,500 14/7 700

- ALL DIMENSIONS TO BE CHECKED ON SITE.
- ANY DISCREPANCIES MUST BE REPORTED IMMEDIATELY.
- WE DO NOT ACCEPT LIABILITY FOR ALLOWINGS OUTSIDE OUR SUPERVISORY CONTROL.
- DO NOT SCALE OFF THIS DRAWING.

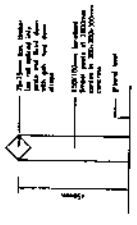


NO.	REVISIONS	DATE
1	Issued from original contract	08/11/09
2	Revised to show	09/01/09
3	Revised to show	09/01/09
4	Revised to show	09/01/09
5	Revised to show	09/01/09
6	Revised to show	09/01/09
7	Revised to show	09/01/09
8	Revised to show	09/01/09
9	Revised to show	09/01/09
10	Revised to show	09/01/09

**CLIENT/PROJECT**  
 S. M. R. Ltd  
 THE CROWN AND THISTLE  
 Rockdale

**DRAWING TITLE**  
 Proposed carpark layout and  
 access alterations

DRAWING No.	1128/00/10
SCALE	1:200
DATE	9/00
P.O.M.	



**SECTION THROUGH TIMBER POST AND RAIL FENCE**  
 SCALE 1:10

11/28/00/10  
 9/00  
 1:200  
 P.O.M.

- NEW VARIED PLANTING COMPRISING:**
- a) Rose 'Bahama'
  - b) Sambucus Racemo J. Sutherland
  - c) Colchester Coral Beauty
  - d) Rose 'Bonica'
- NEW FAST GROWING CO-JIFFERS COMPRISING:**
- a) Castle Wallen
  - b) Lewinsall Gold
  - c) Juniper
  - d) Skyrocket



## SCHEDULE A: Applications with Recommendation

ITEM NO. 42

Date of Committee: 14/12/2001

APPN REF NO:  
01/1038 /

APPLICANT:  
Mr Nigel Harrison

PARISH:  
Carlisle

DATE OF RECEIPT:  
14/11/2001

AGENT:

WARD:  
Stanwix Urban

LOCATION:  
171 Brampton Road, Carlisle Cumbria

GRID REF:  
340791 557522

PROPOSAL: Erection of conservatory (retrospective)

*Angus*

---

### REPORT

#### PLANNING POLICIES:-

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E26

Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable adverse impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of the direct notification of the occupiers of two neighbouring properties. No formal observations have been received at the time of preparing the report.

#### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

##### PLANNING HISTORY

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1038 /

In 1941, under application number 18030, planning permission was given for a kitchen extension.

In 1965, under application number 27566, permission was granted for the construction of a bay window.

A report has also been presented to Members concerning application number 01/0100 for the erection of an extension to form bedroom, bathroom, garage and kitchen.

### DETAILS OF APPLICATION

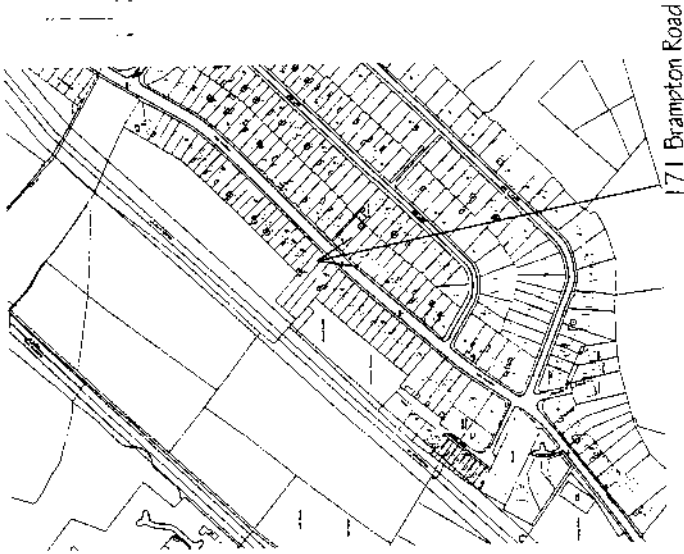
Further to the report accompanying application 01/0100, this proposal seeks retrospective permission for the erection of a conservatory. The conservatory measures 2.5 metres by 3.9 metres and is located on the northern elevation to the side of the existing dining room. The intention is for opaque film to be applied to the glass facing the neighbouring property at 169 Brampton Road - see attached copies of plans and photographs. The need for the conservatory to have planning permission came as a result of processing application number 01/0100.

In overall terms it is considered that the proposal neither harms the amenities of neighbouring residents nor the character and appearance of the area.

### RECOMMENDATION:-

~~APPROVE~~

PD

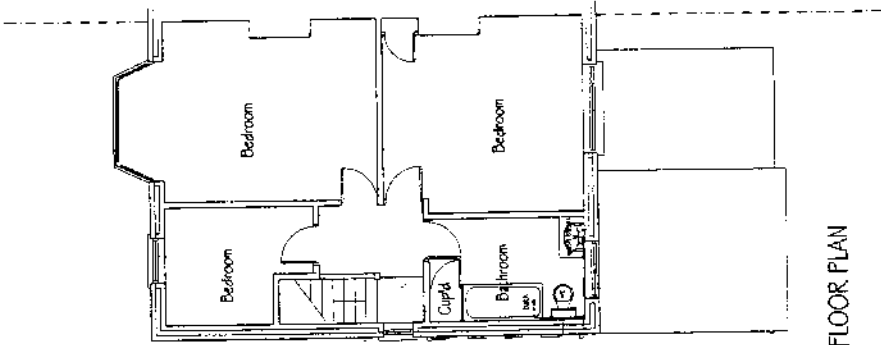


LOCATION PLAN scale 1:2500

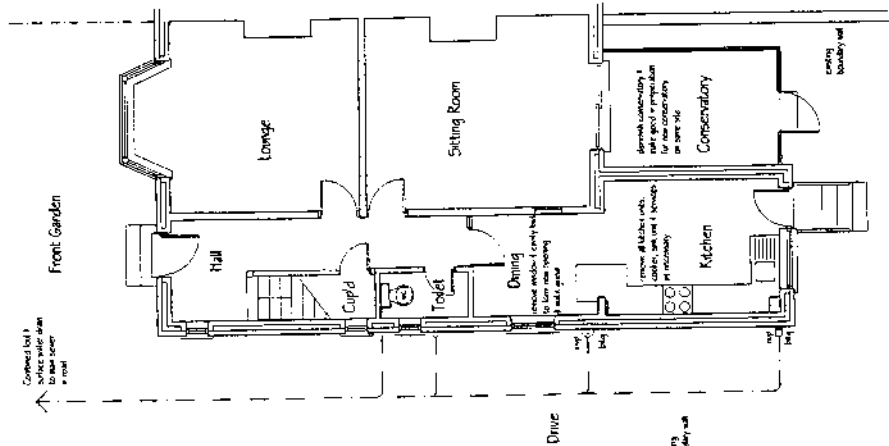
RECEIVED  
17th JUN 2001  
Architects

Ammanville  
A. 10.11.01. Berrimah, Conventary

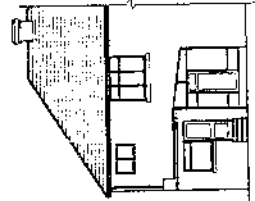
Client: MR & MRS N HARRISON  
Project: TWO STOREY EXTENSION  
171 BRAMPTON ROAD  
CARLISLE  
THE  
FLOOR PLANS & ELEVATIONS  
AS EXISTING.  
LOCATION PLAN  
Scale: 1:2500 Date: Jun 2001  
Drawing No: NH\_1A



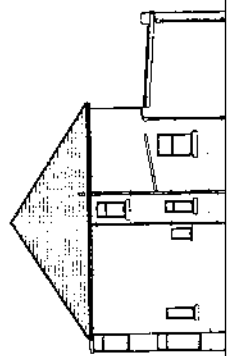
FIRST FLOOR PLAN



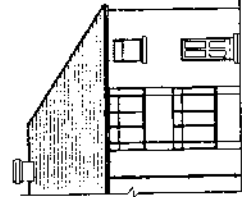
GROUND FLOOR PLAN



REAR ELEVATION



SIDE ELEVATION



FRONT ELEVATION









## SCHEDULE A: Applications with Recommendation

ITEM NO. 43

Date of Committee: 14/12/20

APPN REF NO:  
01/1047 /

APPLICANT:  
Mrs S Lowther

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
15/11/2001

AGENT:  
HTGL Architects

WARD:  
Stanwix Rural

LOCATION:

Windyke, 10 Houghton Road, Houghton Carlisle, Cumbria

GRID REF:

341260 558210

PROPOSAL: Removal of existing flat roofed car port, internal alterations and two storey extension to front of dwelling to create dining room, garage and enlarged bedrooms

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E26

Within the buffer zone of Hadrian's Wall Military Zone World Heritage Site, as defined on the Proposals Map, proposals for development which would have an unacceptable adverse impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted providing that:

1. the proposal reflects the scale and character of the existing group of buildings; and
2. there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1047 /

5. leads to a loss of housing stock.

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAY AUTHORITY: No objection.

COUNTY ARCHAEOLOGIST: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of site notice and nine individual letters to occupier of nearby residential properties. No response has been received.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Full planning permission was refused for internal alterations to create garage and dining room and erection of extension to the rear to provide indoor swimming pool and associated plant room, under application reference 01/0274 on 21 September 2001.

The reasons for refusal were given as follows:

"1. The proposed extension to the rear of the property, by virtue of its scale and siting, would be unacceptable and would be visually intrusive to the detriment of the amenity of the occupier of the adjacent property, contrary to policy H14 (Extensions to Dwellings) of the Carlisle District Local Plan.

2. The proposed extension to the rear of the property would be of an unacceptable scale and height, and due to the proximity to the boundary, would form a visually intrusive development to the detriment of the amenity of the occupier of the adjacent property. The development would also result in an increase in background noise levels from the resultant plant room, contrary to Policy H17 (Residential Amenity) of the Carlisle District Local Plan."

#### DETAILS OF PROPOSAL

This application seeks full planning consent for the erection of a two storey extension to the front of the property known as 'Windyke', 10 Houghton Road, Carlisle.

The proposal consists of a two storey extension to provide a garage at ground floor with an extension to the existing bedroom accommodation at first floor. This extension would measure 3.9 metres by 3 metres in width and would replace the existing car port which measures 5.5 metres by 3 metres in width. The first 2.4 metres of which would be two storey in height with the remaining 1.5 metres being single storey. This area of the proposal would be sited adjacent to the boundary

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1047 /

with the neighbouring property number 12 Houghton Road.

On the front elevation of the building, adjacent to the garage, the applicant proposes to erect a two storey extension which would project 5.7 metres from the front elevation of the dwelling. A curved bay window would be constructed on the frontage of this room which would be used a dining room. Above this extended area would be an enlarged bedroom.

A porch exists on the front elevation of the building, immediately to the south of the proposed extensions. This porch measures 1.75 metres from the frontage of the property and it is the applicants intention to extend the living area in line with the dimensions of the porch and extend this area almost the remaining length of the dwelling, measuring 2.8 metres in length.

The applicant's agent has indicated that all materials would be to match the existing, with the installation of white upvc windows. These would consist of brick work to the ground floor with render at first floor level, under a tiled roof.

The site is located within the Buffer Zone of Hadrian's Wall World Heritage Site and is subject to consideration against Policy E26 of the Local Plan. It is not considered that the proposed development would have an adverse effect on the Buffer Zone although a formal consultation response is awaited from the County Archaeologist.

The dwelling is set back approximately 18 metres from the pavement and is situated within a substantial garden area. The area to be extended would be parallel with the adjacent property number 12 Houghton Road. Along this boundary there is established landscaping, including a hedge measuring approximately 2.5 metres in height.

The dining room and bedroom extension aspect of the proposal shows a gable within the design which is no higher than the original ridge level of the dwelling.

In consideration of this application Policies H14 and H17 are relevant. Policy H14 of the Local Plan requires that extensions are of good design and are of an unacceptable scale. The scale and design of the proposed extensions are considered to be appropriate to this detached dwelling which, as previously mentioned, it situated within a substantial garden area.

This Policy also seeks to protect the amenity of adjacent properties from proposals which adversely affect them, through inappropriate scale, design or unreasonable overlooking. The proposals which are being presented for consideration are large in scale and will have a significant impact on the site. Members will note from the site plan which is reproduced following this report, the relationship between the proposed extensions and the adjacent property number 12 Houghton Road.

The single storey aspect of the development would be 1.1 metre

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1047 /

from the boundary, in line with the existing gable of the dwelling. The two storey aspect of the development would project 400mm further forward of the corner of the neighboring property. This extension would serve to reduce the impact of the two storey dining room element of the scheme.

In conclusion, the proposed extensions are large in scale and would have a significant impact upon the site. However, the scale and design is appropriate and it is not considered that the occupier of the neighbouring property would be adversely affected by the development, in accordance with the relevant Local Plan policies.

### RECOMMENDATION: -

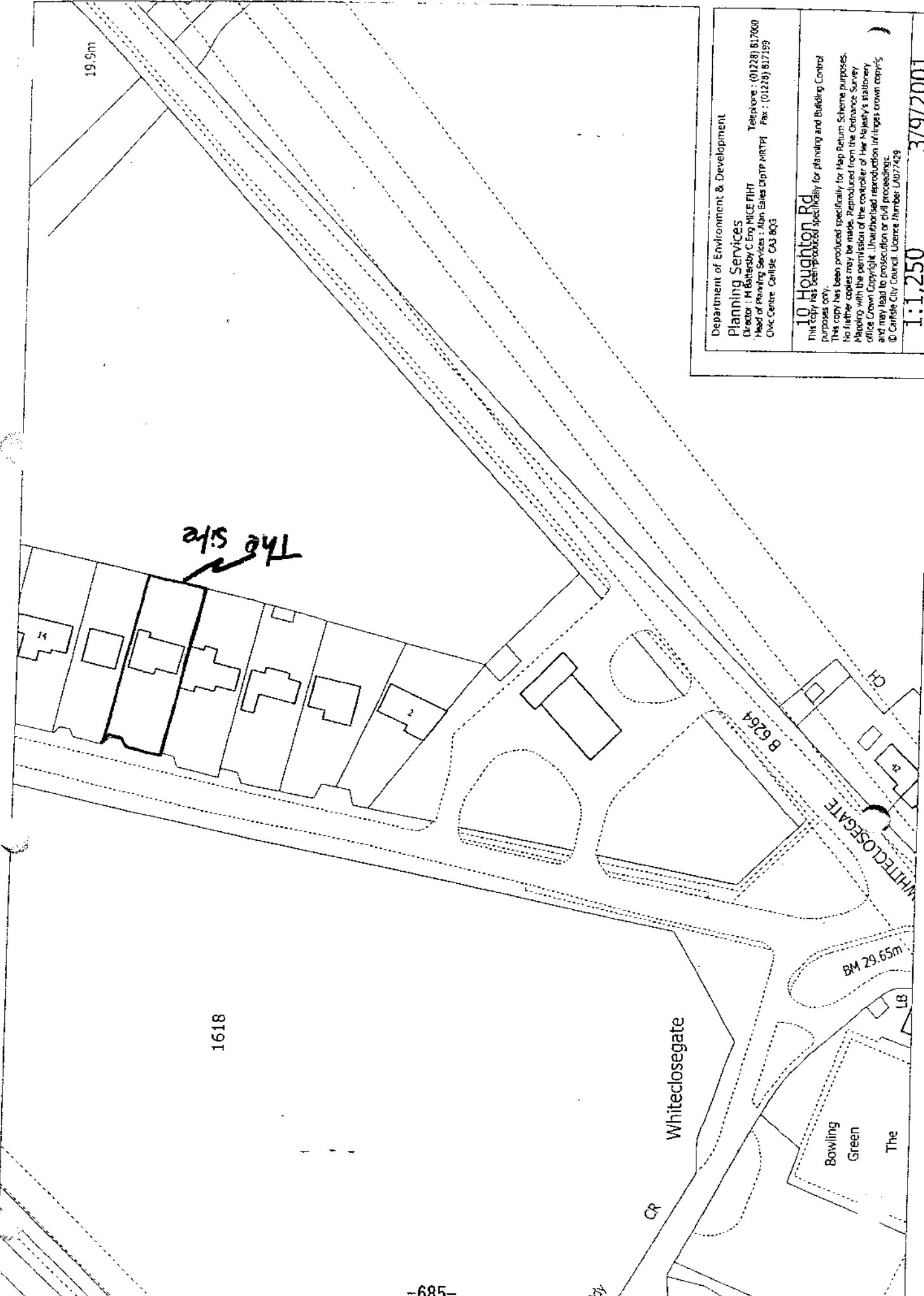
APPROVE WITH CONDITIONS

1. Standard time limit
2. Samples required notwithstanding

~~DEFERRED~~ ✓

SUP 166-73

PC 063 + neighbour obj



The site

19.5m

1618

Whiteclosegate

Bowling Green

The

WHITECLOSEGATE

B 6264

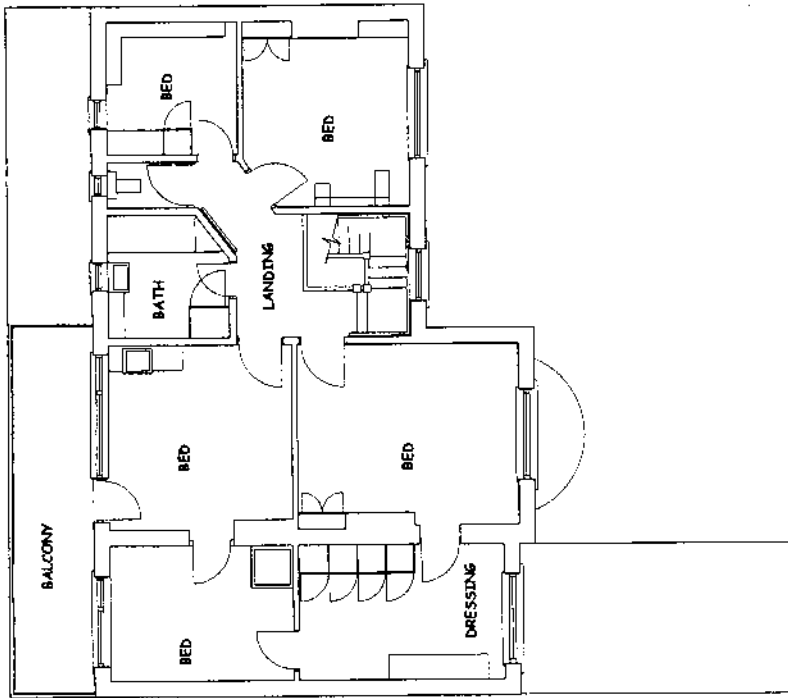
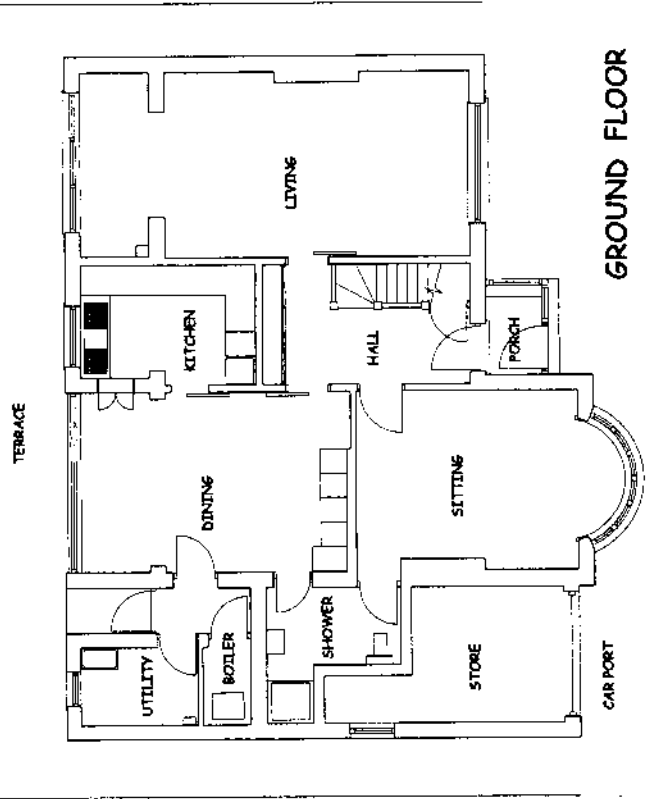
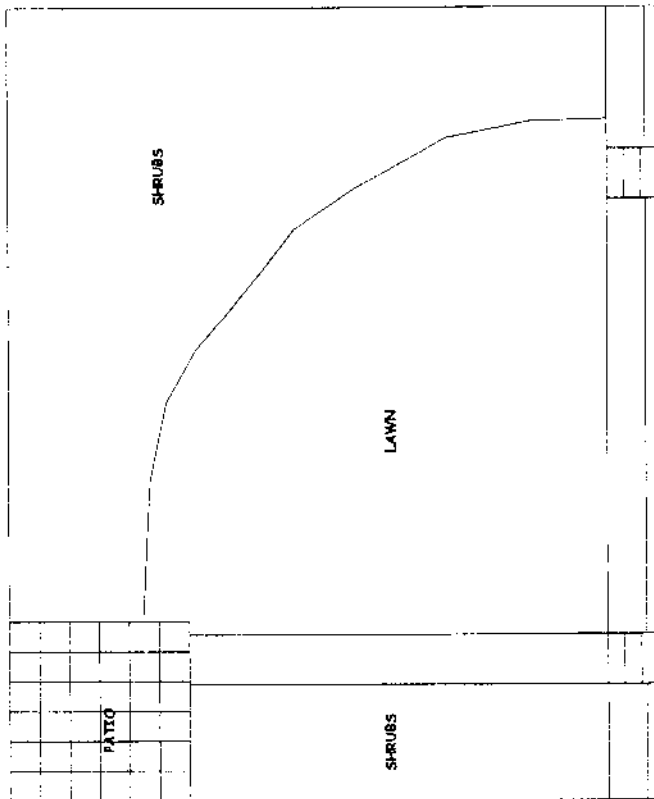
BM 29.65m

-685-

Department of Environment & Development  
**Planning Services**  
 Director: M Batterby C Eng MICE FIHT Telephone: (01228) 817000  
 Head of Planning Services: Alan Eales DTPM MRTPI Fax: (01228) 817199  
 Civic Centre, Carlisle, CA3 8Q3

**10 Houghton Rd**  
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1:1,250 3/9/2001



**ARCHITECTS**

Hodgson Tribbon Glover Little

15 Sturminster Street, Colchester, Essex, CO1 1 1P. Tel: 01206 333187 Fax: 01206 319888

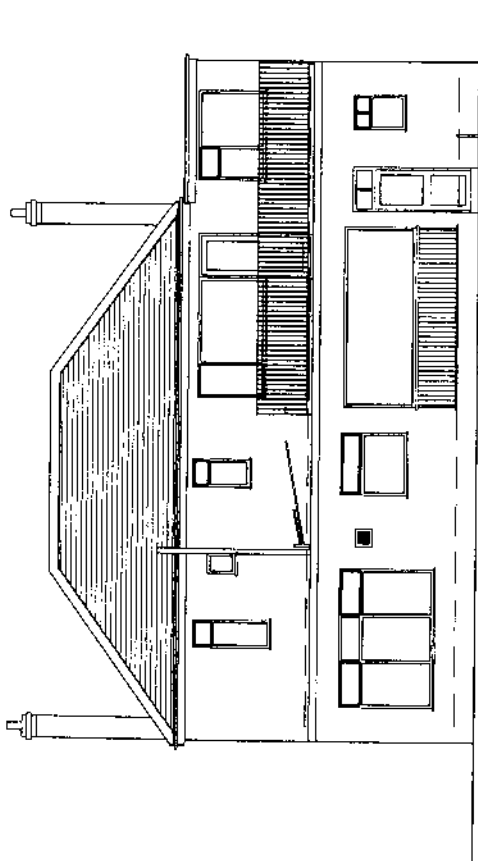
Client: Mr & Mrs W Lowther

Project: Windyke Houghton Road Carlisle Essex (1047)

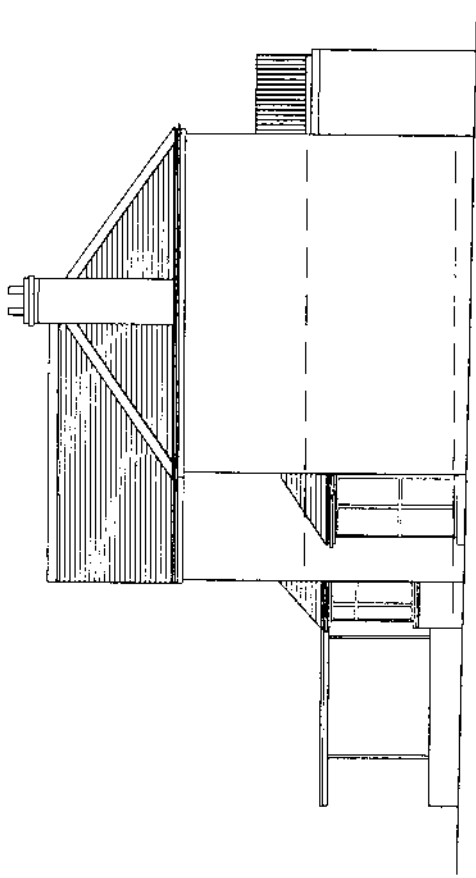
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Drawn: DJL Date: 10/00 Scale: 1:50

1665/02

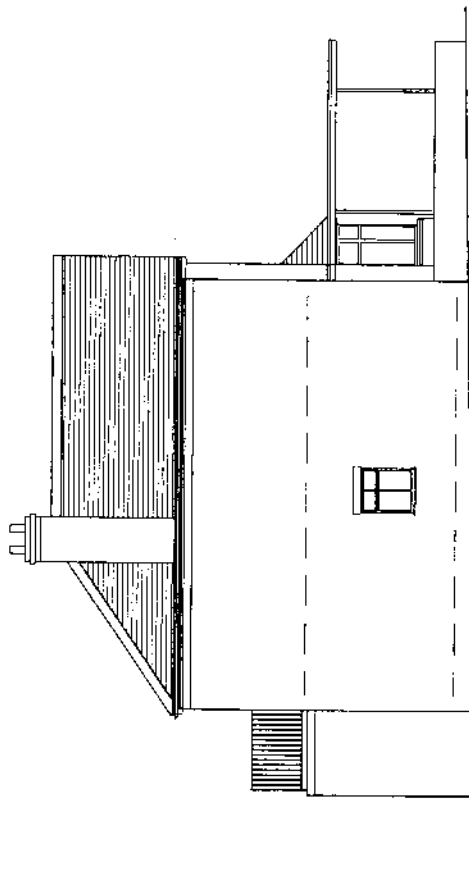


EAST ELEVATION

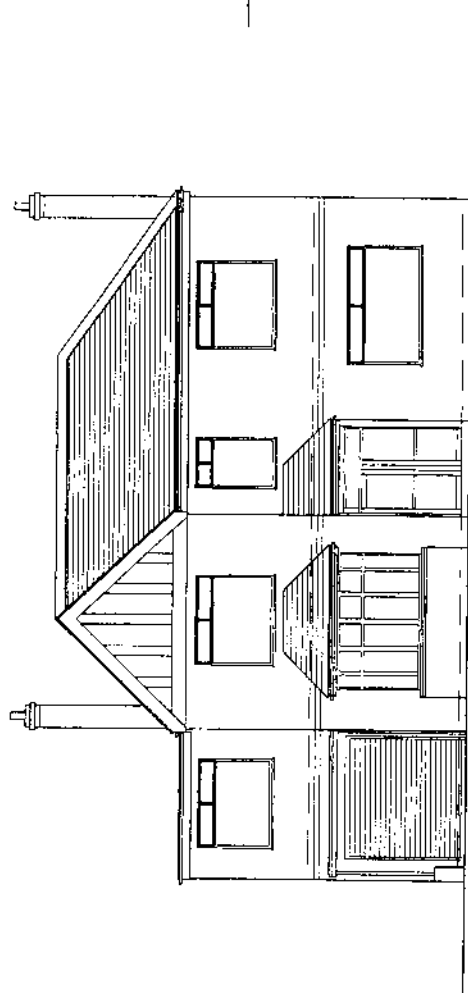


SOUTH ELEVATION

PROVIDE TO: 02/01/02 10:45 AM. ALL RIGHTS RESERVED.



NORTH ELEVATION



WEST ELEVATION

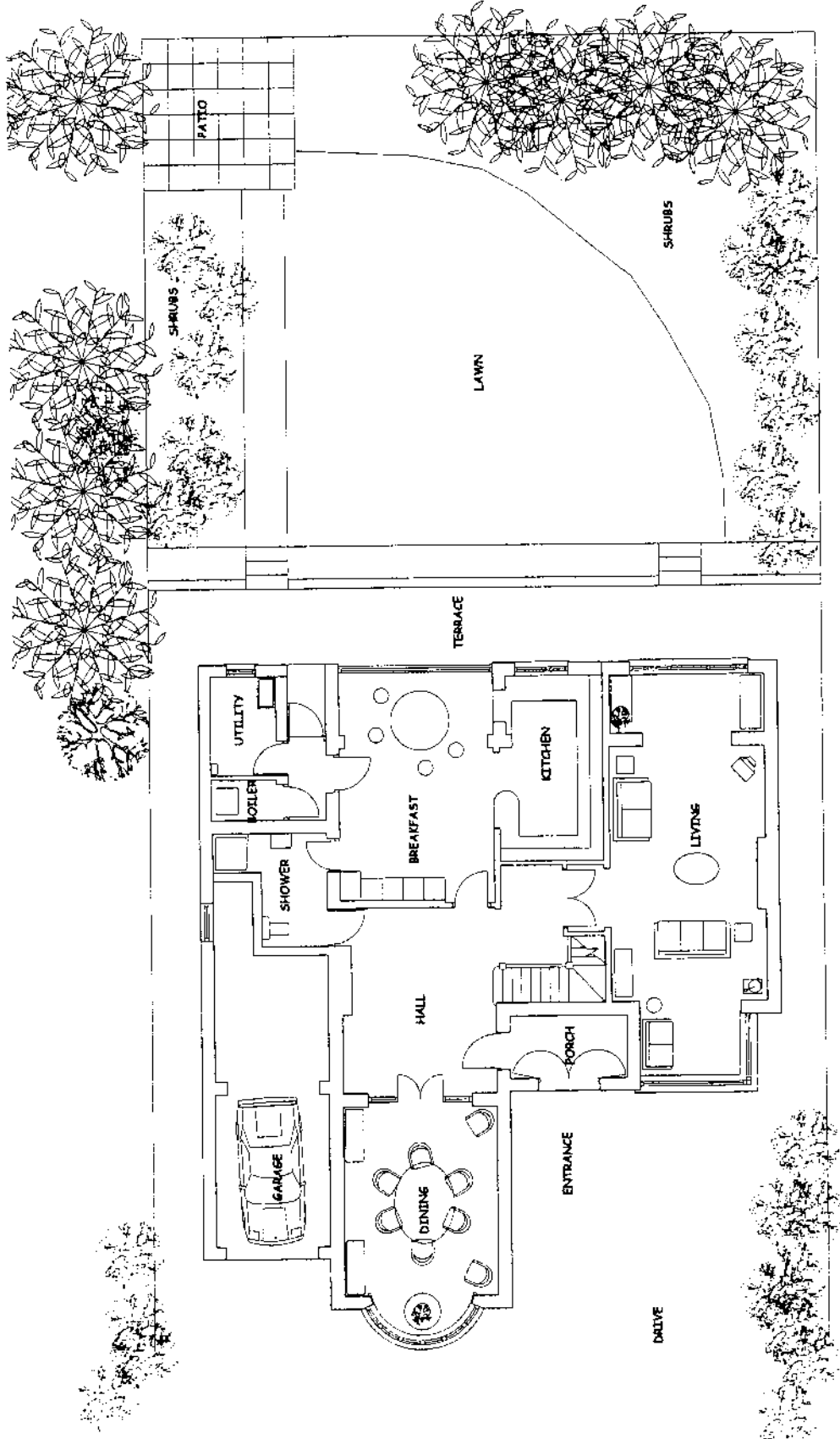


**ARCHITECTS**

Hodgson Tritton Glover Little 200 / 1947

15 Boulevard Street, Carlisle, Cumbria, C.A. 11 1P. Tel: 01228 521887 Fax: 01228 518532

Client: Mr. & Mrs. W. Lowther.  
 Project: Windyke, Houghton Road, Carlisle.  
 Title: Elevations as Existing.



GROUND FLOOR

**HTGL**

l i m i t e d  
 55 BRADNICK STREET  
 CANTON, CA 95721  
 TEL: 925 285 5218  
 FAX: 925 285 5218  
 MAILING ADDRESS: 1000



OWNER:  
 MR & MRS BELL LOWMYER

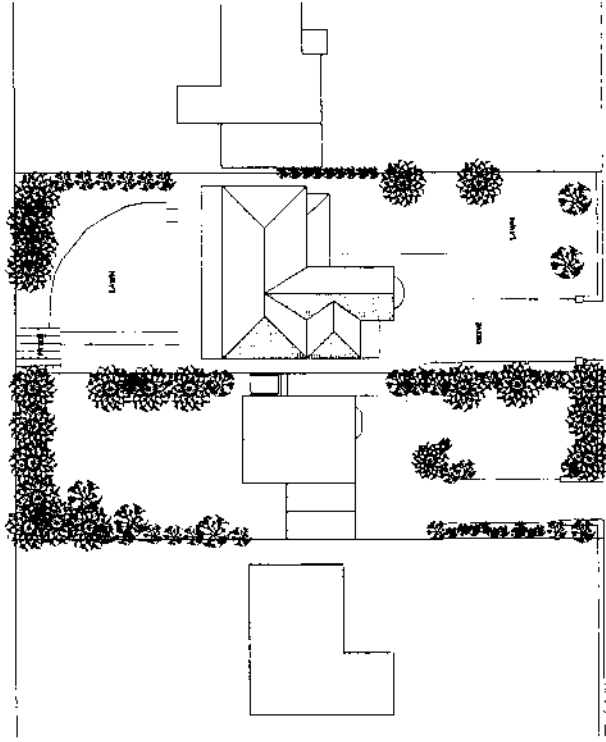
PROJECT:  
 WINDYBEE, HONOLULU HILLS, HAWAII

TITLE:  
 GROUND FLOOR PLAN AS PROPOSED

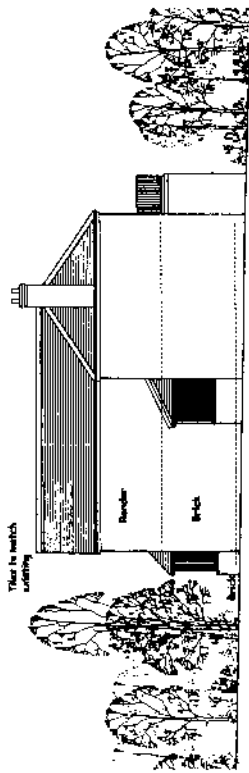
Drawn: TR  
 Date: 10/01  
 Scale: 1/8"

Checked: JPL  
 Date: 11/11/01  
 Scale: 1/8"

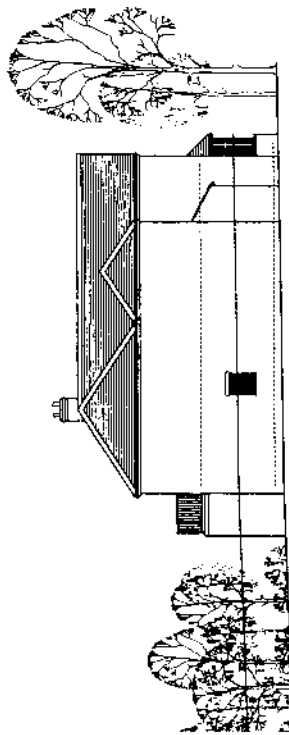
DRAWING NO.  
**1665 / 23**



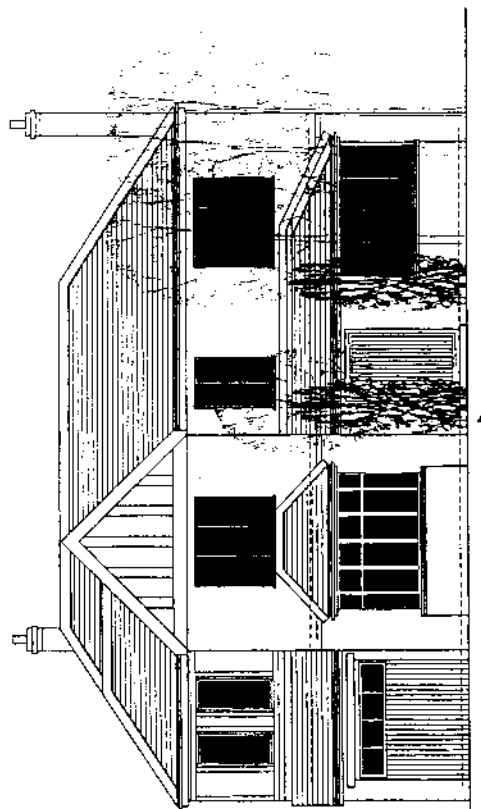
SITE PLAN



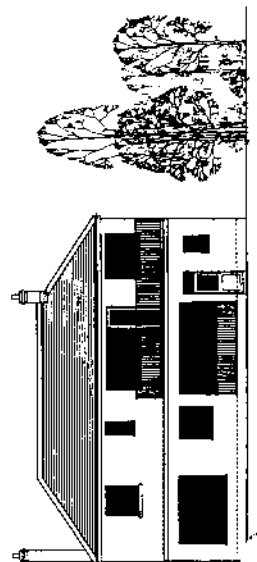
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

**HTGL**

l i m i t e d  
 15 Bishopwick Street  
 COLLINGWOOD VIC 3102  
 Tel: 01328 821887  
 Fax: 01328 818883  
 www.htgl.com.au



Client: **MR & MRS W LOWMYER**  
 Project: **WYNDAVE HOUGHTON ROAD, HOUGHTON**

Drawn: **D.J.L.**  
 Date: **10/01/2004**  
 Scale: **1:100 1/50**

Project: **WYNDAVE HOUGHTON ROAD, HOUGHTON**  
 Title: **ELEVATIONS & ROOF PLAN AS PROPOSED**  
 Drawing No: **1665 / 25**  
 Date: **10/01/2004**  
 Scale: **1:100 1/50**



**HTGL**

l i m i t e d  
15 Brentwick Street  
Carlisle CA3 1PB  
Tel: 01228 521887  
Fax: 01228 518992  
mailto:enquiries@htgl.co.uk



Client: MR & MRS W LOWTHER

Project: WYNWICK HOUGHTON ROAD, HOUGHTON

Type: FIRST FLOOR PLAN AS PROPOSED

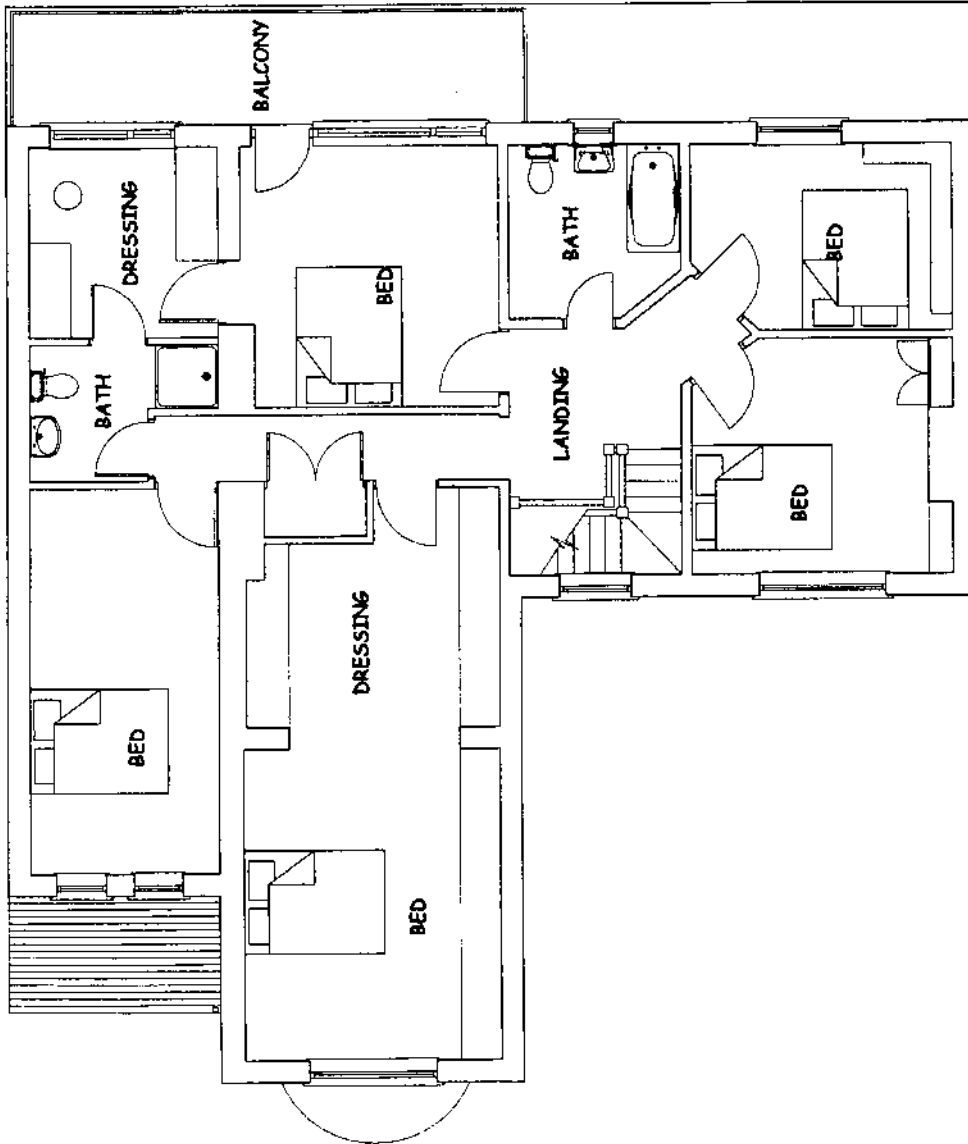
Drawn: B.J.L.

Date: 30/01

Scale: 1:50

Drawing No. 1665 / 24

01.05.2001  
11.08.2001  
2001/10/01



FIRST FLOOR



## SCHEDULE A: Applications with Recommendation

ITEM NO. 44

Date of Committee: 14/12/2001

APPN REF NO:  
01/1050 /

APPLICANT:  
Mr T Noble

PARISH:  
Arthuret

DATE OF RECEIPT:  
16/11/2001

AGENT:

WARD:  
Longtown & Rockcl

LOCATION:  
14 High Street, Longtown, Carlisle, Cumbria

GRID REF:  
337915 568700

PROPOSAL: Permanent use of premises for the sale of hot food takeaway  
allowing trading until 23.30 hours (revised proposal)

---

### REPORT

#### PLANNING POLICIES:-

##### ANCIENT MONUMENT

##### EXPLOSIVES SAFEGUARDING AREA

The proposal relates to land or premises situated within or adjacent to an Explosives Safeguarding Area.

##### CONSERVATION AREA

The proposal relates to land or premises situated within the Longburgh Conservation Area.

##### CARLISLE DISTRICT PLAN HOUSING - PROPOSAL H10

Proposals for the residential use of upper floors over shops will be encouraged and permitted provided that:

1. where appropriate access and car parking provision can be achieved; and
2. the proposal does not result in the creation of substandard units; and
3. adequate internal and external space is provided.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1050 /

5. leads to a loss of housing stock.

### CARLISLE DISTRICT PLAN SHOPPING - POLICY S15

Within the Plan area, proposals for uses within Use Class A3 (food and drink, including restaurants, public houses, wine bars and take aways) will be approved provided that:

1. the proposal does not involve disturbance to occupiers of residential property; and
2. the proposal does not involve unacceptable intrusion into open countryside; and
3. the proposal, whether new development or conversion complements surrounding development or the character of the existing building; and
4. appropriate access and parking can be provided; and
5. within the City Centre Shopping Area opening hours are restricted to no later than 1.30 am. Here and elsewhere in the Plan area opening hours will be imposed having regard to the surrounding uses, the character of the area and the possibility of disturbance to residential areas.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E40

Within the City Centre, Botchergate, Brampton, Longtown and Dalston Conservation Areas, there will be a strong presumption in favour of the retention and improvement of key townscape frontage buildings.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E43

The City Council will encourage, and permission will be granted for development within and adjoining Conservation Areas which preserves or enhances their character. The City Council will seek to ensure any new development or alterations to existing buildings are in sympathy with the setting, scale, density and physical characteristics of Conservation Areas, and protect important views into or out of such areas. Applications for outline planning permission will not be accepted for proposals in Conservation Areas.

### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E46

The City Council will encourage the active re-use of upper floors, and proposals which would prejudice the active use of vacant and underused buildings will be refused.

#### SUMMARY OF CONSULTATION RESPONSES:-

AUTHURET PARISH COUNCIL: No objections to the proposal.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1050 /

HIGHWAYS AGENCY (DETR): Comments awaited.

CUMBRIA CONSTABULARY: Comments awaited.

HEAD OF ENVIRONMENTAL SERVICES: No wish to make any objections to this application.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of a site notice and the direct notification of the occupiers of nine properties. No formal observations have been received at the time of preparing the report.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In 1961, under application reference number BA2676, planning permission was given for the use of the upper floors as a betting office.

In October of last year, application number 00/0583, temporary planning permission for one year was given to use ground floor as a hot food/pizza takeaway. The aforementioned permission was subject to a number of conditions one of which restricted the operating hours until 22.00 hours.

In May of this year, application number 01/0290, permission was given to allow trading until 23.30 hours.

In November, under application number 01/0884, planning permission was refused to allow trading of the hot food takeaway until 2.00am on Fridays and Saturdays.

#### DETAILS OF PROPOSAL

The application relates to a three storey terraced building located on the western side of the High Street. Prior to last year the property appears to have been vacant for at least a decade when it was formerly used as a taxi office on the ground floor with a self-contained flat on the first and second floors. 12 and 16 High Street are both houses although the terrace is part of a designated shopping frontage.

The proposal seeks to renew permission on a permanent basis for the hot food/pizza take-away and retain the operating hours as originally approved under application number 01/0290.

In considering this application it is felt that the following points should be kept in mind:

- a) It is appreciated that the previous use of the premises was a taxi office which is located within a designated shopping frontage along a busy main road. The proposal is also set within a context in which the commercial properties along English Street, High Street and Bridge

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1050 /

Street are regularly broken up by residential properties.

- b) When looking at other hot food takeaways in Longtown it is evident that the Kingsland chinese Takeaway (33 Bridge Street) is open until midnight on Fridays, Saturdays and Sundays whilst the Esk Cafe (4 English Street) stays open until 21.00 hours on Monday to Saturday and up to 20.00 hours on Sundays.
- c) In the case to The Globe Tavern (PH) it has a public entertainments licence until 1.00am on Friday and Saturday. The Bush Hotel and Graham Arms do not have public entertainment licences. Meanwhile , Longtown Social Club has an entertainments licence for Saturday only until 12.30pm.
- d) It is also apparent that the immediately neighbouring commercial uses to the application site (in the form of Picture Framing, Longtown Gallery, Eskdale Saddles, and the John Graham Hardware Store) are not associated with opening in the evening.

In such a context it is considered that to allow trading until 23.30 hours represents an acceptable compromise. Subject to the comments of interested parties, the proposal is recommended for approval.

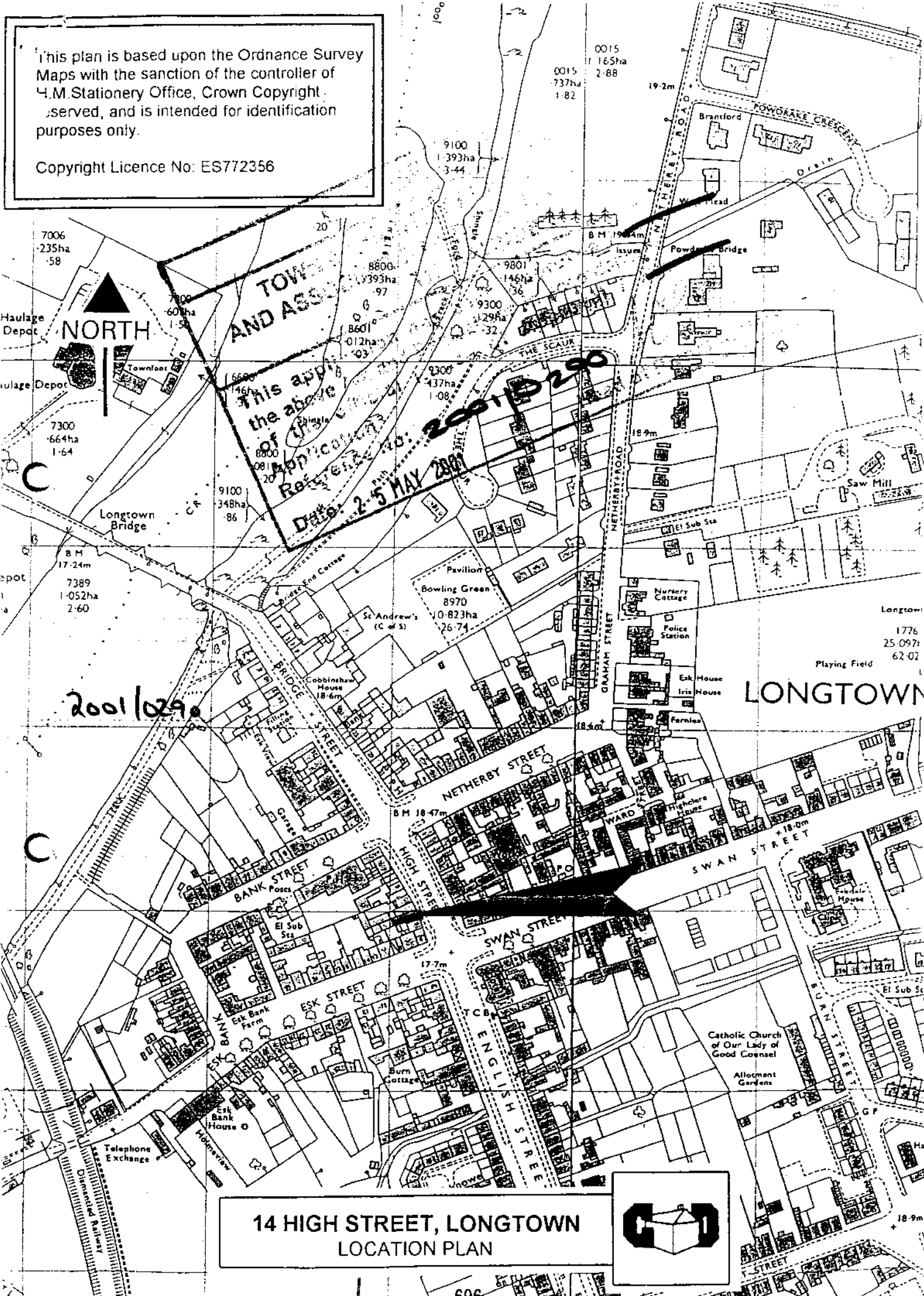
### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

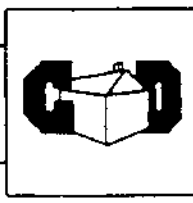
1. The use of the premises hereby permitted shall not commence before 08.00 hours or remain in operation after 23.30 hours.
2. This permission shall not be exercised by any person other than Mr T Noble.

This plan is based upon the Ordnance Survey Maps with the sanction of the controller of H.M. Stationery Office, Crown Copyright. Reserved, and is intended for identification purposes only.

Copyright Licence No: ES772356



14 HIGH STREET, LONGTOWN  
LOCATION PLAN



2001/1050





## SCHEDULE A: Applications with Recommendation

ITEM NO. 45

Date of Committee: 14/12/2001

APPN REF NO:  
01/1056 /

APPLICANT:  
Ms D Rogers

PARISH:  
Carlisle

DATE OF RECEIPT:  
19/11/2001

AGENT:  
Carlisle City Council - Stuart Leslie

WARD:  
Currock

LOCATION:  
21 Harold Street, Currock Carlisle, Cumbria

GRID REF:  
340640 554427

PROPOSAL: Raising of rear party walls and roofing over of yard area to form garage

Andy

---

### REPORT

#### PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

#### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objections.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised in the form of the direct notification of two neighbouring properties. At the time of writing this report, no comments or objections have received.

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1056 /

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

There are no relevant planning records relating to this site.

#### DETAILS OF PROPOSAL

This application relates to no.21 Harold Street, Currock. The property is a mid-terraced home in a residential area of Currock.

The applicant seeks full planning permission for the formation of a garage to the rear of 21 Harold Street. The proposal involves the formation of a domestic garage, achieved by raising the height of the party walls in the yard by 1.0m to a height of 2.6m in order to support light-weight roofing sheets.

The proposed roof is to be made from terracotta coloured profiled roofing sheets. It is also proposed that the extended section of the boundary walls will be constructed of "old terracotta" facing brickwork, to match the boundary walls of the other properties on the terrace. Custom made coping stones are proposed for the top of the wall. The roof sheets are to be flashed where necessary, and tied into the pitched roof extension at number 23 Harold Street. The proposed garage area will occupy the entire rear yard area of 21 Harold Street. The dimensions of the yard are 6.8m x 3.9m giving a total area of 26.52 square metres.

The back lane of Harold Street is currently being refurbished by the Environmental Services Section of Carlisle City Council.

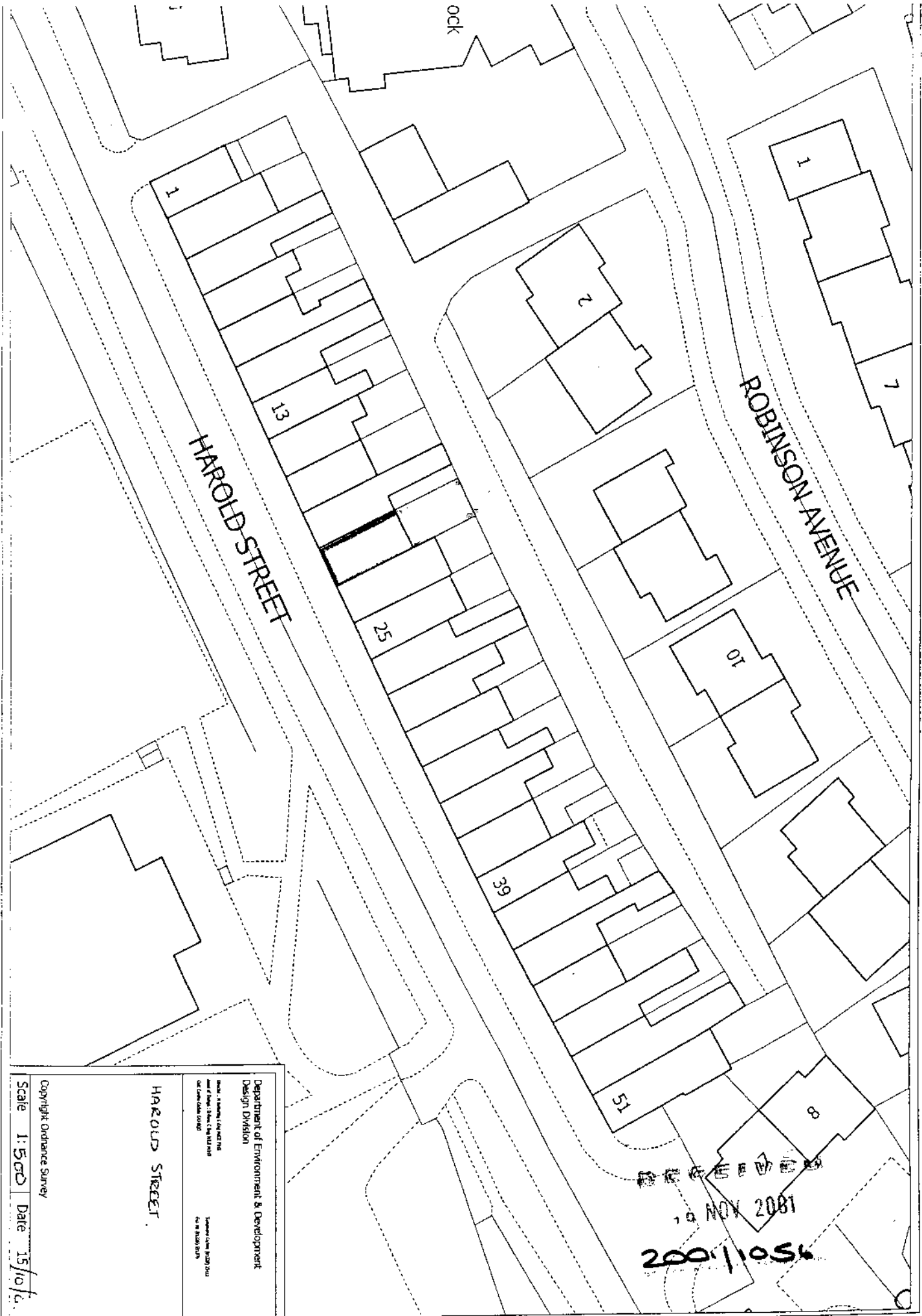
Number 21 Harold Street had a covered garage space similar to the one proposed until earlier this year. The roofing sheets were removed, as part of the group repairs to numbers 19 - 31 Harold Street. The garage door onto the back lane is still in place.

Planning permission is required for the re-erection of the garaged area. The design of the garage is in keeping with the character of the back lane and the materials proposed would be in keeping with those found on the rest of the lane.

#### RECOMMENDATION:-

APPROVE WITH CONDITIONS ✓

1. Standard time limit



dock

HAROLD STREET

ROBINSON AVENUE

1

13

25

39

15

1

7

10

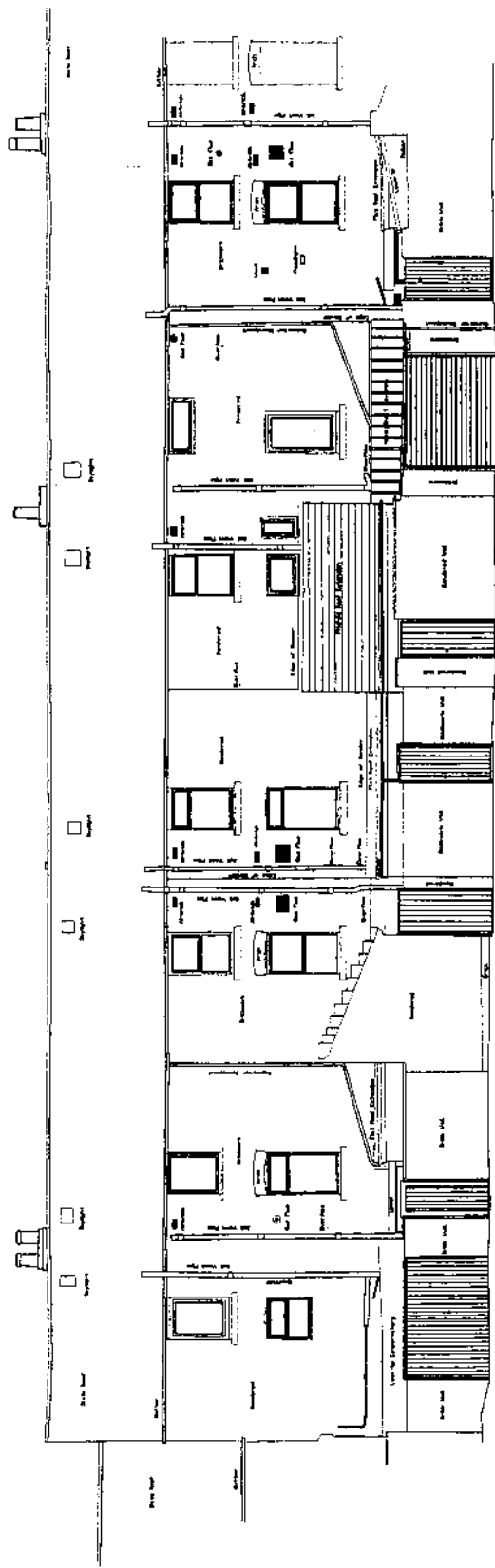
8

NOV 2001

NOV 2001

200/1056

Copyright Ordnance Survey  
 Scale 1:500 Date 15/10/01  
 Department of Environment & Development  
 Design Division  
 HAROLD STREET



Rear Elevation From the Back Lane

**CARLISLE CITY COUNCIL**  
 Department of Development & Environment  
 City of Carlisle, Carlisle, LA5 1EJ  
 Telephone: 01274 203100  
 Fax: 01274 203101  
 Email: [development@carlisle.gov.uk](mailto:development@carlisle.gov.uk)

**REAR ELEVATIONS FROM REAR**  
 GROUP REPAIRS  
 15 - 31 MARSDEN STREET  
 150  
 MAY 2001

ATAS  
 5/02-6  
 ROP

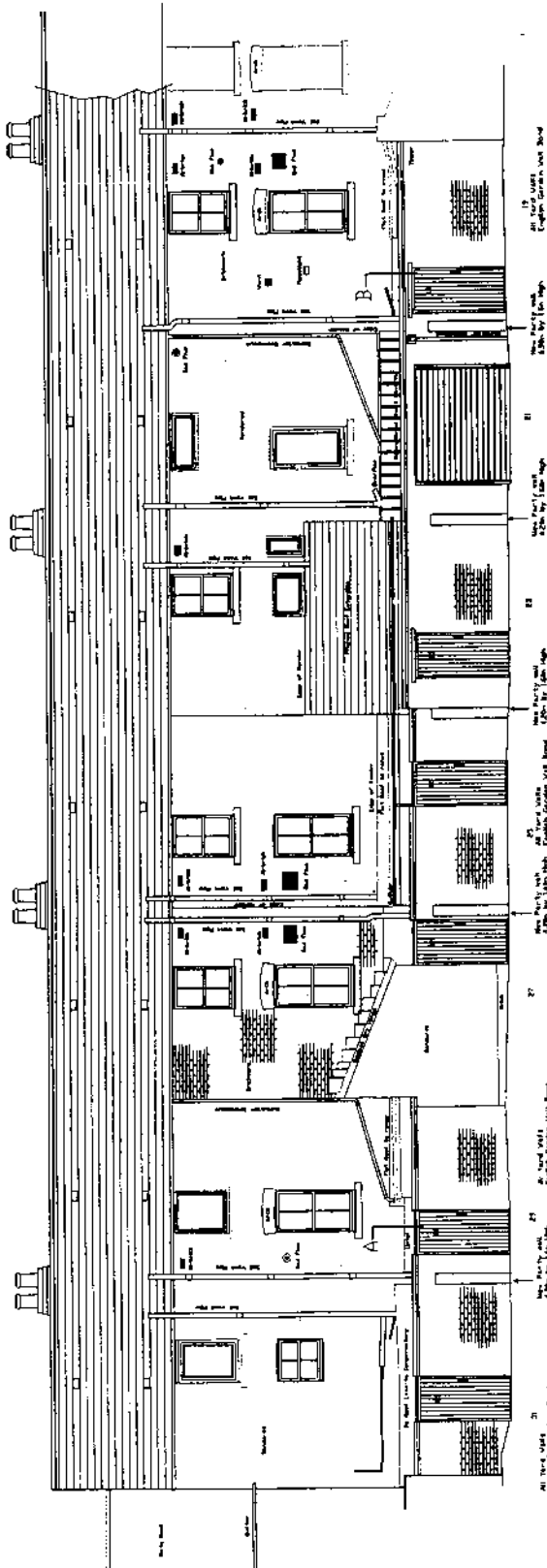
RECEIVED  
 15 MAY 2001  
 2001/05/15

**NOTE**

CONTRACTOR TO CHECK ALL DIMENSIONS ON SITE PRIOR TO MANUFACTURE OR ORDERING ITEMS



Proposed  
Rear Elevations  
From Road  
Group Repairs  
19 - 31 Harold Street  
199  
MAY 2001  
ATAS  
5/03-6 005



Rear Elevation From the Back Lane

**SPECIFIC EXTERNAL WORKS**

No. 21  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

No. 22  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

No. 23  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

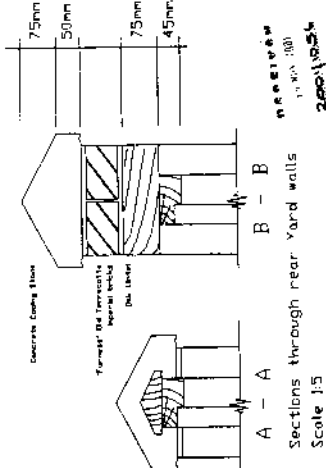
No. 24  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

No. 25  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

No. 26  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140

**GENERAL EXTERNAL WORKS**

1989 UNCL1  
Reveal and adjacent of existing first floor  
to new 1st floor level. Existing brickwork  
to be removed and replaced with new  
brickwork. Existing window frames to be  
replaced with new frames. All work to be  
in accordance with BS 5645:1990  
Approved: 2001 198 x 140



Sections through rear yard walls  
Scale 1:5

DO NOT SCALE - IF IN DOUBT ASK



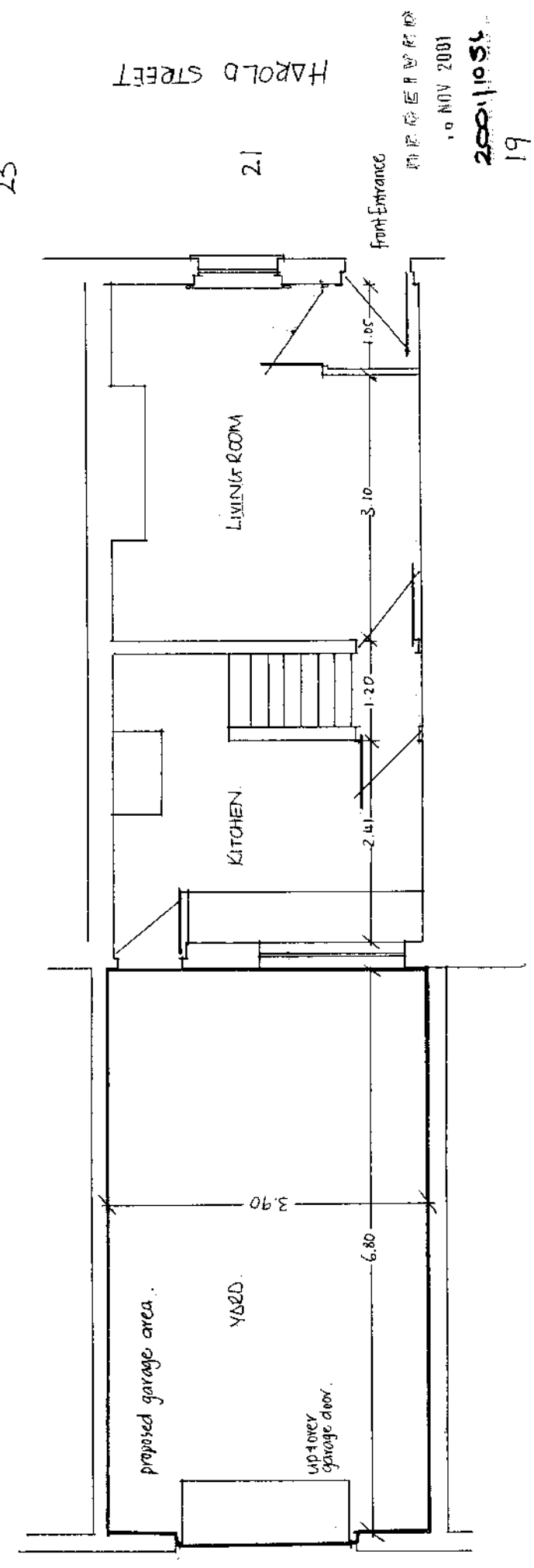
RECEIVED  
3 - DEC 2001

2001/1056

# GROUND FLOOR PLAN. 21 HAROLD STREET. CARLISLE. 15. NOVEMBER 2001

SCALE 1:50

21 HAROLD STREET. CARLISLE.



23

## SCHEDULE A: Applications with Recommendation

ITEM NO. 47

Date of Committee: 14/12/20

APPN REF NO:  
01/1071 /

APPLICANT:  
Thistle Transport Ltd

PARISH:  
Wetheral

DATE OF RECEIPT:  
22/11/2001

AGENT:

WARD:  
Wetheral

LOCATION:

Field 4228 adjacent to the M6, Scotby, Carlisle Cumbria

GRID REF:  
343350 555260

PROPOSAL: Erection of non-illuminated mobile signage

*Andy.*

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E48

Within the Area of Special Control, which coincides with the Plan area, (excluding Carlisle, Brampton and Longtown) proposals for advertisements will be permitted providing:

1. they comply with Regulation 19 of the Advertisement Regulations; and
2. they respect the high environmental value of the Plan area; and
3. where appropriate they complement and enhance significant areas of townscape importance.

SUMMARY OF CONSULTATION RESPONSES:-

MOUCHEL AMEY: Comments awaited.

D.O.T (HIGHWAYS AGENCY): Comments awaited.

WETHERAL PARISH COUNCIL: ~~Comments~~ awaited.

*No objection*

SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice, and the direct notification of 23 neighbouring properties. At the time of writing this report, no replies have been received.

DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

PLANNING HISTORY

There have been no previous planning applications relating to the history of this site.

DETAILS OF PROPOSAL

This application relates to the display of a mobile advance directional sign in the field between the rear of Park Road,



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1071 /

Scotby, and the M6 Motorway. The sign gives notice of the presence of the Transport Cafe at Junction 42 (Golden Fleece) of the M6. The sign measures 1.83m by 1.22m and is erected on the rear of a trailer. The sign is single sided, and features the wording "TRANSPORT CAFE" in black text on a white background; "NEXT JUNCTION 42" in white text on a black background; and "ALL DAY BREAKFAST" in italic black text on a white background. The sign faces southbound traffic, and is sited in the south western corner of field no 4228, adjacent to the motorway embankment.

In considering this application it is felt that the following should be kept in mind:

- a. Although it is acknowledged that outdoor advertisements can have a significant part in encouraging trade for businesses, PPG19 on the control of outdoor advertisements emphasises that the display of outdoor advertisements can be controlled in the interests of amenity and public safety.
- b. The sign is to be positioned in the corner of this open field behind a line of mature hedges and trees. The field is located approximately 3.0 metres above the level of the M6 carriageway. In such a location, the proposed sign projecting through the tree line constitutes a random and discordant feature in this edge of village location.
- c. If the committee were to allow this sign it would be difficult to resist any other signs on land adjacent to the M6.

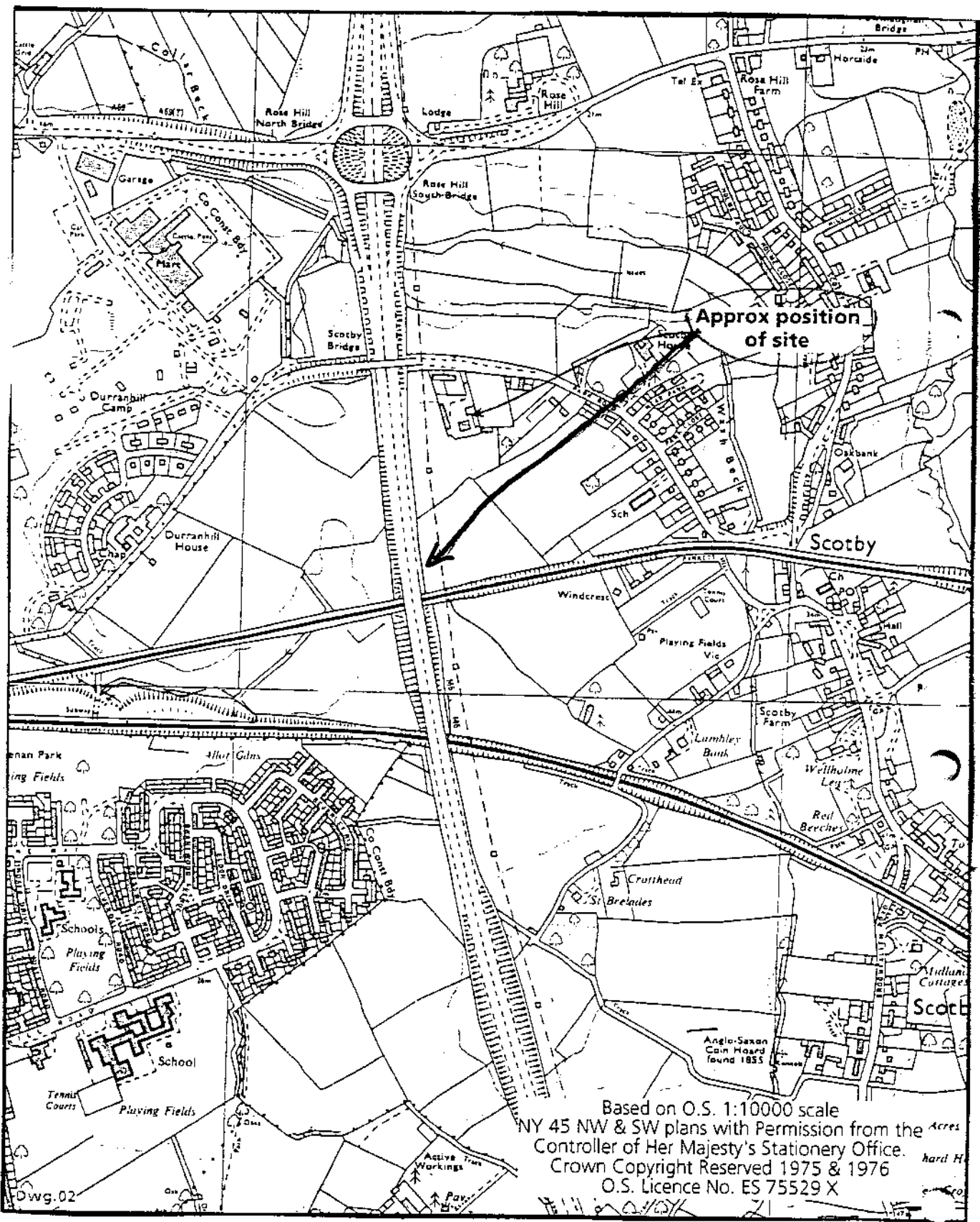
### RECOMMENDATION: -

REFUSE ✓

1. REASON: The proposed advance directional sign because of its location in open countryside physically unrelated to the premises advertised is obtrusive and represents a discordant feature detrimental to the visual amenities of this area.
2. REASON: The granting of express consent in respect of this sign would be likely to give rise to further applications for signs of a similar nature which, cumulatively, would be obtrusive and detrimental to the visual amenities of the area contrary to the objectives of policy E48 contained in the Carlisle District Local Plan.

*Auth [initials] EWF. ✓*

22  
2001/10/11



2001/1071





RECEIVED  
3 - DEC 2001  
2001/071



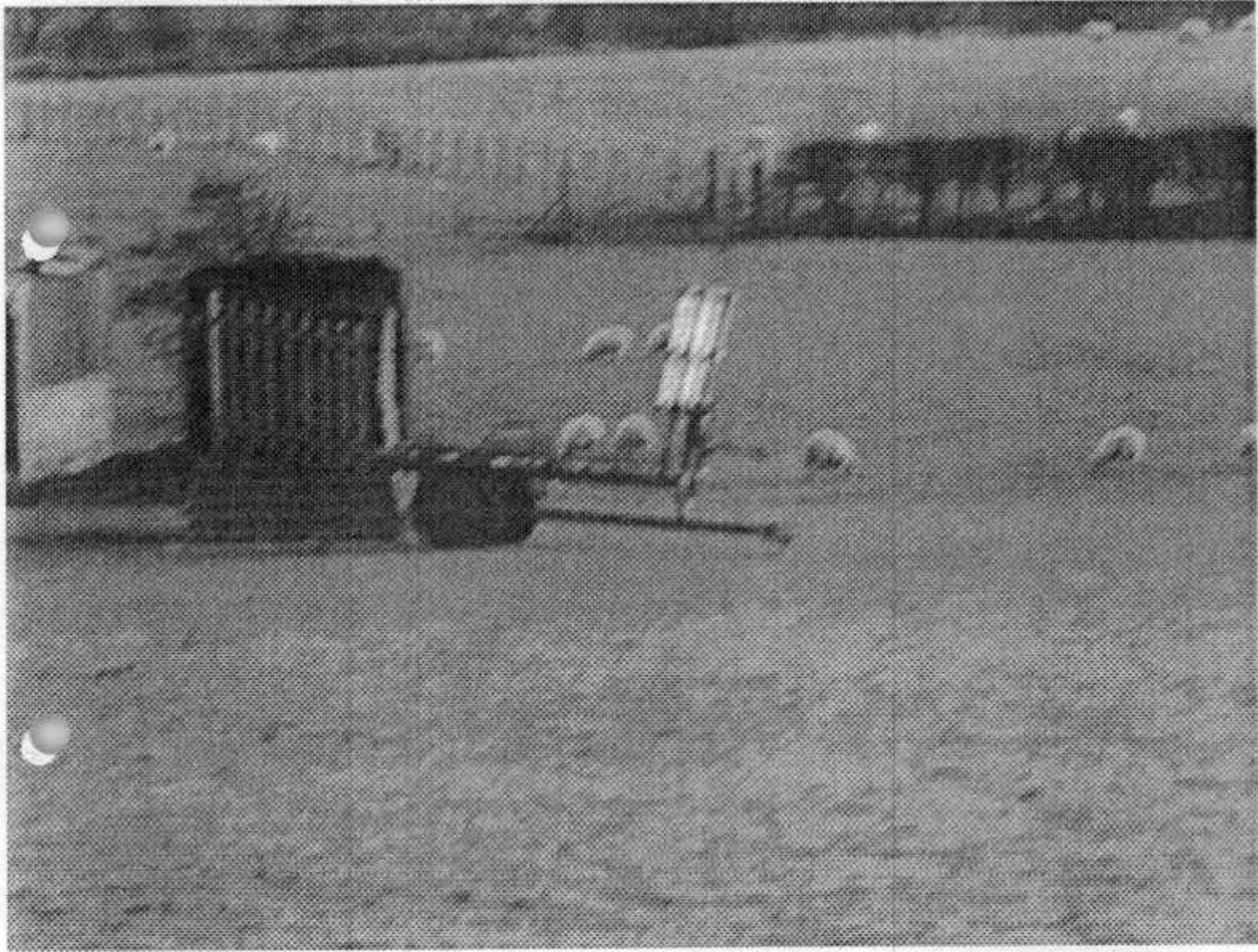
12/10/01

RECEIVED  
3 - DEC 2001



RECEIVED  
3 - DEC 2001

2001/1070



RECEIVED  
3 - DEC 2001

2001/1071

## SCHEDULE A: Applications with Recommendation

ITEM NO. 48

Date of Committee: 14/12/200

APPN REF NO:  
01/1072 /

APPLICANT:  
C S & M L Bowman

PARISH:  
Hayton

DATE OF RECEIPT:  
23/11/2001

AGENT:

WARD:  
Hayton

LOCATION:  
Ferndale, Corby Hill, Carlisle Cumbria

GRID REF:  
347764 557187

PROPOSAL: Erection of conservatory

*Andy*

---

### REPORT

PLANNING POLICIES:-

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

CARLISLE DISTRICT PLAN  
HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objection.

HAYTON PARISH COUNCIL: Comments awaited.

SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of the direct notification of three neighbouring properties. At the time of writing this report, no responses have been received.

DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

DETAILS OF PROPOSAL/OFFICER APPRAISAL:



## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1072 /

### PLANNING HISTORY:

In 1957 under application reference number BA 1810 permission was given for a vehicular access. An extension to form a dining/lounge area was granted permission in February 1979 under application 79/0071.

### DETAILS OF PROPOSAL:

This application seeks full planning permission for the erection of a conservatory on the rear elevation of the property known as Ferndale.

The application is before Committee because the applicant is Councillor Mrs Bowman. Under the Code of Conduct for Members, the application cannot be dealt with under Delegated Powers.

The proposed Conservatory has dimensions of 5.1 metres by 2.5 metres, and occupies a volume of approximately 29 cubic meters.

The conservatory is to be of UPVC construction, with a sandstone faced dwarf cavity wall.

It is to be erected in the back garden of the property. The conservatory will not be visible from the nearest properties. It is screened from view by a domestic garage and shop that are in the same ownership.

The nearest property in different ownership is located approximately 20 meters away.

The proposed conservatory accords with Policy H14 (extensions to Dwellings) and Policy H17 (Residential Amenity) of the Carlisle and District Local Plan.

The proposal is felt to be acceptable and is recommended for approval.

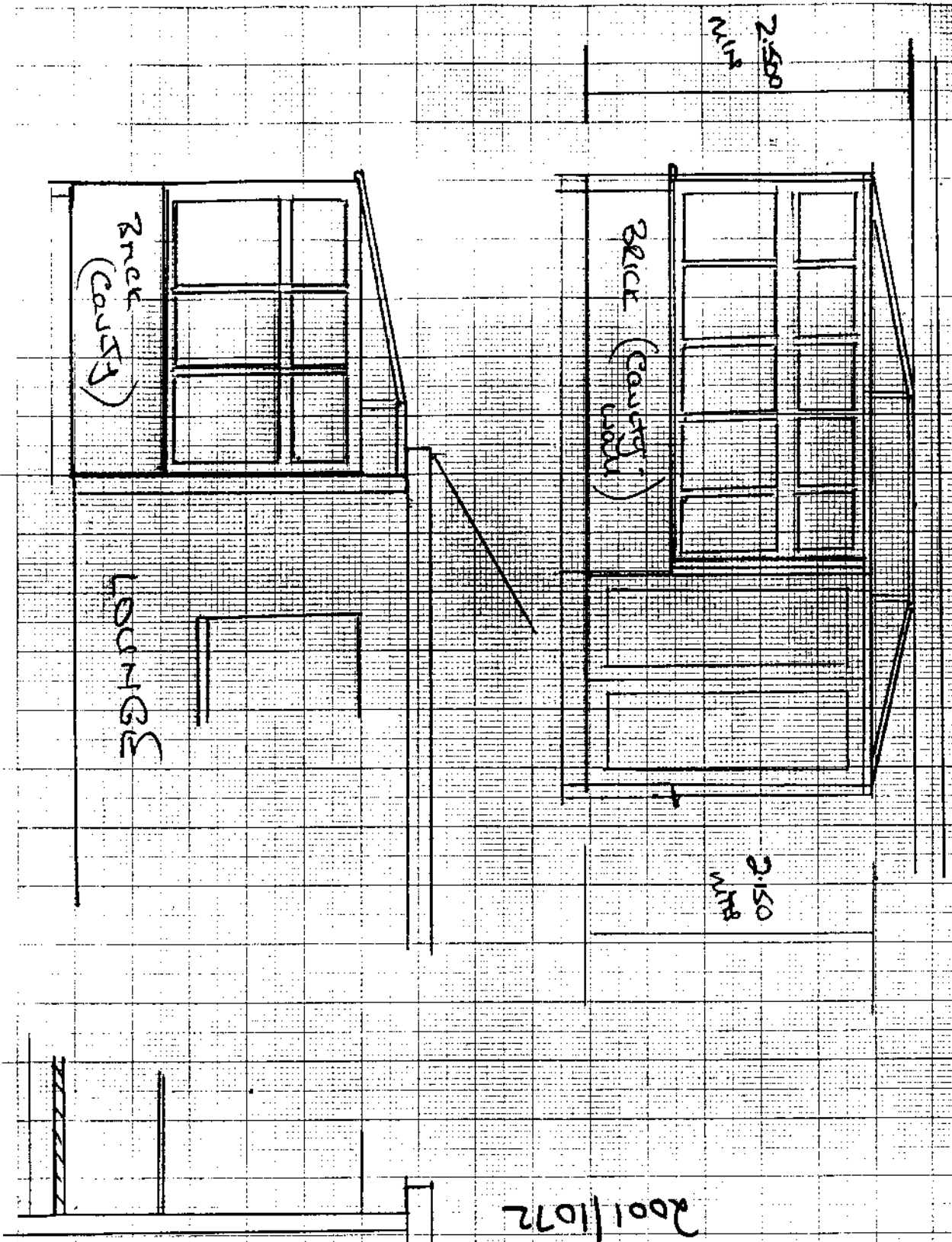
### RECOMMENDATION: -

APPROVE WITH CONDITIONS ✓

1. Standard time limit



2001/1072

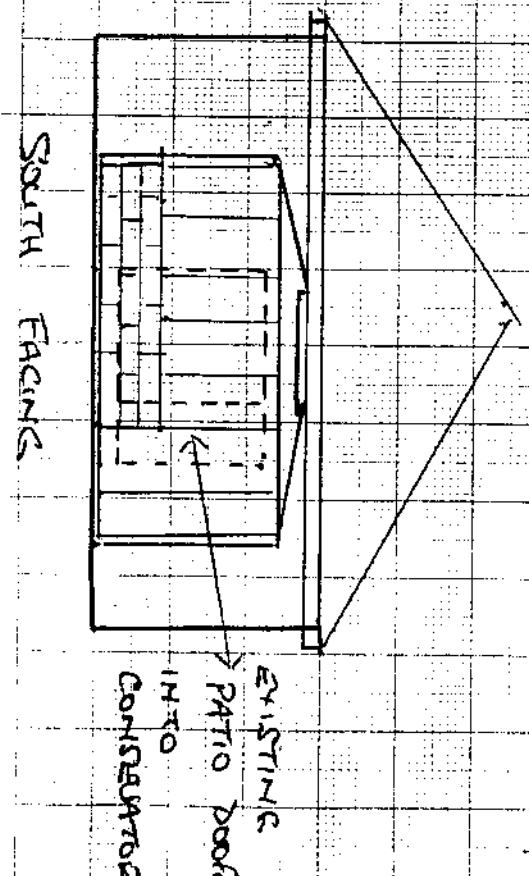
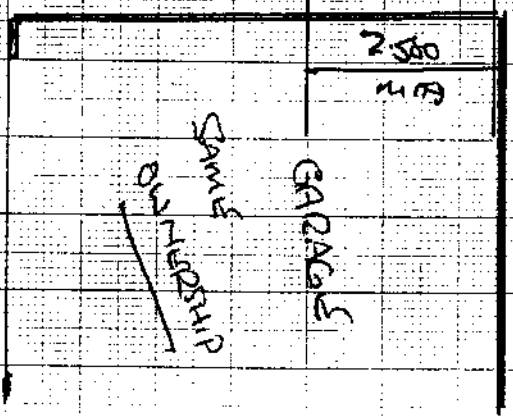
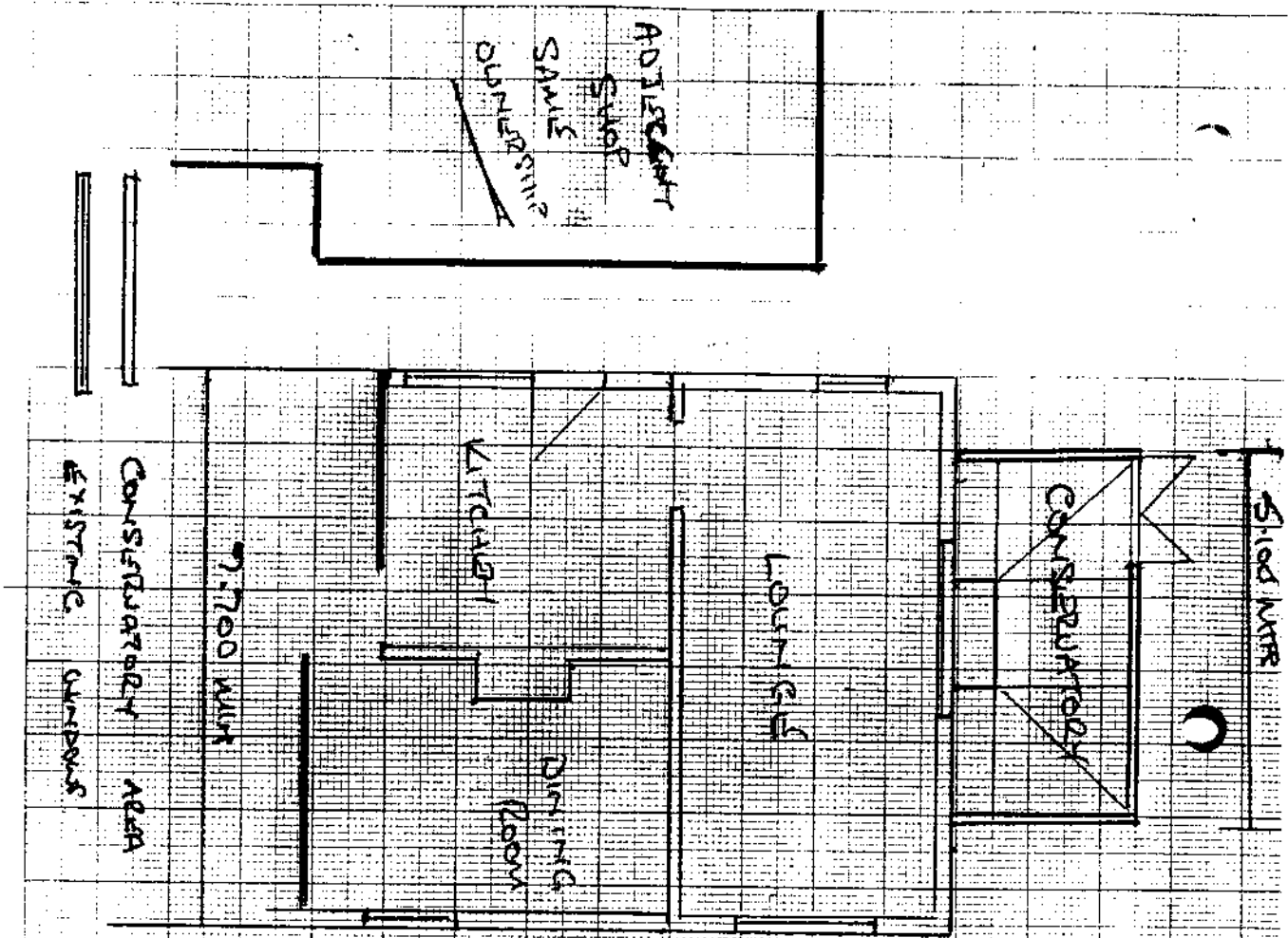


SCALE

2 cm = 1 MTR.

2001/1072

- Traditional Style
- Double Glazed units
- Decorative Squarish Brick
- Castly Brick Wall
- Ceramic Floor Tiles
- Concrete Foundations



SCALE  
1 cm = 1 mtr.

## SCHEDULE A: Applications with Recommendation

ITEM NO. 49

Date of Committee: 14/12/2001

APPN REF NO:  
01/1086 /

APPLICANT:  
Adam Jackson

PARISH:  
Wetheral

DATE OF RECEIPT:  
03/12/2001

AGENT:

WARD:  
Wetheral

LOCATION:  
10 Holme Close, Scotby Carlisle, Cumbria

GRID REF:  
343980 555720

PROPOSAL: Erection of kitchen extension, conservatory, W.C., utility room  
and 2no. bedrooms (revised proposal)

*Richard*

---

### REPORT

#### PLANNING POLICIES:-

##### GAS PIPELINE SAFEGUARDING AREA

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H14

Applications for extensions to existing dwellings will be approved provided the City Council is satisfied that the proposals are appropriate to the dwelling, its design and setting. Inappropriate extensions which adversely affect the amenities of adjacent properties by poor design, unreasonable overlooking and/or unreasonable loss of daylight and sunlight will not be permitted.

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H17

The amenity of residential areas will be protected from inappropriate development where that development:

1. is for a use inappropriate for residential areas; and/or
2. is of an unacceptable scale; and/or
3. leads to an unacceptable increase in traffic or noise; and/or
4. is visually intrusive; and/or
5. leads to a loss of housing stock.

#### SUMMARY OF CONSULTATION RESPONSES:-

WETHERAL PARISH COUNCIL: Comments awaited.

HIGHWAY AUTHORITY: Comments awaited.

#### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by way of a site notice

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1086 /

and 6 individual letters, 4 of which were to occupiers of neighbouring residential properties. No response has been received.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Planning permission was granted for the provision of an extra lounge and extension of bedroom and dining room on 17 December 1980, under application reference 80/1012.

Full planning permission was granted for the erection of a kitchen extension, conservatory, 2no. bedrooms and change of use of garage to lounge on 2 November 2001, under reference 01/0570.

#### DETAILS OF PROPOSAL

This application seeks full planning permission for the erection of additional extensions and alterations to number 10 Holme Close, Scotby. The property is one of several similar properties located in a cul-de-sac. The properties are single storey in height and are set in substantial grounds.

The proposed development consists of the erection of a conservatory to the rear of the property. A dwarf wall would be constructed from brick to match the existing with a UPVC frame above. The structure would measure 4.1 metres in width at a distance of 4 metres from the dwelling and the height would measure 4.7 metres. This is due to the ground sloping away from the property to the rear of the garden. Steps would also be constructed from the conservatory leading down into the garden.

A single storey flat roof garage existing on the western elevation. the application involves a 1 metre extension to the kitchen to the rear and 2 metres extension to the rear of the garage to create a flush elevation. the internal layout would then be altered to create a W.C. and utility room. The application then proposes to roof over this building with a mono pitch roof. The highest part of this extension measures 5.4 metres from the boundary with the adjacent property, number 9 Holme Close.

The rear of the property would be extended by 1.9 metres to a width of approximately 7 metres. The pitch of the roof which is proposed would tie in to the ridge of the main roof and due to the slope in ground level at this point, the distance from the ground to the ridge would measure 8 metres. Two window openings would be installed in the gable which would overlook the rear garden area. The nearest part of this extension measures 5.4 metres from the boundary with the adjacent property, number 9 Holme Close.

Policy H14 of the local plan requires that extensions to dwellings should be appropriate to the dwelling, its design and setting. There is no objection to the principle of an extension

## SCHEDULE A: Applications with Recommendation

Schedule continued for 01/1086 /

on this site. This is borne out through the previous planning history. Indeed, the proposal to erect the conservatory to the rear and the extension to the kitchen area would be innocuous and appropriate to the dwelling.

The scale of the extension to the rear is significant. The steeply sloping pitch roof is reflective of the character of this property, and others in the cul-de-sac. This is illustrated through the photographs which have been reproduced following this Report.

Policies H14 and H17 seek to protect residential amenity. The adjacent property, number 9, has a window in the gable at first floor level and because this property is built at an angle to number 10, it is possible to overlook the garden area. Clearly, the extension will be visible from this vantage point.

The nearest point of this extension would be approximately 11 metres from the window. Whilst the application site is located to the south of number 9, it is not considered that there would be any adverse loss of daylight to the occupiers of this property.

The extension to the garage would project this part of the dwelling by 1 metre in front of the existing front elevation. This would serve to break up a continuous front elevation.

The only proposed change between the current application and the planning permission granted under reference 01/0570 involves the conservatory to the rear. This is shown to be relocated 1 metre closer to the boundary with number 9 Holme Close. This alteration has also resulted in a longer, narrower structure with an increase of 400mm in height. There are no planning objections to these alterations.

In conclusion, the proposals which are being presented for consideration are large in scale and will have a noticeable impact on this site. On balance, however, the scale and the design of the extensions are appropriate and accord with current planning policy.

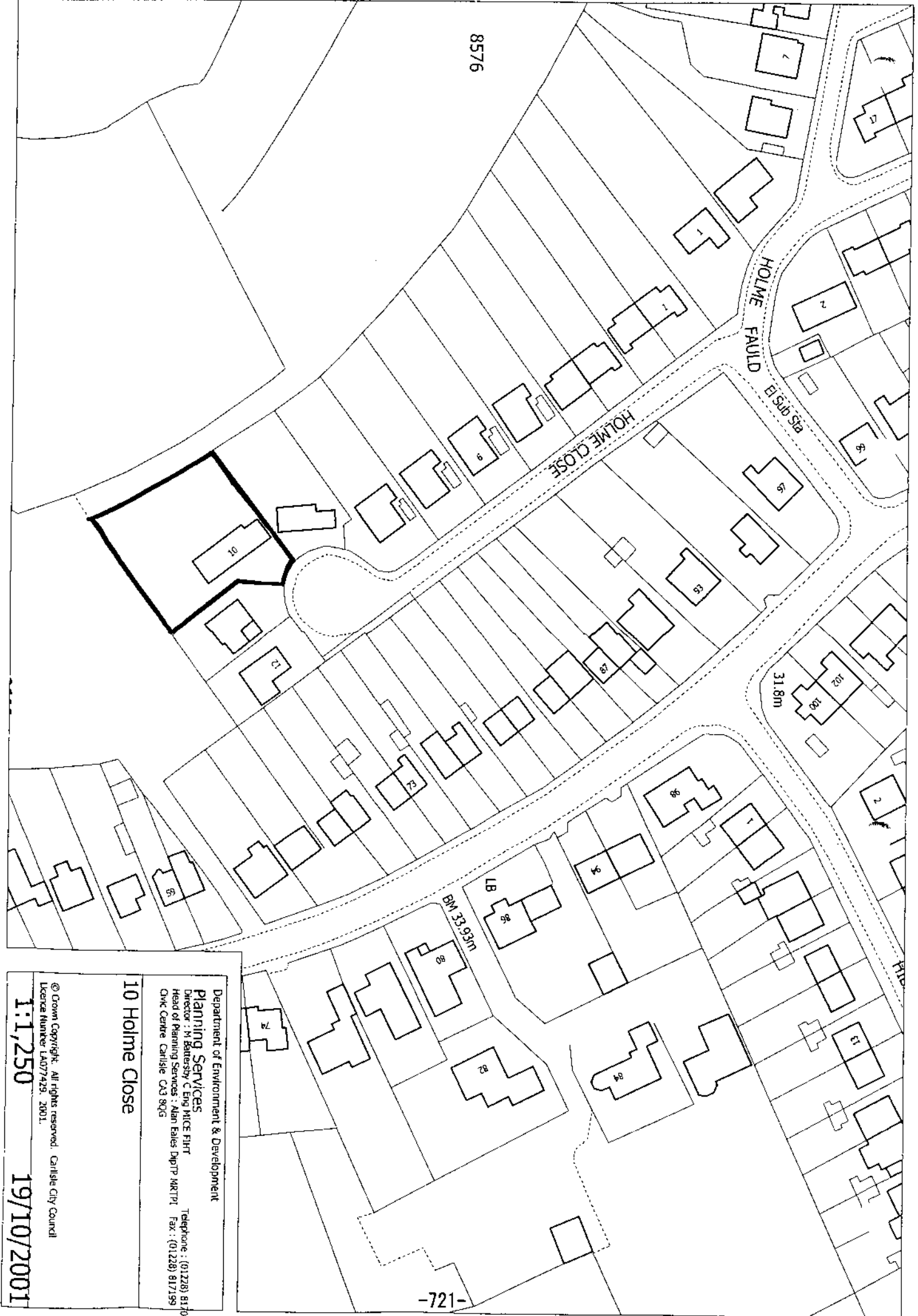
The consultation period for this application expires on 28 December 2001. It would therefore be appropriate for Members to grant authority for Officers to Issue this application once this period has expired.

### RECOMMENDATION:-

APPROVE WITH CONDITIONS

1. Standard time limit
2. Materials to match existing

A to I



Department of Environment & Development  
**Planning Services**  
 Director : Mr Pakeney C Eng MICE FIHT  
 Head of Planning Services : Alan Eales DipTP MRTP  
 Civic Centre Carlisle CA3 8QG Telephone : (01228) 817000  
 Fax : (01228) 817199

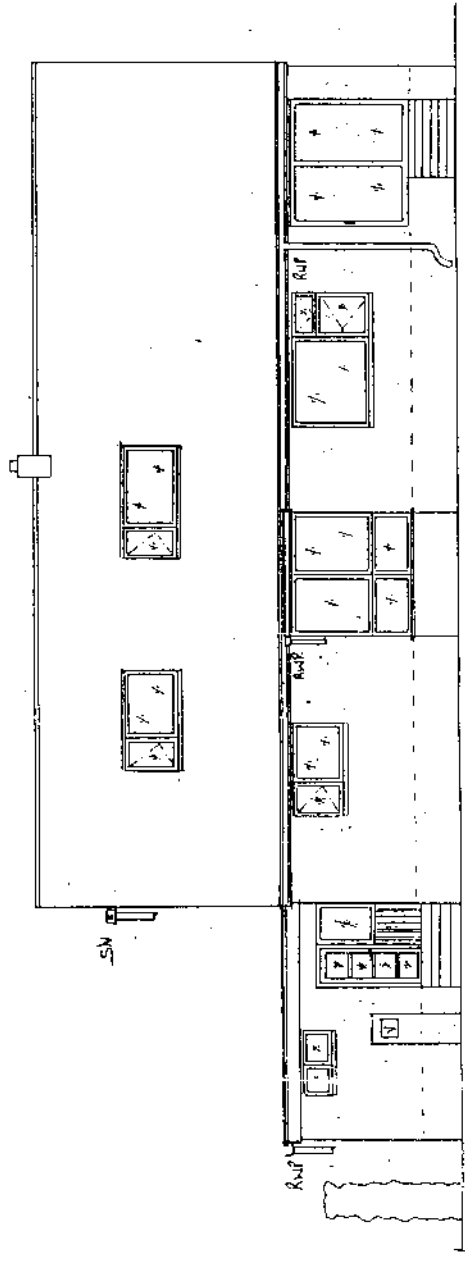
**10 Holme Close**

© Crown Copyright. All rights reserved. Carlisle City Council  
 Licence Number LA07425 2001.  
**1:1,250** **19/10/2001**









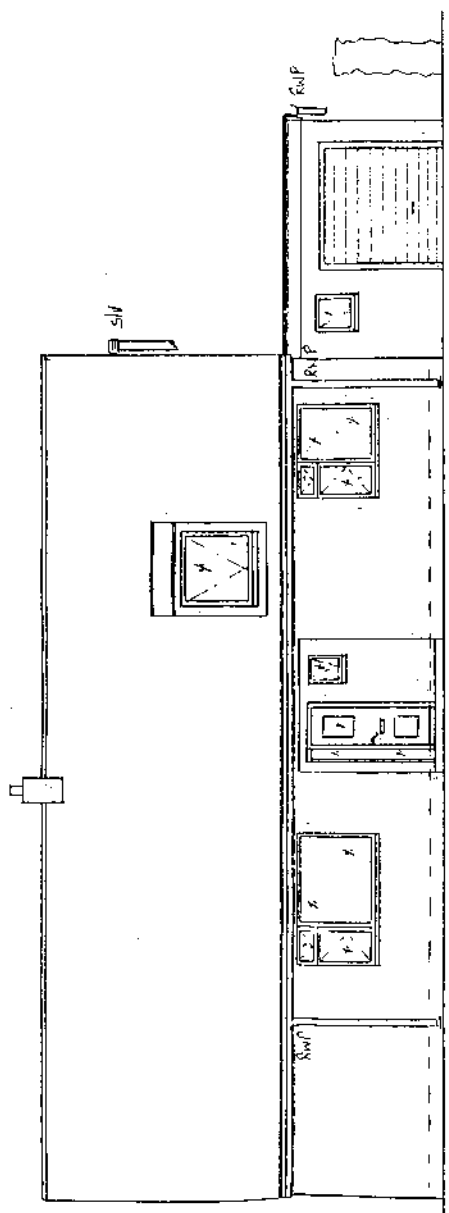
EXISTING REAR ELEVATION

ALTERATIONS AND EXTENSIONS TO 10 HOLME CLOSE SCOTBY CARLISLE CA4 8BN			
ELEVATIONS			
scale 1:100	date 24.11.01	revision 1	

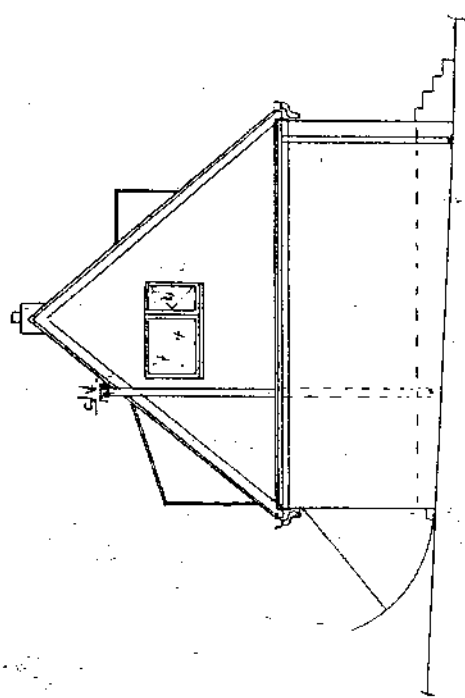
**RECORDED**  
3 - 11 - 2001

**2001/1088**

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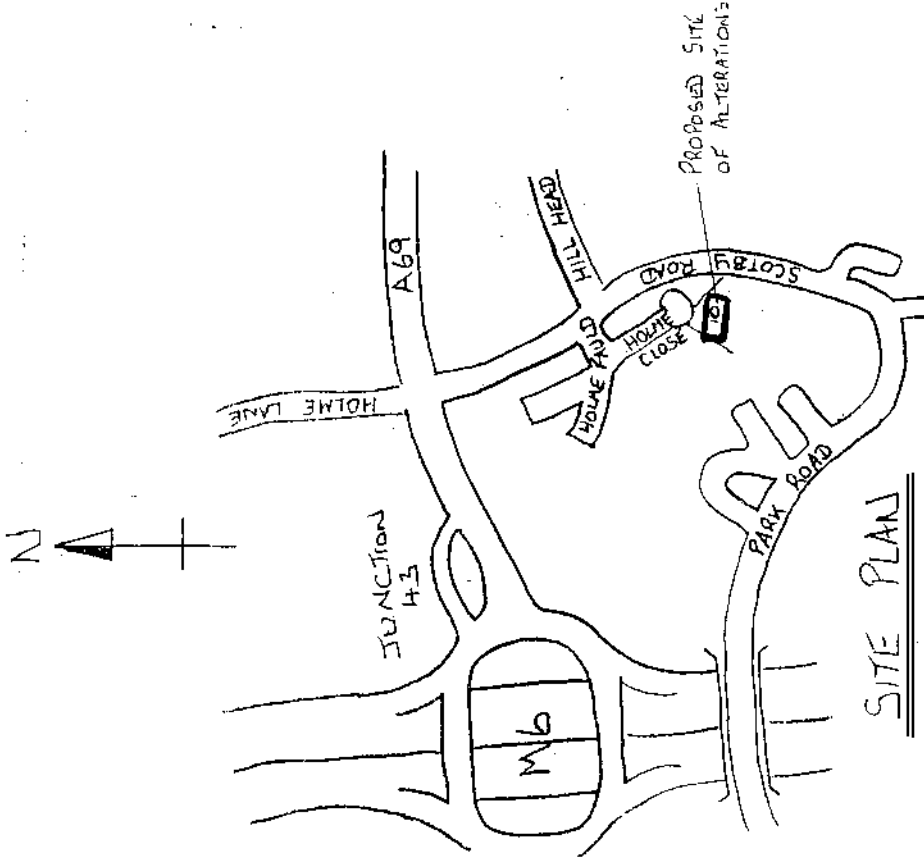
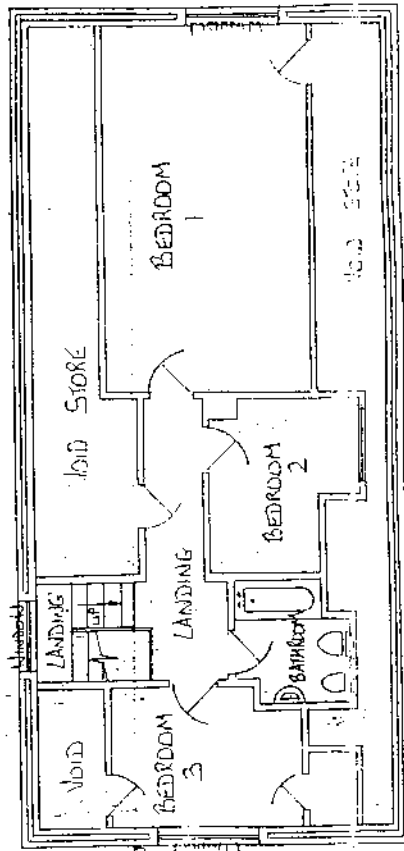
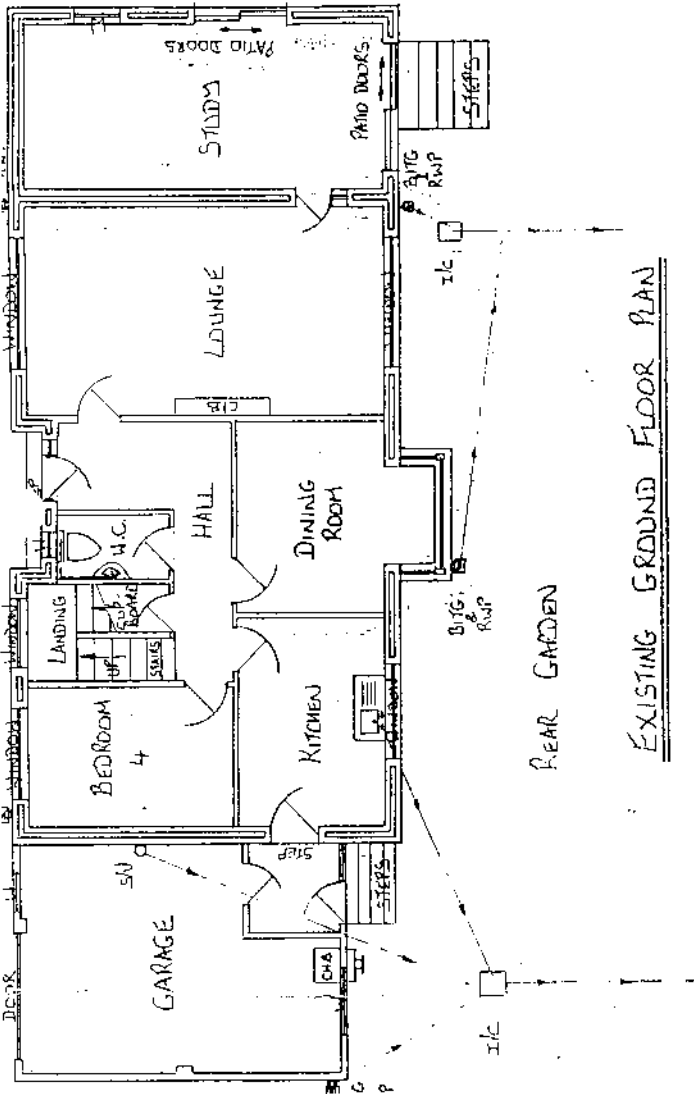


EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION

ALTERATIONS AND EXTENSIONS TO 10 HOLME CLOSE SCOTBY CARLISLE CA4 8BN	
ELEVATIONS	
scale	date / / revision



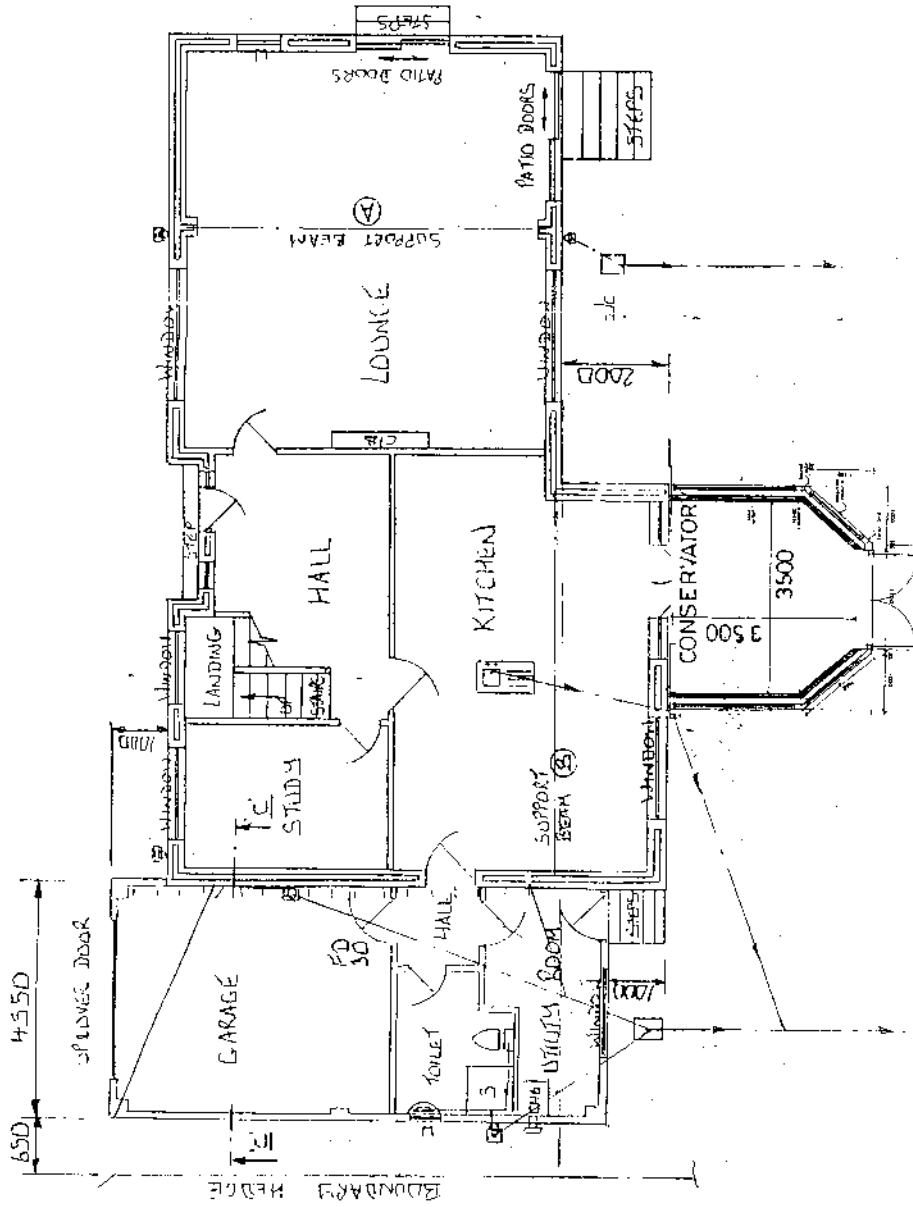
ALTERATIONS AND EXTENSIONS  
 TO 10 HOLME CLOSE SCOTBY  
 CARLISLE CA4 8BN

FLOOR PLANS

scale 1:100 date 24/11/01 revision I

EXISTING FIRST FLOOR PLAN

2001/1086

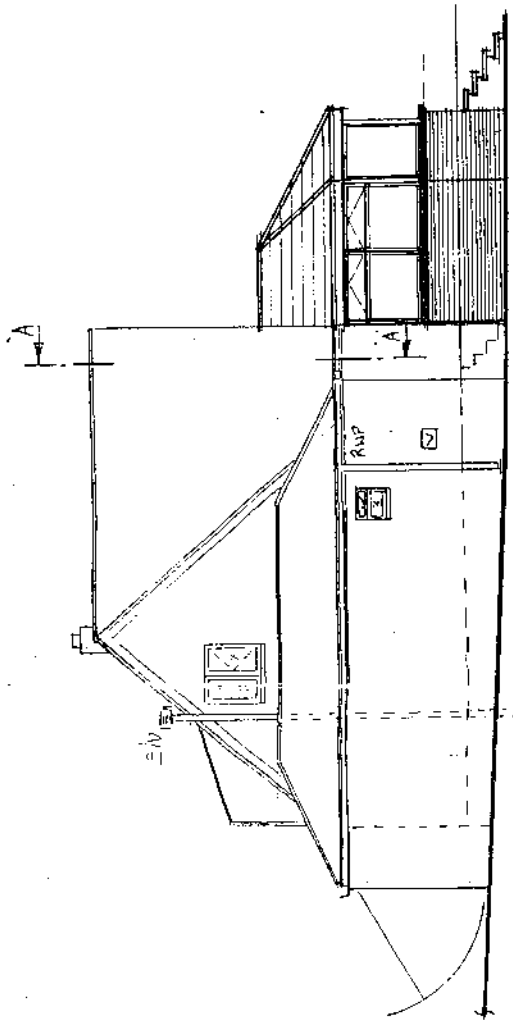


GROUND FLOOR PLAN

2001/1086

ALTERATIONS AND EXTENSIONS TO 10 HOLME CLOSE SCOTBY CARLISLE CA4 8BN	
GROUND FLOOR PLAN	
scale 1:100	date 27.11.2001 revision 1

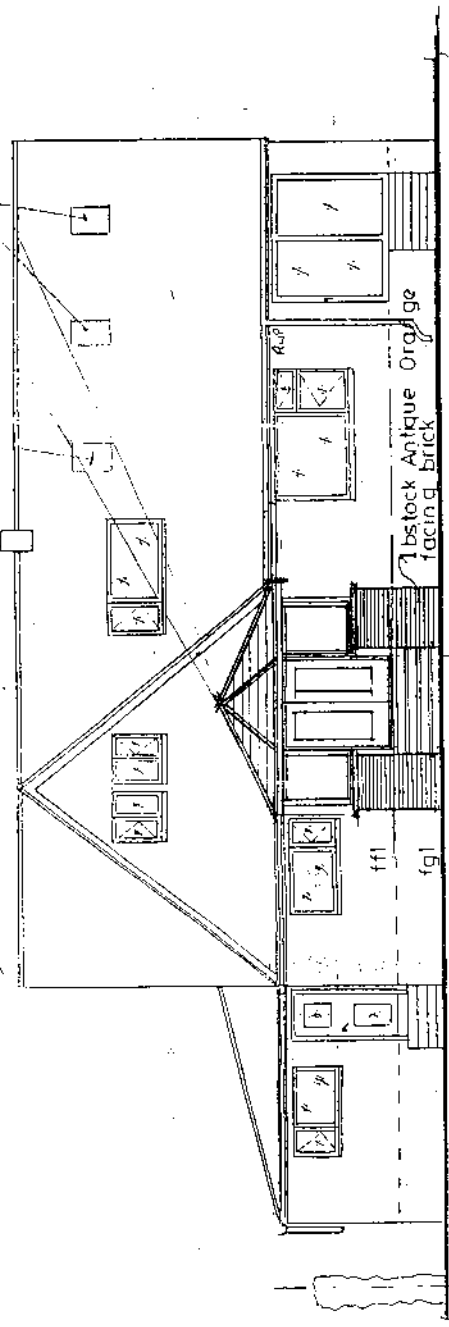
CONSERVATORY LAYOUT MENDED



SIDE ELEVATION

2nd VELUX WINDOW IN BEDROOM 1

VELUX WINDOW IN BED-SUITE



REAR ELEVATION

2001/1086

ALTERATIONS AND EXTENSIONS TO 10 HOLME CLOSE SCOTBY CARLISLE CA4 8BN	
ELEVATIONS	
scale 1:100	date 24.11.01 revision 1

CONSERVATORY AMENDED

**SCHEDULE B**

**SCHEDULE B**

**SCHEDULE B**

**SCHEDULE B**

**SCHEDULE B**

**SCHEDULE B**



## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 50

Date of Committee: 14/12/2001

APPN REF NO:  
01/0366 /

APPLICANT:  
Mrs M Moualem

PARISH:  
Carlisle

DATE OF RECEIPT:  
10/05/2001

AGENT:

WARD:  
Castle

LOCATION:  
L/A buildings at Heads Lane, Carlisle Cumbria

GRID REF:  
339988 555784

PROPOSAL: Demolition of disused commercial and residential buildings  
(CAC)

---

### REPORT

#### PLANNING POLICIES:-

##### ANCIENT MONUMENT

##### CONSERVATION AREA

The proposal relates to land or premises situated within the City Centre Conservation Area.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E39

There will be a general presumption in favour of the retention of buildings which make a positive contribution to the character or appearance of a Conservation Area. Applications for Conservation Area Consent for the demolition of unlisted buildings in Conservation Areas will be critically assessed against the following criteria:

1. the contribution of the building to the landscape/townscape; and
2. the structural condition of the building; and
3. the suitability of the building for its existing, proposed or any other use; and
4. the cost of repair; and
5. the contribution which the demolition/redevelopment would make to broader conservation objectives.

All proposals for demolition must be accompanied by details of redevelopment, which will normally be secured by means of a legal agreement.

##### CARLISLE DISTRICT PLAN ENVIRONMENT - POLICY E40

Within the City Centre, Botchergate, Brampton, Longtown and Dalston Conservation Areas, there will be a strong presumption in favour of the retention and improvement of key townscape frontage buildings.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0366 /

### SUMMARY OF CONSULTATION RESPONSES:-

COUNTY ARCHAEOLOGIST: The ground beneath these buildings is a Scheduled Ancient Monument and this area has a high archaeological potential. The County Archaeologist recommends that an archaeological evaluation (trial trenching) of the site be undertaken if demolition is allowed. This work would require Scheduled Monument Consent. It is advised that the evaluation be secured by attaching conditions to the Conservation Area Consent. In addition the buildings at Heads Lane are considered to be of interest and that they should be recorded before any demolition work is begun.

ANCIENT MONUMENTS SOCIETY: The Society object to this proposal on a number of grounds. Firstly it would be contrary to Government policy to accept such an application without a concurrent application for permission to redevelop the site. Secondly the buildings concerned have their own architectural character, particularly the elaborate 19th century building with its dormers and the Dutch gable onto West Walls. Thirdly this area is covered by a HERS scheme and some of these buildings would clearly merit consideration under this scheme.

ENGLISH HERITAGE: An English Heritage Building Surveyor has investigated the site and his conclusions are that most of these buildings are suffering from general maintenance problems which could be rectified fairly easily. The only individual building to give immediate cause for concern is the two storey building on the corner of Heads Lane and West Walls, Although even here there does not appear to be any imminent danger of collapse. English Heritage suggest that the condition of the buildings be monitored by Building Control. They conclude that a case for demolition on public safety grounds cannot be sustained and would not be justified. They suggest that remedial works be undertaken and the buildings history and archaeology be examined. Only when such a study has been completed should plans for the site be drawn up, as it may be felt that some of the buildings should be retained rather than presuming a cleared site.

Details of the amended scheme have been sent to English Heritage and as yet no written response has been received. Telephone discussions indicate that English Heritage would still oppose demolition. The observations of English Heritage should be available by the date of the Committee.

HIGHWAY AUTHORITY: No objections to the proposal.

BUILDING CONTROL: The Building Control Manager has inspected this group of buildings. He considers that the majority of the buildings are not in a dangerous condition however he is concerned about the building at the corner of Heads Lane and West Walls (Unit 4). He considers that even making this building safe is likely to be a dangerous procedure. He is continuing to monitor the buildings.

CONSERVATION AREA ADVISORY COMMITTEE: The original proposal was

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0366 /

put before the Committee in June when members felt that the application should be refused unless an acceptable scheme for the redevelopment of the site is brought forward. A revised proposal consisting of the demolition of Units 1 and 4, with the creation of a 7 foot high brick wall along the boundary of the site, was put to the Committee on the 17th October. The members agreed with the report from English Heritage that the buildings do not need to be demolished. However if permission is granted to remove these buildings it should be a requirement that they are recorded beforehand.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and in the local newspaper. Three letters have been received objecting to this proposal. The Civic Trust consider that the application should be accompanied by proposals for the redevelopment of the site. The occupant of 3 Heads Lane also objects to the demolition of these buildings. The vicar of St Cuthbert's Church has objected against this proposal which he feels will create an open unattractive area which presumably will continue to be used as a car park. There are also no details as to how the boundaries will be dealt with, wire mesh fencing or hoardings would be unacceptable. The present buildings do have some historic and architectural merit, once demolished they are gone forever.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

The properties which are the subject of this application have been vacant and dilapidated for many years. The Council has taken the view in the past that they have some architectural and historic merit which should be retained if possible. This is reflected in the inclusion of these properties in the Local Plan as Key Townscape Frontages. This policy, E40, states that there will be a strong presumption in favour of the retention and improvement of these buildings. Policy E39 states that all proposals for demolition of buildings within a Conservation Area must be accompanied by details of redevelopment. No such details have been received.

Previous owners have carried out repairs to ensure that the buildings do not become a danger and the City Council's HERS scheme highlights these premises as being eligible for grant aid towards the cost of their repair.

In recent years the condition of the structures has deteriorated and no maintenance has been carried out. The owners have obtained planning permission to redevelop the site and convert and extend some of the existing buildings to A1/A3 uses. The proposal included a new pub/restaurant. (Ref No 98/0530). Conservation Area Consent for the demolition works was also approved however no demolition may be carried out until a contract has been let for the main development. Although it is understood that negotiations are still ongoing

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0366 /

no date can be given as to when a scheme of development might start. The current application for Conservation Area Consent was made following the inability of the owner to obtain insurance cover following the surveyor's report which suggested that some of the buildings were dangerous.

### DETAILS OF THE PROPOSAL

This application was deferred at the last Committee to enable members to visit the site and view for themselves the condition and importance of these buildings.

The original submission was for the demolition of all of the buildings marked as Units 1 to 5 within the site. An amended scheme however was put forward which was for the demolition of Units 1 and 5. These are the buildings at each end of the group. Two Surveyor's reports accompanied the application indicating the condition of the structures. Their conclusions were that these buildings were in various stages of disrepair and some were in a dangerous state and should be demolished.

Consultations were immediately carried out and these included a request for advice from English Heritage. The initial responses received from consultees objected strongly to the demolition of these buildings without any development proposals in place and ready to be implemented. In addition the advice from English Heritage suggested that only Unit 1, which is the building on the corner of Heads Lane and West Walls, gave direct cause for concern and that it should be closely monitored by Building Control. The conclusion drawn by English Heritage was that none of the buildings were in any imminent danger of collapse. A copy of this letter is attached to this report.

The applicant's second Engineers report concluded that Units 1 and 4 are considered unstable and should be demolished immediately and that, although the other Units could be retained at a high cost, demolition is considered to be more practical. Walter Davidson, Building Control Manager has examined the buildings and considers that Units 1, 2, 3 and 5 are not dangerous but that Unit 4 does need attention.

The deterioration of these structures has been through vandalism and the lack of any maintenance work. Public liability is clearly an important issue and the safety of the general public is a City Council responsibility. The applicant does not wish to enter into the City Council's Heritage Economic Regeneration Scheme which had indicated that funding could be made available for the repair and restoration of these buildings.

One of the reasons for not allowing demolition until a contract for development has been let is that the removal of all or any of these building would expose a site which is currently used for parking. The original proposal did not indicate any details for fencing or screening and the result could be a largely derelict site which would create an unsightly view for

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0366 /

all those who use Heads Lane as a route into the City Centre. It is to avoid this possibility that the Council has resisted the removal of these properties. The applicant has now put forward an amended proposal which would see the retention of Units 2, 3 and 5, and the demolition of Units 1 and 4, followed by the construction of two large stretches of wall 7 feet high in the gaps created.

If the Council were to grant consent then the demolition of these two buildings will require some strengthening of the remaining structures to ensure their stability and some remedial work to the exposed gables of the same. Any work which will involve excavation for footings, etc will require Scheduled Monument Consent and the County Archaeologist has recommended conditions to ensure that a proper record of the buildings and archaeology is made. The proposed walls would be brick faced and would help to keep a reasonably attractive street scene along Heads Lane and West Walls.

These amended proposals have been sent to all consultees and those who have made representations. No additional responses have been received.

Should the Council decide to refuse this application it may consider it appropriate to ensure that the buildings remain in a safe condition. The Council may approach the Secretary of State for permission to serve an urgent works notice. This would ensure that the minimum work necessary to ensure their stability could be carried out. The Council would have to pay for this work however it may be possible for this to be recovered from the owner of the property. A further report on this would clearly need to be prepared which would include the advice of the City Solicitor on the form of Notice to be served and whether compulsory purchase powers were available and/or appropriate in this instance. It would also be necessary to have a firm indication of the likely cost of this work. English Heritage are providing information on the work required and contractors who may be able to carry it out.

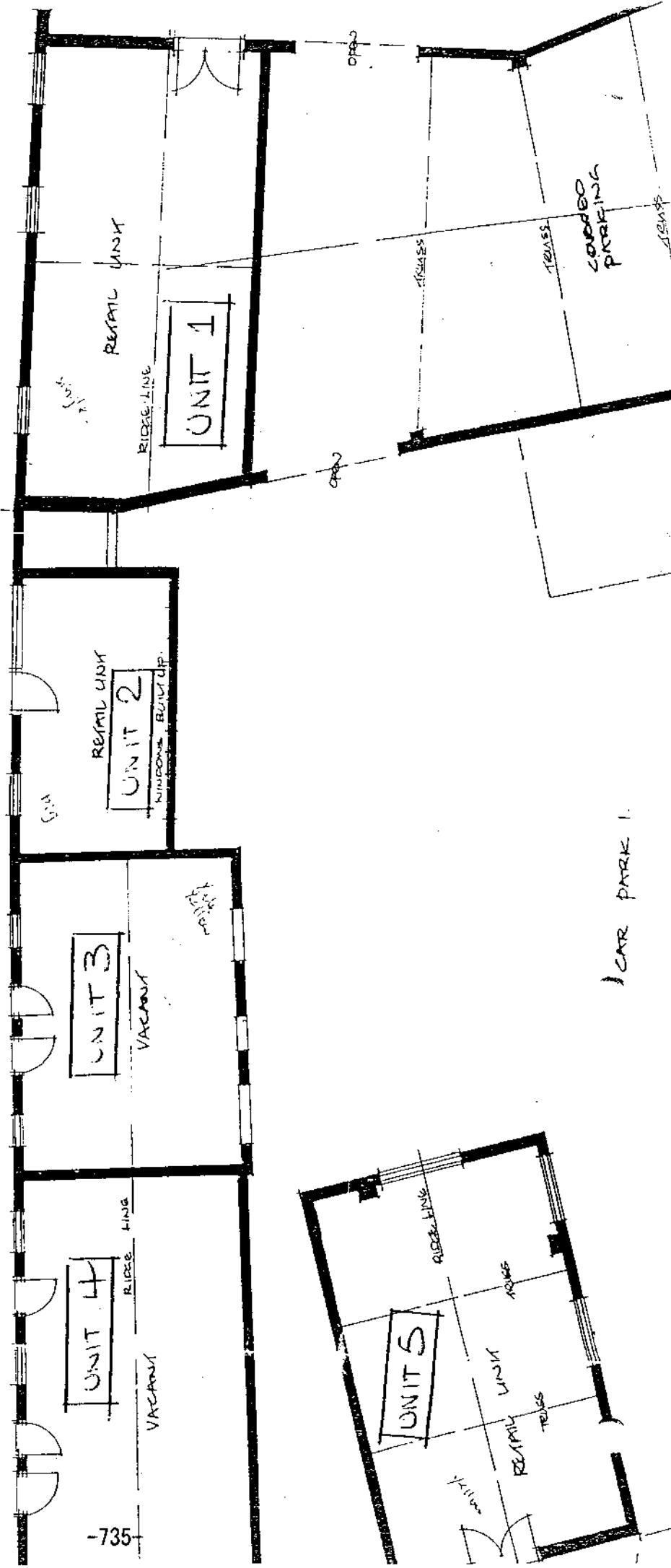
### RECOMMENDATION:-

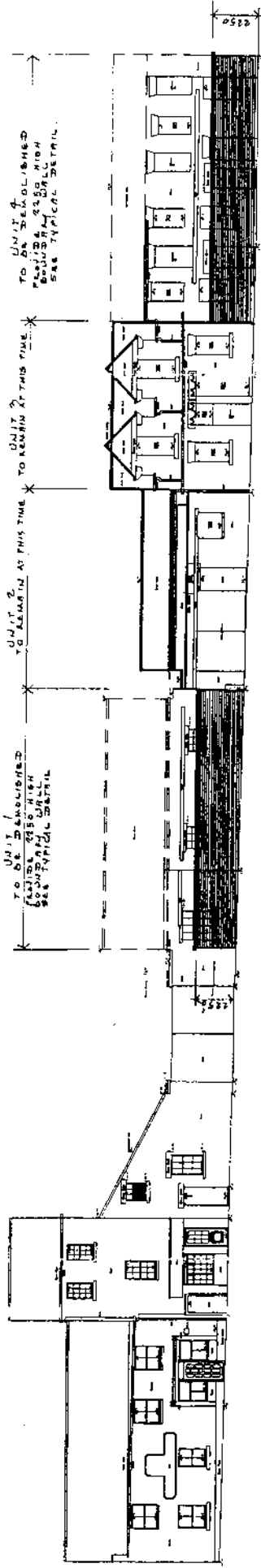
A recommendation is not able to be made as the views of English Heritage have not yet been received on the amended proposal.

~~Rec Refusal~~      Appraisal  
+ Further report      Safe      P74  
no emergency repairs

HEADS LAINE ELEVATIONS

HEADS LAINE

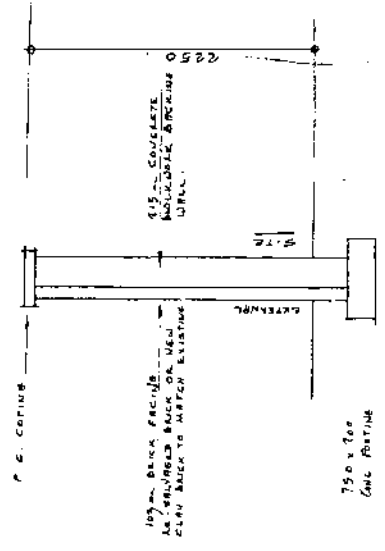




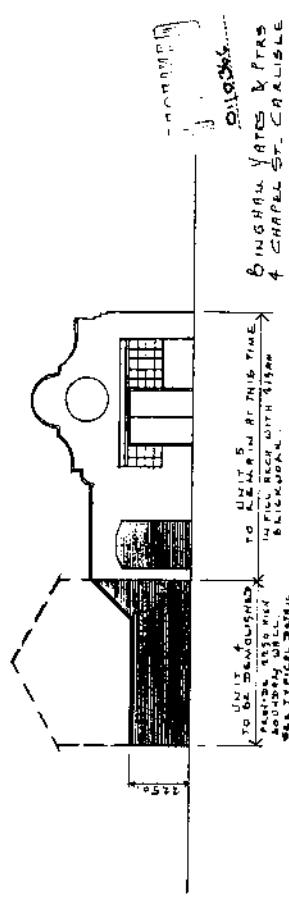
ELEVATION AT PROPOSED - HEADS LANE

FOR FURTHER DETAILS SEE  
SKETCH No. C 9661/SK 2

HEADS LANE ELEVATION AS EXISTING

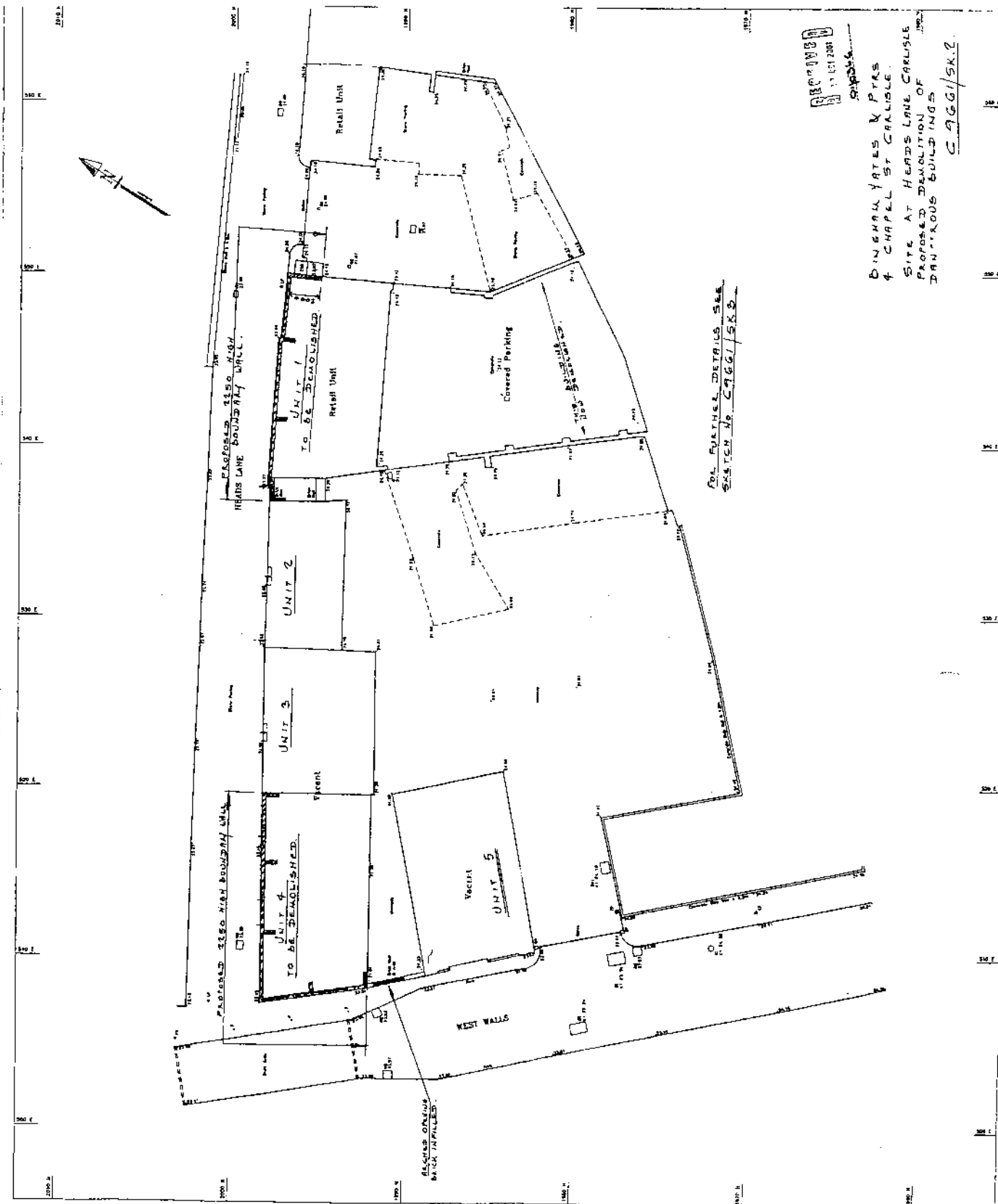


TYPICAL BOUNDARY WALL DETAIL



ELEVATION AS PROPOSED - WEST WALLS

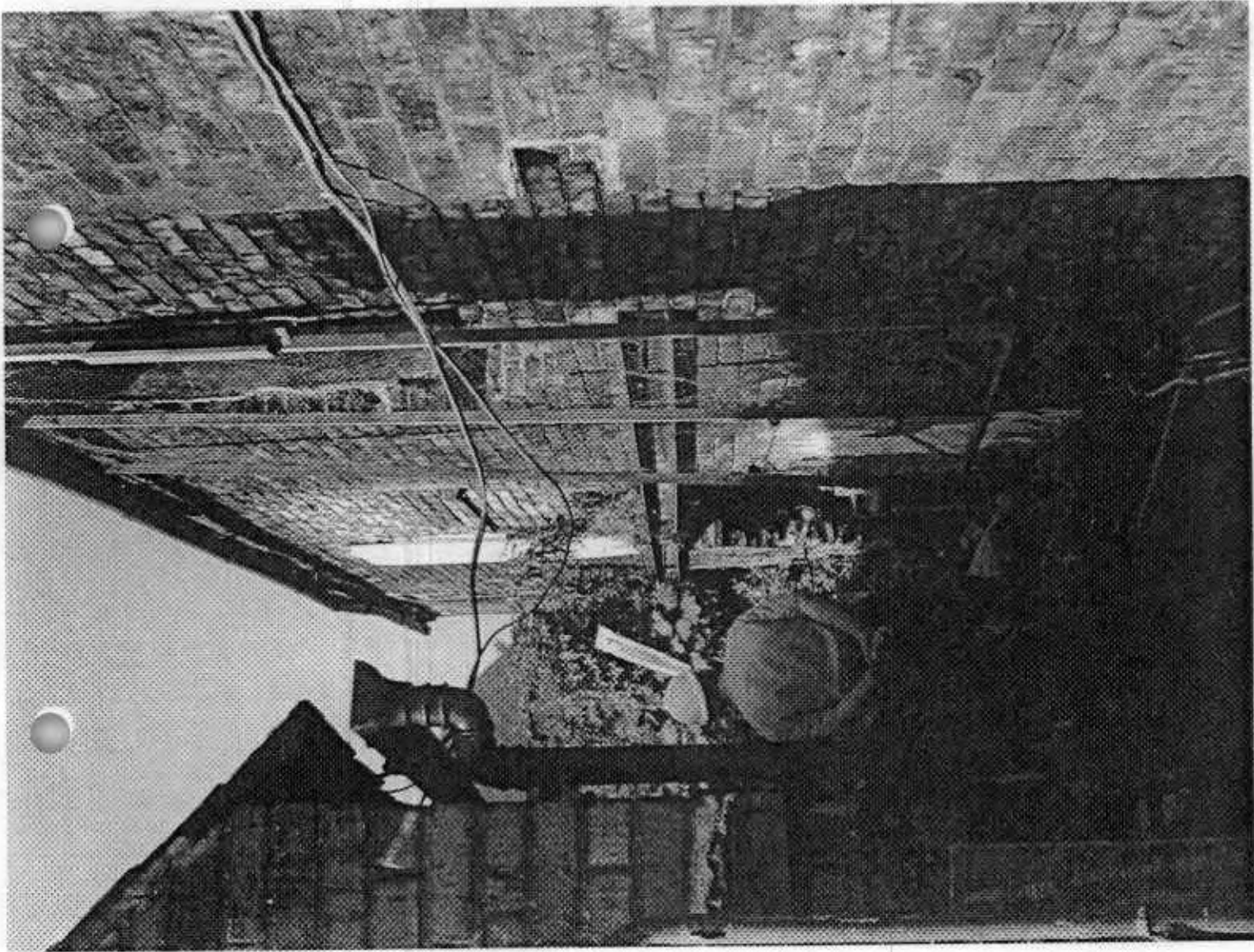
SITE AT HEADS LANE, CARLISLE  
PROPOSED DEMOLITION OF  
DANGEROUS BUILDINGS  
C 9661/SK 3

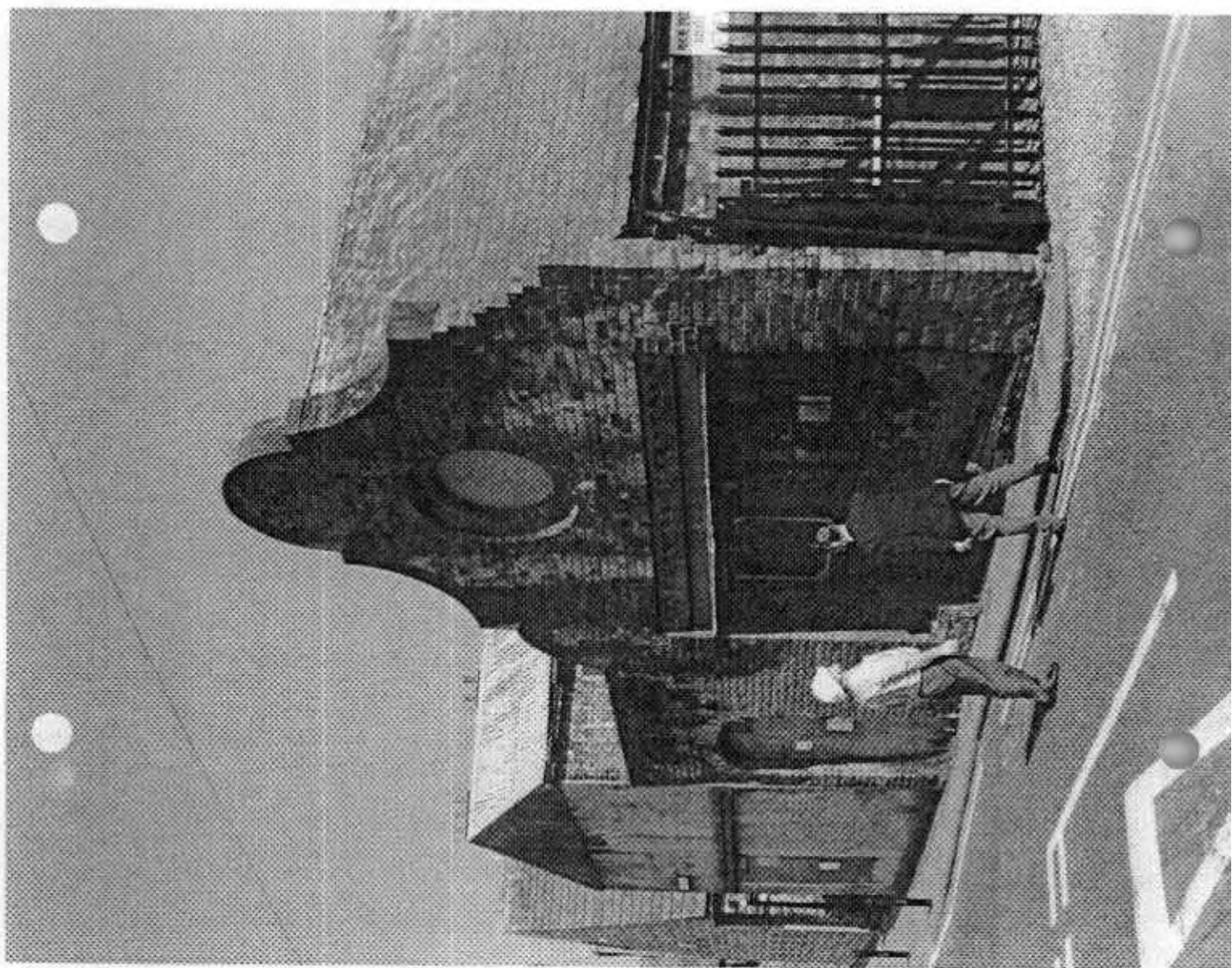


RECORDED  
 11 OCT 2004  
 CAGG/SK.2

DINGHAM YATES & PYLES  
 4 CHAPPEL ST CARLISLE  
 SITE AT HEADS LANE CARLISLE  
 PROPOSED DEMOLITION OF  
 DANGEROUS BUILDINGS  
 C 1661/SK.2







# Salon Panache

3 Heads Lane  
Carlisle  
CA3 8AQ  
Tel. Carlisle 526211

Hair by Ian

ACKNOWLEDGED  
JUN 2001

PLANNING SERVICES	
REF	01/0366
- 1 JUN 2001	
RECEIVED	9 2
SCANNED	
PASS TO	PM.
ACTION	

REF PM/De/01/0366  
CASE OFFICER MRP MESSENGER

I would like to object to the  
Demolition of the buildings at  
Heads Lane Carlisle. ~~APPN~~ APPN REF.  
01/0366/  
Ian Hall.

With Compliments

EDENWOOD : LINSTOCK : CARLISLE

CUMBRIA : CA6 4PY

Tel: 01228 526234

Mobile: 07710 603 426

8<sup>th</sup> May 2001

The Planning Officer  
Carlisle City Council  
Civic Centre  
Carlisle  
CA3 8QG

Dear Sir

Re: Development, Heads Lane, Carlisle. Ref: 98/0531

I refer to the planning consent granted in March 1999 in respect of the above property and in particular to condition 3 of that consent.

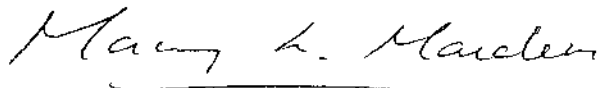
You are no doubt aware that since the granting of planning permission, a number of prospective developers have endeavoured to put together viable commercial schemes without success. I am therefore now in the position of having to return to the market in a further effort to find a developer.

In the meantime, the structural condition of the existing buildings continues to deteriorate and I am extremely concerned that these may now constitute a potential danger to the public using Heads Lane. Messrs A.L. Daines & Partners report dated 28<sup>th</sup> January 1999, a copy of which was submitted to the Planning Authority, indicated that Units 1 & 4 were structurally unsafe and that the remaining units required considerable renovation work if the buildings were to be retained.

I accept that the Planning Authority are concerned to ensure that any re-development of the site shall reflect the scale and character of the existing buildings within the Conservation Area and that the number of detailed stone features shall be incorporated within the design of the new development.

I am however faced with the probability that it may be some time before a new developer can be found and that I therefore have to make this application to demolish the buildings on the site prior to a Contract for Re-development being agreed.

Yours faithfully



Mary Moualem

PLANNING SERVICES	
REF	2001/0366
10 MAY 2001	
RECORDED	ML
SCANNED	
PASSED TO	ML
ACTION	



CONSULTING CIVIL & STRUCTURAL ENGINEERS

OUR REF: NRP/WD/99-C-7909

28 January 1999

Mr K Moualem  
Edenwood  
Linstock  
Carlisle  
Cumbria

PLANNING SERVICES	
REF	
10 MAY 2001	
RECEIVED	
SEARCHED	
PASSED TO	
ACTION	

RECEIVED  
10 MAY 2001  
2001/0366

Dear Mr Moualem

STRUCTURAL INSPECTION OF PROPERTIES TO HEADS LANE, CARLISLE

I confirm having carried out a structural assessment of the properties as identified on the attached plan. I have summarised my assessment of each unit, as numbered on plan:

Unit 1

The Heads Lane elevation has an outward deflection at eaves level in excess of 150 mm. It has been restrained by the addition of a 152 x 89 RSC member at eaves level, with tie rods through to a similar member on the opposing elevation.

The brickwork is open-jointed and in poor condition. The wall construction changes to rubble stonework near ground level and it is most unlikely that this wall will have any spread footings.

The north gable wall is out-of-plumb and is a patchwork of differing building materials.

The roof is sheeted with corrugated cladding. It is likely that the bearings to the roof trusses will be minimal owing to the outward deflection at eaves level.

It is my opinion that this building would be uneconomic to retain.

## Unit 2

There is a stepped settlement crack to the brickwork wall connecting units 1 and 2.

Very little of the front elevation remains, having been replaced by a shop frontage with sliding door. What structural walls remain appear to be reasonably plumb and free from significant distress.

The slated roof, however has a severe dip to the southern half and would require total renewal.

It is my opinion that the walls to this unit could be retained if strictly necessary but there is little of merit to recommend this.

## Unit 3

This unit has retained more of its original "domestic" character and the walls are reasonably plumb and true, although in need of repointing.

The roof line is acceptably true but would benefit from a total overhaul.

It is my opinion that the walls to this unit are again salvageable from a purely structural point of view.

## Unit 4

There has been considerable structural movement to this unit with a severe outward bow to the front elevation. This has been restrained by a steel channel tied back to a similar member on the rear elevation. However, the rear elevation is in a state of total dilapidation and is in my opinion, unsafe. I did not enter this property.

In my opinion this unit should be pulled down as soon as possible to ensure the safety of the public.

## Unit 5

This detached unit has a fine arched detail to the West Walls elevation beneath which is a large door opening. Steel beams have been utilised as lintels to the opening but have severely corroded at their bearings. The subsequent expansion of the metal has caused the brickwork to burst outwards with cracking in all directions.

The remaining elevations appear to be in acceptable order.

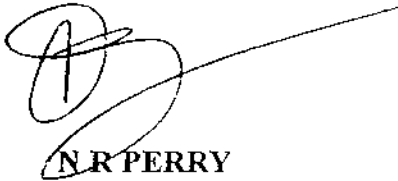
It is my opinion that the majority of the walls are structurally sound but local rebuilding of the front elevation would be required with the installation of new lintels over the opening.

**Conclusions**

As stated above it is my opinion that units 1 and 4 should be demolished, whereas units 2, 3 and 5 could be retained if necessary. It would also be necessary to totally gut the remaining three units as the majority of the timberwork and plaster is suspect.

However, as these remaining walls are all of solid brickwork construction with little, or no foundation it would be my strong recommendation to consider total rebuild whilst retaining desirable existing features where possible.

Yours sincerely

A handwritten signature in black ink, appearing to be 'N.R. Perry', with a long horizontal line extending to the right.

**N R PERRY**  
**A L DAINES & PARTNERS**

St Cuthbert's Vicarage  
West Walls  
Carlisle CA3 8UF  
01228 521982  
pratt@primex.co.uk



24 May, 2001

To the Chief Development Officer  
Re Demolition at Heads Lane Ref 01/0366/

PLANNING SERVICES	
REF	
24 MAY 2001	
RECORDED	BP
SCANNED	
PASSED TO	PM ①
ACTION	

Dear Alan

Thank you for your letter and the opportunity to comment on the above proposal. I would like to make the following points:

- ◆ Heads Lane is a sensitive part of the City, on the main pedestrian route from the main City Centre Car Parks to the City Centre, past two of the most significant buildings in the City - the Tithe Barn and St Cuthbert's Church. This proposal seems to have nothing positive in it for this important area. It will merely create an unattractive open area which we must presume will continue to be used as a car park.
- ◆ There seem to be no details about how the boundaries of this area will be maintained. Wire mesh fencing or hoardings would be highly unacceptable.
- ◆ The present buildings have some historic and architectural value. They are indeed in a dilapidated state but could, from their present state, be restored. However, once demolished they are gone for ever.
- ◆ There seems to me to be an element of irresponsibility about the current ownership of this site. As the owners of St Cuthbert's and the Tithe Barn we put huge efforts into maintaining and improving them, and are rightly expected to do so. There seems to have been no investment, minimal maintenance, and a cavalier attitude to this site and its buildings from its current owners.

We therefore oppose this planning application.

Yours cordially

*Richard Pratt*

Richard Pratt  
Vicar, St Cuthbert's Church.



## **DANGEROUS STRUCTURE REPORT No. DO1 0022 HEADS LANE CARLISLE**

The group of buildings was inspected by Walter Davidson, John Hill and Peter Messenger on 24th May 2001.

The findings were as follows :-

### **Unit 1**

The front wall is significantly out of plumb, but is restrained by a steel channel and tie rods through to the rear wall.

The bearing of the centre roof truss is affected by the outward movement of the wall, and is also suffering from decay.

The remainder of the structure of this unit is in quite good condition.

Because of the ties, it is not considered that this building is dangerous.

### **Units 2 & 3**

Apart from a sagging section of roof to unit 2, these two units are considered to be in a reasonable condition.

### **Unit 4**

This unit is in the worst condition of all of the buildings on the site.

The front wall is tied back to the rear wall in a similar manner to Unit 1, but in this case, the rear wall is in a very poor state of repair and it is questionable as to how much restraint is being afforded by the system of ties.

To make the building safe, it would be necessary to rebuild the rear wall, but this would be a very difficult and costly operation, and would involve the shoring of the front wall and the temporary closure of Heads Lane to allow this work to be carried out.

There would also be serious concerns about the safety of workers carrying out the rebuilding work on such a dilapidated building, and on such a tight site with a distinct lack of working space.

### **Unit 5**

With the exception of the West Walls facade, this building is in a good condition.

Some local repair work is required to the facade, particularly in the vicinity of the RSJ bearings.

**Walter Davidson**

**24 May 2001**



COUNTY COUNCIL

### Community Econon and Environment

Your ref: PM/DC/01/0366  
Our ref: HS/S1521 (5058)

01 June 2001

Mr A M Taylor  
Chief Development Control Officer  
Carlisle City Council  
The Civic Centre  
Carlisle  
CA3 8QG

PLANNING SERVICES	
REF	01/0366
- 6 JUN 2001	
RECORDED	
SCANNED	
PASSED TO	PM
ACTION	

County Offices, Kendal  
Cumbria LA9 4RQ  
Fax: (01539) 773439  
Telephone: (01539) 773431

FAO Peter Messenger

Dear Mr Taylor

#### DEMOLITION OF DISUSED COMMERCIAL AND RESIDENTIAL BUIDINGS LAND AT HEADS LANE, CARLISLE ARCHAEOLOGICAL CONSULTATION

Thank you for referring this application to me.

I have checked with the County Sites and Monuments Record and this site lies within an area of archaeological interest (ref. 5058). The site lies within the area of the Blackfriars Friary. An archaeological sequence dating from the Roman through to medieval periods was demonstrated to survive on the adjacent site.

The site is protected as a Scheduled Ancient Monument. English Heritage should also therefore be consulted in this instance.

The area on which the buildings stand has a very high archaeological potential. The depth of deposits identified on the adjacent site suggests that archaeology could survive even if deeply truncated by cellars, footings and services. I recommend therefore that an archaeological evaluation (trial trenching) of the site be undertaken following the demolition. This work would also need to be discussed with English Heritage to ensure that the appropriate permissions were granted.

I advise that the evaluation be secured by attaching a negative condition to any planning consent you may otherwise be minded to grant, but should be undertaken prior to the consideration of any subsequent reserved matters or detailed application. As a guide, I suggest the following form of words based on the model given in PPG16 (para 30).

*"No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the local Planning Authority."*

*(Reasons: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the preservation, examination or recording of such remains)*

In addition to the above, the buildings at Heads Lane are of some archaeological interest. Although not of any great antiquity, they form a good group of urban buildings. I advise that a record should therefore be made of these buildings (photographic and drawn) prior to any demolition.

I trust this recommendation is acceptable. If you have any queries, please do not hesitate to contact me.

Yours sincerely



Helena Smith  
Assistant Archaeologist

Email: [helena.smith\\_ee@cumbriacc.gov.uk](mailto:helena.smith_ee@cumbriacc.gov.uk)

# Bingham Yates & Partners

Consulting Engineers 4 Chapel Street Carlisle Cumbria CA1 1JA  
Tel: (01228) 521436 Fax: (01228) 515579  
e.mail bingham.yates@msn.com



Your ref

Our ref. C9661/DJT/MLH

Date 15 June 2001

PLANNING SERVICES	
REF	01/0366
20 JUN 2001	
RECORDED	CR
SCANNED	
PASSED TO	PA/WD
ACTION	

## STRUCTURAL REPORT

### PROPERTIES TO HEADS LANE, CARLISLE

This report was requested by Mrs M Moualem, Edenwood, Linstock, Carlisle, Cumbria a follows a structural survey of the above properties which was completed on 13 June 2001.

The purpose of the survey was to inspect the five properties on the site in order to determine their structural condition and to confirm whether that condition was such that the buildings had become unstable and unsafe.

As stated above there are five properties, each will be described and discussed separately below. Sketch No C9661/Sk.1 attached to this report confirms the location of each.

#### Unit 1

General Description : Two storey detached building of traditional pitched roof design.

Roof : Single skin corrugated galvanised metal roof supported by timber purlins which span between gable walls and three number collar timber trusses.

First Floor : Chipboard flooring laid on timber joists supported by timber cross beams. Access to the floor is via a removable vertical ladder.

Ground Floor : Concrete/brick sets.

/Contd ..

- Internal Walls : None
- External Walls : Wall thickness and exact construction not known but assumed to be solid brickwork with some rubble stone walling at ground level.
- Foundations : Unknown but assumed to be of traditional strip footings. Ground conditions in the area are known to be poor.

The North elevation has an outward lean at its head of some 150mm and 152 x 89 RSC walings and transverse ties rods have been installed at some time in the past in an attempt to tie the front and rear walls together and arrest further outward movement.

As a consequence of the outward movement the bearing length of the roof trusses and floor beams have been minimised and at one location is non-existent. The West gable wall which is out of plumb is cracked vertically above first floor and the brickwork is severely spalled. The crack and spalling appears to be more recent in parts suggesting that further movement of the front wall has occurred or recommenced.

The general appearance of the brickwork is one of weathered open jointed brickwork particularly on the front elevation which is also built off the remains of a rubble wall suggesting that foundations may be a minimum or again non-existent.

It is thought that an outward movement of the front elevation may still be occurring and that further reduction to the bearing of cross members resting on the wall could lead to their sudden collapse. Such an event and the resulting impact on the front wall could lead to its outward collapse which could also pull the rear wall with it.

It is our opinion that this building is now in a dangerous condition and that immediate action is required to address the situation. Propping and improved lateral strength in the form of scaffolding could be inserted but this should only be seen as a temporary measure until the building can be safely demolished.

/Contd ...

Apart from a short length of wall at the North East corner it is unlikely that the front wall can be reduced in height during demolition and left to form a stable boundary wall to Hez Lane.

### Unit 2

It is quite obvious from an external inspection of this building that the roof is close to collapse. This fact has been recognised by the owner in that all openings are boarded and nailed up and internal access is not possible.

General Description : Single storey end terraced building of traditional pitched roof design.

Roof : Slates on battens and rafters supported presumably by timber purlins and possible trusses.

First Floor : None.

Ground Floor : Construction not known.

Internal Walls : Assumed none.

External Walls : Wall thickness and exact construction not known but assumed to be solid brick.

Foundations : Unknown but assumed to be of traditional strip footings on poor ground.

As stated above the roof of this building is close to collapse and renewal is required.

The condition of the brick and pointing varies from reasonable to extremely poor and the East gable is not bonded to the rear wall.

/Contd ...

Whilst the walls of the building could be retained in any refurbishment the plan area of the property is small. As a consequence the cost of re-roofing, the provision of internal lining walls, and a new damp proof membrane/ground floor would in our view be uneconomic. Demolition would allow the installation of adequate foundations, and eliminate any future structural problems and is strongly recommended.

Should demolition be carried out it is confirmed that, provided all openings including that with the large sliding door are built up, the front elevation could be left to form a boundary wall to Heads Lane.

### Unit 3

- General Description : Mid-terraced two storey building with traditional pitched roof incorporating brick feature dormers.
- Roof : Slates on battens and rafters supported by timber purlins and an intermediate truss. The ceilings are combed and the truss which is infilled with studding is visible. The smallness of the roof access prevented an inspection of the roof space at its peak.
- First Floor : Timber boarding on joists.
- Ground Floor : Concrete.
- Internal Walls : Stud partitioning at first floor and brick at ground.
- External Walls : Wall thickness and exact construction known but assumed to be of solid brick.
- Foundations : Unknown but assumed to be of traditional strip footings on poor ground.

/Contd ...

The inspection of this property was limited in that most structural members are hidden. The dormered roof and its associated valleys, flashings etc and the inaccessibility of the recessed spaces all suggest that the roof has not been maintained in the past. As a consequence it is our opinion that renewal will soon be required or would be essential in any refurbishment. The same may be true of the first floor timbers particularly if affected by wet rot where they are built into external walls.

Again it would be possible to retain the walls of the building in any refurbishment but the cost of re-roofing, flooring, lining out and the provision of a tanked ground floor slab is considered uneconomic. It should also be noted that the party wall between Unit 3 and Unit 4 belongs to Unit 4 and supports its steelwork strengthening and tie rods. As stated later Unit 4 is considered to be in a dangerous condition and as a result of the above its demolition will greatly affect the stability of Unit 3 and leave it without a gable.

Demolition of the property is again recommended. Should demolition be carried out it is confirmed that, provided the end abutting Unit 4 can be stabilised following the demolition of that unit, the wall could form a stable boundary wall to Heads Lane.

#### Unit 4

- General Description : Two storey end terraced of traditional pitched design.
- Roof : Single skin corrugated galvanised metal roof supported by newish purlins and trusses. The remains of the original trusses are still visible.
- First Floor : Boarding on timber joists over a partial area, elsewhere floor is missing or has collapsed.
- Ground Floor : Thought to be stone flagged.
- Internal Walls : Stud partitioning at first floor and brick at ground.

/Contd ...



External Walls : Brick.

Foundations : Not known.

The condition of this building is approaching dereliction and steel strengthening has been inserted in an attempt to prevent collapse.

Irrespective of the past strengthening this building is considered dangerous and should be demolished immediately.

### Unit 5

General Description : Detached single storey building of traditional pitched roof design. The pitch of the roof is in excess of 45° and the height to eaves some 3.5 metres.

Roof : Slates, battens and rafters supported by timber purlins which span between gable walls and two number king post trusses.

First Floor : None.

Ground Floor : Stone flag generally with some concrete infill.

Internal Walls : None.

External Walls : Between 215/330 thick solid brick incorporating a featured elevation to the West gable wall which is supported by steel beams over a large opening.

The steel beams above the large opening have corroded severely at their bearings, the resultant large expansive forces having then caused considerable damage to the brickwork. It will be necessary to demolish this wall at least to beam level in order to renew the beams.

/Contd ...

It should also be noted that demolition of Unit 4 will remove the buttressing to the la  
arched openings and as a consequence it will require demolishing and rebuilding.


The steepness of the roof pitch and the height to eaves is such that this building  
considered to possess little lateral strength and could not, in our opinion, prove to be sta  
under wind loadings specified in current Codes of Practice. The demolition of most of  
West gable will exacerbate the situation even further over the period  
demolition/rebuilding.

It is thought that should this building remain in its present form, steelwork str then  
will be required to provide lateral strength. When considered with the provision of fini  
walls and a new floor refurbishment will again become uneconomic.

#### Summary

Units 1 & 4 are considered unstable and should be demolished immediately.

Units 2, 3 & 5 could be retained at a high cost of refurbishment and demolition  
considered to be more practical and is strongly recommended.



.....  
D. J. TERRY C. Eng., M. I. Struct., M. Cons. E.  
for  
BINGHAM YATES & PARTNERS

# Bingham Yates & Partners

Consulting Engineers

Project No. 09661  
 Drg. No. SK1

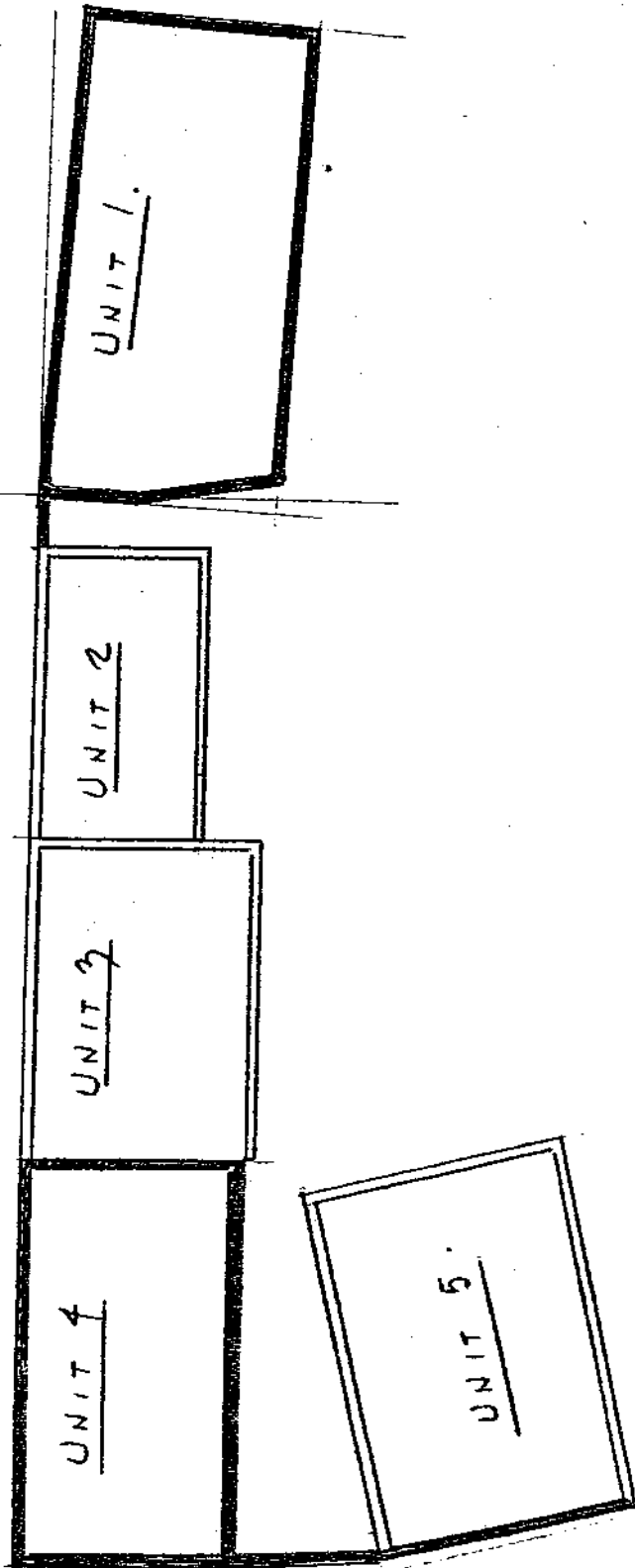
PROJECT TITLE  
 STRUCTURAL SURVEY OF  
 PROPERTIES IN HEADS LANE  
 CARLISLE  
 19.6.01.

This detail sheet to be read in conjn with drg no. \_\_\_\_\_ /  
 THIS DRAWING NOT TO SC



DRAWING Made	Checked	Date	Made	Checked	DRAWING AMENDMENTS		
					Revision	Revision	Revision
					A		
					B		
					C		

ORIGINAL Date 19.6.01 D.T.

HEADS LANE



LOCATION PLAN.

- 
 DENOTES ESSENTIAL DEMOLITION FOR SAFETY REASONS
- 
 DENOTES RECOMMENDED DEMOLITION FOR PRACTICAL REASONS

WEST WALLS

**Our Ref:** WD/BC  
**Your Ref:**

**Contact:** Walter Davidson  
**Direct Line:** (01228) 817189  
**E-Mail:** [walterd@carlisle-city.gov.uk](mailto:walterd@carlisle-city.gov.uk)  
**Date:** 21 September 2001

Mrs. M. Moualem  
Edenwood  
Linstock  
Carlisle CA6 4PY

Dear Mrs. Moualem,

**BUILDINGS AT HEADS LANE, CARLISLE**

Following receipt of your letter dated 20 September 2001, I carried out a further inspection of the front elevations of the buildings, with particular reference to the area where a brick had recently been dislodged.

In overall terms, I could not detect any change in the condition of the facades from my last visit. The dislodged brick came from a non-structural panel of infill brickwork situated below a window and, in my opinion, has no bearing on the stability of the buildings in Heads Lane.

The condition of the buildings will continue to be monitored, and action to remove any danger will be taken if considered appropriate.

I note your comments about the Planning Application to demolish the buildings but I would advise that this is outside my remit. Mr. McCoy, the Council's Assistant Conservation Officer, has asked me to point out that the demolition of buildings in a Conservation Area is normally only permitted in cases where a contract has been signed for the redevelopment of the site. This matter is of course being dealt with as part of the current application and a decision is expected by the time of the next Development Control Committee meeting on 2<sup>nd</sup> November 2001.

Yours sincerely,

Walter Davidson  
Building Control Manager

**EDENWOOD : LINSTOCK : CARLISLE**

**CUMBRIA : CA6 4PY**

Tel: 01228 526234  
Mobile: 07710 603 426



PLANNING SERVICES	
REF	01/0366
20 SEP 2001	
RECORDED	9/17
SCANNED	
PASSED TO	PM
ACTION	

20<sup>th</sup> September 2001

The Chief Planning Officer  
Carlisle City Council  
Civic Centre  
Carlisle CA3 8QG

Dear Sir

Re: Demolition of Buildings at Heads Lane, Carlisle.  
Application Ref: 01/0366

I wish to reiterate my extreme concern for public safety, due to the deteriorating state of my buildings in Heads Lane, Carlisle. As advised, I obtained two structural engineers reports, both confirming the dangerous state of the buildings and advising demolition. This week, I find that masonry has fallen into Heads Lane.

For various reasons, my planning application submitted in May has not yet been heard. Although I can accept this delay if necessary, I am sure you will appreciate that I cannot be held responsible for any third party claim arising from the dangerous state of the buildings, especially as my insurers declined cover of the buildings due to the structural engineers reports and with winter approaching, the situation can only worsen. I again advise you to take every step to safeguard the public until a decision is reached.

I hope therefore that the application will be approved, otherwise the onus of responsibility must rest with the Council in the event of any member of the public being injured by any collapse of the buildings, as insurance is not available.

Yours sincerely

Mary Moualem

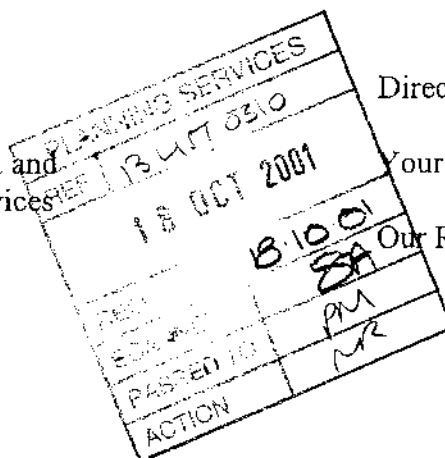
c.c. Chief Executive  
Conservation Officer  
Building Control



ENGLISH HERITAGE

NORTH WEST REGION

Mr P Messenger  
Carlisle City Council  
Department of Environment and  
Development/Planning Services  
The Civic Centre  
Carlisle  
CA3 8QG



Direct Dial: 0161 242 2430

Your Ref:

Our Ref: Heads Lane

17 October 2001

Dear Peter

**HEADS LANE, CARLISLE**

I write following our recent telephone conversation regarding the above, in which we discussed the Heads Lane proposals in the light of the report produced by Stuart Ellis.

Stuart's report does identify some general problems with the group of buildings, which are fairly easy and inexpensive to rectify, such as the raising of the ground level which has led to some moisture ingress. Similarly, adequate rain water goods are absent in places.

The only individual building identified by Stuart which gives immediate cause for concern is the two storey building on the corner of Heads Lane and West Walls, although even here there does not appear to be any imminent danger of collapse. The condition of all the buildings should be monitored by Building Control, but with particular emphasis on this building. As it stands, a case for demolition on public safety grounds cannot be sustained, and would not be justified.

Remedial works should be undertaken as necessary, as outlined in the report, so that any potential danger to the public is avoided. In the meantime, the history and archaeology of the group needs to be examined so that their context and role are better understood. Only when this study has been completed should plans for the site be drawn up, as it may be felt that some of the buildings should be retained rather than presuming a cleared site.

If you require further information or clarification, please do not hesitate to contact me.

Yours sincerely,

Rob Burns  
Historic Areas Advisor



Salon Panache 3 Heads Lane Carlisle CA3 8AQ

30th October 2001



Dear Mr Taylor

Ref : Planning Application 01/0366/  
Demolition of disused commercial and  
residential buildings at Heads Lane Carlisle

I strongly object to the above application in that there are no further plans for reconstruction on the site

This site in the centre of Carlisle is in a conservation area and is adjacent to the Tithe Barn which is a Grade I listed building. The area in question is pedestrianised by locals and visitors who have parked their vehicles in the immediate vicinity and are proceeding into the City Centre

With the demolition of the said buildings the site would be enclosed by hoardings and therefore in immediate danger of fly-posting/graffiti to the detriment of the visual amenities of this sensitive area

The site in question could possibly be of some archaeological significance and an investigation into this should be undertaken before any permission is granted

As the reason for the proposed demolition is not given this may be due to the supposed danger to the passing public of building collapse. Surely the onus is on the owner of the property to keep the structure of the building in good repair and to prevent this occurring. There are grants which can be obtained to assist with such works

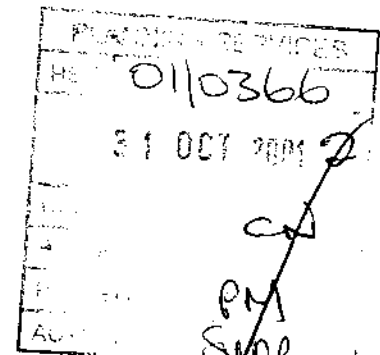
Any partial demolition work could weaken adjacent buildings with resulting consequences of total devastation on the site. Then the entire area would resemble Botchergate which is a detriment blot on the landscape for the award winning City of Carlisle

Yours sincerely

I. Hall

A handwritten signature in cursive script that reads "I Hall".

A M Taylor  
Chief Development Control Officer C C C  
Department of Environment & Development Planning Services Division  
The Civic Centre  
Carlisle CA3 8QG





## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 51

Date of Committee: 14/12/2001

APPN REF NO: 01/0789 /	APPLICANT: Kingmoor Park Properties Ltd	PARISH: Kingmoor
DATE OF RECEIPT: 31/08/2001	AGENT: Capita DBS	WARD: Stanwix Rural
LOCATION: Plot 2 & 3, Baron Way, Kingmoor Park North Kingmoor, Carlisle	GRID REF: 338300 560300	

PROPOSAL: Erection of new office building for 500 staff built in two phases with associated car parking and landscape works

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### REPORT

#### PLANNING POLICIES:-

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 6

The City of Carlisle' sub-regional role as a centre of business, commerce, shopping and tourism will be fostered by the modest acceleration of past rates of development.

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 33

Sufficient employment land will be provided to ensure that in each District, subject to Policies 39 and 41 there exists at any one time a minimum of a five year supply of readily available land in each of the following market sectors:

- i. business park
- ii. strategic employment site
- iii. local employment site

##### CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN POLICY 36

Development will not normally be permitted where there is insufficient capacity in the service or transport infrastructure. Permission may be granted where satisfactory improvements can be made at the developer's expense.

##### CARLISLE DISTRICT PLAN EMPLOYMENT - POLICY EM3

Within the Headquarters and 1 and 5 sites at RAF 14 MU, development of B1, B2 and B8 uses will be acceptable and, together with the development of the adjacent Kingmoor Marshalling Yard site, will form a major Strategic Employment Site for the District.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0789 /

### SUMMARY OF CONSULTATION RESPONSES:-

KINGMOOR PARISH COUNCIL: the Parish Council is not opposed to the application but asks that consideration be given to the amount of motorists using the gateway to the above site. The roads in this area all have a high record of fatalities and injuries to motorists and pedestrians;

ENVIRONMENT AGENCY: no objections but request that 2 conditions are imposed if planning consent is given. Additionally, the Agency notes the submission of a Desk Study in relation to contaminated land and advises that there is no objection subject to the recommendations being endorsed as a planning condition;

HIGHWAY AUTHORITY: detailed comments awaited;

UNITED UTILITIES: no objections.

### SUMMARY OF REPRESENTATIONS:-

The proposals have been advertised by means of a Site Notice. There have been no representations.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

Members will be familiar with the history of RAF 14MU from its development in 1938 until closure in 1997. Subsequent to closure planning approval has been granted for the development of Sites 1, 5 and 8 as a Regional Employment Site and Certificates of Lawfulness issued in relation to outlying sites and the former Headquarters' Site.

#### DETAILS OF THE PROPOSALS

The current application relates to a 2.2 hectare parcel of land comprising the former Helicopter Landing Pad and adjacent main car park at Headquarters Site (see plan following).

The proposal is to re-develop the land to provide a new Regional Business Centre for Capita db. The proposed office development would be built in two phases and is expected to accommodate 500 staff including the Managing Director and 4 of the 5 Directors of Capita. The first of the proposed two phases would accommodate all existing Carlisle based staff with the exception of Business Services.

The proposed building would be sited on the former Helicopter Landing Pad with the associated car parking area affording its related parking facilities. The first phase of development comprises two wings, forming a V-shape on plan, which contain two floors of largely open plan office space. These link, from their point of intersection, by corridors through to a central suite of conference and meeting rooms with related kitchen area. The second phase would provide a similar third wing of

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0789 /

two storey offices which would complete a triangle of office spaces enclosing an inner courtyard containing the proposed conference/meeting facilities. The total floorspace within the development will be 5290 sq. m. (57,000 sq. ft, approx) with 245 parking spaces.

The design and finishes of the proposed development reflect the design objectives of a low energy, low operating cost building and these are expressed in a very contemporary way. These elements are described in the "Executive Summary" that the applicants have prepared, salient sections of which are printed in the Schedule. The building is constructed of pre-fabricated curved timber ribbing which is clad in exposed steel sheeting extending down to ground level at the ends of the facades but otherwise cut away in the centre sections of the vertical walling and glazing to the two floors of offices. These "recessed" facades have a deep roof overhang with fixed solar shading and an external walkway to enable maintenance of the upper facade. Each of the 3 "pods" is naturally ventilated using louvres in the facades and clerestory lighting and ventilation running lengthways along the highest part of the rooflines. These are best appreciated from the "standard cross section" drawing. As a design solution the proposals may be unusual but they are not, in the context of the location, "unacceptable".

The planning application is also supported by a Transport Impact Assessment which has been carried out by the applicants themselves. Its "Non Technical Summary" follows in the Schedule but Members will note that it concludes that the traffic generated by the proposal can be accommodated on the local transport network with the proposed signalised T-junction at Kingstown Road/Kingstown Broadway and the mini-roundabout at Kingstown Broadway/Parkhouse Road. Members will, however, recall that the latter, whilst referred to in the TIA for the Kingstown Road/Kingstown Broadway signalised T-junction proposal, did not actually form part of that submission and, to date, no funding for that roundabout has been committed.

The highway issues related to this application are a matter for the Highway Authority to comment upon as a statutory consultee. However, although Officers are aware that the County Council's Local Committee for Carlisle has discussed the proposals and has resolved that that Authority should seek a S278 Agreement with the developers to secure necessary highway improvements, no formal, reasoned consultation response has been received from the Highway Authority.

In summary, whilst the proposals are supported from a planning point of view, further guidance from the Highway Authority is awaited concerning what highway works are required, and how these are expected to be procured.

The proposals are, moreover, consistent with the Council's aspirations to attract major investment into the Kingmoor Park development.

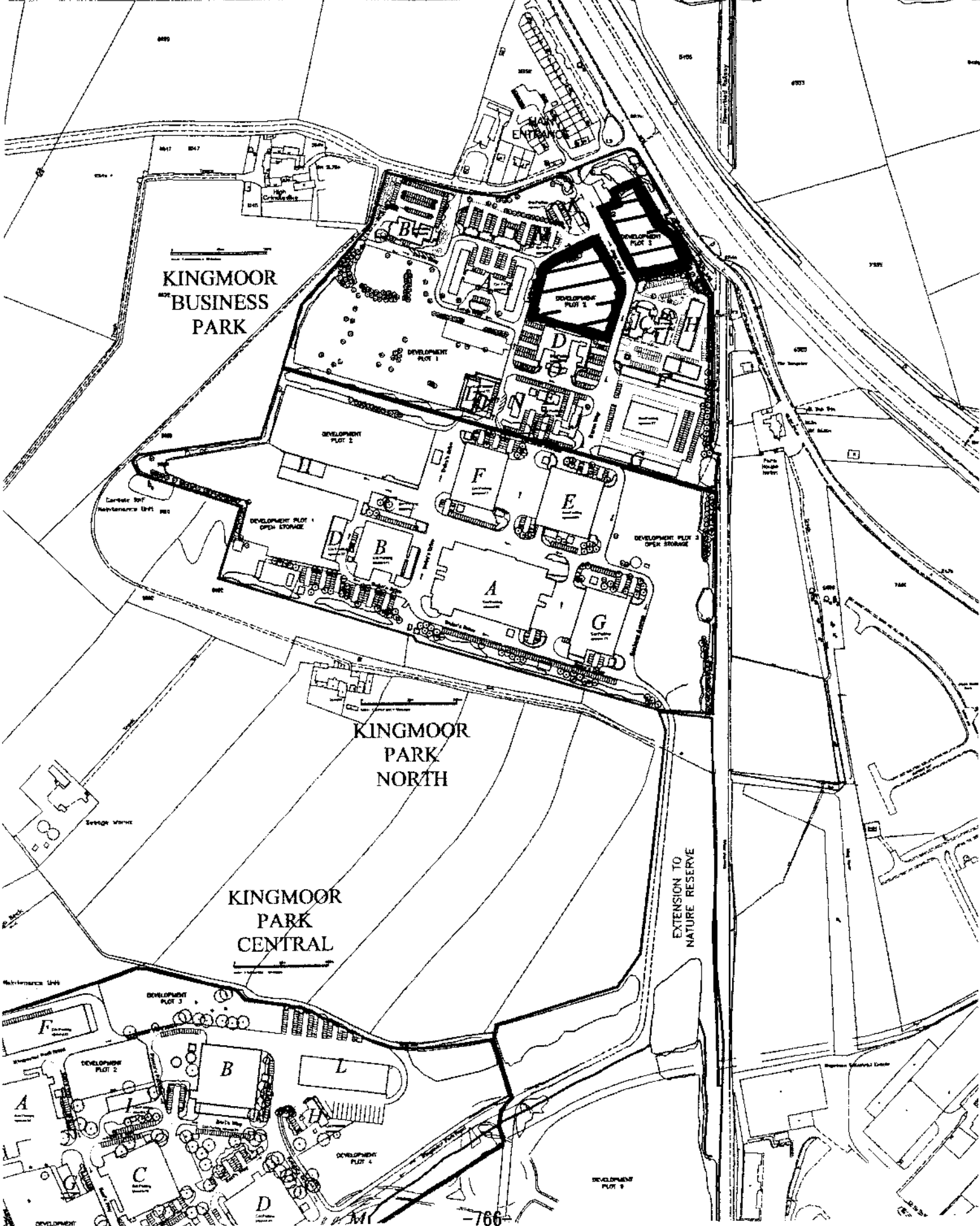
## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0789 /

### RECOMMENDATION: -

A full Report and Recommendation is not able to be made as a full and comprehensive consultation response is awaited from the County Council.

*Deferred*



KINGMOOR  
BUSINESS  
PARK

KINGMOOR  
PARK  
NORTH

KINGMOOR  
PARK  
CENTRAL

EXTENSION TO  
NATURE RESERVE

DO NOT SCALE THIS DRAWING



**External works**

**Car Park**  
 The car park is shown to be adjacent to the existing car park. The car park is shown to be adjacent to the existing car park. The car park is shown to be adjacent to the existing car park.

**Office Landscaping**  
 A site landscaping proposal will be submitted for the proposed office building. The landscaping will include trees, shrubs, and ground cover.

**Footpaths**  
 The footpaths are shown to be adjacent to the existing footpaths. The footpaths are shown to be adjacent to the existing footpaths.

**Proposed**  
 The proposed site plan is shown to be adjacent to the existing site plan. The proposed site plan is shown to be adjacent to the existing site plan.

**Notes**  
 Please refer to the site plan for details of the proposed site plan. Please refer to the site plan for details of the proposed site plan.

**Scale**  
 The scale of the drawing is 1:500. The scale of the drawing is 1:500.

**Author**  
 The author of the drawing is the architect. The author of the drawing is the architect.

**Date**  
 The date of the drawing is 19/10/03. The date of the drawing is 19/10/03.

**Project**  
 The project name is Kingmor Park Properties Ltd. The project name is Kingmor Park Properties Ltd.

**Location**  
 The location of the site is in the Kingsmor Park area. The location of the site is in the Kingsmor Park area.

**Client**  
 The client of the drawing is the architect. The client of the drawing is the architect.

**Drawn**  
 The drawing was drawn by the architect. The drawing was drawn by the architect.

**Checked**  
 The drawing was checked by the architect. The drawing was checked by the architect.

**Approved**  
 The drawing was approved by the architect. The drawing was approved by the architect.

**Scale**  
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**Date**  
 The date of the drawing is 19/10/03. The date of the drawing is 19/10/03.

**Project**  
 The project name is Kingmor Park Properties Ltd. The project name is Kingmor Park Properties Ltd.

**Location**  
 The location of the site is in the Kingsmor Park area. The location of the site is in the Kingsmor Park area.

**Client**  
 The client of the drawing is the architect. The client of the drawing is the architect.

**Drawn**  
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**Checked**  
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**Approved**  
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**Scale**  
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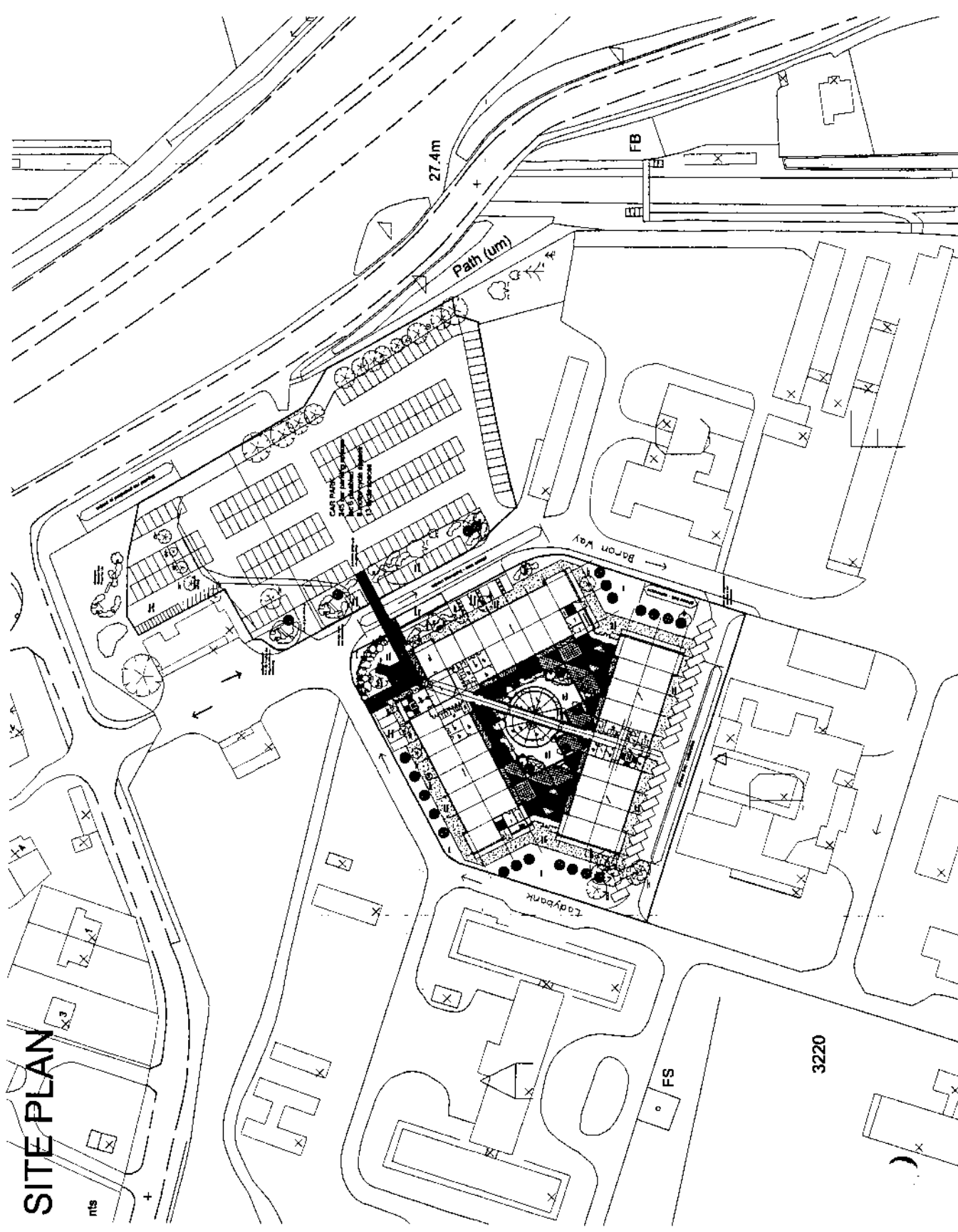
**Location**  
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**Client**  
 The client of the drawing is the architect. The client of the drawing is the architect.

**Drawn**  
 The drawing was drawn by the architect. The drawing was drawn by the architect.

**SITE PLAN**

nts



**RECORDED**  
**Approval**

Author	Architect
Date	19/10/03
Scale	1:500
Drawn	Architect
Checked	Architect
Approved	Architect

**CAPITA**  
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 Website: www.capita.co.uk

**Kingmor Park Properties Ltd**  
 Regional Business Centre  
 Location of Building or  
 Proposed Site Plan  
 Scale: 1:500  
 Date: 19/10/03  
 Project: Kingmor Park Properties Ltd  
 Drawing No: 37481/A/L/19-10/03

DO NOT SCALE THIS DRAWING



External works

Car Park

Car parking spaces to be created in accordance with the relevant standards and to be located in the vicinity of the proposed development. The car parking spaces shall be provided in accordance with the relevant standards and to be located in the vicinity of the proposed development.

Office Landscaping

Office landscaping to be provided in accordance with the relevant standards and to be located in the vicinity of the proposed development. The office landscaping shall be provided in accordance with the relevant standards and to be located in the vicinity of the proposed development.

Planting

Planting to be provided in accordance with the relevant standards and to be located in the vicinity of the proposed development. The planting shall be provided in accordance with the relevant standards and to be located in the vicinity of the proposed development.

Project Name	Kingmoor Park
Client	Capita
Site	Kingmoor Park, Cambridge
Scale	1:200
Date	12/11/2010
Author	AL
Check	AL
Drawn	AL
Scale	1:200
Date	12/11/2010

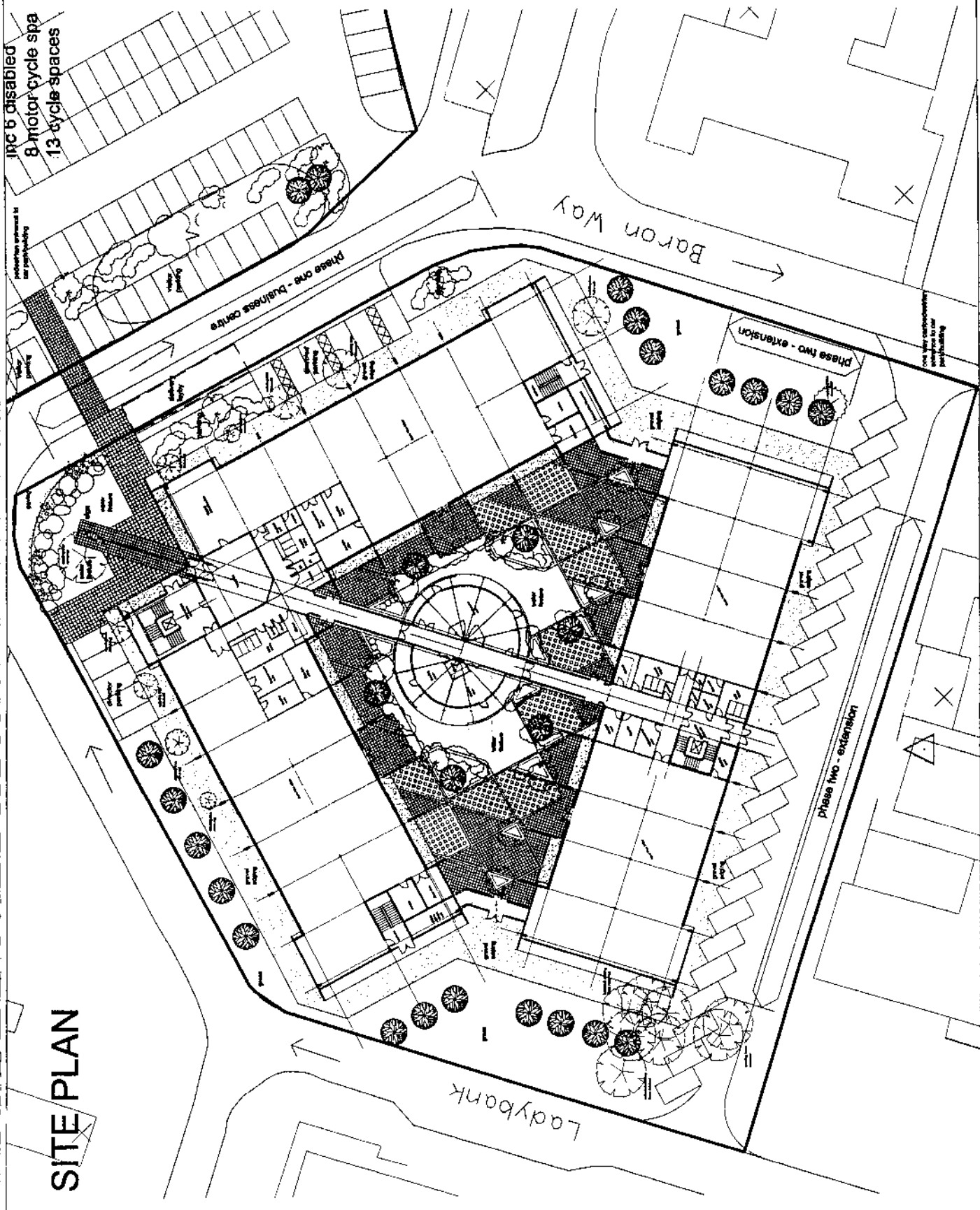
**REF: MFB**  
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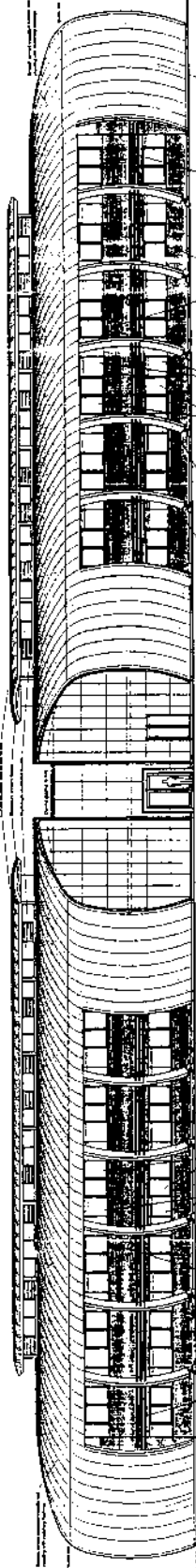
**CAPITA**  
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 9 Abchurch Lane, Cambridge, CA1 1PX  
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Client	Kingmoor Park Properties Ltd
Project	CAPT AC06 Regional Business Centre
Proposed Site Plan	Landscaping
Scale	1:200
Date	12/11/2010
Author	AL
Check	AL
Drawn	AL
Scale	1:200
Date	12/11/2010

13 disabled  
8 motor cycle spa  
13 cycle spaces

SITE PLAN





North Elevation -  
Main Entrance (Scale 1:125)

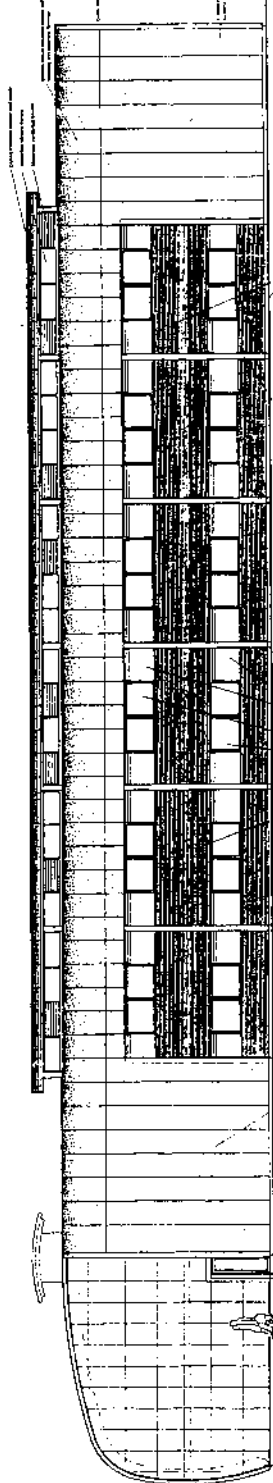
**OUTLINE ARCHITECTURAL SPECIFICATION**

EXTERIOR CURVED ROOFING: The exterior curved roofing shall be a composite of aluminum and polycarbonate panels. The panels shall be installed in a manner that provides a weather-tight seal and is capable of withstanding wind loads of 120 mph. The panels shall be supported by a steel structure that is capable of withstanding wind loads of 120 mph. The panels shall be supported by a steel structure that is capable of withstanding wind loads of 120 mph.

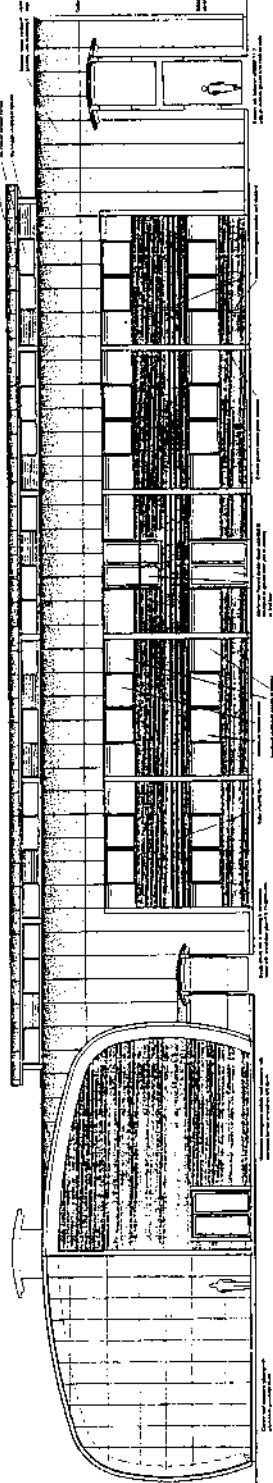
EXTERIOR CURVED VERTICAL WALL TO BE FINISHED WITH: The exterior curved vertical wall shall be finished with a composite of aluminum and polycarbonate panels. The panels shall be installed in a manner that provides a weather-tight seal and is capable of withstanding wind loads of 120 mph. The panels shall be supported by a steel structure that is capable of withstanding wind loads of 120 mph.

EXTERIOR CURVED VERTICAL WALL TO BE FINISHED WITH: The exterior curved vertical wall shall be finished with a composite of aluminum and polycarbonate panels. The panels shall be installed in a manner that provides a weather-tight seal and is capable of withstanding wind loads of 120 mph. The panels shall be supported by a steel structure that is capable of withstanding wind loads of 120 mph.

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North West Elevation



South West Elevation - Phase 1

Courtyard Elevation

ALBERTSON'S

**CAPITA**  
PROPERTY CONSULTANCY

3 Allied Street North, Canberra,  
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Telephone: 011 61 6 6258 60112  
Fax: 011 61 6 6258 60113  
Email: [capita@capita.com.au](mailto:capita@capita.com.au)  
Website: [www.capita.com.au](http://www.capita.com.au)

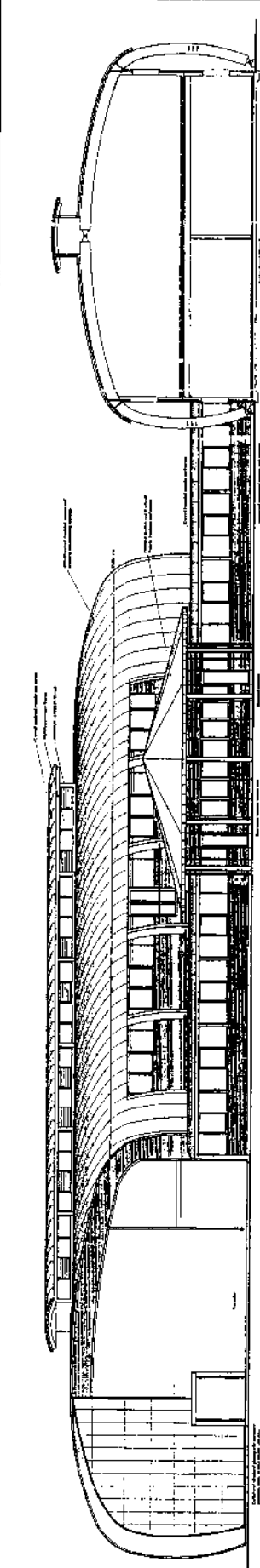
Kingsthorpe Park Properties

CAPITACORP  
Regional Business Centre

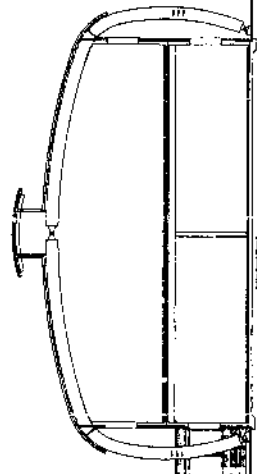
Proposed Elevations  
(Phase 1)

Scale	1:100	NSM	AJ	31/09/01
Drawn by				
Checked by				
Survey	37481	A/L(2)	104	DC

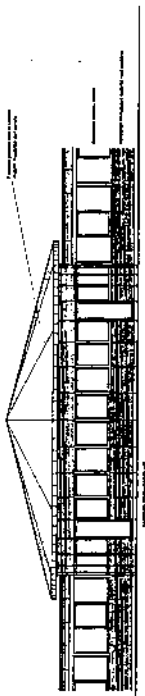




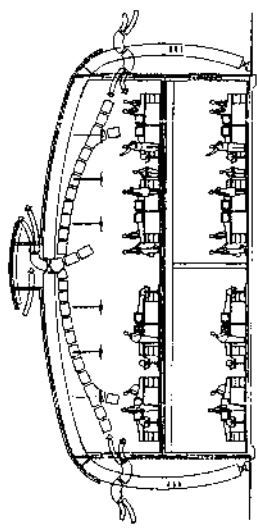
Section Through Main Entrance



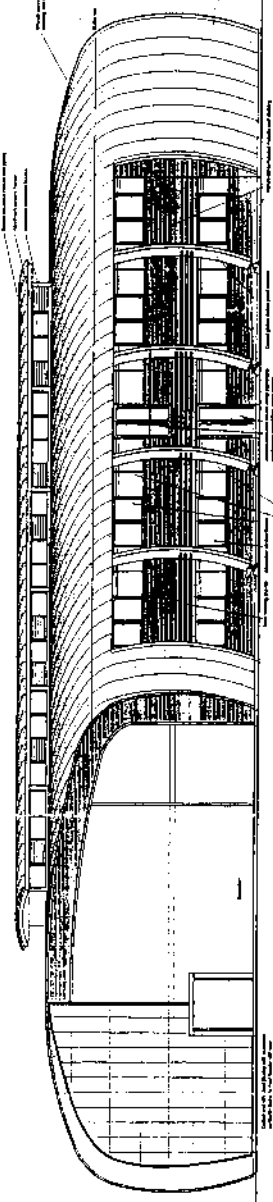
Meeting room 'pavilion'  
& link corridors



Conference room 'pavilion'  
& link corridors



Standard Cross Section



Section Through Main Entrance

Courtyard Elevation

**OUTLINE ARCHITECTURAL SPECIFICATION**  
 SECTION THROUGH MAIN ENTRANCE: This section shows the building's curved facade and multiple levels. The drawing illustrates the structural elements and the layout of the main entrance area, including the curved roof structure and the internal circulation paths.

MEETING ROOM 'PAVILION' & LINK CORRIDORS: This drawing shows a meeting room pavilion with a curved roof and link corridors. The pavilion is designed to provide a flexible meeting space, and the link corridors facilitate movement between different parts of the building.

CONFERENCE ROOM 'PAVILION' & LINK CORRIDORS: This drawing shows a conference room pavilion with a curved roof and link corridors. The pavilion is designed to provide a dedicated space for conferences and meetings, and the link corridors provide access to other parts of the building.

STANDARD CROSS SECTION: This drawing shows a standard cross-section of the building, illustrating the internal layout and curved structure. It shows the relationship between the different levels and the curved facade, highlighting the building's unique architectural features.

COURTYARD ELEVATION: This drawing shows a courtyard elevation of the building, highlighting the curved facade and multiple levels. The courtyard is designed to provide an outdoor space for users, and the curved facade creates a distinctive architectural character.

REVISIONS  
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Kingmoor Park Properties Ltd  
 CAPITA  
 Regional Business Centre  
 Proposed Elevational  
 Sections (Phase 1)  
 1:100 (NSW) A/J 31/09/01  
 Project: 37481/A/L/2-05-00

# KINGMOOR PARK REGIONAL BUSINESS CENTRE

## Transport Assessment

### NON TECHNICAL SUMMARY

1. CAPITA*ads* has been commissioned to prepare a Transport Assessment for a proposed Regional Business Centre, located at the Kingmoor Park site at Carlisle.
2. A study report for the Carlisle Northern Development Route (CNDR) was produced in 1998. This report confirmed that with the construction of the CNDR and the introduction of a signalised junction at Kingstown Road / Kingstown Broadway, the traffic generated from the full Kingmoor Park development can be accommodated on the local highway network up to a design year of 2018.
3. This report is primarily concerned with establishing the level of highway improvements needed to accommodate the additional traffic from the Kingmoor Park Regional Business Centre on the highway network prior to the 2005 year of opening of the CNDR. The report complements previous Traffic Impact Assessments and studies carried out as development plans for Kingmoor Park have progressed.
4. The proposed Business Centre development consists of Type B1 Office accommodation for up to 500 employees at the former 14MU HQ site to the north of the Kingmoor Park Development site, Carlisle.
5. Trip generation estimates for the proposed office development were prepared using data held on the TRICS computer database. 85<sup>th</sup> percentile rates were used in the calculation of development traffic.
6. The extent of the local highway network over which the impact of the proposed development has been assessed consists of the following junctions: U1281/Parkhouse Road junction, A7 Kingstown Road/Kingstown Broadway, A7 Kingstown Road/Parkhouse Road, and Parkhouse Road/Kingstown Broadway.
7. The base traffic levels were estimated for the years 2001 and 2005 by applying 1997 NRTF Central Growth factors to the 1997 survey flows detailed in the original TIA report. These flows are consistent with the flows used in Report No TC/98/59/Rev1 for the CNDR. In addition the projected development traffic from the Kingmoor Park East site, as detailed in the Revised Transport Assessment Report No TC/01/11/Rev0, has been included with the base traffic levels as committed development flows.
8. TRANSYT analysis has shown that traffic from the proposed Kingmoor Regional Business Park development can be accommodated on the highway network with the signalised T-junction at Kingstown Road/Kingstown Broadway in place. It is, however, clear that a number of links are close to, if not exceeding, their theoretical capacity during the PM peak up to 2005.
9. The mini-roundabout design proposed for the Parkhouse Road/Kingstown Broadway junction in the previous transport assessment would need minor revisions to accommodate all committed and projected development traffic. The decision to introduce a mini-roundabout at this location prior to the construction of the CNDR will be dependent upon the rate of development and traffic growth.
10. It is envisaged that additional public transport, walking and cycling facilities will be provided as the site develops. These will be incorporated into a green travel plan for Kingmoor Park. In order to represent a robust analysis, this assessment has assumed that all traffic generated by the proposed development will be new to the highway network. In addition, no account has been taken of the potential modal shift which could result from the introduction of a green travel plan, which could be up to 20%.
11. The assessment confirms that the Kingmoor Park Regional Business Centre development can be accommodated on the local highway network with the signalised T-junction at Kingstown Road/Kingstown Broadway and a mini-roundabout at the Parkhouse Road/Kingstown Broadway junction.

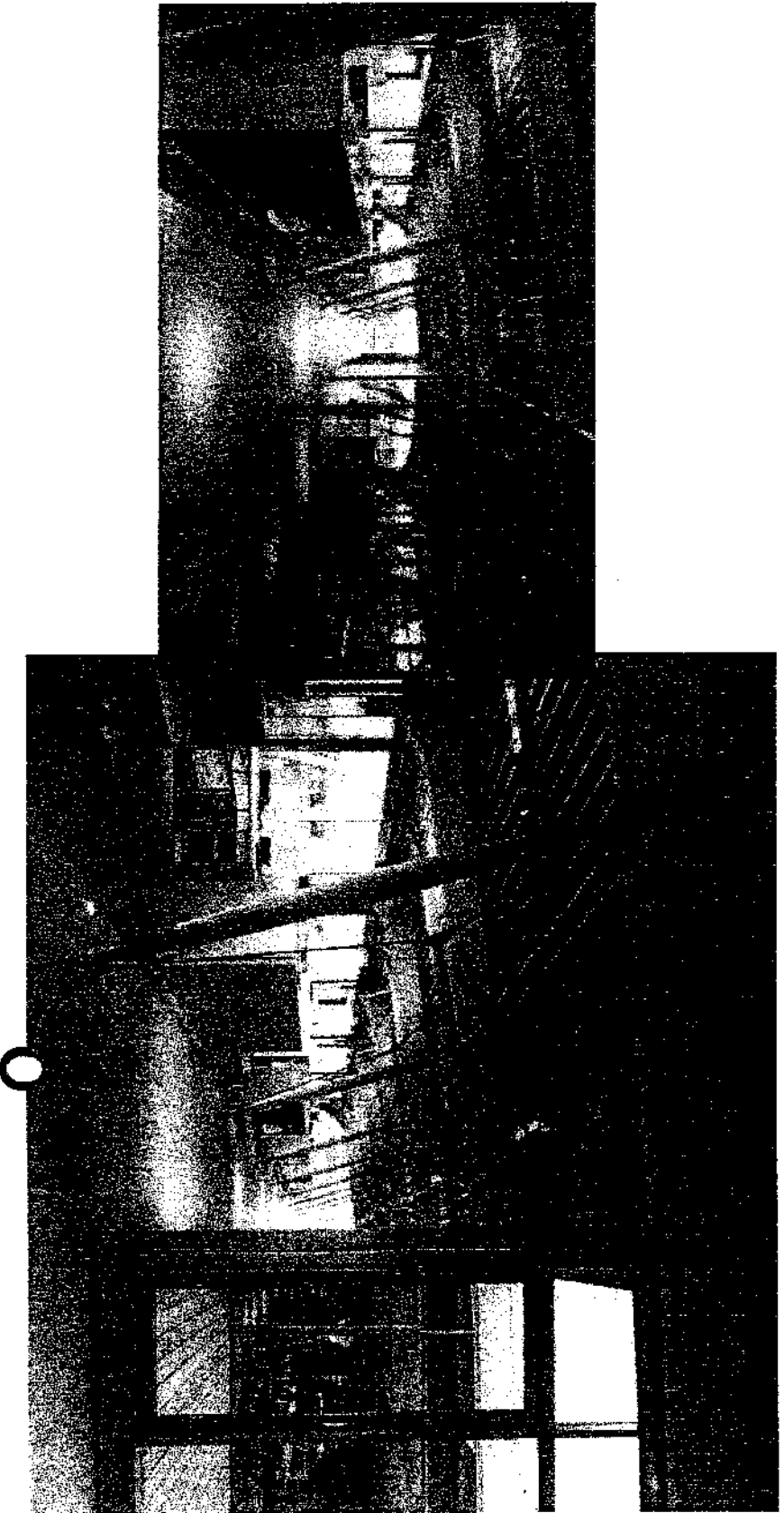
3.1 Building form

The proposed contemporary design solution seeks to combine a strong architectural form with flexibility and economy in use.

As a visual statement the building is clearly looking to the future, rather than the past, however, only well established and proven construction is employed, untested 'state of the art' technologies are avoided.

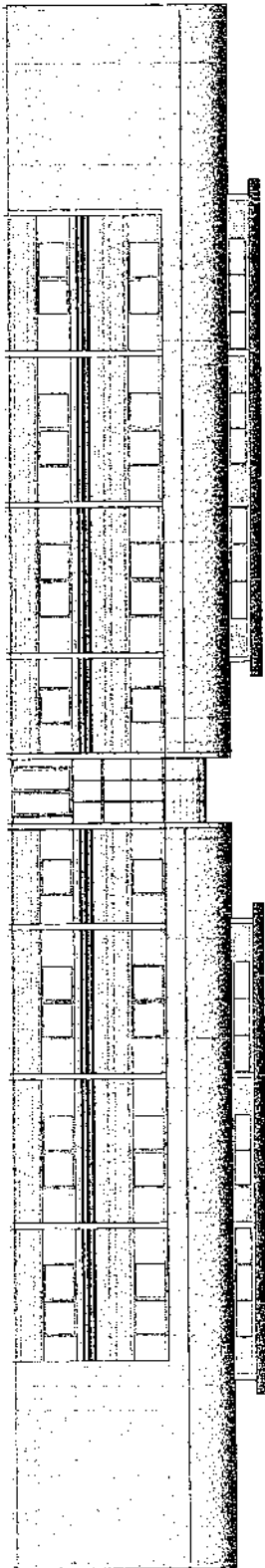
The structure of the building is exposed and expressed, forming a principal aspect of the architectural design.

The combination of curved, prefabricated timber frames, with exposed steel sheeting following the curved profile, will create a simple, but elegant, interior environment.

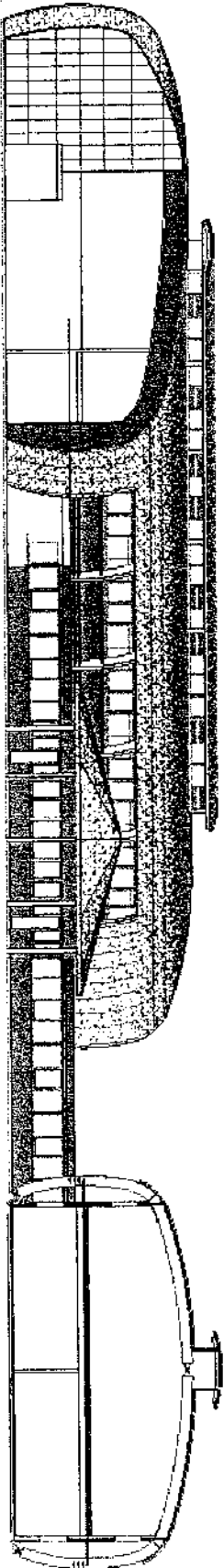


The curved form of the pre-fabricated timber framing is further emphasised by extending the metal cladding down to ground level at the end bays, resulting in a 'dynamic' form perhaps more reminiscent of the transportation industry than traditional building construction.

The curved 'ribs' of the roof structure are exposed throughout the centre section of the 'wings', providing support for a deep roof overhang, fixed solar shading and maintenance walkway, shading the ground floor windows. The recessed vertical wall in the centre section provides an efficient perimeter for placement of furniture, and an economical solution for window installation. The proposed design incorporates a considerable proportion of repetitive elements, which will permit prefabrication off-site under controlled conditions, resulting in greater quality control, and reduced construction time.

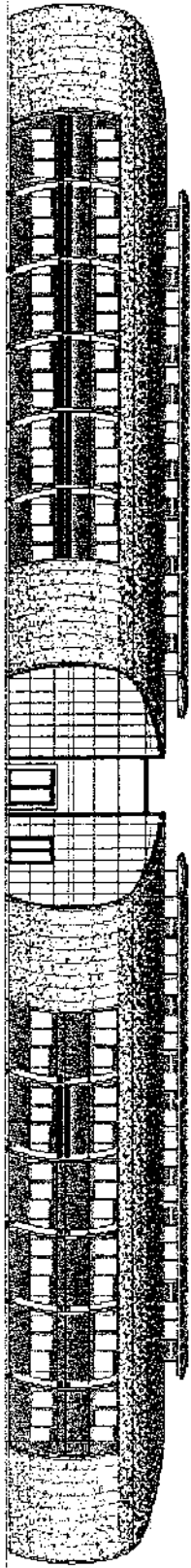


South Elevation

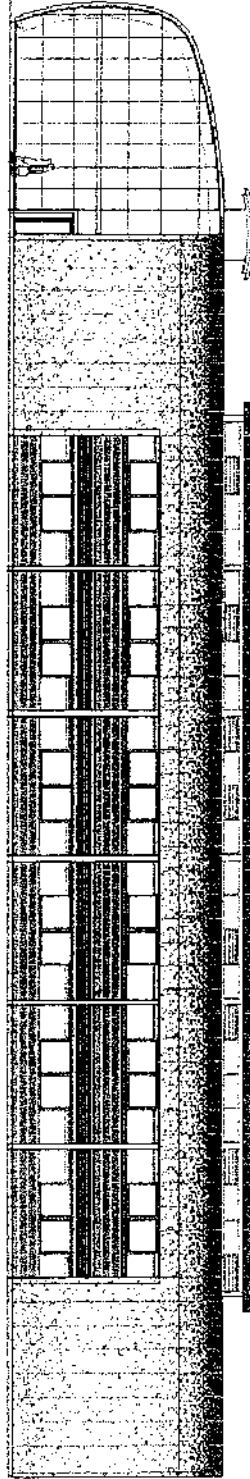


C A P I T A d b s

North Elevation - Main Entrance



North West Elevation

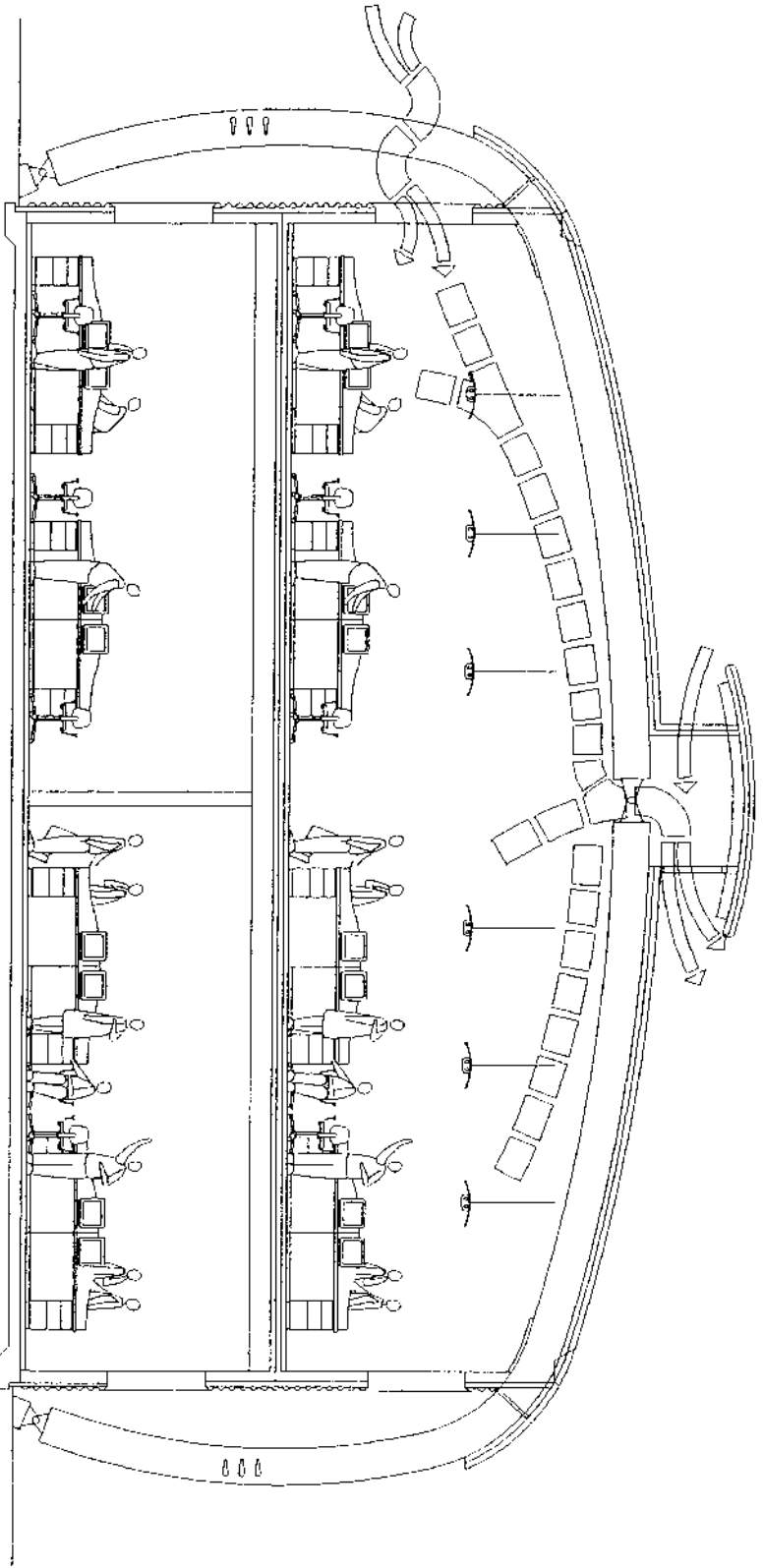


# CAPIT Adbs

One of the principal design objectives is the creation of a low-energy building to obtain a low operating cost, without reliance on expensive capital plant and equipment. Close collaboration with building services engineers within the design team has taken place from the initial concept stage, to achieve this objective.

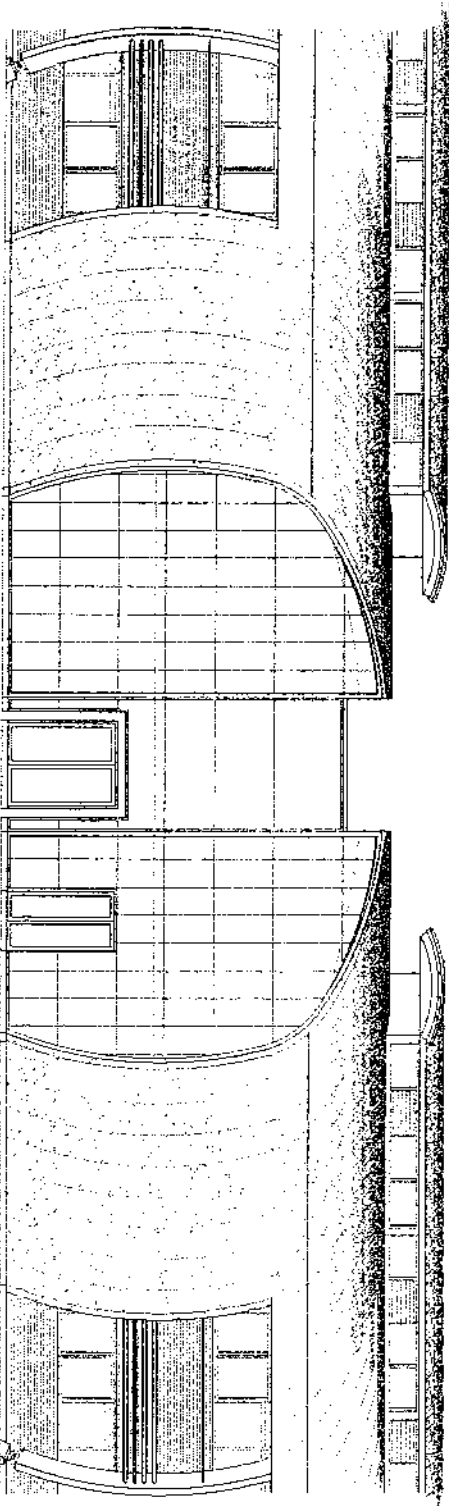
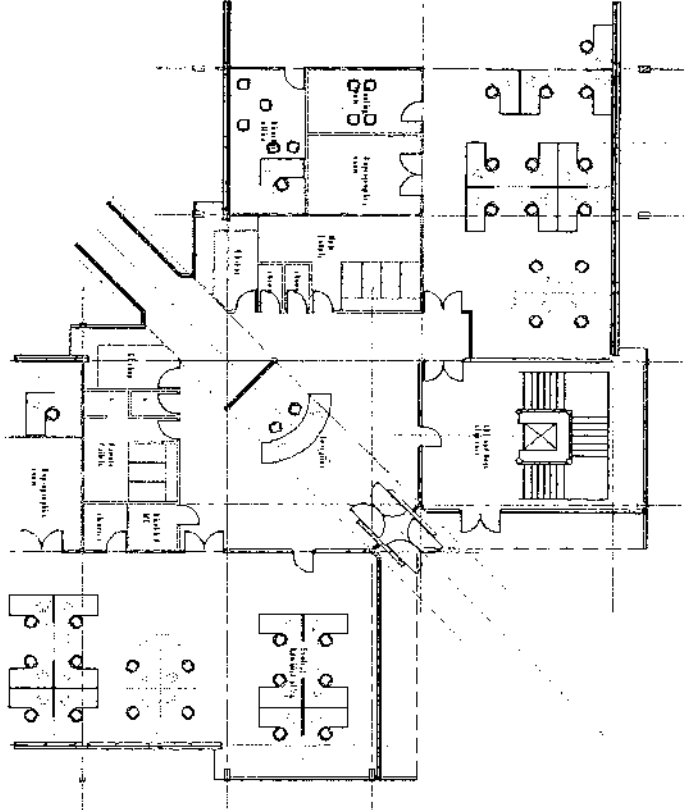
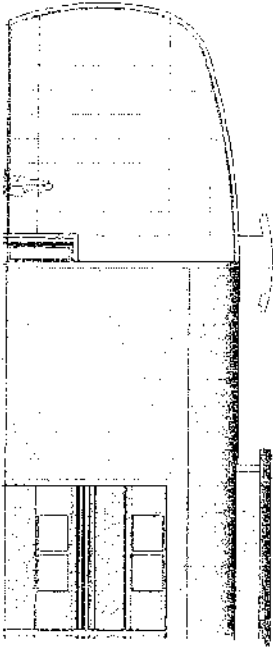
The building is entirely naturally ventilated, except for local cooling to the conference room and extract from toilet and staff kitchen areas etc. A healthy and comfortable interior environment will be achieved by controllable ventilation through louvers at both low and high (roof) level, supplemented by opening windows during summer months.

A combination of dense internal construction (concrete floors and masonry walls) enclosed within high levels of insulation will maintain a stable interior temperature.



Standard Cross Section

The main entrance is directly opposite the entrance to the Business Park, and is immediately visible upon entering the site. Upon approaching the entrance, the glazed end walls of both 'wings' will provide a degree of transparency. The main stair and lift will be visible prior to entering.



Part North Elevation -  
Main Entrance

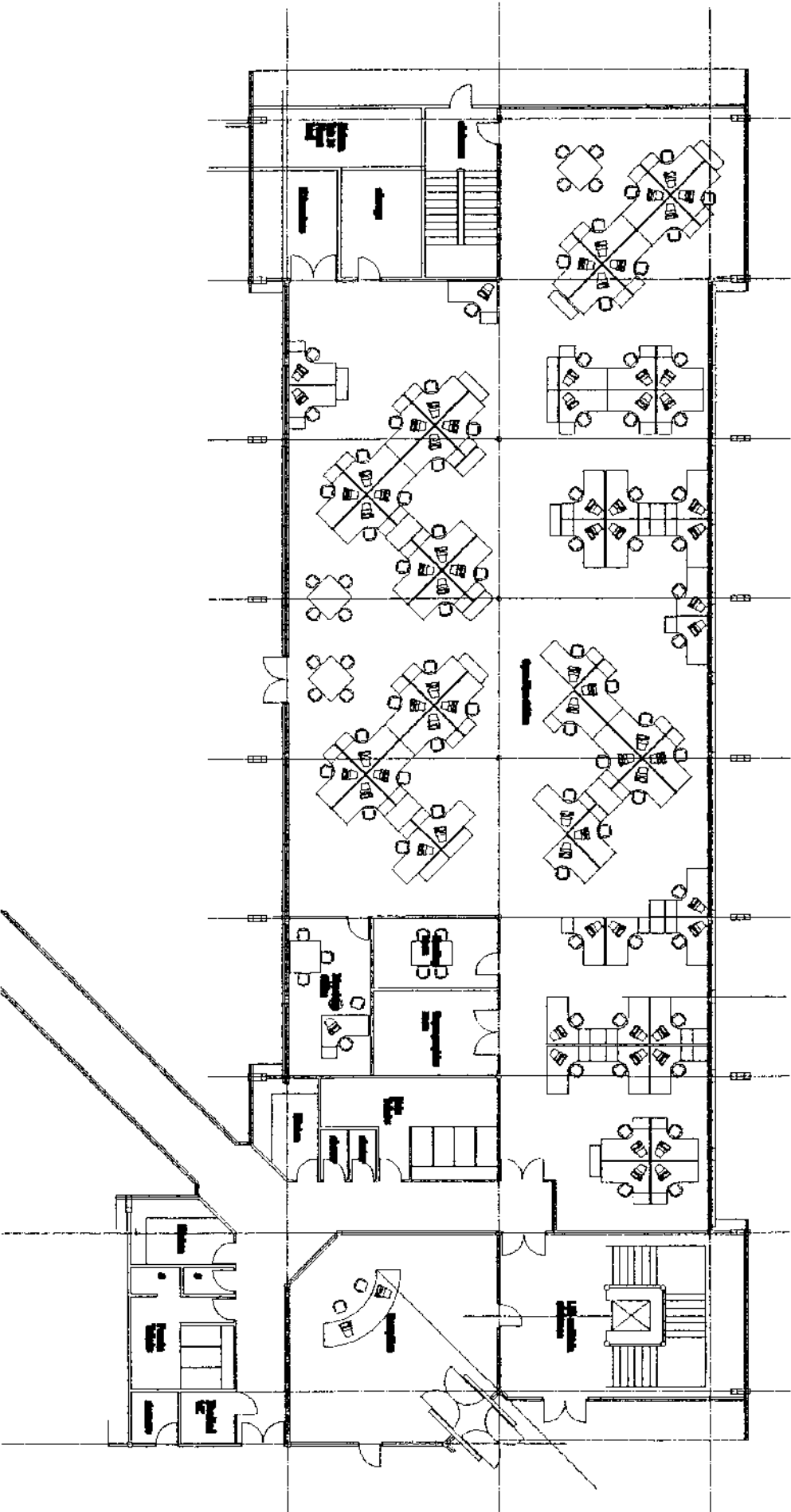
# CAPIT Adbs

### 3.2 Building layout

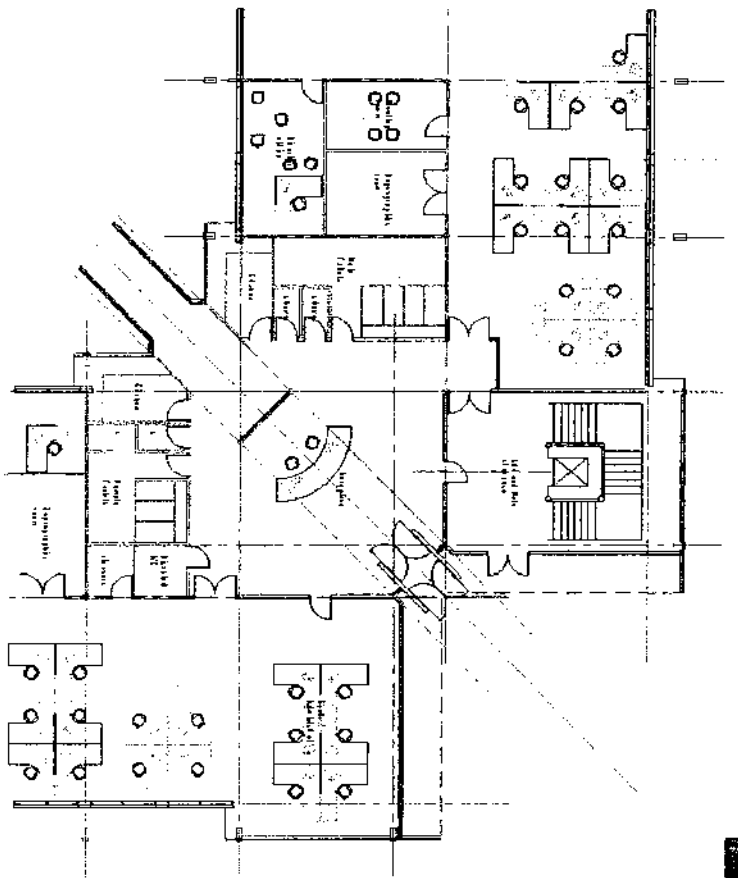
The entrance and reception area is at the centre of the building and is a two storey high space with a three metre wide strip of roof glazing above. An access control system will restrict visitors to this space until received by staff.

The interior layout provides four areas of general open-plan office area in Phase One, each accommodating up to 71 staff. Phase Two provides an additional four areas each accommodating up to 50 staff.

The open plan office layout provides maximum flexibility, accommodating changes due to internal re-organisation, expansion, and the formation of project teams.



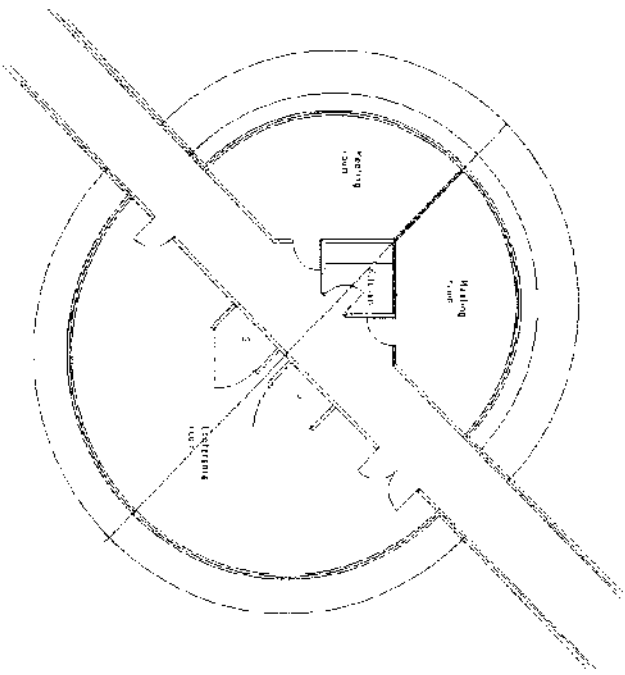




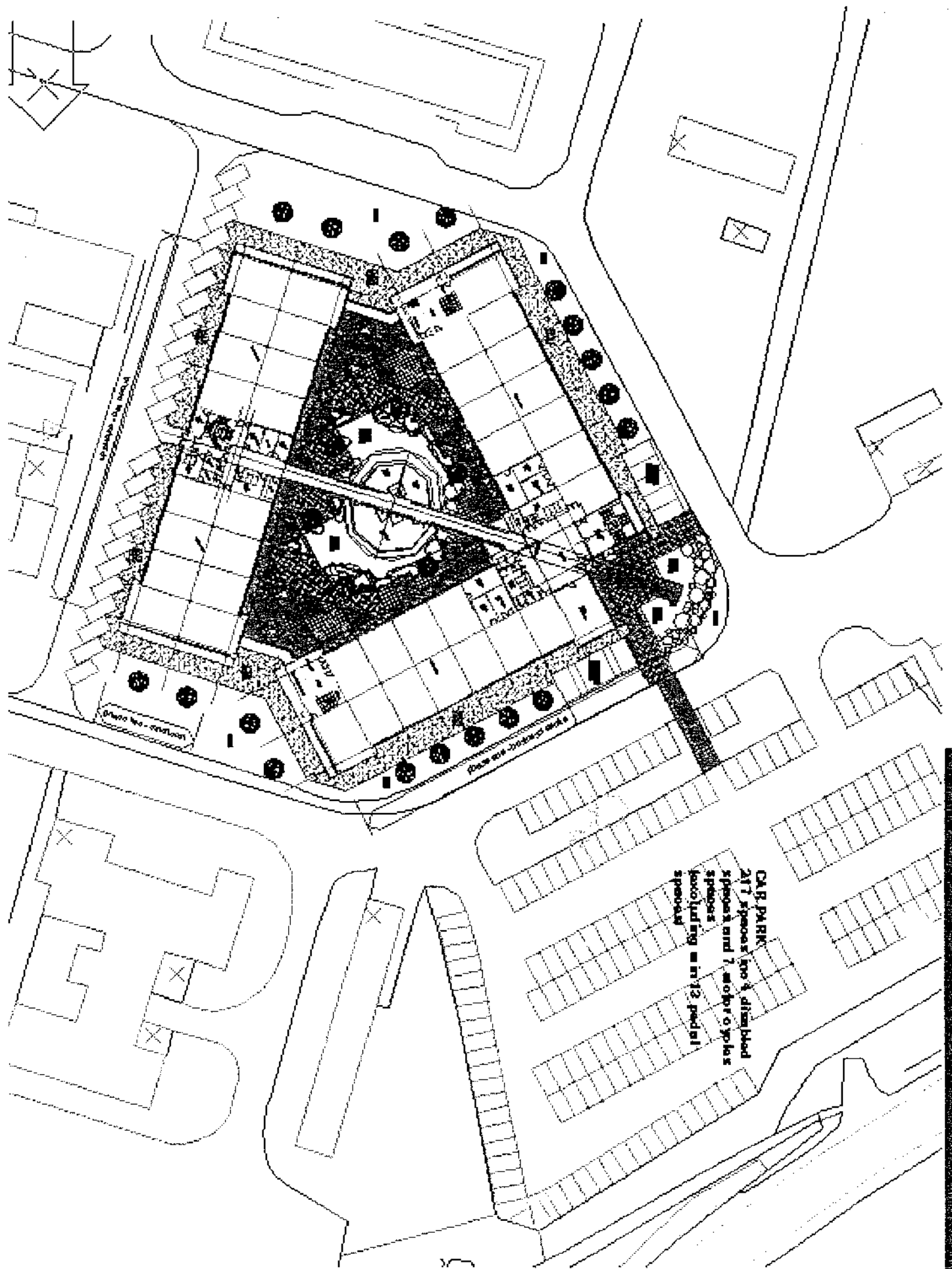
Staff kitchens, toilets etc. are clustered together forming a 'central core' of serviced spaces, to obtain economies in water services, drainage and extract ventilation. The plant room, and a central IT server room are located above these areas, and by virtue of the lower ceiling height required in the serviced areas, can be accommodated within the overall roofline.

A direct link between Phase Two and the main entry avoids reliance on a 'racetrack' circulation system through Phase One open office areas.

The principal meeting rooms are equally accessible from all areas of the building, and are conveniently located relative to the entrance and reception area. The courtyard location provides a pleasant aspect, and the 'pavilion-like' setting contributes to the creation of a positive outdoor environment, reducing the remaining space to a scale that can be dealt with by predominantly hard landscape treatment.

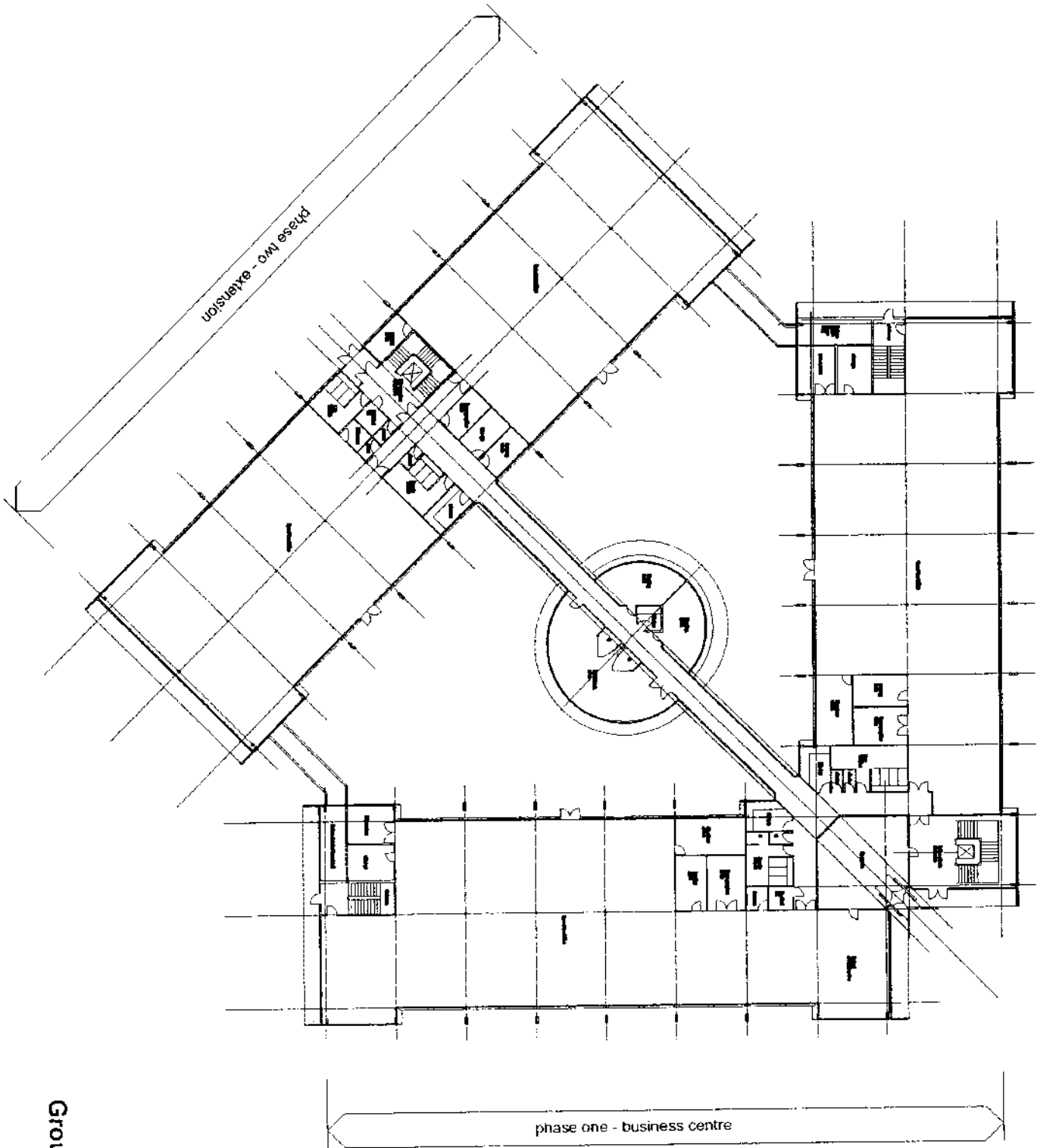


# CAPIT Adbs



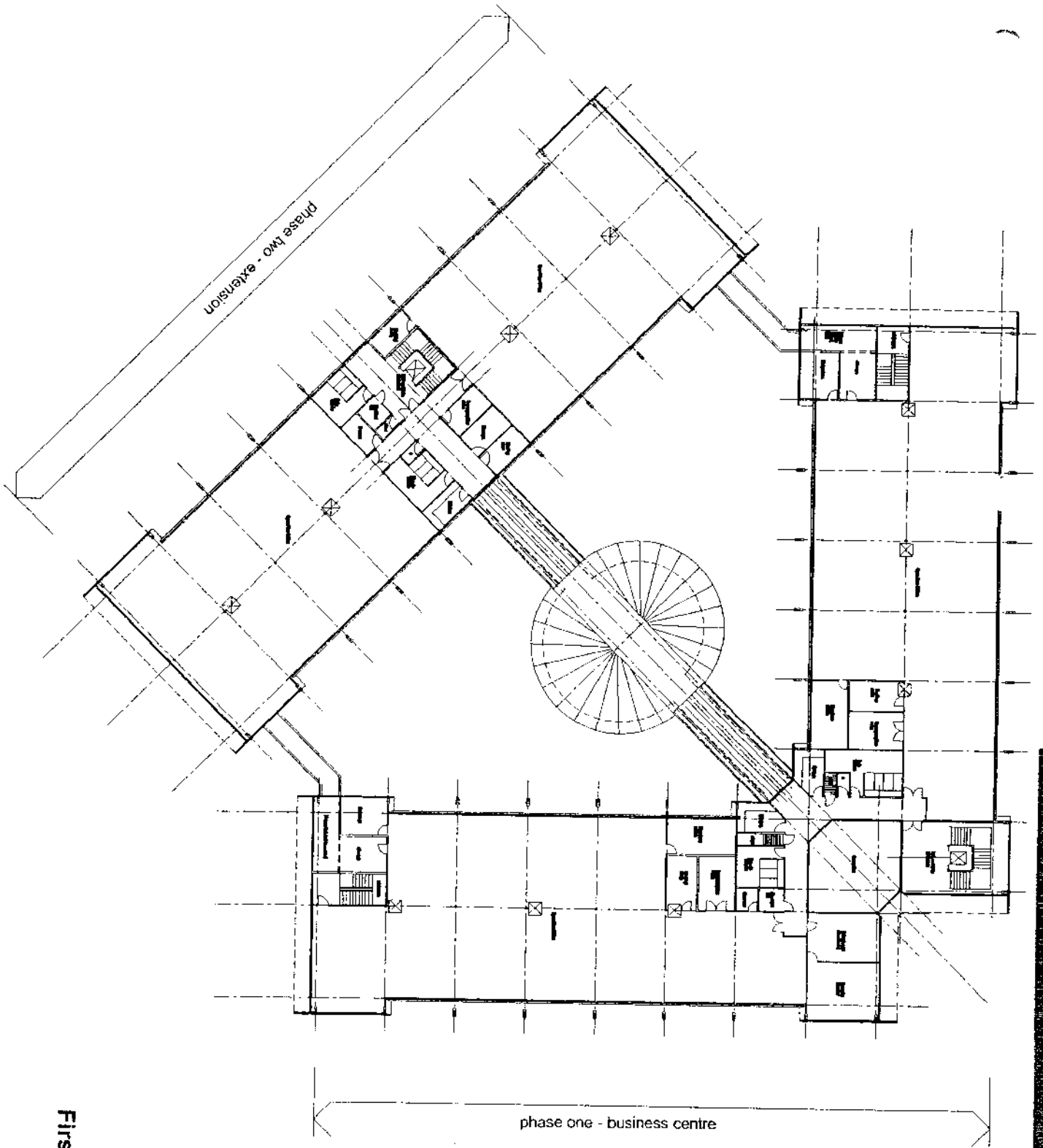
CAR PARK  
 217 spaces (no 3 disabled  
 spaces and 7 motor cycles  
 spaces  
 located in 12 pedal  
 spaces

# CAPIT Adbs



Ground Floor Plan

# CAPIT Adbs



First Floor Plan

# C A P I T A d b s

### 3.3 Outline architectural specification

**EXTERIOR CURVED ROOFWALL:** Composite and/or built-up metal panels with smooth metallic finish. Profiled metal liner forming ceiling finish, supported on prefabricated 'glulam' portal frames.

**ROOF TO MEETING ROOMS IN COURTYARD:** Composite and/or built-up metal panels with smooth metallic finish, metal liner to underside, forming ceiling finish, roof supported on exposed steel framing.

**EXTERIOR RECESSED VERTICAL WALL TO CENTRE SECTIONS:** Concrete block, with interior plaster finish, rigid insulation to exterior face, horizontal corrugated metal siding forming a continuous horizontal band above and below windows. Flat metal panels between window openings, finish to match window frames. Aluminium window frames with metallic finish to match curved cladding, manually operable. Louvers providing trickle ventilation, comprising weather louvers to the exterior, with mechanically driven blades to rear.

**EXTERIOR HIGH-LEVEL GLAZING & VENTILATION LOUVRES TO CENTRE OF ROOF:** Aluminium window frames and louvers as above, all windows non-operable.

**EXTERIOR RECESSED VERTICAL WALL TO END OF 'WINGS':** Concrete block, with interior plaster finish, rigid insulation to exterior face, horizontal corrugated metal siding.

**EXTERIOR RECESSED GLAZED WALL TO ENDS OF 'WINGS':** Aluminium curtain walling, with sealed insulated glazing, glazing to be either, fixed using structural silicone to the interior framing members only (with frameless exterior finish), or, fixed with conventional exterior metal capping with glazing gaskets.

**EXTERIOR ROOF GLAZING OVER CENTRE CORE AREA:** Aluminium curtain walling as above.

**GROUND FLOOR:** Ground bearing reinforced concrete slab, rigid insulation, screed finish accommodating under floor heating (plastic pipework retained in clipping system, and three compartment trunking system, accommodating telephone, data, and power).

**FIRST FLOOR:** Composite construction, exposed profiled steel deck forming the ground floor ceiling, with shear studs and insitu concrete topping, supported on a steel frame comprising 6m x 8m bays. The central column of the steel frame extends through the first floor to form the portal prop at the ridge. Screed finish accommodating under floor heating and three compartment trunking system, as ground floor.

**INTERIOR WALLS TO SERVICED AREAS & SECONDARY STAIRS:** Concrete block with plaster/plasterboard finish.

**INTERIOR WALLS TO CELLULAR SPACES ADJACENT TO OPEN PLAN OFFICES:** Plasterboard on steel stud framing, performance rated for acoustic separation.

The structural design of the proposed business centre can be best described as a propped curved prefabricated 'Glulam' portal, pin jointed at the base and centre of roof, and externally clad with a structural liner to provide the weather screen of the building envelope. Longitudinal bracing will be positioned within the fully clad end bays and gable elevations will be partially glazed on an exposed wind load resistant structural sub frame.

The floor and wall construction provides the thermal mass required to maintain stable interior environmental conditions. The first floor construction will be of composite construction, exposed profiled steel deck forming the ground floor ceiling, with shear studs and insitu concrete topping, supported on a steel frame comprising 6m x 8m bays, transmitting the floor loads to the foundations. The central column of the steel frame extends through the first floor to form the portal prop at the ridge.

The span of the floor beams and foundations will be finalised following receipt of the ground investigation report, they are likely to take the form of a grillage at 6m x 8m to mass concrete pad bases, for the steel frame, and strip foundations for the walls. The ground floor is most likely to be formed as a ground bearing reinforced concrete slab.

Structural detailing will be exposed and will require additional care in design, to be both aesthetically acceptable and prevent adverse weathering of the glulam connections. The detailing of the ground and first floors will reflect the mechanical and electrical requirements and the steel frame will support external solar shading above windows.

Dimensional limitations relating to the transportation of the curved prefabricated 'glulam' sections is recognised as an issue that will require careful consideration to avoid a cost premium, specialist advice is currently being sought through consultation with potential suppliers.

## 5.1 General

A detailed Mechanical & Electrical Design Report has been produced for this project, a summary of which is included in this section. Building services proposals have been investigated and tested from two previous reports titled "Building Services Engineering Feasibility Report" and "Building Services Engineering Modelling Conclusions".

The Regional Business Centre is proposed to be a low energy & low capital cost building using the best practice of natural ventilation, energy storage by high thermal mass fabric, night cooling, use of low grade heat condensing boilers & under floor heating, direct gas fired water heating, and energy efficient lighting with good day lighting/electric lighting control.

## 5.2 Mechanical Services

### 5.2.1 Heating

#### OPEN PLAN OFFICE AREAS

Open plan office areas are to be heated using low-pressure hot water under floor heating. The benefits of under floor heating are as follows:

Under floor heating when used in a high thermal mass building has good temperature control and thermal stability.

The life expectancy of modern under floor pipe system using modern plastics is between 50-100 years

Under floor heating is the most efficient heating system for office spaces.

Under floor heating provides an environment that follows the ideal comfort parameters of warm feet, cooler head.

Modern under floor systems now operate at low surface temperatures (Maximum 29°C) due to improved thermal insulation.

The under floor heating pumps can be run in summer (isolated from the boilers) to provide a measure of free cooling.

The following design considerations will be adopted to maximize thermal comfort:

The room temperature is to be elevated to 22°C thus heating up any draughts induced by perimeter trickle vents.

Additional under floor heating coils are to be provided under windows and adjacent to trickle vents to prevent any cold down draughts.

## CELLULAR OFFICE AREAS

Central cellular offices are to be heated using radiators, due to the higher proportion of glazing and potential downdraughts. Radiator heat output is highly convective and will offset these draughts.

## HEATING PLANT

The under floor heating circuits require a low grade of heat (50°C flow 30°C return) and therefore gas fired condensing boilers are proposed to exclusively heat the under floor heating. At these low temperatures condensing boilers operate at 99% efficiency (gross calorific value) as compared to 80% for traditional boilers.

The cellular office area radiators will be served from a dedicated and hydraulically separate boiler system operating at 80°C flow and 70°C return. A weather compensated three-port valve will control this circuit. All radiators will be provided with thermostatic radiator valves for individual room control.

Wall mounted compact condensing boilers are to be provided so that they can be carried up plant room stairs and also be easily replaced in the future.

Balanced flue boilers will be required so that make up air in the plant rooms is required at a minimum to ventilate the build up of heat.



## 5.2.2 Ventilation

### OPEN PLAN OFFICES – IN WINTER

Trickle vents located on the external elevations of the building will provide minimum fresh air requirements for occupants in the winter. The trickle vents will be provided at high level above windows and automatically opened and closed.

### OPEN PLAN OFFICES – IN SUMMER

On the ground floor manually operable windows, automatic trickle vents, three automatic thermal chimneys, and an airway into the atrium stack will provide natural ventilation to enable the office to be free cooled. Modelling has shown that the building will achieve CIBSE criteria for naturally ventilated spaces in that the space will be in excess of 25°C for 73 hours (CIBSE maximum recommended 125 hours) and over 28°C for 9 hours (CIBSE maximum recommended 25 hours). Building users must accept that in a naturally ventilated building, higher internal temperatures will occasionally occur in the office spaces, but for the majority of the time the office temperature will be within the range of 22 +/- 4°C.

The first floor is naturally ventilated via manually operable windows, automatic trickle vents, and automatic high level louvers inducing a natural stack effect. Slightly improved summertime temperatures will be experienced on the first floor due to a higher ceiling assisting the stack effect of air.

The atrium will be provided with automatic air inputs from the ground floor offices and the outside. Automatic high-level louvers will induce a stack effect in the atrium and providing natural ventilation and free cooling.

All open plan spaces will use night cooling strategies to further free cool spaces during warmer weather.

### CELLULAR OFFICES

Director's offices will be provided with operable windows for natural ventilation. Internal spaces will be provided with mechanical extract and door transfer grilles for make up air.

### TOILET, STAFF KITCHENS, AND INTERNALLY OCCUPIED SPACES

A mechanical extract system will be provided, operated on a time control set to occupied hours.

### 5.2.3 Hot & Cold Water Services

#### HOT WATER GENERATION

Hot water will be produced by a high efficiency gas fired hot water heater.

#### COLD WATER SERVICE

No cold water storage is proposed for the building so to minimize the risks of legionnaires disease and to reduce maintenance costs for tank cleaning.

### 5.2.4 Controls

A Building Management System is proposed control the building services engineering systems

This will include:

Energy monitoring of gas, water and electricity consumption.

Control of heating plant, under floor heating and radiators

Control of ventilation plant

Control of natural ventilation trickle vents, high level exhaust louvers

Control of water heating plant

The building will be heated to 22°C in winter using under floor heating / radiators and ventilated from trickle vents opened by CO<sup>2</sup> detectors to achieve minimum fresh air requirements.

In the summertime internal temperature sensors will open trickle vents and stack high-level louvers to provide adequate ventilation to free cool the building to 22 +/- 4°C. A weather station will monitor external temperature, external wind speed and direction, rain, solar radiation & air quality and provide the necessary correction factors to open/close louvers further. To supplement the natural ventilation strategy in times of prolonged high external temperatures night cooling will be employed.

During the night time trickle vents and louvers will be opened to pre-cool the office space to 18 +/- 2°C thus enabling cooler daytime indoor summertime temperatures to be achieved.

### 5.3 Electrical Services

#### 5.3.1 Lighting

##### OFFICE AREAS

Office areas will be provided with suspended fluorescent luminaries. Lighting will be provided with day lighting control for all areas that fall within good natural lighting zones. Areas in poor day lighting zones will be manually switched.

Office lighting will be designed to 500 lux as per CIBSE guidelines.

##### MEETING / CONFERENCE ROOMS

An architectural lighting solution will be provided in the meeting rooms and conference room.

Lighting will be designed to 500 lux as per CIBSE guidelines.  
ENTRANCE AREA

An architectural lighting solution will be provided in the entrance and reception areas, designed to 250 lux (general) and 500 lux (on displays) as per CIBSE guidelines.

##### TOILETS

Toilets will be provided with a suitable lighting system for the area, designed to 150 lux as per CIBSE guidelines.

##### OUTSIDE LIGHTING

External lighting will be provided for security purposes and to emphasize the structure and form of the building. A colour rendered light source will be selected to suit the architecture of the building.

#### 5.3.2 Power

##### OFFICE AREAS

Office areas will be provided with a combination of three-compartment floor trunking with floor boxes and three-compartment dado trunking for the distribution of power data and voice wiring.

Floor boxes will be provided to suit a flexible furniture layout.

### 5.3.3 Other Services

#### FIRE ALARM

A fire alarm system will be provided to BS 5839 and to comply with statutory regulatory bodies.

#### SECURITY ALARM

A security alarm will be provided with controlled access to comply with statutory regulatory bodies.

#### Lightning Protection

A lightning protection system will be provided for the protection of the building structure and internal equipment.

#### IT WIRING

IT data wiring will be provided to suit the open plan office layout and IT network requirements.

An IT "power down" strategy is to be developed in consultation with IT staff, so that computers are set up to automatically power down when not in use. This will reduce power consumption and heat gains.

### 5.4 Architectural issues

#### BUILDING FABRIC

The under floor heating, natural ventilation and night cooling strategy will function best and provide optimum thermal comfort conditions with a high thermal mass building.

High thermal mass allows the space in winter to retain heat and not be subject to rapid changes in external temperature and solar heat gain. In the summer the high thermal mass will assist night cooling in that internal surfaces will be cooled down overnight and will absorb heat the following day.

#### WINDOWS

All windows are to be manually operated giving the building users a degree of control over their thermal environment.

Thermal modelling indicates that each open plan office would require 23.4 m<sup>2</sup> of fully open able windows on each side of the office.

Glazing will be provided in the raised section to the centre of the roof to give good levels of day lighting. An option exists to provide roof glazing above each 'thermal chimney' to provide additional natural lighting to the ground floor.

The solar overhang greatly reduces the direct solar gain to the office spaces and reduces internal summertime temperatures.

#### THERMAL CHIMNEYS & LOUVERS

Each ground floor open plan office is to be provided with three thermal chimneys of approximately 1m x 1m, that will link the ground floor to the roof top louvers, providing deep plan ventilation to the ground floor and summertime free cooling.

Additional ventilation from the ground floor office via transfer grills to the two-storey high entrance atrium, which will be provided with two low level louvers and six high level louvers to exhaust warm air.

All louvers are to be weather louvers fitted with insect screens, with mechanically driven blades behind. Control is via a 0-10V actuator capable of tight shut off to fully open modulating control.

The first floor open plan office spaces are to be provided with automatic high level louvers to exhaust warm air. Each open plan office is to be provided with ten 1m<sup>2</sup> louvers, arranged five per side of the raised roof detail at the ridge.

Each open plan office is to be provided with controllable trickle ventilation via twelve 0.5m<sup>2</sup> louvers, six down each side of the open plan office.

Landscape design will focus on four separate areas: the main building entrance, the courtyard, perimeter margins to the building, and the main parking area. Whilst all these areas will be subject to a detailed landscape design, which has not yet been developed, the proposed design principals are outlined below.

## 6.1 Main building entrance

Due to the concentration of pedestrian movement in this area, predominantly hard landscape treatment will be used. The principal circulation route will be to/from the main parking area, hard paving will be separated from the building by a gravel/pebble strip. The 'corner' of the site will be free of circulation, and offers an opportunity to enhance the entry with an area of natural stone boulders with infill planting located around the outer quadrant, a shallow water feature will occupy the area between the boulders/planting and the paved circulation areas. Bubble fountains will be used to create water movement, to avoid wind blown spray.

## 6.2 Courtyard

The 'pavilion-like' setting of the principal meeting rooms accessed from the link corridor, contributes to the creation of a positive outdoor environment, reducing the remaining space to a scale that can be dealt with by predominantly hard landscape treatment. The landscape treatment will include a variety of paving materials, gravel and pebbles, the use of some raised planting beds. Planting will include species selected for their strong leaf form, especially where set in gravel/pebble areas, flowering shrubs for seasonal colour, and evergreens for winter foliage.

The layout will be structured and semi-formal, and will be directly related to the building by using the principal structural grid lines, extended into the courtyard, to form the basis for defining the layout.

Shallow water features will included adjacent to the principal meeting rooms, conventional fountains will be used to contribute to the quality of the courtyard environment, both visually and acoustically.

A band of planting will provide a visual screen between the principal meeting rooms and the immediately adjacent open office areas.

The perimeter, adjacent to the building will be finished in a variety of hard landscape materials, without any change in level, to permit the use of small powered access equipment for maintenance purposes. Equipment access to the courtyard will be via pairs of doors on each side of the links between the end of phase one 'wings', and phase two.

A temporary landscape buffer to provide a degree of visual 'enclosure' to the courtyard, prior to construction of phase two, may be provided, subject to the degree of enclosure achieved by the courtyard planting.

### 6.3 Perimeter margin to the building

A gravel strip will be provided adjacent to the building to accommodate access by powered access equipment for maintenance. A simple repetitive planting layout related to the structural bays of the building will be used along the length of the 'wings'. Simple screen planting will be inserted opposite the glazed ends of the 'wings' (except the main entry as described above), this will provide a visual filter, providing a degree of privacy for occupants, solar shading from low angle sun, and a pleasant outlook. All planting to the perimeter margin will be selected with consideration for the depth of root structure, as the existing services are all located within these areas.

### 6.4 Main parking area

Infill planting will supplement the existing perimeter vegetation to strengthen the screening of the parking area. It is not proposed to introduce planting within the areas of the existing car park. A new landscape feature, consisting of natural stone boulders and planting, is to be created at the north-east corner of the Business Park, adjacent to the junction of the unclassified road (U1281) containing the site entry, and Parkhouse Road. This new landscaping is not related to this project, but will enhance the approach to the site, and will contribute to the screening of the parking area.

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 52

Date of Committee: 14/12/20

APPN REF NO: 01/0936 /	APPLICANT: Messrs M & G Park	PARISH: St Cuthberts Wit
DATE OF RECEIPT: 16/10/2001	AGENT: Taylor & Hardy	WARD: Dalston
LOCATION: L/A Lough Farm, Brisco, Carlisle Cumbria		GRID REF: 342228 551217

PROPOSAL: Change of use to provide a Sunday market

---

### REPORT

PLANNING POLICIES:-

CUMBRIA & LAKE DISTRICT JOINT STRUCTURE PLAN  
POLICY 13

In the areas not covered by Policies 11 and 12, development will normally be permitted which in its use, siting, scale and design is well related to existing developed areas of the countryside and does not harm distinctive features of local landscape significance. In the undeveloped open countryside development will not normally be permitted except when it is required to meet local infrastructure needs which cannot be located elsewhere, and provided it is sited to minimise environmental impacts and meets high standards of design.

CARLISLE DISTRICT PLAN  
ENVIRONMENT - POLICY E8

Within the remainder of the rural area not covered by Policies E2-E6. Proposals which are well related in use, siting, scale and design to existing settlements or other small clusters of buildings including farm buildings will be acceptable providing that:

1. the proposal reflects the scale and character of the existing group of buildings or settlement; and
2. there is no adverse effect upon the amenity of neighbouring property, and the character and appearance of the area; and
3. satisfactory access and appropriate car parking can be achieved; and
4. any existing wildlife habitats are safeguarded.

Permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need.

SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: The proposal is regarded acceptable, but conditions attached to the permission for the equestrian centre should be complied with before the use starts.

ST CUTHBERT WITHOUT PARISH COUNCIL: The Parish Council raise a



## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0936 /

number of concerns relating to the access to the site, the signs which are likely to be erected, and the noise and disturbance to nearby residents from mobile kiosks and the use generally.

COUNCIL FOR THE PROTECTION OF RURAL ENGLAND: No objection, but additional landscaping should be required.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. One letter of objection has been received, which raises the issue of noise and disturbance to nearby residents

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

In November 1998, application 98/0685 was approved, for the establishment of an equestrian centre. A number of conditions were attached to this approval, notably relating to improvements to the access and landscaping.

#### DETAILS OF PROPOSAL

Permission is sought for the provision of a Sunday market at Lough Farm, Brisco. The site is located on the north side of the Golden Fleece-Durdar Road, west of the Brisco crossroads, and consists of a farmsteading with associated buildings and hardstanding areas.

The submitted plans shows the proposed market use taking place within two areas - an area of hardstanding to the west of the farmsteading approximately 100 metres x 20 metres, and an area to the north, 50 metres x 20 metres, which has been set out as an equestrian area (see history).

The application raises a number of issues. Firstly, the site is set in an area of sporadic development, with individual dwellings and farms sited at intervals along this road. Nevertheless, even though the use will only operate on one day a week, landscape impact is still a relevant issue. In this regard, it will be noted that the use is confined to two specific areas adjacent to the farmsteading, which were approved as a car park and equestrian arena as part of the 1998 approval. The landscape impact of the proposal is not therefore considered to be significant in terms of local plan policy E8.

It is also relevant to consider whether this location is appropriate for a facility of this type. The location is some 4km south of the city centre, and 1km west of junction 42 of the M6. Although one of the objectives set out in PPG13 is to reduce the need to travel, especially by car, and it is clear that most if not all customers, will travel to this site by car, this location is considered to be sufficiently well

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/0936 /

related to the urban area and the local transport network for this not to be an overriding objection.

As far as specific site related issues are concerned, the access to the site is from a section of the Golden Fleece-Durdar Road where traffic speeds are relatively high. It will be noted that the highway authority regard the proposal as acceptable, but only in the context that the improvements to the access, and in particular the visibility splays are implemented, and to date this has not occurred.

It would also appear that a landscaping condition attached to the earlier approval has not been implemented with.

It will be noted that the Parish Council have also raised concerns about the impact of the use on nearby residents, in terms of noise and disturbance. As stated above, the areas where the market use would operate are those where the equestrian use approved in 1998 takes place. It is therefore considered that objections on these grounds would be difficult to justify, but it is nevertheless relevant to consider what restrictions should be placed on the operation of the market. The submission indicates that the use would be intended to operate every Sunday, but no hours of operation are given. Offices consider that these are matters where specific conditions will be required.

To summarise therefore, this proposal is considered to be acceptable in principle, subject to the resolution of concerns relating to the access and the detailed operation of the market.

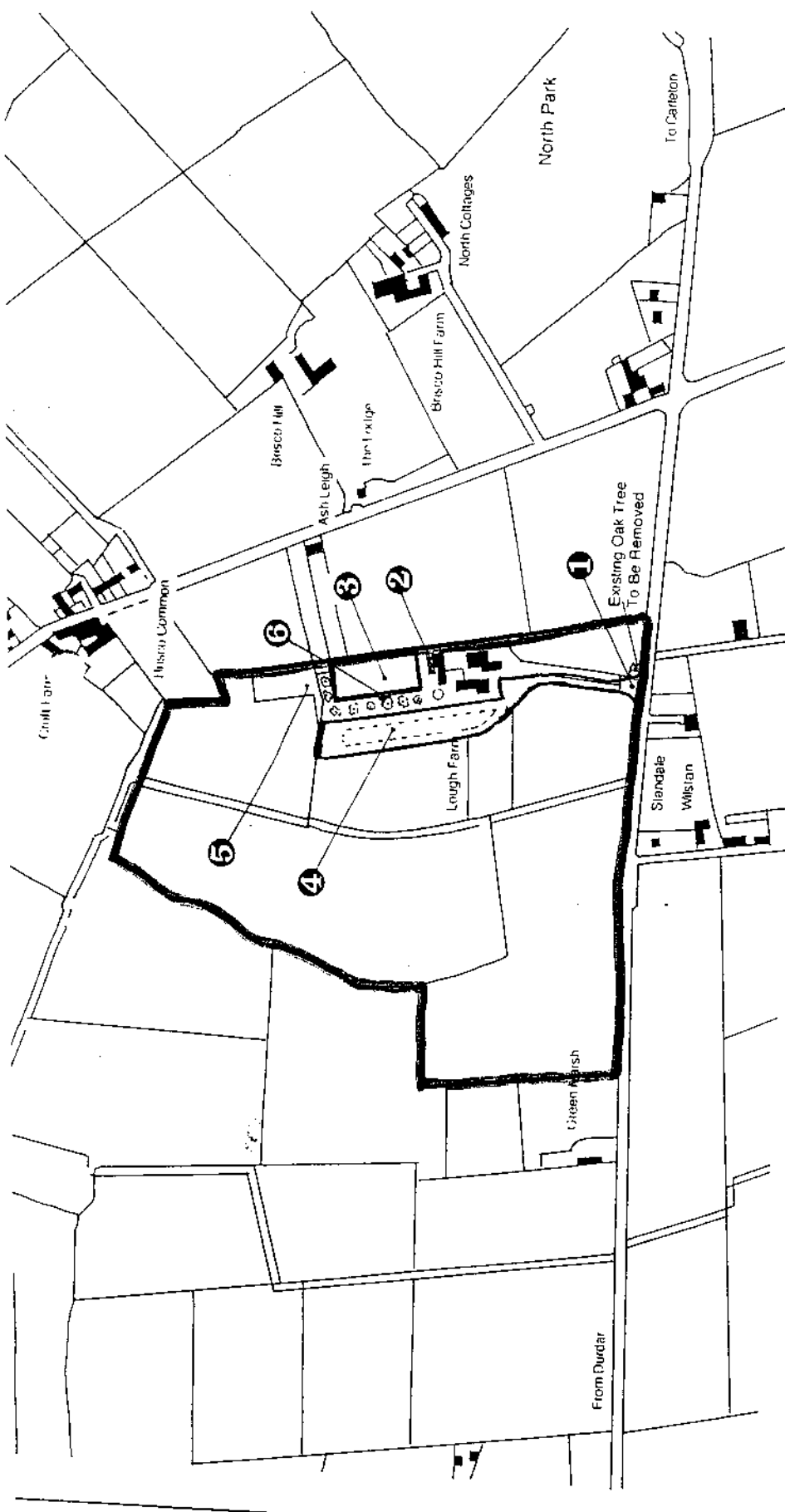
### RECOMMENDATION: -

The Director will report on the latest position regarding the application, with particular reference to conditions to be attached to any permission granted, regarding improvements to the access to the site, and the detailed operation of the market.

Supp

P75-77

Approved



SCALE 1-500 DATE 14-08-98 DRAWING NO. 1 DRAWN DBC

PROPOSED DEVELOPMENT TO FORM AN EQUESTRIAN CENTRE  
 WITHIN AN EXISTING AGRICULTURAL HOLDING  
 AT  
 LOUGH FARM, BRISCO, CARLISLE.  
 FOR  
 MESSRS. M. & G. PARK

- 1 Formation of a wider entrance from the Durdar to Carleton Road to allow two way traffic in and out of Lough Farm.  
This entrance will have timber gates set back 15 metres from the Highway with a low sandstone wall of 10 metre radius joining into the existing hedge
- 2 The Provision of Relocatable Type Toilet and Refreshment Blocks comprising of Male, Female and Disabled Toilets and Refreshment Room set on an existing concrete hardstanding. These units will be painted in colours to be agreed with the Planning Officer.
- 3 Provision of a fenced and screened sand blinded hardcore arena area approximately 97metres by 45metres to be used for Exercising, Showjumping, Dressage, Equipment Storage, Stock Handling, Loading and Unloading of Agricultural Stock and Equipment. This area is to be floodlight using 13 no sodium discharge lighting units mounted on telegraph poles
- 4 Formation of a Hardcore area approximately 35metres by 150metres to act as a Vehicle Park for Equestrian Vehicles
- 5 Formation of a Warm-up area approximately 70metres by 30metres of sand blinded hardcore surrounded on three sides by a timber fence and on the fourth side by the existing hedge
- 6 Location for small viewing and judging box approximately 6.0 metres by 3.0 metres by 2.4 metres high set 1 metre above finished ground level

15 OCT 2001  
 20.01.0936

Ash Leigh  
Brisco  
Carlisle  
CA4 0QZ  
1/12/01

PLANNING SERVICES	
REF: 01/0936	
- 4 DEC 2001 3	
PREPARED BY	CN
EXAMINED BY	
HANDLED BY	CSH
DATE	

Mr. A Taylor  
Chief Development Control Officer  
The Civic Centre  
Carlisle

Dear Sir,

Re: Proposal for change of use to provide a Sunday market at Lough Farm, Brisco, Carlisle. *ref 01/0936*

We write regarding concerns relating to the above planning proposal. The back of our property borders on one end of the area currently being used for the Sunday market. Our concerns centre on the following issues.

- ☆ The original planning application was for a horse riding ring which, given the setting and the location, could be considered appropriate activity for rural land use. Within a very short time Mr. Park is changing this application for use as a Sunday market. If this is granted our concern is that, in an equally short time, he may look to expanding to an even larger and more intrusive enterprise.
- ☆ The change of use to a riding ring may have limited the use of the land to Mr. Park's own family riding or riding events for the local community. The current Sunday market attracts large numbers of the general public. This has already resulted in loud music being played which could clearly be heard from our property. The rear of our property is now open to public view which only increases our security risks. We understand that there are some proposals for screening in the application. If permission is granted we would hope to be consulted on the type of screening proposed.

We understand that it is possible to hold 14 of this type of market in any one year without planning permission. This would seem to be a far more realistic approach. This number has already been far exceeded irrespective of the outcomes of the application.

We hope that you will give consideration to our concerns.

Yours sincerely



Mr. & Mrs. D MASSEY

## SCHEDULE B: Reports Requiring Further Information

ITEM NO. 53

Date of Committee: 14/12/2001

APPN REF NO:  
01/1002 /

APPLICANT:  
Johnstone

PARISH:  
Castle Carrock

DATE OF RECEIPT:  
05/11/2001

AGENT:  
Green Design Group

WARD:  
Great Corby & Gel

LOCATION:  
L/A Barn-Shepherds View, Castle Carrock, Cumbria

GRID REF:  
354390 555300

PROPOSAL: Conversion of redundant buildings into 2no. dwellings

---

### REPORT

PLANNING POLICIES:-

#### AREA OF OUTSTANDING NATURAL BEAUTY

##### CARLISLE DISTRICT PLAN HOUSING - POLICY H12

Proposals for the conversion of non residential property to provide residential accommodation in locations where planning permission for new build residential development would not be granted will not be approved unless:

1. the building is of permanent construction; and
2. the building can be converted without extensions or major alterations which would destroy its character; and
3. the details of the proposed conversion respect the building's character; and
4. adequate access and appropriate car parking can be achieved.

Where appropriate, in order to retain the character and fabric of historic farm buildings, development rights originally permitted by Class A of Part One of Schedule Two to the Town and Country Planning General Development Order (1988 as amended) may be withdrawn by a condition attached to a planning consent.

The conversion of recently constructed or very remote rural buildings will not be permitted.

##### CARLISLE DISTRICT PLAN ENVIRONMENTAL - POLICY E3

Within and adjacent to the North Pennines and Solway Coast Areas of Outstanding Natural Beauty, permission will not be given for development which would be unacceptably detrimental to the present character and quality of the landscape. Development proposals should seek to conserve or enhance the present character and quality of the landscape through appropriate siting, design, materials and landscaping. Large scale development will only be permitted where there is proven national need and lack of an alternative site.

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/1002 /

### SUMMARY OF CONSULTATION RESPONSES:-

HIGHWAYS AUTHORITY: No objection.

CASTLE CARROCK PARISH COUNCIL: No observations.

COUNTY ARCHAEOLOGY: Comments awaited.

### SUMMARY OF REPRESENTATIONS:-

This application has been advertised by means of a site notice and neighbour notification. One letter of objection has been received raising issues of overlooking and loss of privacy from windows in the boundary wall, an external staircase and rooflights and light intrusion from the rooflights.

### DETAILS OF PROPOSAL/OFFICER APPRAISAL:-

#### PLANNING HISTORY

There is no planning history.

#### DETAILS OF PROPOSAL

Permission is sought for the conversion of two vacant barns adjoining Shepherd's View, Castle Carrock. The buildings are located on the east side of the road leading to Geltsdale, and comprise two free standing double storey stone barns with slate roofs. One (barn A) is located at right angles to the road on the south (right hand) side of the site, and the other (barn B) faces the road towards the rear of the site. Part of the front part of barn A has partially collapsed. The site is adjoined by existing traditional cottages, while on the opposite side of the road is a field.

The proposal is to convert the buildings to form two dwellings (one in each). Barn A provides a 3/4 bedroom unit, with the existing front extension reconstructed and the roof extended over a covered entrance area. A new stone stairway is proposed at the rear of the building providing access to the rear garden. New openings are kept to a minimum, with the courtyard elevation retained almost unchanged.

Barn B is to be converted to a two bedroom unit, within the existing structure, with again a minimum of new openings. Each unit is provided with two car parking spaces, using the existing access, which also provides access to the rear of the adjacent property.

Although the site is within the settlement of Castle Carrock, the proposal should be considered on a similar basis to barn conversions elsewhere (i.e. Policy H12). In this particular case, the proposals are considered broadly acceptable, subject to clarification of a number of matters:

1. In accordance with normal practice, a structural engineers report has been requested. This will

## SCHEDULE B: Reports Requiring Further Information

Schedule continued for 01/1002 /

identify any structural weaknesses in the buildings and rebuilding works would be acceptable, but the extent of this needs to be established at the outset.

2. There are a number of trees on the site, including a Walnut tree, and these need to be specifically identified on the plans.
3. It will be noted that an objection has been received from an adjoining resident, relating to the overlooking and loss of privacy. These points have been discussed with the applicant's agent, and it is understood that an amended plan is to be submitted which will:
  - i. make it clear that there will be no openings along the boundary with the adjacent property.
  - ii. restrict overlooking from the external staircase to the rear of barn A by extending the boundary wall.

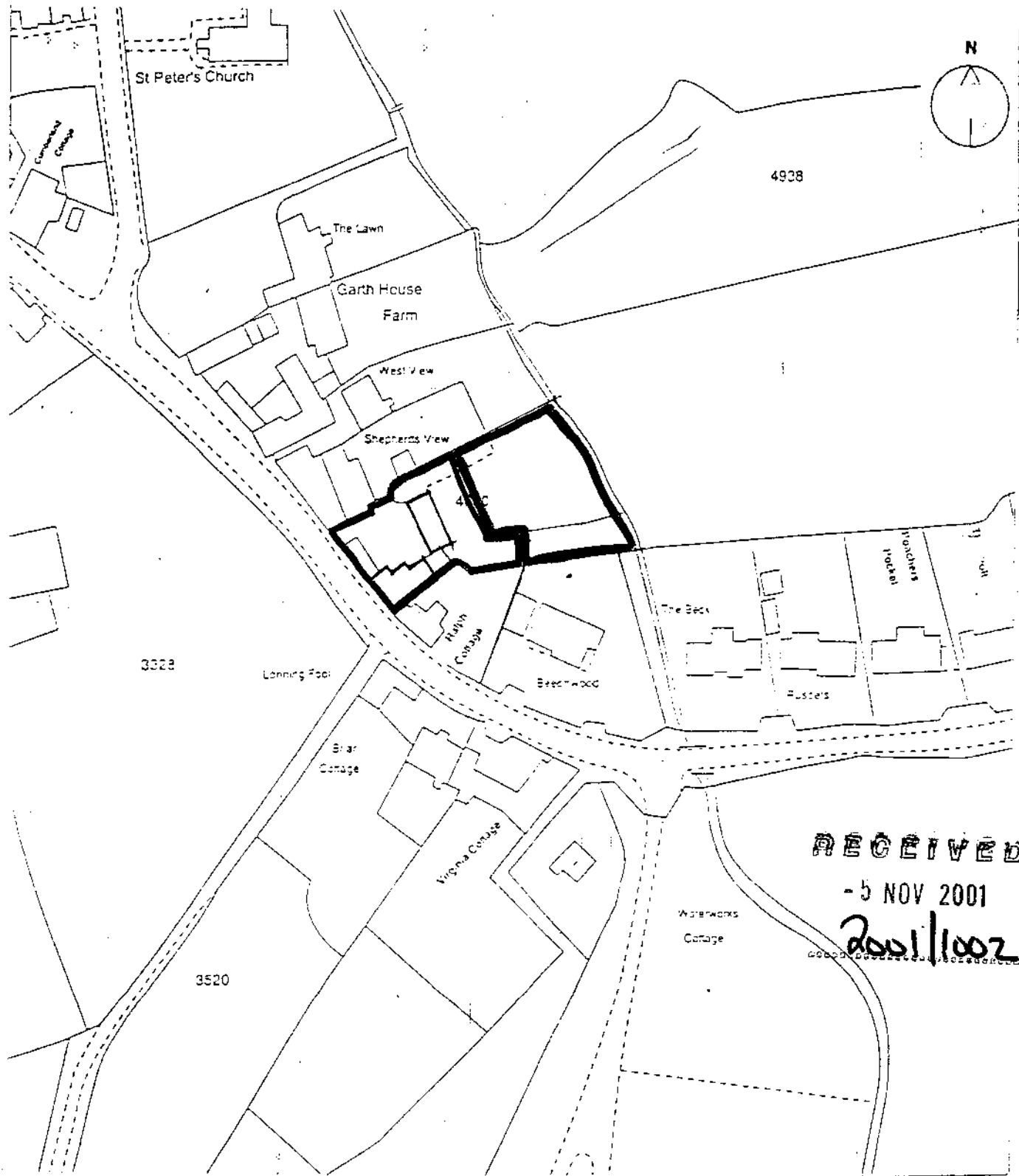
The scheme does not include rooflights on the roof facing forwards the neighbouring property, but these will not result in overlooking.

If these amendments are made, it is considered that the objections can be overcome.

### RECOMMENDATION: -

The Director will report on the latest position relating to the application, particularly with regard to the consideration of amended plans.

Supp 298 - 80 + 83 Approve ✓  
Subj to cond.  
- Renew PA rights  
- A. Eng. rpt.  
- B.C. conditions

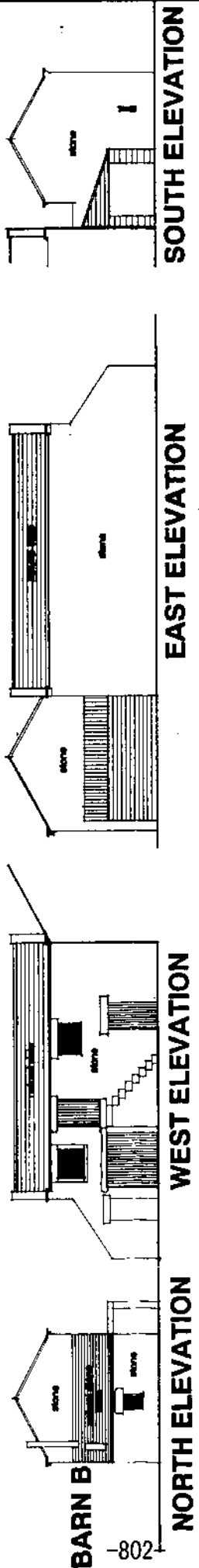
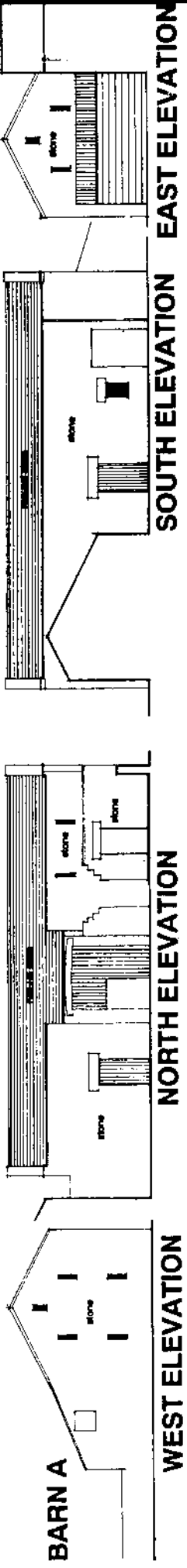


**SHEPHERDS VIEW CASTLE CARROCK  
FOR MR RICHARD JOHNSTONE**

**SITE LOCATION PLAN 1:1250**

**01.1149.00**





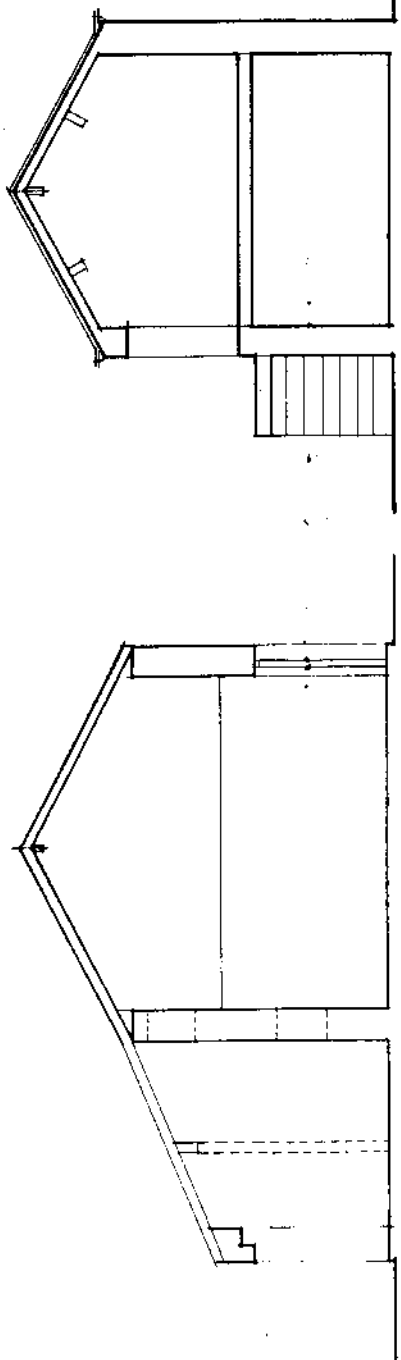
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RECEIVED  
- 5 NOV 2001  
Mollins

GREEN DESIGN GROUP  
ARCHITECTS

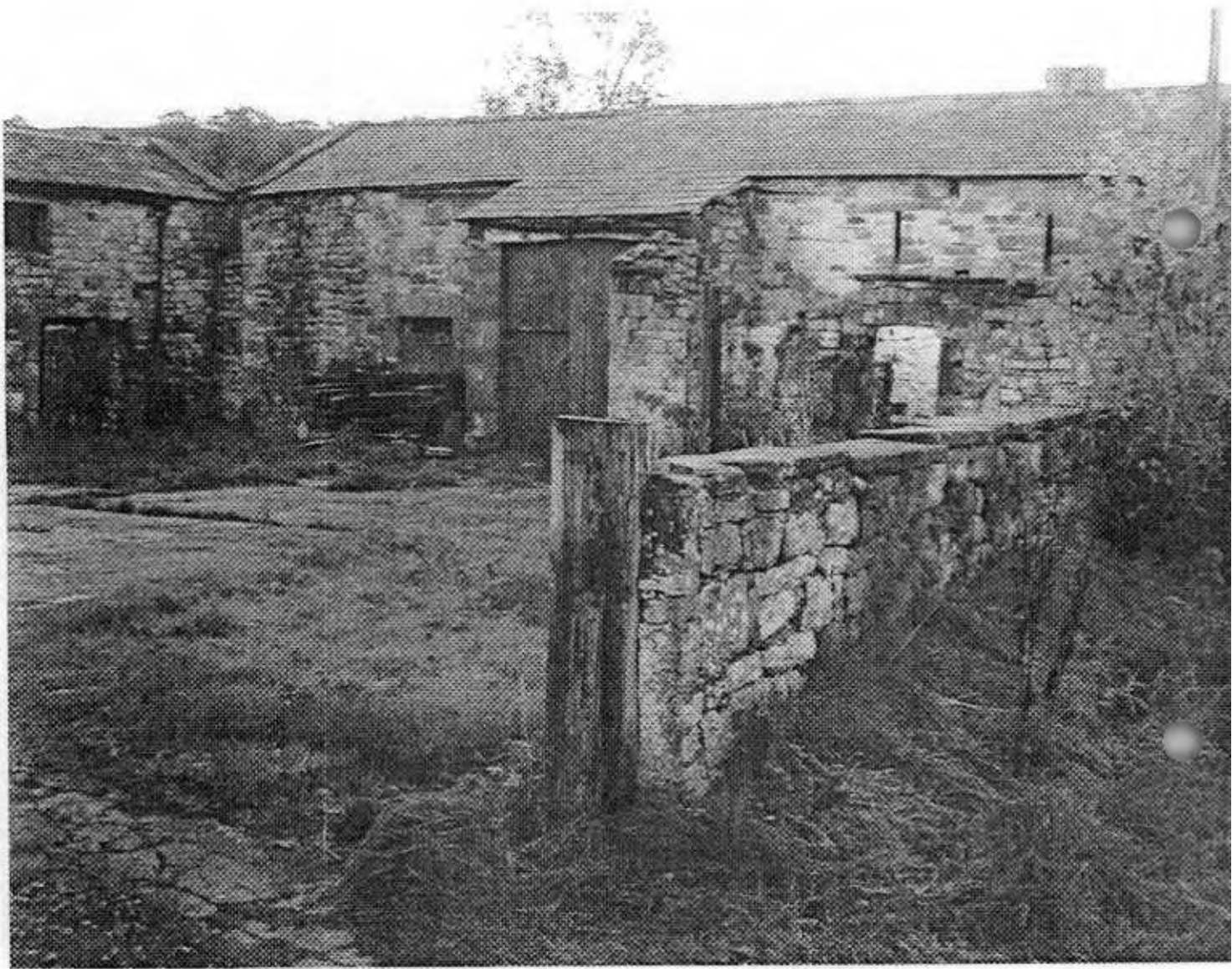


MARKET PLACE, BARNPTON - CUMBRIA, CA 187. TELEPHONE (01977) 3720











John Hamer Esq.  
Department of Environment & Development  
Planning Department  
Carlisle City Council  
Civic Centre  
Carlisle  
Cumbria  
CA3 8QG

01/1149/DJA/JKR

3 December 2001

Dear John

**SHEPHERDS VIEW, CASTLE CARROCK**

Further to our recent discussions, we enclose a copy of the site survey plan with existing trees indicated. As you can see, the sycamore sapling 115mm dia and a small evergreen shrub with shoots of 30mm dia would need to be taken out to accommodate the car parking arrangements as shown.

With respect to the comments from Helen Barnes, we understand that our clients have met to discuss the proposals and we can clarify some of the points raised.

A. The plans indicate that there are no new openings on the existing south wall. The openings on the south elevations are shown as they are at the moment and it was intended to block these up from the inside of the new dwelling, but to leave them expressed on the yard wall side. If it was considered preferable to block them up on the yard side, then this could be carried out.

**B. Balcony**

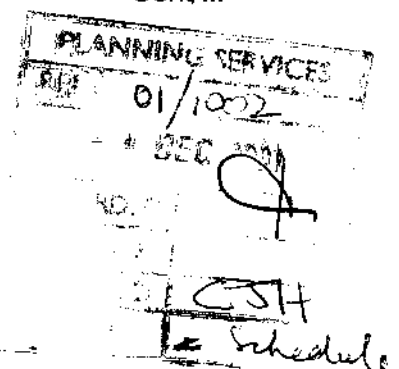
Helen has shown concerns of overlooking and again, we would not wish for this to be a problem. It was envisaged that there would be a privacy screen or wall to the side of the balcony to prevent overlooking.

**CHARTERED ARCHITECTS**

MARKET PLACE BRAMPTON  
CUMBRIA CA8 1RW  
TEL (016977) 3730 FAX (016977) 3832  
e.mail: brampton@greendesigngroup.co.uk  
web: www.greendesigngroup.co.uk  
ALSO AT COCKERMOUTH

ANTHONY M. GREEN R.I.B.A.  
DAVID J. ANDREW BSc (HONS) DIP ARCH R.I.B.A.  
ALAN L.C. MARSTON BA B ARCH (HONS) R.I.B.A.

Cont/...



**C. Rooflights**

The presence of the rooflights are necessary because of the avoidance of windows to the south wall. They give natural light to both upper and lower floors.

The amount of light from them is not considered as detrimental in any significant way to Ralph Cottage. They may have blinds fitted which will reduce the light spillage.

We hope that this is of assistance.

Should you have any further queries, please do not hesitate to contact us.

Yours sincerely

A handwritten signature in black ink that reads "D.J. Andrew". The signature is written in a cursive, slightly slanted style.

David J Andrew

Encl.

cc. Richard Johnstone

Ref CJH/DC/01/1002

Ralph Cottage,  
Castle Carrock  
Carlisle  
CA8 9NB

PLANNING SERVICES	
REF	01/1002
28 NOV 2001 2	
N	
COT	

Ref. Mr J. Hamer  
Planning Services Division  
Carlisle City Council

27th November 01

Dear Mr Hamer,

Application Ref: 01/1002 Conversion at Shepherds View

With regard to your notification letter of 7th November, I wish to express the following views about the above application, having seen the plans and having spoken to the applicant Mr Johnstone.

I do not have any concerns about the overall development, i.e. converting a redundant barn into a dwelling. However, there are aspects which worry me. I have made these known to the applicant, but am now putting these in writing to you. They are the following, and they all relate to Barn A.

1. I am unhappy about being overlooked from the 'balcony' proposed for the rear of the premises adjoining my land. The applicant and I have agreed that some changes could be made to the plans to rectify this.

2. I have concerns about light intrusion from the roof lights proposed on my side of the roof of the barn.

3. I am extremely concerned that according to the drawings of Barn A from the South aspect, a small window and a door have been retained. I have no objection to the door being there, as to remove it would detract from the stonework of the barn. But I would need assurances that it does not constitute an access into the dwelling from my side. I am most worried about being overlooked via the small window if it is retained. Whilst accepting that the window already exists, I would point out that retaining it would give my new neighbours an eye-level view directly into my garden.

I have lived at Ralph Cottage for 9 years, during which time Barns A and B have been empty and redundant. My property fronts the road, so the only privacy I have at the moment is to the rear. The woodland beyond the barns, whilst belonging to the applicant, has remained largely untouched and unpeopled for years. I trust you will understand therefore that the proposed development will have a significant impact on my life. And whilst I welcome the fact that converting Barn A will put a building to good use, I would ask that my concerns regarding being directly overlooked be given serious consideration.

Yours sincerely,

*H.M. Barnes*

H.M. Barnes  
Owner/Occupier, Ralph Cottage.

**SCHEDULE C**

**SCHEDULE C**

**SCHEDULE C**

**SCHEDULE C**

**SCHEDULE C**

**SCHEDULE C**



## SCHEDULE C: Applns Determined by Other Authorities

ITEM NO. 54

Between 02/10/2001 and 05/12/2001

APPN REF NO:  
00/0605 /

APPLICANT:  
Cumbria Constabulary

PARISH:  
Wetheral

DATE OF RECEIPT:  
18/07/2000

AGENT:  
Taylor & Hardy

WARD:  
Wetheral

LOCATION:  
L/A Scotby House, Park Road, Scotby Carlisle, Cumbria

GRID REF:  
343728 555634

PROPOSAL: Demolition of existing buildings and redevelopment of site  
for housing (outline)

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### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against refusal of planning permission

TYPE OF APPEAL: Public Inquiry

APPEAL DECISION: Appeal Dismissed

DATE: 26/10/2001

## SCHEDULE C: Appns Determined by Other Authorities

ITEM NO. 55

Between 02/10/2001 and 05/12/2001

APPN REF NO:  
00/0836 /

APPLICANT:  
Consolidated Property Northstar Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
11/10/2000

AGENT:  
Matthews & Goodman

WARD:  
Denton Holme

LOCATION:

L/A bounded by Rome St/Currock St & Railway Line, Carlisle, C 340140 555040

GRID REF:

PROPOSAL: Erection of non-food retail store (DIY/Bulky goods) and garage/workshop together with ancillary parking, landscaping and highway works (outline)

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### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against Non Determination

TYPE OF APPEAL: Public Inquiry

APPEAL DECISION: Appeal Withdrawn

DATE: 08/10/2001

## SCHEDULE C: Applns Determined by Other Authorities

ITEM NO. 56

Between 02/10/2001 and 05/12/2001

APPN REF NO:  
00/0876 /

APPLICANT:  
Cumbria Park Hotel

PARISH:  
Carlisle

DATE OF RECEIPT:  
26/10/2000

AGENT:  
Taylor & Hardy

WARD:  
Stanwix Urban

LOCATION:  
Cumbria Park Hotel, Scotland Road, Carlisle Cumbria

GRID REF:  
340019 557147

PROPOSAL: Formation of additional dormer window to Mulcaster Crescent

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### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against refusal of planning permission

TYPE OF APPEAL: Written Representations

REPORT: This appeal concerned a proposal for an extended dormer window at second floor level on the Muncaster Crescent frontage of the hotel. The application was refused because it was considered to have an adverse effect on the street scene.

The issue considered by the Inspector was whether the proposal would cause material harm to the appearance and character of the building and the street scene, bearing in mind the location of the site in the Stanwix Conservation Area. The Inspector considered that the proposal would appear as an incongruous and discordant feature within the street scene. He identified a clear conflict with Local Plan Policy E43 which requires development in Conservation areas to be sympathetic to the character of the area. The appeal was therefore dismissed.

The decision demonstrates the importance of conservation area designation in resisting unsympathetic proposals like this.

APPEAL DECISION: Appeal Dismissed

DATE: 02/10/2001

## SCHEDULE C: Applns Determined by Other Authorities

ITEM NO. 57

Between 02/10/2001 and 05/12/2001

APPN REF NO:                      APPLICANT:                                      PARISH:  
00/0913 /                              Mr & Mrs B G Lowe                                      Wetheral

DATE OF RECEIPT:                  AGENT:    WARD:  
08/11/2000                              Armstrong Payne Associates                                      Wetheral

LOCATION:    GRID REF:  
L/Adj The Elms, Plains Road, Wetheral Carlisle, Cumbria    346284 555159

PROPOSAL: Demolition of outbuilding and erection of single dwelling  
(revised siting)

---

### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against refusal of planning permission

TYPE OF APPEAL: Public Inquiry

REPORT:                  The appeal by Mr and Mrs Lowe against the refusal of planning permission into this application and the two enforcement notices regarding Breach of Condition and Operational Development have been withdrawn.

They have been withdrawn as a result of planning permission being granted for application 01/0512 approved at the meeting of the Development Control Committee on the 2nd November 2001.

APPEAL DECISION: Appeal Withdrawn

DATE: 05/11/2001



## SCHEDULE C: Applns Determined by Other Authorities

ITEM NO. 59

Between 02/10/2001 and 05/12/2001

APPN REF NO: 01/0140 /	APPLICANT: D & H E Packman	PARISH: Bewcastle
DATE OF RECEIPT: 26/02/2001	AGENT:	WARD: Lyne
LOCATION: L/A Fld 4070 Sleetbeck, Roadhead, Cumbria		GRID REF: 350348 576751

PROPOSAL: Continued siting of mobile home during construction of bungalow

---

### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against imposition of conditions

TYPE OF APPEAL: Written Representations

REPORT: This appeal was concerned with a static caravan sited on a plot of land at Sleetbeck, while a dwelling was under construction. The caravan was originally given permission in December 1997 for a period of two years, shortly after approval had been granted for the erection of a bungalow on the site. In 1999, when an application to renew the permission was made, a start had not been made on the bungalow, and furthermore, the applicants indicated that no start would be made for some time. In the light of this situation, that application was refused, but the applicants subsequently agreed to start work on the bungalow and approval to retain the caravan for a further year was then given.

On the expiry of that permission, application 01/0140 for a further renewal was received. This requested approval for a further two years, but progress on the bungalow was only up to damp proof course level, and it was considered more appropriate to give approval for one year only. The applicants appealed against this condition.

In considering the issue, the Inspector noted at his site visit that there had been, "a dramatic change in circumstances", in that there had been significant progress on the construction of the bungalow, with the walls and roof timbers largely completed. In the light of this, the Inspector considered that it would be reasonable to allow the caravan to remain on the site for an additional year, and allowed the appeal.

APPEAL DECISION: Appeal Allowed with Conditions

DATE: 16/11/2001

## SCHEDULE C: Appins Determined by Other Authorities

ITEM NO. 60

Between 02/10/2001 and 05/12/2001

APPN REF NO: 01/0262 /  
APPLICANT: Wm Coulthard Engineering Co Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 02/04/2001  
AGENT: Westmorland & Worcester Properties  
WARD: Harraby

LOCATION: Wm Coulthards, site 20 Stephenson Road, Durranshill Carlisle,  
GRID REF: 342048 554690

PROPOSAL: Application to re-open vehicle access to Eastern Way

---

### REPORT

#### DECISIONS ON APPEALS:

APPEAL AGAINST: Against refusal of planning permission

TYPE OF APPEAL: Written Representations

REPORT: This appeal was concerned with an application for a vehicular access onto Eastern Way. The applicants had argued that a precedent had been created by the approval of an access directly into the Hewden Plant Hire site. This argument was not accepted and the application was refused because the new access would create additional turning movements and would therefore be prejudicial to highway safety.

The Inspector agreed with the Council's arguments and dismissed the appeal. He did not consider that the recent reduction of the speed limit to 30mph or the approval of the Hewden access justified the proposal.

APPEAL DECISION: Appeal Dismissed

DATE: 21/11/2001

## SCHEDULE C: Appns Determined by Other Authorities

ITEM NO. 61

Between 02/10/2001 and 05/12/2001

APPN REF NO: 01/9002 /  
APPLICANT: Cumbria County Council  
PARISH: Carlisle

DATE OF RECEIPT: 04/06/2001  
AGENT: Cumbria County Council  
WARD: Castle

LOCATION: L/A to rear of 35 & 37 Lonsdale Street, Carlisle Cumbria  
GRID REF: 340390 555920

PROPOSAL: Demolition of wall (LBC)

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### REPORT

#### CITY COUNCIL OBSERVATIONS ON THE PROPOSAL:

DECISION: Raise Objections/Observations

#### OBSERVATIONS:

1. Concern is expressed about the extent of demolition of the entire section of wall. The demolition of the western section of boundary wall would not improve the visibility for car drivers when exiting the site. Both sections of wall incorporate features which this Council would want to see retained. The demolition of this wall would be detrimental to the character of the listed building, contrary to Policy E33 (Demolition of Listed Buildings) of the Carlisle District Local Plan.

The site is also located within the City Centre Conservation Area and the proposed demolition would result in the loss of a traditional wall which incorporates architectural features worthy of preservation, examples of which can be found elsewhere in Carlisle City Centre.

PPG15: Planning and the Historic Environment, urges local planning authorities to have special regard to the desirability of preserving a listed building or structure. The wall would appear to be in a good state of repair and structurally acceptable. No justification has been submitted to override any concerns about the demolition of the walled sections.

DECISION OF: Department of Environment

DECISION: Grant Permission

DATE: 02/11/2001

A COPY OF THE NOTICE OF THE DECISION OF THE DETERMINING AUTHORITY IS PRINTED FOLLOWING THIS REPORT.





GOVERNMENT OFFICE  
FOR THE NORTH WEST

Mr K H Brooke  
Senior Planning Officer  
Cumbria County Council  
County Offices  
Kendal  
Cumbria LA9 4RQ

Sunley Tower  
Piccadilly Plaza  
Manchester M1 4BE  
Direct Line: 0161 952 4  
Tel: 0161 952 4000  
Fax: 0161 952 4  
GTN: 4301  
Email:  
Internet Address:  
[www.go-nw.gov.uk](http://www.go-nw.gov.uk)

Your Ref: KHB/1/01/9002

Our Ref: PNW/5049/270/7

*Z. N. ...*  
~~31~~ October 2001

Dear Sir

**PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990  
APPLICATION FOR LISTED BUILDING CONSENT-  
35 & 37 LONSDALE STREET, CARLISLE**

1. I am directed by the Secretary of State for Transport, Local Government and the Regions to refer to your letter of 6 September 2001, received on 17 September 2001, enclosing an application for listed building consent in respect of the proposed demolition of wall to allow better manoeuvrability into/out of the car park, at the above-mentioned property.
2. The details supplied in support of the application have been considered. On the information before him, the Secretary of State sees no reason to refuse the application. Accordingly, he hereby grants listed building consent to carry out the above works in accordance with the application No.1/01/9002, dated 28 February 2001, and the photographs submitted therewith. The works to which this consent relates shall be begun no later than 5 years from the date of this letter.
3. This letter does not convey any consent or approval required under any enactment, byelaw, order or regulation other than Section 8, 16, 17 and 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.
4. A copy of this letter has been sent to Carlisle City Council for information.

Yours faithfully

M FARQUHAR



INVESTOR IN PEOPLE

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## SCHEDULE C: Applns Determined by Other Authorities

ITEM NO. 62

Between 28/09/2001 and 05/12/2001

APPN REF NO:  
01/9008 /

APPLICANT:  
Michael Thompson Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
14/08/2001

AGENT:  
Cumbria County Council

WARD:  
Upperby

LOCATION:

Michael Thompson Ltd, St Ninians Road, Upperby Carlisle, Cumb

GRID REF:  
341371 553564

PROPOSAL: Proposed vehicle maintenance workshop and offices

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### REPORT

CITY COUNCIL OBSERVATIONS ON THE PROPOSAL:

DECISION: Raise No Objection

DECISION OF: Cumbria County Council

DECISION: Grant Permission

DATE: 28/09/2001

A COPY OF THE NOTICE OF THE DECISION OF THE DETERMINING AUTHORITY IS PRINTED FOLLOWING THIS REPORT.

**CUMBRIA COUNTY COUNCIL**

**TOWN AND COUNTRY PLANNING ACT, 1990  
TOWN AND COUNTRY PLANNING (GENERAL DEVELOPMENT PROCEDURE) ORDER, 1995**

**NOTICE OF PLANNING CONSENT**

To: Michael Thompson Ltd  
St Ninians Road  
Upperby, Carlisle

In pursuance of the powers under the above Act and Order the Cumbria County Council as local planning authority hereby **permit** the development described in your application and on the plans and drawings attached thereto received on the 24<sup>th</sup> July, 2001;

**viz: PROPOSED VEHICLE MAINTENANCE WORKSHOP AND OFFICES;  
CONTRACTORS YARD, ST NINIANS ROAD, UPPERBY, CARLISLE.**

subject to due compliance with the following conditions:

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.

*Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990.*

2. Prior to the commencement of developments details of facing brickwork, and the colours of the exterior of the walls, roof, shutter doors and rainwater pipes and guttering shall be submitted to the Waste Planning Authority for approval. The building shall be finished with the approved materials.

*Reason: To approve details not submitted with the planning application and in the interests of visual amenity.*

3. The development shall be carried out strictly in accordance with the approved scheme. Any variations to the approved scheme shall be submitted to and approved by the Local Planning Authority prior to being carried out.

*Reason: To ensure the development is carried out in accordance with the submitted scheme*

Dated the 28<sup>th</sup> day of September, 2001



.....  
**Signed: Shaun Gorman,  
Assistant Director (Development Control),  
Community, Economy and Environment,  
on behalf of the Council.**

**NOTE**

- Where the permission is granted subject to conditions, attention is directed to the attached Notification to Appellants.
- The conditions attached to this permission may override details shown on the application form, accompanying statements and plans.
- Any approval to be given by the Director of Community, Economy and Environment or any other officer of Cumbria County Council, shall be in writing.

**SCHEDULE D**

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**SCHEDULE D**

## SCHEDULE D: Reports on Previously Deferred Decisions

ITEM NO. 63

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0117 /  
APPLICANT: Leader Construction Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 26/02/2001  
AGENT: D J Curtis & Associates Limited  
WARD: Castle

LOCATION: 42-48 Scotch Street, Carlisle Cumbria  
GRID REF: 340087 556065

PROPOSAL: Retention of frontage buildings, erection of two/three storey buildings to form retail and ancillary accommodation and alterations to retained shop fronts

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 3 August 2001 that authority was given to the Director of Environment and Development to issue approval subject to the satisfactory completion of an archaeological evaluation and agreement from The Government Office for the North West to allow the local authority to determine the matter. Agreement has now been reached and approval was issued on 30 October 2001.

DECISION: Grant Permission

DATE: 30/10/2001

1. Standard time limit
2. Samples required notwithstanding
3. Details of all new windows and doors, in the form, of quarter or full-size drawings including sections, shall be submitted to and be approved in writing by the local planning authority before any development takes place. Such details shall include the frames, m of affixing to the wall and the size and opening arrangements of the window.
4. Detailed plans and particulars of the proposed shopfronts to be installed shall be submitted to and be approved in writing by the local planning authority prior to the commencement of the refurbishment of the shopfronts hereby approved and these shall include detailed specifications of the repairs to the existing detailing and finishes together with vertical and horizontal sections indicating the profile of all mouldings, transoms, mullions, pilasters, cills, fascias, cornices, and any other details proposed for the new work.
5. Extractor flue to be approved
6. A window display in each of the shopfronts shall be maintained at all times to the satisfaction of the local planning authority.
7. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and been approved in writing by the Local Planning

## SCHEDULE D: Reports on Previously Deferred Decisions

Schedule continued for 01/0117 /

Authority.

8. Details of the proposed timetable for the implementation of the approved scheme of investigation together with the details of the foundations to be used shall be submitted to and be approved in writing by the Local Planning Authority prior to the commencement of any work associated with the development hereby granted planning permission.
9. This permission relates to the use of the premises for purposes falling within Class A1 of the Schedule of the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to the Class(es) in any Statutory Instrument revoking and re-enacting that Order.

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ITEM NO. 64

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0118 /

APPLICANT:  
Leader Construction Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
26/02/2001

AGENT:  
D J Curtis & Associates Limited

WARD:  
Castle

LOCATION:  
42-48 Scotch Street, Carlisle Cumbria

GRID REF:  
340087 556065

PROPOSAL: Retention of frontage buildings, erection of two/three storey buildings to form retail and ancillary accommodation and alterations to retained shop fronts (LBC)

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 3 August 2001 that authority was given to the Director of Environment and Development to issue approval subject to the satisfactory completion of an archaeological evaluation and agreement from The Government Office for The North West to allow the local authority to determine the matter. Agreement has now been reached and approval was issued on 30 October 2001.

DECISION: Grant Permission

DATE: 30/10/2001

1. Listed Building Consent - 5 years
2. Samples required notwithstanding
3. Details of joinery
4. Detailed plans and particulars of the proposed shopfronts to be installed shall be submitted to and be approved in writing by the local planning authority prior to the commencement of the refurbishment of the shopfronts hereby approved and these shall include detailed specification the repairs to the existing detailing and finishes together with vertical

## SCHEDULE D: Reports on Previously Deferred Decisions

Schedule continued for 01/0118 /

- and horizontal sections indicating the profile of all mouldings, transoms, mullions, pilasters, cills, fascias, cornices and any other relevant details.
5. Prior to the commencement of any of the works hereby granted consent full details and specifications of the internal and external treatment of the repair and reinstatement of architectural features and detailing shall be submitted by the applicant and be approved in writing by the Local Planning Authority.
  6. All alterations to existing stone and brickwork as well as all new external stonework or brickwork shall be carried out in stone or brick which matches the original masonry. This work shall match the coursing, jointing detail, mortar composition and method of pointing of the existing building. A half metre square sample shall be constructed for inspection and must be approved in writing before the masonry work hereby approved is begun.
  7. No development shall commence within the site until the developer has secured the implementation of a programme of building recording in accordance with a written scheme which has been submitted to and approved in writing by the Local Planning Authority. Details of the proposed timetable for the implementation of the approved scheme of recording shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any work associated with the development hereby granted consent.
  8. Details of the proposed methods for carrying out the approved demolition works together with details of any proposed structural support which may be required to maintain the stability of the listed buildings shall be submitted by the applicant and be approved in writing by the Local Planning Authority before the commencement of any work associated with the development hereby granted consent.

---

ITEM NO. 65

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0512 /

APPLICANT:  
Mr & Mrs B G Lowe

PARISH:  
Wetheral

DATE OF RECEIPT:  
22/06/2001

AGENT:  
Armstrong Payne Associates

WARD:  
Wetheral

LOCATION:

L/Adj The Elms, Plains Road, Wetheral Carlisle, Cumbria

GRID REF:  
346284 555159

PROPOSAL: Variation of condition 2 attached to consent ref.no: 99/0379 to allow resiting of house by 80cm and alteration to house design

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November 2001



## SCHEDULE D: Reports on Previously Deferred Decisions

Schedule continued for 01/0512 /

that authority was given to the Director of Environment and Development to issue approval subject to confirmation from The Planning Inspectorate that the two Section 78 and two Enforcement Appeals are withdrawn. Confirmation that the Appeals have been withdrawn has been received and approval was issued on 6 November 2001.

DECISION: Grant Permission

DATE: 06/11/2001

1. The development shall be landscaped in accordance with details to be submitted to and approved by the local planning authority and shall include details of the proposed type and species of all planted material including particulars of the proposed planting heights and planting densities to be submitted within 2 months of the date of this approval.
2. Materials to match existing
3. The work hereby approved shall be carried out strictly in accordance with drawing number 4761/8E received on the 2nd November 2001.
4. The work hereby permitted shall be commenced by 18th February 2002 and completed by 15th April 2002.

---

ITEM NO. 66

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0518 /

APPLICANT:  
Mr & Mrs Black

PARISH:  
Dalston

DATE OF RECEIPT:  
19/06/2001

AGENT:  
Alan Fox

WARD:  
Dalston

LOCATION:  
Hempsgillhow, Stockdalewath, Carlisle Cumbria

GRID REF:  
339122 544282

PROPOSAL: Demolition of existing extension and erection of replacement two storey extension to provide lounge, dining room, bedrooms and family room

---

## REPORT

### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November 2001 that authority was given to the Director of Environment and Development to issue approval subject to receipt of acceptable amended plans. These have now been received and approval was issued on 19 November 2001.

DECISION: Grant Permission

DATE: 19/11/2001

1. Standard time limit
2. Materials - submission of samples
3. Preventing sub-division

## SCHEDULE D: Reports on Previously Deferred Decisions

ITEM NO. 67

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0676 /  
APPLICANT: Peregrine Properties (Northern) Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 30/07/2001  
AGENT: Hills Erwin Ltd  
WARD: Castle

LOCATION: 07-09 Fisher Street, Carlisle Cumbria  
GRID REF: 339937 556122

PROPOSAL: Renovation and refurbishment of No. 9 Fisher Street, to provide 19no. residential units and 4no. work units, involving redevelopment of the site of No. 7 Fisher Street, the mill building to the rear of No. 9 and annexe to No. 9

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November 2001 that authority was given to the Director of Environment and Development to issue approval subject to expiry of the consultation period. Approval was issued on 13 November 2001.

DECISION: Grant Permission

DATE: 13/11/2001

1. Standard time limit
2. Materials - submission of samples
3. Hard surface details
4. Painting scheme
5. This permission shall be in respect of the repair and refurbishment of No. 9 Fisher Street and the erection of new buildings to the rear and on the adjacent street frontages, to provide a total of 19 no. residential units and 4 no. residential/B1 use units.
6. The parking area shall be constructed in accordance with the approved plans before the buildings are occupied and shall not be used except for the parking of vehicles in connection with the development hereby approved.
7. Detailed drawings of all windows and doors within the new buildings shall be submitted to and approved by the local planning authority.
8. Windows abutting the Highway
9. Access Gates
10. Construction of Access
11. Construction Material
12. No development shall commence within the site until the applicant has

## SCHEDULE D: Reports on Previously Deferred Decisions

Schedule continued for 01/0676 /

secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the local planning authority

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ITEM NO. 68

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0677 /                      APPLICANT: Peregrine Properties (Northern) Ltd                      PARISH: Carlisle

DATE OF RECEIPT: 30/07/2001                      AGENT: Hills Erwin Ltd                      WARD: Castle

LOCATION: 07-09 Fisher Street, Carlisle Cumbria                      GRID REF: 339937 556122

PROPOSAL: Demolition of former mill building to rear of 9 Fisher Street, No.7 Fisher Street and No. 9a Fisher Street

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November that authority was given to the Director of Environment and Development to issue approval subject to expiry of the consultation period. Approval was issued on 13 November 2001.

DECISION: Grant Permission

DATE: 13/11/2001

1. Listed Building Consent - 5 years
  2. The buildings shall not be demolished before a contract for the carrying out of works of redevelopment of the site has been made and planning permission has been granted for the redevelopment for which the contract provides.
  3. Details of the proposed methods for carrying out the approved demolition works together with any structural support which may be required to maintain the stability of the listed building shall be submitted to and approved in writing before the approved works of demolition commence.
  4. No works of demolition shall take place until a programme for the recording of the buildings has been submitted to and approved by the local planning authority and subsequently implemented. Such a programme shall include the preparation of floor plans, elevations and sections at an appropriate scale.
-

## SCHEDULE D: Reports on Previously Deferred Decisions

ITEM NO. 69

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0678 /  
APPLICANT: Peregrine Properties (Northern) Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 30/07/2001  
AGENT: Hills Erwin Ltd  
WARD: Castle

LOCATION: 07-09 Fisher Street, Carlisle Cumbria  
GRID REF: 339937 556122

PROPOSAL: Renovation and refurbishment of 9 Fisher Street to provide 19no. residential units and 4no. work units involving the demolition and redevelopment of the annexe to number 9 (LBC)

---

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November 2001 that authority was given to the Director of Environment and Development to issue approval subject to expiry of the consultation period. Approval was issued on 13 November 2001.

DECISION: Grant Permission

DATE: 13/11/2001

1. Listed Building Consent - 5 years
2. Full details of the proposed repair and refurbishment of No. 9 Fisher Street shall be submitted to the local planning for approval within 6 months of the date of this approval. The submitted scheme shall include :-
  - i a method statement which shall detail the measures to be taken to stabilise the structure of the building
  - ii details of the phasing of the proposed repair/refurbishment works
  - iiia detailed specification of the works proposed within each phase
3. Materials - submission of samples
4. Hard surface details

---

ITEM NO. 70

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0728 /  
APPLICANT: Fitness First PLC  
PARISH: Carlisle

DATE OF RECEIPT: 14/08/2001  
AGENT: Colliers CRE - Jonathan Best  
WARD: Castle

LOCATION: L/A site 1A Cumberland Infirmary, Newtown Road, Carlisle, Cum  
GRID REF: 338752 556100

PROPOSAL: Erection of two storey health and fitness centre with access and car parking

## SCHEDULE D: Reports on Previously Deferred Decisions

Schedule continued for 01/0728 /

### REPORT

#### DETAILS OF DEFERRAL:

Members will recall at Committee meeting held on 2 November 2001 that authority was given to the Director of Environment and Development to issue approval subject to receipt of revised site layout plans showing improved landscaping provision adjacent to the boundary with the approach road to the Cumberland Infirmary. The revised show layout plan was received on 7 November 2001 and the approval duly issued.

DECISION: Grant Permission

DATE: 07/11/2001

1. Standard time limit
  2. Scheme to include species
  3. Scheme to be implemented and maintained
  4. Tree protection - barriers etc
  5. Details, including particulars of column heights and lantern types, of the proposed system of lighting to the car parking areas and threshold of the building shall be submitted to and approved in writing by the Local Planning Authority and that scheme of lighting shall be completed and in operational use prior to the proposed health and fitness centre being opened to the public.
-

**SCHEDULE E**

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**SCHEDULE E**

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 00/0334 /  
APPLICANT: Alfred McAlpine Homes Cumbria Ltd  
PARISH: Stanwix Rural

DATE OF RECEIPT: 25/04/2000  
AGENT:  
WARD: Stanwix Rural

LOCATION: L/A field 4743 (adj Beck Farm) Crosby-on-Eden, Carlisle Cumbria  
GRID REF: 344460 559460

PROPOSAL: Erection of 6no. detached dwellings, to incorporate conservatories (revised proposals)

---

DECISION: Granted subject to legal agreement DATE: 30/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 00/0398 /  
APPLICANT: Mr & Mrs A L Butler  
PARISH: Westlinton

DATE OF RECEIPT: 15/05/2000  
AGENT: Geoffrey Wallace  
WARD: Longtown & Rockcl

LOCATION: L/A Barns adj to Lyne Bank, Westlinton, Cumbria  
GRID REF: 339244 564582

PROPOSAL: Conversion of barns/outbuildings to 4no. residential units for holiday letting (revised proposal)

---

DECISION: Granted subject to legal agreement DATE: 20/11/2001

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ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 00/0399 /  
APPLICANT: Mr & Mrs A L Butler  
PARISH: Westlinton

DATE OF RECEIPT: 15/05/2000  
AGENT: Geoffrey Wallace  
WARD: Longtown & Rockcl

LOCATION: L/A Barns adj to Lyne Bank, Westlinton, Cumbria  
GRID REF: 339244 564582

PROPOSAL: Alterations and extensions to convert barns/outbuildings to 4no. residential units for holiday letting (LBC)

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DECISION: Grant Permission DATE: 20/11/2001

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## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0200 /      APPLICANT: Story Construction Ltd      PARISH: St Cuthberts Wit

DATE OF RECEIPT: 16/03/2001      AGENT: Architects Plus      WARD: Dalston

LOCATION: Phase III Former Garlands Hospital, Carlisle Cumbria      GRID REF: 343249 553870

PROPOSAL: Partial retention and conversion of existing buildings and construction of new buildings to provide 11 houses, 4 flats and 5 bungalows (RM)

---

DECISION: Grant Permission DATE: 30/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0252 /      APPLICANT: Crescent Confectionery Ltd      PARISH: Carlisle

DATE OF RECEIPT: 19/04/2001      AGENT:      WARD: Belah

LOCATION: Site 96 Brunthill Road, Kingstown Industrial Estate Carlisle,      GRID REF: 338830 559346

PROPOSAL: Installation of steam generating plant housed in secure container and associated oil fuel tank.

---

DECISION: Grant Permission DATE: 25/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0346 /      APPLICANT: Mr Andrew Little      PARISH: Wetheral

DATE OF RECEIPT: 20/07/2001      AGENT:      WARD: Great Corby & Gel

LOCATION: 30 Woodlands, Great Corby Carlisle, Cumbria      GRID REF: 347070 554560



## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0346 /

PROPOSAL: Erection of two storey extension to provide sitting room,  
utility room and 2no. bedrooms

---

DECISION: Grant Permission

DATE: 25/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0489 /

APPLICANT:  
Mr Michael Dickinson

PARISH:  
Dalston

DATE OF RECEIPT:  
11/06/2001

AGENT:

WARD:  
Dalston

LOCATION:

Moss End Bungalow, Welton Road, Dalston Carlisle, Cumbria

GRID REF:  
336020 546020

PROPOSAL: Creation of new vehicular access and erection of garage with  
workshop to rear

---

DECISION: Grant Permission

DATE: 15/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0567 /

APPLICANT:  
Carlisle City Council

PARISH:  
Carlisle

DATE OF RECEIPT:  
21/09/2001

AGENT:  
Carlisle Design-Helen Winfield

WARD:  
Currock

LOCATION:

Currock Community Centre, Lediard Avenue, Currock Carlisle, C 340001 554205

GRID REF:

PROPOSAL: Erection of security fencing and gates (LBC)

---

DECISION: Grant Permission

DATE: 05/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0622 /

APPLICANT:  
Mr & Mrs C Irving

PARISH:  
Hayton

DATE OF RECEIPT:  
16/07/2001

AGENT:  
Unwin Jones Partnership

WARD:  
Hayton

LOCATION:

Hemp Garth, Hayton, Carlisle Cumbria

GRID REF:  
350690 557760

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0622 /

PROPOSAL: Erection of first floor extension

---

DECISION: Grant Permission

DATE: 26/10/2001

---

ITEM NO. 19

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0629 /

APPLICANT:  
Mr R Jamieson

PARISH:  
St Cuthberts Wit

DATE OF RECEIPT:  
27/07/2001

AGENT:

WARD:  
Dalston

LOCATION:  
Croft House, Carleton, Carlisle Cumbria

GRID REF:  
342892 552783

PROPOSAL: Erection of timber doors to existing archway (LBC)

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0628 /

APPLICANT:  
J Mulholland

PARISH:  
Orton

DATE OF RECEIPT:  
27/07/2001

AGENT:  
A L Daines

WARD:  
Burgh

LOCATION:  
L/A field 6313, Midtown Farm, Great Orton, Carlisle Cumbria

GRID REF:  
332750 554131

PROPOSAL: Extension to existing cattle shed

---

DECISION: Grant Permission

DATE: 01/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0672 /

APPLICANT:  
Trustees of A T Hoyland

PARISH:  
Hayton

DATE OF RECEIPT:  
06/08/2001

AGENT:  
Smiths Gore

WARD:  
Hayton

LOCATION:  
L/A Netherton Farm, Castle Carrock, Carlisle Cumbria

GRID REF:  
353828 557470

# SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0672 /

PROPOSAL: Conversion of existing farm steading to 6no. residential units plus farmhouse

---

DECISION: Grant Permission

DATE: 15/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0674 /      APPLICANT: Dixons Civil Engineering Contractors      PARISH: Carlisle

DATE OF RECEIPT: 27/07/2001      AGENT:      WARD: Morton

LOCATION: L/A between 36 & 38 Westrigg Road, Morton Park Carlisle, Cumb      GRID REF: 338040 554280

PROPOSAL: Erection of detached dwelling

---

DECISION: Grant Permission

DATE: 25/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0707 /      APPLICANT: Countrywide Tiles Ltd      PARISH: Carlisle

DATE OF RECEIPT: 07/08/2001      AGENT:      WARD: Currock

LOCATION: Former Motorway Tyre Depot, Lancaster Street, Carlisle Cumbri      GRID REF: 340467 555391

PROPOSAL: Change of use from tyre depot to warehouse/distribution and sales centre for ceramic tiles

---

DECISION: Grant Permission

DATE: 25/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0730 /      APPLICANT: Thomas Fisher      PARISH: Irthington

DATE OF RECEIPT: 23/08/2001      AGENT:      WARD: Stanwix Rural

LOCATION: L/A The Glebe, Hethersgill, Carlisle Cumbria      GRID REF: 349030 565030

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0730 /

PROPOSAL: Erection of agricultural workers dwelling (outline)

---

DECISION: Grant Permission

DATE: 15/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0738 /                      APPLICANT: Mr G Bowman                      PARISH: Wetheral

DATE OF RECEIPT: 17/08/2001                      AGENT: Mr Brian Halliburton                      WARD: Wetheral

LOCATION: L/A Eden Brows, Armathwaite Carlisle, Cumbria                      GRID REF: 349700 549531

PROPOSAL: Conversion of redundant sandstone barns to form 6no. residential units and extension to existing bothy to provide bedroom and bathroom

---

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0775 /                      APPLICANT: M Watson                      PARISH: Wetheral

DATE OF RECEIPT: 28/08/2001                      AGENT: Mr Brian Halliburton                      WARD: Great Corby & Gel

LOCATION: L/A Barn adj Birkhill, Great Corby, Carlisle Cumbria                      GRID REF: 347780 553983

PROPOSAL: Alterations and conversion of redundant barn to form domestic workshop

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0776 /                      APPLICANT: M Watson                      PARISH: Wetheral

DATE OF RECEIPT: 28/08/2001                      AGENT: Mr Brian Halliburton                      WARD: Great Corby & Gel

LOCATION: L/A Barn adj Birkhill, Great Corby, Carlisle Cumbria                      GRID REF: 347780 553983

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0776 /

PROPOSAL: Internal and external alterations to enable adaptation of  
barn to domestic workshop (LBC)

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0779 /

APPLICANT:  
Hutchison 3G UK Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
29/08/2001

AGENT:  
Nathaniel Lichfield & Partners Ltd

WARD:  
Belah

LOCATION:

L/A to rear of Kingmoor Yard, Kingmoor Road, Belah Carlisle,

GRID REF:  
338635 557845

PROPOSAL: Development of telecommunications base station comprising  
22.5metre lattice mast, equipment cabinet and electrical meter  
cabinet within 60sq.m compound surrounded by 2.4m high  
palisade fence

---

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0786 /

APPLICANT:  
Mr & Mrs Barnes

PARISH:  
Kirklington Midd

DATE OF RECEIPT:  
10/09/2001

AGENT:  
Tsada Building Design Services

WARD:  
Lyne

LOCATION:

6 Beech Tree Court, Smithfield Cumbria

GRID REF:  
344100 565300

PROPOSAL: Extension to form study and attic bedroom

---

DECISION: Grant Permission

DATE: 02/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0795 /

APPLICANT:  
Mr T Halliday

PARISH:  
Farlam

DATE OF RECEIPT:  
10/09/2001

AGENT:

WARD:  
Irthing

LOCATION:  
Galdana, Hallbankgate, Cumbria

GRID REF:  
358087 559482

PROPOSAL: Erection of garage

---

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0796 /

APPLICANT:  
Mr D W Bowe

PARISH:  
Dalston

DATE OF RECEIPT:  
04/09/2001

AGENT:  
B F Child

WARD:  
Dalston

LOCATION:  
Nos. 7 & 8 Rose Bank Cottages, Dalston, Carlisle Cumbria

GRID REF:  
336771 546360

PROPOSAL: Alterations and extension to 7 & 8 Rose Bank Cottages to provide single unit

---

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0797 /

APPLICANT:  
Carlisle City Council

PARISH:  
Carlisle

DATE OF RECEIPT:  
04/09/2001

AGENT:

WARD:  
Castle

LOCATION:  
Tullie House, Annetwell Street, Carlisle Cumbria

GRID REF:  
339780 556044

PROPOSAL: Erection of signage

---

DECISION: Grant Permission

DATE: 21/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0808 /  
APPLICANT: The Governors Pennine Way Primary School  
PARISH: Carlisle

DATE OF RECEIPT: 10/09/2001  
AGENT: Swarbrick Associates  
WARD: Harraby

LOCATION: Pennine Way Primary School, Pennine Way, Harraby Carlisle, Cu 342685 554573  
GRID REF:

PROPOSAL: Extension to form new reception/office block

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0811 /  
APPLICANT: Royal Mail-Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 11/09/2001  
AGENT:  
WARD: Stanwix Urban

LOCATION: L/A junction Eden Street/Strawberry Terrace, Stanwix Carlisle 339511 557337  
GRID REF:

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 25/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0812 /  
APPLICANT: Royal Mail-Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 11/09/2001  
AGENT:  
WARD: Belle Vue

LOCATION: L/A 43-45 Heysham Park Avenue, Carlisle, Cumbria  
GRID REF: 337422 555576

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 05/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0813 /                      APPLICANT: Royal Mail-Dave Graham                      PARISH: Carlisle

DATE OF RECEIPT: 11/09/2001                      AGENT:                      WARD: Denton Holme

LOCATION: L/A Dalston Road opp. Dunmail Drive, Carlisle Cumbria                      GRID REF: 339017 554832

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission                      DATE: 25/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0821 /                      APPLICANT: Mr & Mrs I Atkinson                      PARISH: Carlisle

DATE OF RECEIPT: 11/09/2001                      AGENT:                      WARD: Belah

LOCATION: 6 Bailey Road, Lowry Hill Carlisle, Cumbria                      GRID REF: 339035 558276

PROPOSAL: First floor extension over existing flat roof to provide 3no. bedrooms and store room

---

DECISION: Grant Permission                      DATE: 02/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0823 /                      APPLICANT: Mr & Mrs P Strong                      PARISH: Carlisle

DATE OF RECEIPT: 12/09/2001                      AGENT: John Lyon Associates                      WARD: Stanwix Urban

LOCATION: 7-9 Bank Street, Carlisle Cumbria                      GRID REF: 340146 555858

PROPOSAL: Change of use from offices to retail with student accommodation above

---

DECISION: Grant Permission                      DATE: 22/11/2001

---



## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0824 /                      APPLICANT: Mr & Mrs P Strong                      PARISH: Carlisle

DATE OF RECEIPT: 12/09/2001                      AGENT: John Lyon Associates                      WARD: Stanwix Urban

LOCATION: 7-9 Bank Street, Carlisle Cumbria                      GRID REF: 340146 555858

PROPOSAL: Internal alterations to form ground floor shop units with student accommodation above (LBC)

---

DECISION: Grant Permission                      DATE: 22/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0828 /                      APPLICANT: Mr J Sisson                      PARISH: Nicholforest

DATE OF RECEIPT: 14/09/2001                      AGENT: Countryside Consultants                      WARD: Lyne

LOCATION: Bessietown Farm, Catlowdy, Cumbria                      GRID REF: 345844 576950

PROPOSAL: Extension to provide tea room and dining facilities

---

DECISION: Grant Permission                      DATE: 01/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0830 /                      APPLICANT: Mr & Mrs P Brownlow                      PARISH: Brampton

DATE OF RECEIPT: 17/09/2001                      AGENT: Tsada Building Design Services                      WARD: Brampton

LOCATION: Quarry Bank, Capon Hill, Brampton Cumbria                      GRID REF: 353070 560010

PROPOSAL: Single storey bedroom and bathroom extension

---

DECISION: Grant Permission                      DATE: 12/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0831 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Botcherby

LOCATION: L/A junction Holywell Crescent & Durranshill Road, Botcherby,  
GRID REF: 342330 555119

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 30/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0832 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Upperby

LOCATION: L/A Brisco Road & Woodside North, Carlisle Cumbria  
GRID REF: 341208 553286

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 26/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0833 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Currock

LOCATION: L/A opposite 9 Arthur Street, Currock Carlisle, Cumbria  
GRID REF: 340496 554602

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 15/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0834 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Upperby

LOCATION: L/A junction Welsh Road & Hayton Road, Old Harraby Carlisle,  
GRID REF: 354047 553705

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission DATE: 29/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0835 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Harraby

LOCATION: L/A opposite 19 Mayfield Avenue, Harraby Carlisle, Cumbria  
GRID REF: 341894 554221

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission DATE: 29/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0836 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: Carlisle

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Harraby

LOCATION: L/Adj 5 Malyclose Drive, Carlisle Cumbria  
GRID REF: 342408 553578

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission DATE: 29/10/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0837 /  
APPLICANT: Royal Mail - Dave Graham  
PARISH: St Cuthberts Wit

DATE OF RECEIPT: 17/09/2001  
AGENT:  
WARD: Dalston

LOCATION: L/A junction Carleton Grange, Carlisle Cumbria  
GRID REF: 343031 553918

PROPOSAL: Installation of postal pouch box

---

DECISION: Grant Permission

DATE: 30/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0844 /  
APPLICANT: Mr B Edmundson  
PARISH: Castle Carrock

DATE OF RECEIPT: 21/09/2001  
AGENT: Design Division  
WARD: Great Corby & Gel

LOCATION: The Watson Hall, Castle Carrock, Cumbria  
GRID REF: 354308 555424

PROPOSAL: Removal of damaged internal paintwork to expose sandstone

---

DECISION: Grant Permission

DATE: 22/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0845 /  
APPLICANT: Mr B Edmundson  
PARISH: Castle Carrock

DATE OF RECEIPT: 21/09/2001  
AGENT: Design Division  
WARD: Great Corby & Gel

LOCATION: The Watson Hall, Castle Carrock, Cumbria  
GRID REF: 354308 555424

PROPOSAL: Removal of suspended ceiling and softwood support system

---

DECISION: Grant Permission

DATE: 22/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0847 / APPLICANT: Mr C Bell PARISH: Carlisle

DATE OF RECEIPT: 18/09/2001 AGENT: Mr B F Child WARD: Morton

LOCATION: 27 Rosehill Drive, Morton Park Carlisle, Cumbria GRID REF: 338680 554300

PROPOSAL: Single storey extension to provide dining room and kitchen

---

DECISION: Grant Permission DATE: 31/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0848 / APPLICANT: Mrs D G Urwin PARISH: Carlisle

DATE OF RECEIPT: 18/09/2001 AGENT: Alan Gosling & Associates WARD: Harraby

LOCATION: 35 Chertsey Bank, Carlisle Cumbria GRID REF: 341400 554250

PROPOSAL: Single storey extension to create enlarged kitchen, utility room and w.c. together with pitched roof over existing garage

---

DECISION: Grant Permission DATE: 25/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0849 / APPLICANT: Mr Derek Winter PARISH: Stanwix Rural

DATE OF RECEIPT: 19/09/2001 AGENT: WARD: Stanwix Rural

LOCATION: Howe Cottage, Harker, Carlisle Cumbria GRID REF: 339343 560336

PROPOSAL: Erection of replacement detached domestic garage

---

DECISION: Grant Permission DATE: 02/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0852 /                      APPLICANT: Mrs N M Cowper                      PARISH: Irthington

DATE OF RECEIPT: 19/09/2001                      AGENT: Mr G Cowper                      WARD: Stanwix Rural

LOCATION: L/Adj Orchard House, Newtown, Irthington Cumbria                      GRID REF: 350037 562875

PROPOSAL: Renewal of outline permission 98/0508 for the erection of detached dwelling (outline)

---

DECISION: Grant Permission

DATE: 14/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0855 /                      APPLICANT: Carlisle City Council                      PARISH: Carlisle

DATE OF RECEIPT: 20/09/2001                      AGENT: Helen Winfield                      WARD: Currock

LOCATION: Currock House Community Centre, Lediard Avenue, Currock Carli                      GRID REF: 340001 554205

PROPOSAL: Erection of 2 metre high galvanised steel security fence

---

DECISION: Grant Permission

DATE: 05/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0857 /                      APPLICANT: Mr S Arthur & Miss L Wilson                      PARISH: Hayton

DATE OF RECEIPT: 20/09/2001                      AGENT: Green Design Group                      WARD: Hayton

LOCATION: Hope Cottage, Hayton, Carlisle Cumbria                      GRID REF: 350908 557780

PROPOSAL: Demolition of existing dwelling and erection of replacement dwelling

---

DECISION: Grant Permission

DATE: 30/10/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0858 / APPLICANT: Mr W G Shields PARISH: Burgh-by-Sands

DATE OF RECEIPT: 20/09/2001 AGENT: WARD: Burgh

LOCATION: L/A Plot 4, Marsh Gardens, Burgh-by-Sands Carlisle, Cumbria GRID REF: 332232 558900

PROPOSAL: Resubmission of amended house type  
AMENDMENT: Internal layout amended to omit "granny annexe" in favour of accommodation for the applicant and his family (5th November, 2001)

---

DECISION: Grant Permission DATE: 08/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0859 / APPLICANT: Mr S R Kemplay PARISH: Carlisle

DATE OF RECEIPT: 08/10/2001 AGENT: WARD: Harraby

LOCATION: 13 Hopes Hill Drive, Carlisle Cumbria GRID REF: 342314 553811

PROPOSAL: Extension above existing garage and dining room to provide bathroom and lno. bedroom

---

DECISION: Grant Permission DATE: 31/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0862 / APPLICANT: Mr C Wykes PARISH: Stanwix Rural

DATE OF RECEIPT: 21/09/2001 AGENT: Mr B Taylor WARD: Stanwix Rural

LOCATION: 26 The Green, Houghton Carlisle, Cumbria GRID REF: 340835 559410

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0862 /

PROPOSAL: Erection of replacement garage together with new boundary walls

---

DECISION: Grant Permission

DATE: 01/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0863 /

APPLICANT:  
Mr D J Park

PARISH:  
Hayton

DATE OF RECEIPT:  
21/09/2001

AGENT:

WARD:  
Hayton

LOCATION:

93 Hurley Road, Little Corby Carlisle, Cumbria

GRID REF:  
348010 557318

PROPOSAL: Extension above existing kitchen and garage to provide lno.  
bedroom and shower room

---

DECISION: Grant Permission

DATE: 29/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0874 /

APPLICANT:  
Mr & Mrs Mitchinson

PARISH:  
Brampton

DATE OF RECEIPT:  
25/09/2001

AGENT:  
Finesse Windows - Mr C Elliott

WARD:  
Brampton

LOCATION:

11 Jocks Hill, Brampton Cumbria

GRID REF:  
353551 560946

PROPOSAL: Erection of a conservatory

---

DECISION: Grant Permission

DATE: 01/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0875 /

APPLICANT:  
Mr David Bellmont

PARISH:  
Wetheral

DATE OF RECEIPT:  
25/09/2001

AGENT:

WARD:  
Wetheral

LOCATION:

38 Croft Park, Wetheral Carlisle, Cumbria

GRID REF:  
346310 554455



## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0875 /

PROPOSAL: Erection of replacement garage

---

DECISION: Grant Permission

DATE: 26/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0877 /

APPLICANT:  
Mr G H Seymour

PARISH:  
Carlisle

DATE OF RECEIPT:  
26/09/2001

AGENT:

WARD:  
Belah

LOCATION:  
2 Kirkbrae, Belah Carlisle, Cumbria

GRID REF:  
339425 557850

PROPOSAL: Two storey extension to provide kitchen on ground floor with  
2no. bedroom above

---

DECISION: Grant Permission

DATE: 08/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0878 /

APPLICANT:  
Mr W MacGilvary

PARISH:  
Wetheral

DATE OF RECEIPT:  
28/09/2001

AGENT:  
H & H Bowe Ltd

WARD:  
Wetheral

LOCATION:  
L/A to rear of Dunmaglass, Park Road, Scotby, Carlisle, Cumbria

GRID REF:  
343405 555519

PROPOSAL: Change of use from general purpose agricultural building to a  
car repair business

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0880 /

APPLICANT:  
Royal Mail - Dave Graham

PARISH:  
Brampton

DATE OF RECEIPT:  
09/10/2001

AGENT:

WARD:  
Brampton

LOCATION:  
L/Adj Telephone Box, Capon Hill, Brampton Cumbria

GRID REF:  
353132 560222

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0880 /

PROPOSAL: Installation of postal pouch

---

DECISION: Grant Permission

DATE: 05/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0881 /

APPLICANT:  
Royal Mail - Dave Graham

PARISH:  
Brampton

DATE OF RECEIPT:  
09/10/2001

AGENT:

WARD:  
Brampton

LOCATION:  
L/Adj 96 Dacre Road, Brampton Cumbria

GRID REF:  
353017 551885

PROPOSAL: Installation of postal pouch

---

DECISION: Grant Permission

DATE: 05/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0882 /

APPLICANT:  
NTL

PARISH:  
Kingwater

DATE OF RECEIPT:  
02/10/2001

AGENT:  
Mr Smith

WARD:  
Irthing

LOCATION:  
L/A Park Nook, West Hall, Brampton Cumbria

GRID REF:  
358128 566340

PROPOSAL: Three metre extension to existing tower with 3no. dual polar antenna and 1no. dish antenna together with 1no. cabin, 1no. meter cabinet and feeder gantry for cellnet

---

DECISION: Grant Permission

DATE: 31/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0883 /

APPLICANT:  
Cavaghan & Gray Group plc

PARISH:  
Carlisle

DATE OF RECEIPT:  
27/09/2001

AGENT:  
Day Cummins Architects

WARD:  
Harraby

LOCATION:  
Cavaghan & Gray, Arkwright Road, Durranshill Industrial Estate

GRID REF:  
341867 554352

# SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0883 /

PROPOSAL: Extension to existing despatch dock to allow storage of finished goods prior to being despatched

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0886 /

APPLICANT:  
Mr & Mrs Minns

PARISH:  
Carlisle

DATE OF RECEIPT:  
28/09/2001

AGENT:  
Mr Jock Gordon

WARD:  
Morton

LOCATION:  
27 Kentmere Grove, Morton Park Carlisle, Cumbria

GRID REF:  
338615 554490

PROPOSAL: Erection of single storey extension to provide dining area, together with erection of front porch

---

DECISION: Grant Permission

DATE: 19/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0889 /

APPLICANT:  
Christopher Cowe

PARISH:  
Carlisle

DATE OF RECEIPT:  
02/10/2001

AGENT:

WARD:  
Yewdale

LOCATION:  
240 Yewdale Road, Belle Vue South Carlisle, Cumbria

GRID REF:  
336857 555351

PROPOSAL: Two storey extension to gable of house to form kitchen/dining room and 1no. bedroom (revised proposal)

---

DECISION: Grant Permission

DATE: 30/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0891 /

APPLICANT:  
Greencastle Farming PLC

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
02/10/2001

AGENT:  
Strutt & Parker

WARD:  
Stanwix Rural

LOCATION:  
L/A Field 3372 - Batt House, Crosby Moor, Crosby-on-Eden, Car 346241 559878

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0891 /

PROPOSAL: Erection of 2no. detached houses with associated landscaping  
(outline)

---

DECISION: Refuse Planning Permission

DATE: 01/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

01/0892 /

APPLICANT:

Mr M Chung

PARISH:

Carlisle

DATE OF RECEIPT:

08/10/2001

AGENT:

Mr Jock Gordon

WARD:

Currock

LOCATION:

4 Sinclair Court, Redbank Terrace, Carlisle

GRID REF:

340220 554600

PROPOSAL: Erection of rear dormer

---

DECISION: Grant Permission

DATE: 09/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

01/0893 /

APPLICANT:

E S Gabi

PARISH:

Carlisle

DATE OF RECEIPT:

02/10/2001

AGENT:

WARD:

Yewdale

LOCATION:

26 Whernside, Carlisle Cumbria

GRID REF:

337400 555112

PROPOSAL: Erection of conservatory

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

01/0895 /

APPLICANT:

Thomas Cook Retail Ltd

PARISH:

Carlisle

DATE OF RECEIPT:

02/10/2001

AGENT:

The ADM Consultancy

WARD:

Castle

LOCATION:

Thomas Cook, 13-15 English Street, Carlisle Cumbria

GRID REF:

340125 555905

# SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0895 /

PROPOSAL: Internal refurbishment of ground floor and re-finishing of shop front (LBC)

DECISION: Grant Permission

DATE: 30/10/2001

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0896 /

APPLICANT:  
Mr A L Butler

PARISH:  
Westlinton

DATE OF RECEIPT:  
02/10/2001

AGENT:  
Mr Geoffrey Wallace

WARD:  
Longtown & Rockcl

LOCATION:  
Lynebank, Westlinton, Cumbria

GRID REF:  
339244 564582

PROPOSAL: Extension to form garage (LBC)

DECISION: Grant Permission

DATE: 19/11/2001

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0897 /

APPLICANT:  
Mr A L Butler

PARISH:  
Westlinton

DATE OF RECEIPT:  
02/10/2001

AGENT:  
Mr Geoffrey Wallace

WARD:  
Longtown & Rockcl

LOCATION:  
Lynebank, Westlinton, Cumbria

GRID REF:  
339244 564582

PROPOSAL: Extension to form garage

DECISION: Grant Permission

DATE: 19/11/2001

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0898 /

APPLICANT:  
Hutchison 3G

PARISH:  
Carlisle

DATE OF RECEIPT:  
02/10/2001

AGENT:  
Nathaniel Lichfield & Partners Ltd

WARD:  
Castle

LOCATION:  
Civic Centre, Rickergate, Carlisle Cumbria

GRID REF:  
340155 556272

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0898 /

PROPOSAL: Installation of telecommunication equipment

---

DECISION: Grant Permission

DATE: 29/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0900 /

APPLICANT:  
Mr & Mrs J Marvin

PARISH:  
Carlisle

DATE OF RECEIPT:  
02/10/2001

AGENT:

WARD:  
St Aidans

LOCATION:  
60 Petteril Street, Carlisle Cumbria

GRID REF:  
341043 555700

PROPOSAL: Demolition of existing outhouses, erection of a single storey extension to provide breakfast area, utility room and WC, upgrade of existing windows and rooflights and installation of 2no. new velux rooflights in existing roof

---

DECISION: Grant Permission

DATE: 30/10/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0901 /

APPLICANT:  
Mr M McGlasson

PARISH:  
Carlisle

DATE OF RECEIPT:  
18/10/2001

AGENT:

WARD:  
Stanwix Urban

LOCATION:  
9 Croft Road, Carlisle Cumbria

GRID REF:  
340797 557390

PROPOSAL: Extension and alteration of existing garage to provide increased kitchen space and 1no. bedroom

---

DECISION: Grant Permission

DATE: 14/11/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0902 /  
APPLICANT: Carphone Warehouse  
PARISH: Carlisle

DATE OF RECEIPT: 02/10/2001  
AGENT: SGP Property Services-Kim Eglin  
WARD: Belah

LOCATION: Moorville Garage, Kingstown Road, Kingstown Carlisle, Cumbria  
GRID REF: 339687 558277

PROPOSAL: Change of use to retail shop selling mobile phones  
including workshop and fitting out bay

---

DECISION: Grant Permission DATE: 29/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0903 /  
APPLICANT: Carphone Warehouse  
PARISH: Carlisle

DATE OF RECEIPT: 02/10/2001  
AGENT: SGP Property Services-Kim Eglin  
WARD: Belah

LOCATION: Moorville Garage, Kingstown Road, Kingstown Carlisle, Cumbria  
GRID REF: 339687 558277

PROPOSAL: Display of illuminated and non-illuminated signage  
affixed to front facade

---

DECISION: Grant Permission DATE: 30/10/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0904 /  
APPLICANT: Next Retail Ltd  
PARISH: Carlisle

DATE OF RECEIPT: 02/10/2001  
AGENT: MJF Setting Out Co  
WARD: Castle

LOCATION: 17-19 English Street, Carlisle Cumbria  
GRID REF: 340118 555895

PROPOSAL: Display of internally illuminated fascia and projecting sign

---

DECISION: Grant Permission DATE: 29/10/2001

---

## SCHEDULE E: Decisions Issued Under Delegated Powers

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0906 /                      APPLICANT: Mr & Mrs D J D Arter                      PARISH: Dalston

DATE OF RECEIPT: 02/10/2001                      AGENT:                      WARD: Dalston

LOCATION: South Skiprigg, Stockdalewath, Carlisle Cumbria                      GRID REF: 338900 545284

PROPOSAL: Surfacing of former orchard for use as all weather riding arena plus erection of double stable/tackroom, feed store and detached double garage (for domestic use)

---

DECISION: Grant Permission                      DATE: 09/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0910 /                      APPLICANT: Rev. Robert Dewhurst                      PARISH: Carlisle

DATE OF RECEIPT: 03/10/2001                      AGENT:                      WARD: Morton

LOCATION: St. Edmunds Chapel, Newlaithes Avenue, Morton Park Carlisle, C                      GRID REF: 338280 554140

PROPOSAL: Erection of 2.4m high palisade fencing around inner perimeter of site including lno. pair of gates 1.82m wide

---

DECISION: Grant Permission                      DATE: 05/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0911 /                      APPLICANT: Mr N Ivison                      PARISH: Carlisle

DATE OF RECEIPT: 08/10/2001                      AGENT:                      WARD: Yewdale

LOCATION: 3 Inglewood Road, Carlisle Cumbria                      GRID REF: 338250 555200



# SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0911 /

PROPOSAL: Erection of replacement garage

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0914 /

APPLICANT:  
United Utilities Plc

PARISH:  
St Cuthberts Wit

DATE OF RECEIPT:  
12/10/2001

AGENT:  
United Utilities Plc - Mr D R Watson

WARD:  
Dalston

LOCATION:  
Durdar Pumping Station, Durdar, Carlisle, Cumbria

GRID REF:  
340300 550975

PROPOSAL: Construction of new pumping station and associated access road  
together with chain linked fence

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0917 /

APPLICANT:  
Sandra Hale

PARISH:  
Carlisle

DATE OF RECEIPT:  
05/10/2001

AGENT:

WARD:  
Castle

LOCATION:  
Unit 20 (Sandra Hale), Peascod Lane, The Lanes Carlisle, Cumb

GRID REF:  
340160 556115

PROPOSAL: Erection of non-illuminated fascia sign

---

DECISION: Grant Permission

DATE: 09/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0920 /

APPLICANT:  
Mr & Mrs Scott

PARISH:  
Brampton

DATE OF RECEIPT:  
09/10/2001

AGENT:  
Finesse

WARD:  
Brampton

LOCATION:  
Pennines, Capon Tree Road, Brampton Cumbria

GRID REF:  
353019 560167

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0920 /

PROPOSAL: Erection of a conservatory

---

DECISION: Grant Permission

DATE: 02/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0921 /

APPLICANT:  
Claire's Accessories (UK) Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
15/10/2001

AGENT:  
PPS Shopfitters Ltd

WARD:  
Castle

LOCATION:  
Unit 16, Peascod Lane, The Lanes Carlisle, Cumbria

GRID REF:  
340160 556115

PROPOSAL: Internal shopfitting

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0922 /

APPLICANT:  
Claire's Accessories (UK) Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
15/10/2001

AGENT:  
PPS Shopfitters Ltd

WARD:  
Castle

LOCATION:  
Unit 16, Peascod Lane, The Lanes Carlisle, Cumbria

GRID REF:  
340160 556115

PROPOSAL: Erection of fascia signage

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0926 /

APPLICANT:  
Mrs J Potts

PARISH:  
Stapleton

DATE OF RECEIPT:  
10/10/2001

AGENT:  
Swarbrick Associates

WARD:  
Lyne

LOCATION:  
Newlands, Hethersgill, Carlisle Cumbria

GRID REF:  
347622 569145

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0926 /

PROPOSAL: Reconstruction of rear wall including raising of wall to form  
new rear gable

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0923 /  
APPLICANT: Mr C Archibald

PARISH:  
Carlisle

DATE OF RECEIPT: 10/10/2001  
AGENT:

WARD:  
Castle

LOCATION:  
24 Lonsdale Street, Carlisle Cumbria

GRID REF:  
340330 555860

PROPOSAL: Change of use to sandwich bar and hot food takeaway

---

DECISION: Grant Permission

DATE: 19/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0924 /  
APPLICANT: Mr & Mrs Rochford

PARISH:  
Carlisle

DATE OF RECEIPT: 10/10/2001  
AGENT:

WARD:  
Belah

LOCATION:  
9 Sanderson Close, Lowry Hill Carlisle, Cumbria

GRID REF:  
339430 558480

PROPOSAL: Erection of single storey extension to provide sitting room,  
conservatory and shower room

---

DECISION: Grant Permission

DATE: 07/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0928 /  
APPLICANT: Milligans Bakery Ltd

PARISH:  
Carlisle

DATE OF RECEIPT: 11/10/2001  
AGENT: Dickinson Dees

WARD:  
Castle

LOCATION:  
47-49 Lowther Street, Carlisle Cumbria

GRID REF:  
340219 555880

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0928 /

PROPOSAL: Change of use from cafe/bakery (A1/A3) to mixed use cafe/bar  
(A3/D2)

---

DECISION: Grant Permission

DATE: 19/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/0929 /

Mrs Faulder

Orton

DATE OF RECEIPT:

AGENT:

WARD:

11/10/2001

Mr David L B Reeder

Burgh

LOCATION:

GRID REF:

Sceughmire Farm, Great Orton, Carlisle Cumbria

335071 553699

PROPOSAL: Conversion of existing animal shed to cottage to provide  
additional accommodation to the farm (revised proposal)

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/0927 /

Mr & Mrs W Allison

Hayton

DATE OF RECEIPT:

AGENT:

WARD:

11/10/2001

Hayton

LOCATION:

GRID REF:

High Moor Farm, How Mill, Carlisle Cumbria

351920 557029

PROPOSAL: Erection of extension to form lounge and bathroom

---

DECISION: Grant Permission

DATE: 13/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/0930 /

Debra Holmes

Carlisle

DATE OF RECEIPT:

AGENT:

WARD:

22/10/2001

Stanwix Urban

LOCATION:

GRID REF:

Unit 20, 3 East Tower Lane, The Lanes Carlisle, Cumbria

340160 556115

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0930 /

PROPOSAL: Erection of non-illuminated fascia signage

---

DECISION: Grant Permission

DATE: 19/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0931 /  
APPLICANT: Mr G Beattie  
PARISH: Stanwix Rural

DATE OF RECEIPT: 12/10/2001  
AGENT:  
WARD: Stanwix Rural

LOCATION: The Stable, Linstock House, Linstock, Carlisle Cumbria  
GRID REF: 342790 558275

PROPOSAL: Erection of garage

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0932 /  
APPLICANT: Pirelli Sports & Social Club  
PARISH: Carlisle

DATE OF RECEIPT: 12/10/2001  
AGENT: John Lyon Associates  
WARD: Denton Holme

LOCATION: Pirelli Sports & Social Club, Dalston Road, Carlisle Cumbria  
GRID REF: 338900 553600

PROPOSAL: Erection of sports changing accommodation and alterations to existing toilet facilities (revised proposal)

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0 Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0933 /  
APPLICANT: Mr & Mrs J Robinson  
PARISH: Nicholforest

DATE OF RECEIPT: 12/10/2001  
AGENT: Tsada Building Design Services  
WARD: Lyne

LOCATION: Burnside, The Camp, Kershopefoot, Cumbria  
GRID REF: 347684 582921

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0933 /

PROPOSAL: Erection of conservatory and aviary

---

DECISION: Grant Permission

DATE: 09/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0935 /

APPLICANT:  
Royal Bank of Scotland

PARISH:  
Carlisle

DATE OF RECEIPT:  
15/10/2001

AGENT:  
Lewis & Hickey Ltd

WARD:  
Castle

LOCATION:

National Westminster Bank, 92 English Street, Carlisle Cumbri

GRID REF:  
340138 555743

PROPOSAL: Improvements to facilitate access for the disabled

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0934 /

APPLICANT:  
Mr I Marshall

PARISH:  
Carlisle

DATE OF RECEIPT:  
02/11/2001

AGENT:  
John Lyon RIBA

WARD:  
Castle

LOCATION:

23 Chatsworth Square, Carlisle Cumbria

GRID REF:  
340628 556037

PROPOSAL: Internal alterations and removal of partition walls and replacement timber boundary fence and access gates to the rear (LBC)

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0938 /

APPLICANT:  
The Tranquil Otter Ltd

PARISH:  
Burgh-by-Sands

DATE OF RECEIPT:  
16/10/2001

AGENT:

WARD:  
Burgh

LOCATION:

L/A Thurstonfield Lough, Thurstonfield Burgh by Sands, Carlis

GRID REF:  
332049 556440

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0938 /

PROPOSAL: Erection of timber holiday lodge to replace existing lodge

---

DECISION: Grant Permission

DATE: 12/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0940 /  
APPLICANT: Mrs F J Murrant

PARISH:  
Burgh-by-Sands

DATE OF RECEIPT: 16/10/2001  
AGENT:

WARD:  
Burgh

LOCATION:  
Longburgh Farm, Longburgh, Burgh-by-Sands Carlisle

GRID REF:  
330965 558979

PROPOSAL: Installation of satellite dish to rear elevation of house (LBC)

---

DECISION: Grant Permission

DATE: 22/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0944 /  
APPLICANT: J S Bainbridge & Sons

PARISH:  
Wetheral

DATE OF RECEIPT: 16/10/2001  
AGENT:

WARD:  
Wetheral

LOCATION:  
Murray House, Cumwhinton, Carlisle Cumbria

GRID REF:  
344971 552670

PROPOSAL: Creation of hardstanding for storage of machinery and haylage bales, and exercise area for horses

---

DECISION: Grant Permission

DATE: 27/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0945 /  
APPLICANT: Frances Pearson

PARISH:  
Carlisle

DATE OF RECEIPT: 16/10/2001  
AGENT:

WARD:  
Stanwix Urban

LOCATION:  
32 Brampton Road, Carlisle Cumbria

GRID REF:  
340628 557251

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0945 /

PROPOSAL: Erection of satellite dish to rear of dwelling

---

DECISION: Grant Permission

DATE: 20/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0946 /

APPLICANT:  
Mr & Mrs A K Bainbridge

PARISH:  
Westlinton

DATE OF RECEIPT:  
17/10/2001

AGENT:  
Acorn Associates

WARD:  
Longtown & Rockcl

LOCATION:  
Mounthill, Blackford, Carlisle Cumbria

GRID REF:  
340065 562415

PROPOSAL: Erection of extension to form sunroom

---

DECISION: Grant Permission

DATE: 20/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0947 /

APPLICANT:  
Omne Communications Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
17/10/2001

AGENT:  
Weston Architects Ltd

WARD:  
Belah

LOCATION:  
Unit 10 Brunthill Road, Kingstown Industrial Estate Carlisle, 338719 558992

GRID REF:

PROPOSAL: Removal of condition 3 from planning permission 01/0660  
requiring an assessment of the risk of the potential for  
on-site ground contamination

---

DECISION: Grant Permission

DATE: 20/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0949 /

APPLICANT:  
Crowther Homes

PARISH:  
Wetheral

DATE OF RECEIPT:  
17/10/2001

AGENT:  
KC Humpherson & Partners

WARD:  
Wetheral

LOCATION:  
L/A plots 17-22 The Limes, Durranshill Road, Durranshill, Carli 342800 555100

GRID REF:



## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0949 /

PROPOSAL: Substitution of house types

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0952 /  
APPLICANT: K Campbell

PARISH:  
Carlisle

DATE OF RECEIPT: 18/10/2001  
AGENT: B F Child

WARD:  
Harraby

LOCATION:  
27 Mallyclose Drive, Carlisle Cumbria

GRID REF:  
342550 553380

PROPOSAL: Erection of extension to rear of dwelling to provide additional bedroom and sitting room

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0954 /  
APPLICANT: Toscana & Co

PARISH:  
Carlisle

DATE OF RECEIPT: 19/10/2001  
AGENT:

WARD:  
Castle

LOCATION:  
6 The Crescent, Carlisle Cumbria

GRID REF:  
340307 555654

PROPOSAL: Variation of condition No 4 of planning permission 01/0379 to allow the first floor residential accommodation to be occupied by the owner or employees of the restaurant.

---

DECISION: Grant Permission

DATE: 20/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO: 01/0960 /  
APPLICANT: Mr Lee Carson

PARISH:  
Carlisle

DATE OF RECEIPT: 23/10/2001  
AGENT:

WARD:  
Stanwix Urban

LOCATION:  
5 Beech Grove, Stanwix Carlisle, Cumbria

GRID REF:  
340350 557380

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0960 /

PROPOSAL: Pitched roof to garage adjoining dwelling

---

DECISION: Grant Permission

DATE: 22/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0961 /

APPLICANT:  
Persimmon Homes (Lancashire) Ltd

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
23/10/2001

AGENT:

WARD:  
Stanwix Rural

LOCATION:  
51 Drumburgh Avenue, Windsor Park Carlisle, Cumbria

GRID REF:  
340000 558300

PROPOSAL: Erection of detached dwelling (revised proposal)

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0964 /

APPLICANT:  
Mr & Mrs G Clarke

PARISH:  
Carlisle

DATE OF RECEIPT:  
23/10/2001

AGENT:  
Acorn Associates

WARD:  
Belah

LOCATION:  
Mosedale, 27 Swinburn Drive, Lowry Hill Carlisle, Cumbria

GRID REF:  
339080 558119

PROPOSAL: First floor extension to form bedroom/study with balcony to rear elevation

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0966 /

APPLICANT:  
Nichola McMillan

PARISH:  
Carlisle

DATE OF RECEIPT:  
24/10/2001

AGENT:

WARD:  
Currock

LOCATION:  
313 Blackwell Road, Currock Carlisle, Cumbria

GRID REF:  
340291 553694

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0966 /

PROPOSAL: Change of use of first floor from hairdressers to flat

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0967 /

APPLICANT:  
Mr & Mrs Place

PARISH:  
Dalston

DATE OF RECEIPT:  
25/10/2001

AGENT:  
Mr Jock Gordon

WARD:  
Dalston

LOCATION:  
The Bungalow, Bridge End, Dalston Carlisle, Cumbria

GRID REF:  
337100 548720

PROPOSAL: Erection of extension to provide bedrooms, garage  
and conservatory

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0971 /

APPLICANT:  
Scottish Courage Ltd

PARISH:  
Carlisle

DATE OF RECEIPT:  
26/10/2001

AGENT:  
Norder Design Associates Ltd

WARD:  
Belah

LOCATION:  
Site 46 Kingstown Broadway, Kingstown Carlisle, Cumbria

GRID REF:  
338858 559113

PROPOSAL: Internal refurbishment works, creation of two new vehicle  
access doors and removal of existing tank and fuel bunds

---

DECISION: Grant Permission

DATE: 26/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0972 /

APPLICANT:  
Mr Simon Pluckrose

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
26/10/2001

AGENT:  
Green Design Group

WARD:  
Stanwix Rural

LOCATION:  
L/A Edensteads, Crosby-on-Eden, Carlisle Cumbria

GRID REF:  
344668 559450

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0972 /

PROPOSAL: Erection of dwelling ( revised proposal )

---

DECISION: Grant Permission

DATE: 26/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0975 /

APPLICANT:  
Persimmon Homes (Lancashire) Ltd

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
29/10/2001

AGENT:

WARD:  
Stanwix Rural

LOCATION:  
L/A Windsor Way, Carlisle Cumbria

GRID REF:  
340000 558300

PROPOSAL: Substitution of housetypes plots 45 and 154-160

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0978 /

APPLICANT:  
Miss J Tattersall

PARISH:  
Cummersdale

DATE OF RECEIPT:  
29/10/2001

AGENT:  
Acorn Associates

WARD:  
Burgh

LOCATION:  
1 Barn Croft, Newby West Carlisle, Cumbria

GRID REF:  
336757 553865

PROPOSAL: Erection of extension to form garden room

---

DECISION: Grant Permission

DATE: 21/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0979 /

APPLICANT:  
Mr R Ballantyne

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
29/10/2001

AGENT:

WARD:  
Stanwix Rural

LOCATION:  
Houghton Stores, 39 The Green, Houghton Carlisle, Cumbria

GRID REF:  
340900 559205

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0979 /

PROPOSAL: Temporary siting of portacabin for use as village stores  
(retrospective application)

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0987 /

APPLICANT:  
Mr & Mrs M Buchanan

PARISH:  
Rockcliffe

DATE OF RECEIPT:  
29/10/2001

AGENT:  
Mr N Elsworth

WARD:  
Longtown & Rockcl

LOCATION:  
18 Harker Park, Harker Carlisle, Cumbria

GRID REF:  
339728 560763

PROPOSAL: Erection of kitchen/dining room extension

---

DECISION: Grant Permission

DATE: 21/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0990 /

APPLICANT:  
Lloyd Davidson

PARISH:  
Carlisle

DATE OF RECEIPT:  
30/10/2001

AGENT:

WARD:  
Botcherby

LOCATION:  
448 Warwick Road, Carlisle Cumbria

GRID REF:  
342465 555965

PROPOSAL: Demolition of existing detached garage and erection of  
replacement attached garage

---

DECISION: Grant Permission

DATE: 30/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:  
01/0993 /

APPLICANT:  
L Robinson

PARISH:  
Stanwix Rural

DATE OF RECEIPT:  
01/11/2001

AGENT:  
Mr Brian Halliburton

WARD:  
Stanwix Rural

LOCATION:  
Fair Oaks, 28 Houghton Road, Houghton Carlisle, Cumbria

GRID REF:  
341300 558350

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/0993 /

PROPOSAL: Erection of replacement double garage and porch to rear elevation

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/1001 /

Mr & Mrs Martin

Carlisle

DATE OF RECEIPT:

AGENT:

WARD:

05/11/2001

John Lyon Associates

Stanwix Urban

LOCATION:

GRID REF:

6 Longlands Road, Stanwix Carlisle, Cumbria

340710 557260

PROPOSAL: Single storey kitchen extension

---

DECISION: Grant Permission

DATE: 03/12/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/1007 /

G Newing

Walton

DATE OF RECEIPT:

AGENT:

WARD:

06/11/2001

Mr Brian Halliburton

Irthing

LOCATION:

GRID REF:

17 Woodleigh, Walton Cumbria

352167 564707

PROPOSAL: Single storey kitchen extension

---

DECISION: Grant Permission

DATE: 29/11/2001

---

ITEM NO. 0

Between 25/10/2001 and 05/12/2001

APPN REF NO:

APPLICANT:

PARISH:

01/1020 /

Chris Stephenson

Carlisle

DATE OF RECEIPT:

AGENT:

WARD:

08/11/2001

Belah

LOCATION:

GRID REF:

27 Stainton Road, Etterby Carlisle, Cumbria

338320 557045

## SCHEDULE E: Decisions Issued Under Delegated Powers

Schedule continued for 01/1020 /

PROPOSAL: Extension to provide kitchen, dining room and conservatory

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DECISION: Grant Permission

DATE: 04/12/2001

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