

SCHEDULE A: Applications with Recommendation

11/1063

Item No: 02

Date of Committee: 11/04/2014

Appn Ref No:
11/1063

Applicant:
Hayton Construction
Limited

Parish:
Hayton

Agent:
Space Designed Solutions
Limited

Ward:
Hayton

Location: Garden Walk, Edmond Castle, Corby Hill, Carlisle, Cumbria, CA4 8QD

Proposal: Erection Of A Single Terrace Of 4no. Two Storey Holiday Let Units With Associated Access And Parking

Date of Receipt:
08/12/2011

Statutory Expiry Date
02/02/2012

26 Week Determination

REPORT

Case Officer: Barbara Percival

Addendum

Members will recall that this application was deferred at the meeting of the Development Control Committee on the 7th June 2013 in order to obtain a Business Plan from the Applicant and to undertake an independent viability assessment of the Business Plan. This purpose of this summary is now to provide an update since the presentation of the previous committee report and should be read in conjunction with the main report below.

The main issue that Members have to establish is the issue of sustainable development. Sustainable development is the fundamental principle of the National Planning Policy Framework (NPPF); however, there is no clear definition of sustainable development within the Framework. The NPPF explains that the purpose of the planning system is to contribute to the achievement of sustainable development. The NPPF goes on to highlight that the policies in paragraphs 8 to 219, taken as a whole, constitutes the Government's view of what sustainable development in England means in practice for the planning system.

This guidance is expanded in paragraph 7 of the NPPF which outlines that there are three dimensions to sustainable development: economic, social and environmental all of which give rise to the need for the planning system to perform a number of roles.

Paragraph 14 of the NPPF highlighting that *"at the heart of the NPPF is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision taking"*. For decision taking this means:

- approving development proposals that accord with the development plan without delay; and
- where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless:
 - any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole; or
 - specific policies in the Framework indicate development should be restricted.

Accordingly, whether or not development is sustainable is one of balance i.e. where disbenefits are outweighed by benefits and there is no clear conflict with the NPPF, it is sustainable.

As previously outlined above, the first of the three dimensions to sustainable development Members are required to consider in respect of this application is the economic role.

An Economic Role

This economic role the NPPF advocates is fundamental to building a strong, responsive and competitive economy. The Applicant has submitted a Business Plan which has been the subject of an independent viability assessment of the Business Plan. As the Business Plan contains commercially sensitive information the Independent Assessors have prepared a shorter report which contains their comments and observations with regard to the proposed development. In order to assist Members, this report has been reproduced within the papers for this application within the Main Schedule.

The report summarises the contents of the Business Plan and raises questions in respect of the standard of accommodation likely to be achieved given its location and lack of amenities; however, accepts that *"woodland walks and a quite retreat can often be used as a marketing tool and selling point for such accommodation"*. Acknowledging that assuming realistic tariffs are in line with local competition then there would be a demand in this location, drawing comparisons with existing units at Edmond Castle.

The Independent Assessors go on to accept that the predicted occupancy level of 40-50% in the first year as outlined in the Business Plan is realistic in the current economic climate but suggests that 10-12 week charge-out period at peak rate, at the present time, to be more achievable as opposed to the 15 week charge-out rate as detailed in the Business Plan. Going on to outline that it would be feasible to expect the average occupancy of the units to mirror that of existing holiday units at

Edmond Castle (60%).

The report concludes that based on their experience and having taken into account all the relevant factors including other holiday lets within Edmond Castle whilst they do not entirely concur with the submitted Business Plan they are of the opinion that the properties ought to generate a gross letting income per cottage in the region of 60% of the Business Plan's projected figures. It is noted that objections have been raised to the findings of the Council's independent assessment however it is nevertheless considered that the proposed development would be viable and would help to support existing employment opportunities.

In overall terms, the proposal satisfies the objectives of the NPPF as the development would not only help to support the economic viability of Edmond Castle Estate itself but would have the potential to benefit other businesses and visitor attractions within the District as a whole.

A Social Role

The proposed holiday units would allow visitors to enjoy a pleasant rural countryside location, thereby, satisfying the objectives of this dimension of sustainable development as outlined by the NPPF.

An Environmental Role

The NPPF seeks to ensure that developments contribute to protecting and enhancing the natural, built and historic environment, helping to improve biodiversity. This guidance is also reiterating in the relevant Development Plan policies. The NPPF and Policy DP1 outline that all proposals for development will be assessed against the ability to promote sustainable development. Whilst Policy EC16 seeks to promote the distinctive environment, culture and history of the area as a tourist attraction whilst conserving and enhancing the special features and diversity of the differing landscape character area.

The development proposal is located within a semi-rural location on previously developed land within a woodland setting. In line with the foregoing policy guidance, discussions have taken place with the Agents during both the processing of the application and the assessment of the Business Plan as to why the Applicant has chosen this particular location. The Agent has during this time maintained that the development has been chosen to take advantage of a previously felled area of woodland, the woodland setting with under canopy views would provide a unique selling point, its proximity to Edmond Castle would allow close management as and when required and that the proposal would utilise the existing road network thereby minimising disruption by road building.

The Tree Survey and its Addendum identifies that the proposal would involve the felling of six mature trees within the site and a further two trees within the drainage field. Operational works required would also be undertaken to other trees within and adjoining the application site and drainage field. Neighbouring residents have raised objections to the loss of these trees, the impact of existing trees on the development and the impact on biodiversity. Members should be aware that the

relevant surveys have been submitted as part of the application upon which the Statutory Consultees have commented and have raised no objections subject to the imposition of mitigation measures. The concerns of the objectors have been noted; however, given that the Statutory Consultees do not share these concerns it would be difficult to substantiate a refusal of the application on environmental grounds.

In summary, paragraph 14 of the Framework highlights the need for any adverse impacts to be weighed with the benefits of the development in the context of the presumption in favour of sustainable development that runs through the Framework as a “golden thread”. In the terms of the Framework, the benefits of the scheme (economic, social and environmental) significantly and demonstrably outweigh any perceived adverse impact of the scheme.

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether the principal of development is acceptable.
- 2.2 Whether the scale and design of the proposal is acceptable.
- 2.3 Impact of the proposal on the character of the area.
- 2.4 Impact of the proposal on the living conditions of the occupiers of neighbouring residents.
- 2.5 Impact of the proposal on biodiversity.
- 2.6 Whether the method of disposal of foul and surface water are appropriate.
- 2.7 Impact of the proposal on highway safety.
- 2.8 Other Matters.

3. Application Details

The Site

- 3.1 Members will recall that this application was deferred at a previous meeting of this Committee to allow Members the opportunity to visit the site. Since then amended details have been received in respect of the proposed method of disposal of the foul and surface water drainage together with updated ecology surveys and an Addendum to the submitted Tree Survey.
- 3.2 The application site is a parcel of land located at the southern end of Garden Walk . Access to the proposed development would be via a private access road approximately 520 metres north of the A69 Carlisle to Newcastle Road.
- 3.3 The character of the application site is that of a semi-rural landscape with the properties of Garden Walk and their domestic curtilages located to the north west. Belts of mature trees border the site with several mature trees located

within the application site itself. The application site also has an undergrowth of regenerating Elder, Sycamore, Lime and Rhododendron and grassed areas.

The Proposal

3.4 This proposal seeks Full Planning Permission for the erection of a terrace of four holiday units each of which would have two off-street parking spaces. The Design and Access and Planning Statements submitted as part of the application outlines that the development would form part of a strategy to complete the restoration of the Edmond Castle Estate and to ensure the Estates long term future in conjunction with the Estates associated shooting pursuits of Hayton High Estate.

4. Summary of Representations

4.1 This application has been advertised by the direct notification of seven neighbouring properties and the posting of a Site Notice. In response, several letters/e-mails of objection has been received.

4.2 The letters/e-mails identifies the following issues:

1. detrimental impact on the character of the area.
2. ability of proposed sewage package treatment plant to serve development.
3. contrary to policies of Carlisle District Local Plan 2001-2016.
4. impact on trees and biodiversity.
5. potential to lead to future development within the Edmond Castle Estate.
6. impact on highway safety.
7. loss of privacy, increase in noise, loss of light and overshadowing.
8. inappropriate scale and design.
9. use inappropriate in residential area.

4.3 Further letters/e-mails have been received in respect of the revised drainage, ecology and tree surveys.

4.4 The letters/e-mails reiterates the previous objections raised together with additional concerns, namely:

1. the ability of the proposal to support the local economy in light of

economic uncertainty.

2. the need for the holiday accommodation in light of recent tourism statistics.
3. development not sustainable in the context of the NPPF.

- 4.5 Since reconsulting on the assessment of the business plan a further three objections and one comment has been submitted. The objections raise concerns about the predicted occupancy levels in the consultant's assessment and therefore the return on investment to support the estate. They therefore question the overall viability and sustainability of the proposal.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objection as the proposal does not affect the highway;

Hayton Parish Council: - do not wish to make any representations on the original proposal or the revised proposal;

Natural England - relating to protected species, biodiversity & landscape: - recommend the imposition of conditions to the original proposal with no further issues raised in respect of the revised proposal;

Community Engagement - Housing Strategy, 7th Floor: - as the application is for 4no. 3bed holiday lets there will be no required for affordable housing in line with H5 of the Local Plan;

Forestry Commission: - no response received;

United Utilities: - no objections with no additional comments received in respect of the revised proposals;

Local Environment, Streetscene - Drainage Engineer: - no objections subject to gaining necessary consent from Environment Agency and Building Control.

No further comments received in respect of the revised proposals;

Environment Agency: - no objections to the revised sewage drainage proposal subject to the imposition of an informative.

6. Officer's Report

Assessment

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the Development Plan, unless material considerations indicate otherwise.
- 6.2 The Development Plan for the purposes of the determination of this application is the Carlisle District Local Plan 2001-2016. Of particular relevance are Policies DP1, CP1, CP2, CP3, CP5, CP7, CP12, EC11, EC16 and T1 of the Local Plan 2001-2016.

- 6.3 The National Planning Policy Framework (NPPF), adopted 27th March 2012, is also a material planning consideration in the determination of this application. The NPPF has a presumption in favour of sustainable development with 12 core planning principles which should underpin plan-making and decision-taking.
- 6.4 Paragraph 215 of the NPPF outlines that due weight should be given to the relevant policies in existing Plans according to their degree of consistency with the NPPF (the closer the policies in the Plan to the policies in the Framework, the greater the weight that may be given).
- 6.5 The proposals raise the following planning issues:
1. Whether The Principle Of Development Is Acceptable
- 6.6 Paragraph 28 of the NPPF outlines Planning policies should support economic growth in rural areas in order to create jobs and prosperity by taking a positive approach to sustainable new development. To promote a strong rural economy, local and neighbourhood plans should: support the sustainable growth and expansion of all types of business and enterprise in rural areas, both through conversion of existing buildings and well designed new buildings; promote the development and diversification of agricultural and other land-based rural businesses; support sustainable rural tourism and leisure developments that benefit businesses in rural areas, communities and visitors, and which respect the character of the countryside. This should include supporting the provision and expansion of tourist and visitor facilities in appropriate locations where identified needs are not met by existing facilities in rural service centres.
- 6.7 The aforementioned advice is elaborated in Policies DP1, EC11 and EC16 of the Carlisle District Local Plan 2001-2016. Policy DP1 of the Local Plan seeks to promote sustainable development through concentrating development in the urban area then Key and Local Service Centres. Outside of these locations, in the remote rural area, new development has to be assessed against the need to be in the location specified or is required to sustain existing businesses. Policy EC11 and EC16 highlighting that changes in agriculture over recent decades has resulted in a decline in farm-related jobs. As a result there is now a need to strengthen the economy in rural areas, thereby, helping the countryside to diversify, flourish and sustain itself. Policy EC11 and EC16 sets out the criteria against which proposals will be assessed the main factors being compatibility of the proposed use with the surrounding operations, scale, landscape impact, highway capacity including access and parking arrangements.
- 6.8 This proposal seeks Full Planning Permission for the erection of a terrace of four holiday units each of which would have two off-street parking spaces. The Design and Access and Planning Statements submitted as part of the application outlines that the development would form part of a strategy to complete the restoration of the Edmond Castle Estate and to ensure the Estates long term future in conjunction with the Estates associated shooting

pursuits of Hayton High Estate. The proposed units would also be in close proximity of a section of a National Cycle Network, Sustrans Route 72, an established tourist attraction which passes through the village of Hayton (approximately 1.25 km/0.8 ml to the south east).

- 6.9 In the context of the foregoing policy advice, the proposal would help provide economic viability for an existing land-based rural tourist enterprise. Given its close proximity to the Local Service Centre of Hayton and Sustrans Route 72 the proposal would also have the potential to support existing services within Hayton itself. Furthermore, the proposal is compatible in scale with other rural operations and would not have a significant adverse impact on the character of the surrounding countryside.
- 6.10 Accordingly, subject to the imposition of relevant conditions ensuring that the holiday units shall not be occupied as permanent accommodation, the proposal is compliant with the relevant Development Plan policies.

2. Whether The Scale And Design Of The Development Is Acceptable

- 6.11 Criterion 2 of Policy EC11 and criterion 1 of Policy EC16 of the Local Plan (2001-2016) requires tourism development to be in scale with the surrounding area. Neighbours have raised concerns in respect of the scale and design of the development on its immediate neighbours in Garden Walk. It is acknowledged that the proposal would increase the number of properties in Garden Walk from six to ten; however, the scale of the holiday units would be well related to the existing properties in Garden Walk and provide adequate access and car parking provision. The design and proposed materials are also comparable to other buildings within the Edmond Castle Estate.

3. Impact Of The Proposal On The Character Of The Area

- 6.12 The character of the application site is that of a semi-rural landscape with the properties of Garden Walk and their domestic curtilages located to the north west. Belts of mature trees border the site with several mature trees located within the application site itself. The application site also has an undergrowth of regenerating Elder, Sycamore, Lime, Rhododendron and grassed areas.
- 6.13 Policy EC11 states that any new building required as part of a diversification scheme must be well related to an existing group of buildings and blend into the landscape through the use of suitable materials, design and siting. This emphasis on ensuring development does not have an unacceptable adverse effect on the landscape is reiterated in Policy EC16. Policy CP3 seeks the protection and retention of existing trees.
- 6.14 When assessing the character of the area, it is evident that there are a variety of residential properties of differing ages and styles both within Garden Walk and the Edmond Castle Estate itself. The proposed design and scale of the holiday units, with their use of vernacular details and traditional materials, is similar to other properties within Edmond Castle Estate. Furthermore, the development would be viewed against a backdrop of mature trees, thereby,

minimising any potential visual impact that the development may have.

- 6.15 The application site, associated drainage field and adjoining land contains a number of mature trees and associated undergrowth. In accordance with Policy CP3, a Tree Survey and an Addendum was submitted as part of the application which highlighted that the development would require the removal of six trees within the application site and a further two trees within the drainage field. Operational works required would also be undertaken to other trees within and adjoining the application site and drainage field.
- 6.16 Although, there is a presumption in favour of retaining existing trees on development sites, each application is dealt with on its own merits. A judgement, therefore, has to be made on whether the removal of and operational works to the trees would have a significant impact on the local environment and its enjoyment by the public. In order to assess amenity the key factors are visibility, individual and wider impacts. Based on the foregoing, it is evident that the six trees within the application site can only be viewed by those occupiers of the existing properties on Garden Walk whilst the two trees within the drainage field would be viewed by the occupiers of properties within Edmond Castle, Sutcliffe House and Irthing View. The removal of the trees, although regrettable, would have minimal impact as their removal would be viewed against the wider backdrop of other mature trees. To mitigate any potential visual impact, a landscaping condition is recommended to ensure that a landscaping scheme is submitted prior to the occupation of the units. Further conditions are also recommended which will seek to ensure that the remaining trees are protected during the development of the site should the scheme be approved.
- 6.17 The City Council's Landscape Architect/Tree Officer has been consulted and has no objections to the proposal subject to the imposition of conditions.
- 6.18 On the basis of the foregoing, the proposal would not have a detrimental impact on the character of the area nor would they form a discordant feature within the street scene.

4. Impact On The Living Conditions Of Neighbouring Residents

- 6.19 Criterion 5 of Policy CP5 of the Local Plan seeks to ensure that there is no adverse effect on the residential amenity of existing areas, or adjacent land uses, or result in unacceptable standards for future users and occupiers of the development. Supplementary Planning Document (SPD) "Achieving Well Designed Housing" outlines that in order to respect privacy within rooms a minimum distance of 21 metres should usually be allowed between primary facing windows (and 12 metres between any wall of the building and a primary window). It goes on to highlight that the creation of varied development may require variations in the application of minimum distances.
- 6.20 The proposed units would be located to the south east of the nearest residential property, 1 Garden Walk, and would be so orientated that the minimum distance as outlined in the SPD would be exceeded i.e. 14 metres

between the blank gable of Unit 4 and 1 Garden Walk. Accordingly, given the orientation of the holiday units with number 1 Garden Walk together with the intervening distances between the properties, the development should not lead to problems associated with loss of privacy or overshadowing.

- 6.21 It is acknowledged that the proposed use will inevitably lead to an increase the level of pedestrian and vehicular activity to Garden Walk. In mitigation, however, the development is at the entrance of Garden Walk, thereby, negating the need for visitors to the development to proceed any further along Garden Walk. Adequate off-road parking provision has also been provided within the curtilage of the development.
- 6.22 Accordingly, the proposal would not have such a detrimental impact on the living conditions of neighbouring residents to warrant a refusal of the application.

5. Impact Of The Proposal On Biodiversity

- 6.23 Planning Authorities in exercising their planning and other functions must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended). Such due regard means that Planning Authorities must determine whether the proposed development meets the requirements of Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm the favourable conservation of the protected species and their habitat.
- 6.24 The application was originally accompanied by a Phase 1 Habitat Survey together with other Ecological Surveys for Protected Species all of which have recently been updated. Natural England has been consulted on both and advises the imposition of conditions.
- 6.25 In respect of the Surveys undertaken only recommendations/mitigation measures were suggested in respect of breeding birds, bats and existing trees. These measures have been included within the suggested conditions for the development. A further condition has also been included on the advice of Natural England requiring the submission of biodiversity enhancement measures including the siting of bat and bird boxes, fruit bearing native trees and shrubs and nectar-rich plants for invertebrates.
- 6.26 The Local Planning Authority, in this instance, is satisfied that it would not be in the public interest to refuse permission because the mitigation strategy outlined in the supporting documents will ensure that the proposal will ensure the development would not harm the favourable conservation of the species or their habitats.

6. Whether The Method of Disposal of Foul And Surface Water Are Appropriate

- 6.27 Policy CP12 requires that development proposals should not result in the discharge of inadequately treated sewage or effluent's that could impact on the water quality in the surrounding area. Accordingly, when drawing up sewerage proposals for any development the first presumption must always be to provide a system of foul drainage discharging into a public sewer. Only, if by taking into account the cost and/or practicability, it can be shown to the satisfaction of the Local Planning Authority that connection is not feasible, a package sewage treatment plant should be considered. In order to assess, the likely impact on the environment, amenity and public health planning permissions should be accompanied by a full assessment of the proposed package treatment plant.
- 6.28 As Members will be aware, the original proposal proposed the connection of the foul drain to a package sewage treatment plant with its discharge combining with the surface water run off entering the lake to the south west of the development.
- 6.29 The current proposal now proposes that the surface water should go to soakaways to the south west and south east of the application site. The foul drainage would go to a package sewage treatment plant with the outfall from the plant now discharging into a drainage field to the south west of the site. Further clarification has been sought and received from the Applicant's Drainage Engineer in respect of the impact of the potential impact of surrounding trees on the drainage field and percolation test results.
- 6.30 The City Council's Building Control Section has been consulted and is satisfied that the proposed system is compliant with Part H2 of Schedule 1 of the Building Regulations 2010 (as amended)(Waste Waster Treatment Systems and Cess Pools). Furthermore, any works in respect of the package sewage treatment plant and its associated drainage field would also be subject to regular inspections during the Building Regulation process should the applicant choose the City Council's Building Control Section.
- 6.31 The City Council's Landscape Architect/Tree Officer also offers no objection to this aspect of the scheme subject to the imposition of conditions.
- 6.32 Accordingly, the proposal accords with the objectives of Policy CP12.

7. Impact Of The Proposal On Highway Safety

- 6.33 Access to the proposed holiday units would be via an existing private access track with 2no. off-street parking spaces for each unit provided within the curtilage of the development. Cumbria County Council, as Highways Authority, has been consulted and are satisfied that the additional traffic associated with the use would have no significant implication on the surrounding highway network.
- 6.34 Neighbours have provided a map which appears to illustrate a footpath running along the south-eastern boundary of number 1 Garden Walk which

they consider would be obstructed by the development. Cumbria County Council's Countryside Access Officer has been consulted and has confirmed that there are no recorded public rights of way in the vicinity of the site. In such instances this would be a separate matter outwith the planning matter.

- 6.35 The proposal would, therefore, not have a detrimental impact on highway safety to warrant a refusal of the application on highway grounds.

8. Other Matters

- 6.36 Concerns have been raised in respect of future development on Edmond Castle Estate. The concerns of the objectors have been noted; however, as each application is dealt with on its own merits this issue can not be considered as a material planning consideration.

- 6.37 Issues in respect of the maintenance of the highway network is a Civil Matter and can not be dealt with under Planning Legislation.

- 6.38 Objectors have questioned the need for additional tourism facilities. This issue has been assessed under the policies of the Local Plan and the NPPF as discussed earlier in the report.

Conclusion

- 6.39 When considering the location of the proposal, it is appreciated that Garden Walk is not within the Local Service Centre at Hayton; however, the proposal is compliant with the objectives of the Development Plan and the NPPF. The main thrust of which is the presumption of sustainable development that runs through the Framework as a "golden thread" to support the sustainable growth and expansion of all types of business and enterprises in rural areas.

- 6.40 The scale of the holiday units would be well related to the existing properties in Garden Walk and provide adequate access and car parking provision. The design and proposed materials are also comparable to other buildings within the Edmond Castle Estate. Furthermore, the proposal would not have a detrimental impact on the living conditions of neighbouring properties through loss of privacy or overshadowing. In respect of intensification of use, the proposal would lead to an increase in noise and disturbance but not at a level that would sustain an amenity objection.

- 6.41 Any potential impact on the character of the area and biodiversity would be mitigated by the imposition of relevant conditions. Adequate provision for the disposal of foul and surface water has been provided. The proposal would not have a detrimental impact on highway safety.

- 6.42 The proposal has been assessed in accordance with the Development Plan with planning considerations taken into account; the recommendation is for approval as the benefits of the scheme outweigh any perceived adverse impacts highlighted by the objectors.

7. Planning History

- 7.1 Early in 2011, an application for erection of 4no. terrace dwellings with pedestrian access and basement car park was withdrawn (application reference 10/1010).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
 1. the submitted planning application form received 8th December 2011;
 2. the Design and Access Statement received 8th December 2011;
 3. the Planning Proposal Document received 8th December 2011;
 4. the Desktop Study for Environmental History received 8th December 2011;
 5. the Phase 1 Habitat, Badger and Bat Survey produced by Echoes Ecology Limited received 8th December 2011;
 6. the Phase 1 Habitat, Badger and Bat Survey produced by Echoes Ecology Limited received 8th December 2011;
 7. the Phase 1 Habitat, Badger, Bat and Nesting Bird Survey produced by Echoes Ecology received 30th April 2013;
 8. the Contract Bat Survey produced by Echoes Ecology Limited received 8th December 2011;
 9. the Breeding Bird Survey produced by Echoes Ecology Limited received 8th December 2011;
 10. the Otter, Water Vole and Red Squirrel Survey produced by Echoes Ecology Limited received 8th December 2011;
 11. the Otter, Water Vole and Red Squirrel Survey produced by Echoes Ecology Limited received 30th April 2013;
 12. the Sewage Treatment and Disposal System Report produced by D Clayton received 30th April 2013;
 13. the Report on the results of the infiltration Testing of land produced by D Clayton received 13th May 2013;
 14. the Additional Information produced by D Clayton received 9th May 2013;
 15. the Tree Survey produced by Edwin Thompson received 24th October 2012;
 16. the Addendum to Tree Survey produced by Edwin Thompson received 30th April 2013
 17. the Site Plan received 8th December 2011 (Drawing Number 1304 001 Rev B);

18. the Site Plan as Existing received 8th December 2011 (Drawing Number 1304 005);
19. the Proposed Plans received 8th December 2011 (Drawing Number 1304 012 Rev A);
20. the Proposed Elevations received 8th December 2011 (Drawing Number 1304 013 Rev A);
21. the Site Plan as Proposed received 23rd October 2012 (Drawing Number 1304 015 Rev D);
22. the Block Plan received 20th September 2012 (Drawing Number 1304 016 Rev G);
23. the Site Drainage Plan received 7th May 2013 (Drawing Number 1213.20 01 Rev A);
24. the Viability Assessment submitted by Edwards and Partners dated 11th March 2014;
25. the Notice of Decision; and
26. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. The premises shall be used for let holiday accommodation and for no other purpose, including any other purpose in Class C of the Schedule to the Town and County Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any Statutory Instrument revoking and re-enacting that Order with or without modification.

Reason: To ensure that the approved holiday accommodation is not used for unauthorised permanent residential occupation in accord with the objectives of Policy EC16 of the Carlisle District Local Plan 2001-2016.

4. The premises shall not be used as a second home by any person, nor shall it be used at any time as a sole and principal residence by any occupants.

Reason: To ensure that the approved holiday accommodation is not used for unauthorised permanent residential occupation in accord with the objectives of Policy EC16 of the Carlisle District Local Plan 2001-2016.

5. A bound register of all occupants of the accommodation hereby approved shall be maintained at all times and shall be made available for inspection by the Local Planning Authority on request. The register shall contain details of those persons occupying the premises, their name, normal permanent address and the period of occupation of the premises by them.

Reason: To ensure that the approved holiday accommodation is not used for unauthorised permanent residential occupation in accord with the objectives of Policy EC16 of the Carlisle District Local Plan 2001-2016.

6. Samples or full details of all materials to be used on the exterior shall be submitted to and approved, in writing, by the Local Planning Authority before any work is commenced.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. Details shall be submitted of the proposed hard surface finishes to all external areas within the proposed scheme and approved by the Local Planning Authority before any site works commence. The approved scheme shall be fully implemented prior to the commencement of use of any unit hereby permitted.

Reason: To ensure that materials to be used are acceptable and in compliance with the objectives of Policy EC16 of the Carlisle District Local Plan (2001-2016).

8. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no extensions shall be carried out on the units hereby permitted without the permission of the Local Planning Authority.

Reason: The local planning authority wishes to retain full control over the matters referred to in order to protect the living conditions of the neighbouring residents and safeguard the character of the area in accordance with Policy EC16 of the Carlisle District Local Plan 2001-2016.

9. No development shall be commenced on site, including site work of any description, until a Detailed Method Statement has been submitted to, and approved in writing, by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction process. The Statement shall provide for:

- i. the method of construction for all works in the root protection area of the retained trees.

Reason: In order to ensure that adequate protection is afforded to all trees/hedges to be retained on site in support of Policies CP3 and CP5 of the Carlisle District Local Plan 2001-2016.

10. Before any development is commenced on the site, including site works of any description, a protective fence in accordance with Fig. 2 in B.S. 5837: 2005 shall be erected around the trees and hedges to be retained at the extent of the Root Protection Area as calculated using the formula set out in B.S. 5837. Within the areas fenced off no fires should be lit, the existing ground level shall be neither raised nor lowered, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. The fence shall thereafter be retained at all times during construction works on

the site.

Reason: In order to ensure that adequate protection is afforded to all trees/hedges to be retained on site in support of Policies CP3 and CP5 of the Carlisle District Local Plan 2001-2016.

11. The development shall be landscaped in accordance with details to be submitted to and approved by the Local Planning Authority and shall include details of the proposed type and species of all planted material including particulars of the proposed heights and planting densities. Any landscaping scheme should include fruit-bearing trees and shrubs together with nectar-rich plants.

Reason: To ensure that a satisfactory landscaping scheme is prepared. and to ensure compliance with Policy CP2 and Policy CP3 of the Carlisle District Local Plan 2001-2016.

12. All works comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following the commencement of use of any unit hereby permitted or completion of the development, whichever is the sooner.

Reason: To ensure that a satisfactory landscaping scheme is implemented in accord with Policy CP3 of the Carlisle District Local Plan 2001-2016.

13. The development hereby approved shall not be carried out otherwise than in complete accordance with the birds requirement/recommendations contained within the Action Plan in Section 5.2 of the Breeding Bird Survey and Section 5.4 of the Phase 1 Habitat, Badger, Bat and Nesting Bird Survey prepared by Echoes Ecology Limited dated 30th June 2011 and 30th April 2013 respectively.

Reason: In order to ensure no adverse impact on a European Protected Species in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

14. The development hereby approved shall not be carried out otherwise than in complete accordance with Bat Mitigation Method Statement contained within Appendix II of the Contract Bat Survey, Section 5.2 of the Phase 1 Habitat, Badger and Bat Survey and Section 5.4 of the Phase 1 Habitat, Badger, Bat and Nesting Bird Survey prepared by Echoes Ecology Limited dated 30th June 2011 and 30th April 2013 respectively.

Reason: In order to ensure no adverse impact on a European Protected Species in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

15. A scheme for the provision of bat and bird roosting boxes shall be submitted within two months of the grant of this permission and subsequently approved

in writing by the Local Planning Authority .

Reason: In order to ensure no adverse impact on a European Protected Species in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

16. Before any development takes place, a plan shall be submitted for the prior approval of the Local Planning Authority reserving adequate land for the parking of vehicles engaged in construction operations associated with the development hereby approved, and that land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

Reason: The carrying out of this development without the provision of these facilities during the construction works is likely to lead to inconvenience and danger to road users in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

17. No work associated with the construction of the residential units hereby approved shall be carried out before 07.30 hours on weekdays and Saturdays nor after 18.00 hours on weekdays and 16.00 hours on Saturdays (nor at any times on Sundays or statutory holidays).

Reason: To prevent disturbance to nearby occupants in accordance with Policy H2 of the Carlisle District Local Plan 2001-2016.

NOTES AND AMENDMENTS
 This drawing is copyright. Figures, dimensions are to be taken from the drawing unless otherwise stated. Any alterations must be reported to the architect immediately and approved in writing.

NO.	REVISIONS	DATE
1	B Updated	08/11

RECEIVED
 8 - DEC 2011
 11/10/3



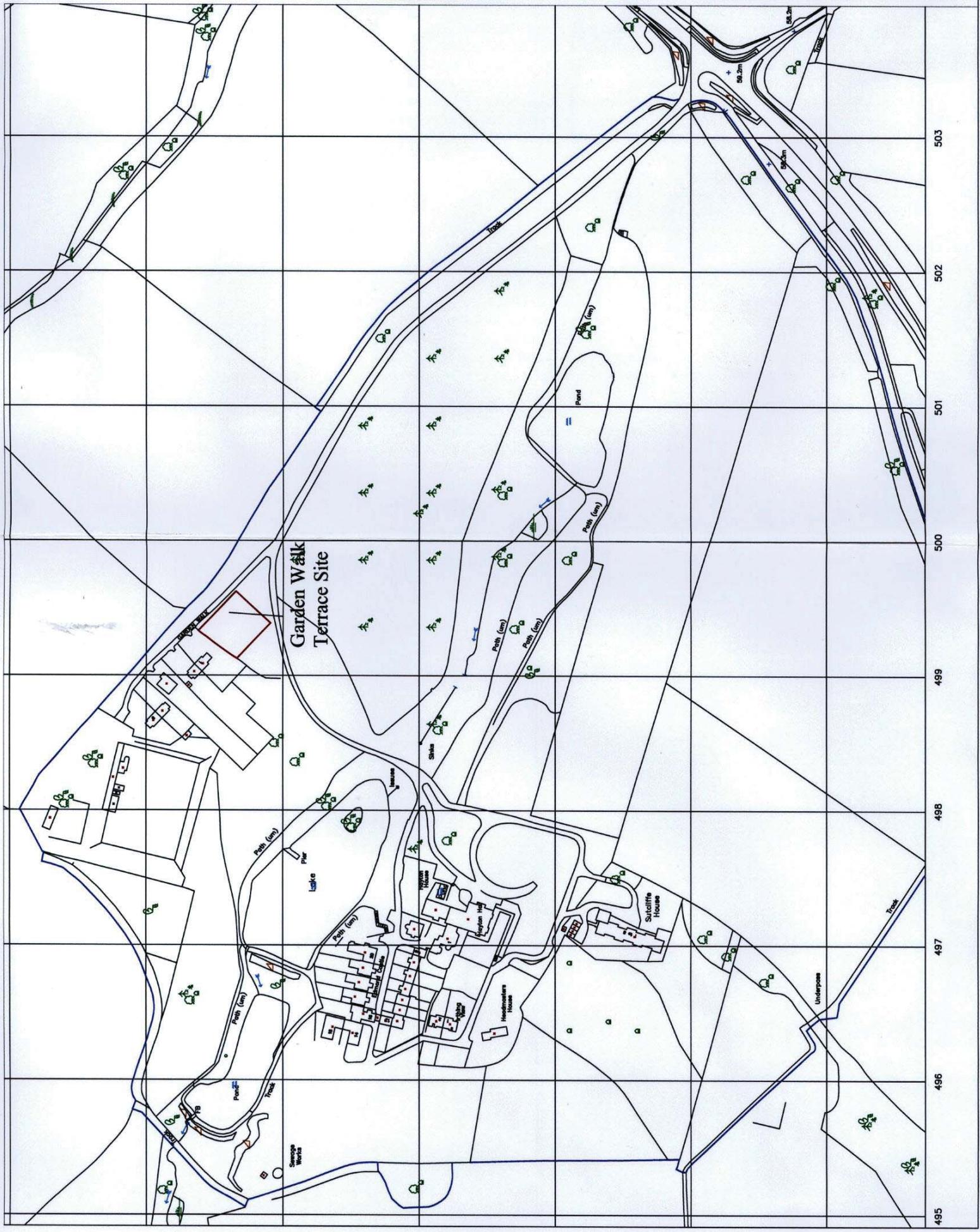
**ASHWOOD
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ASSOCIATES LTD**

Architects Surveyors CDM Co-ordinators

12A Clifford Court, Parkhouse Business Park, Castle CA10 0D
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 e: ash@ashwooddesign.co.uk
 www.ashwooddesign.co.uk

PROJECT: Haydon Construction Ltd
 Proposed Holiday Lets 4 No.
 Garden Walk
 Blunston Castle, County Hill
 Lathure
 Warrington

SCALE: 1:2000	DATE: 08/11	SHEET No: 1	OF: 1
PROJECT NUMBER: 1304	001	REVISIONS: B	



NOTES AND AMENDMENTS
 All dimensions and positions are to be taken from the centre of the line unless otherwise stated. All dimensions are to be taken from the centre of the line unless otherwise stated. All dimensions are to be taken from the centre of the line unless otherwise stated.

REV	DESCRIPTION	ISSUED	DATE



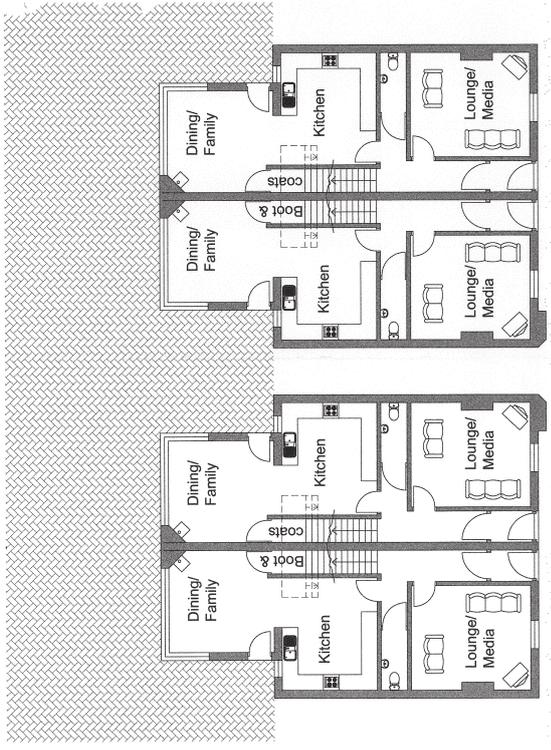
ASHWOOD DESIGN ASSOCIATES LTD
 Architects Surveyors CDM Co-ordinators
 11A Clifford Court, Parkhouse Business Park, Castle CVA1 0UG
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 f: 01238 528861 www.ashwooddesign.co.uk

PROJECT
 Haydon Construction Ltd
 Proposed Holiday Lets 4 No.
 Garden Walk
 Richmond Castle, Cooey Hill
 Leisnure
 York, YO9 5PP

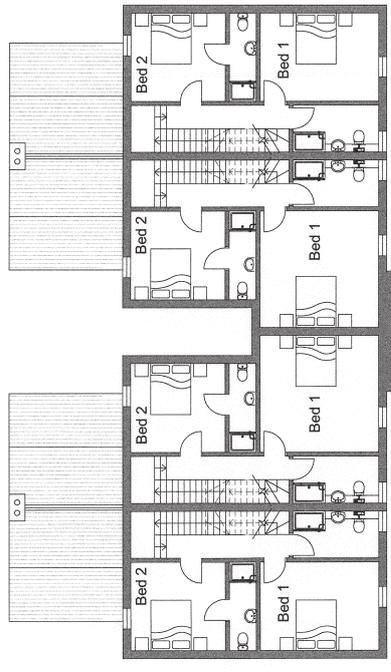
SCALE	DATE	NO. OF SHEETS	SHEET NO.	CAD FILE
1:500	AI	1	1	11063

PROJECT NUMBER 1304 **005**

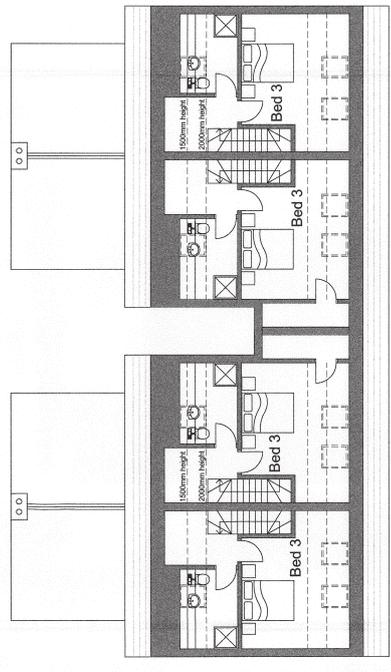




GROUND FLOOR PLAN



FIRST FLOOR PLAN



ATTIC PLAN

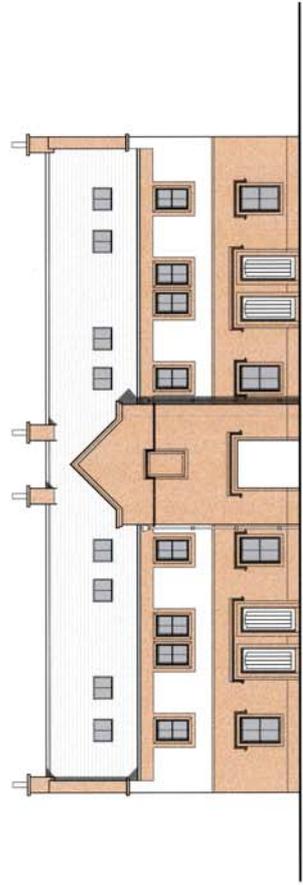


Scale	Date	Drawn	Check
1:100	A1	SF	25/11/11
Project No.	1304	Sheet No.	012
		Revision	A

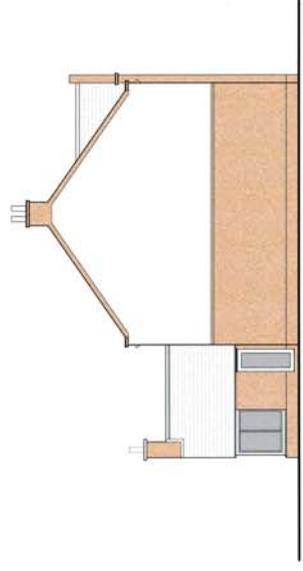
NOTES AND AMENDMENTS
 1. All work to be carried out in accordance with the Building Regulations and the relevant Building Control Authority.
 2. All work to be carried out in accordance with the relevant British Standards.
 3. All work to be carried out in accordance with the relevant Building Regulations and the relevant Building Control Authority.

REVISIONS

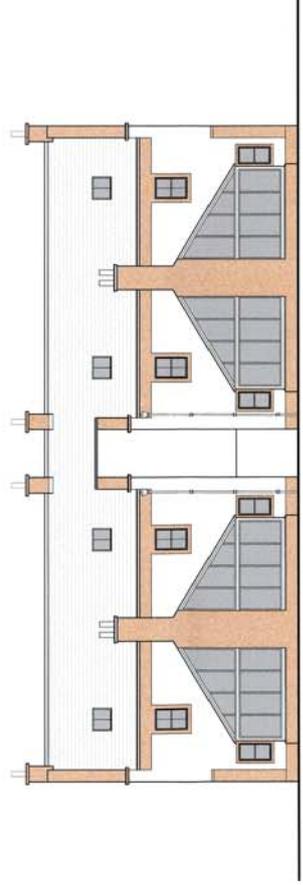
No.	Description	Date	By
A	Planning Application	28/11/17	SF



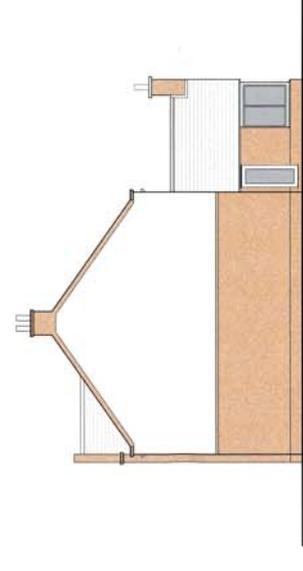
FRONT ELEVATION (NORTH)



GABLE ELEVATION (EAST)

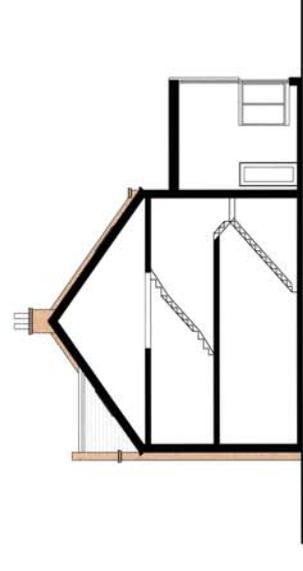


REAR ELEVATION (SOUTH)



GABLE ELEVATION (WEST)

MATERIALS / COLOURS:
 Walls: White
 Ground Floor: Ashlar sandstone, Buff
 First Floor: Buff coloured stone, Off white
 Roof: Slate
 Windows / Doors: White
 Timber: White paint
 Rain Water Goods: Aluminium profile, Buff to match sandstone



SECTION



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Haydon Construction Ltd
 Proposed Holiday Lets 4 No.
 Garden Walk

No.	Class	Area	SF	Date
1304	A1	013		28/11/17

Proposed Elevations

These drawings are the property of Ashwood Design Associates Ltd. and shall not be used for any other project without the written consent of Ashwood Design Associates Ltd.

REVISIONS	
No.	Description
A.	Additional trees added
B.	Car parking and layout shown
C.	Drainage/retention/level alterations

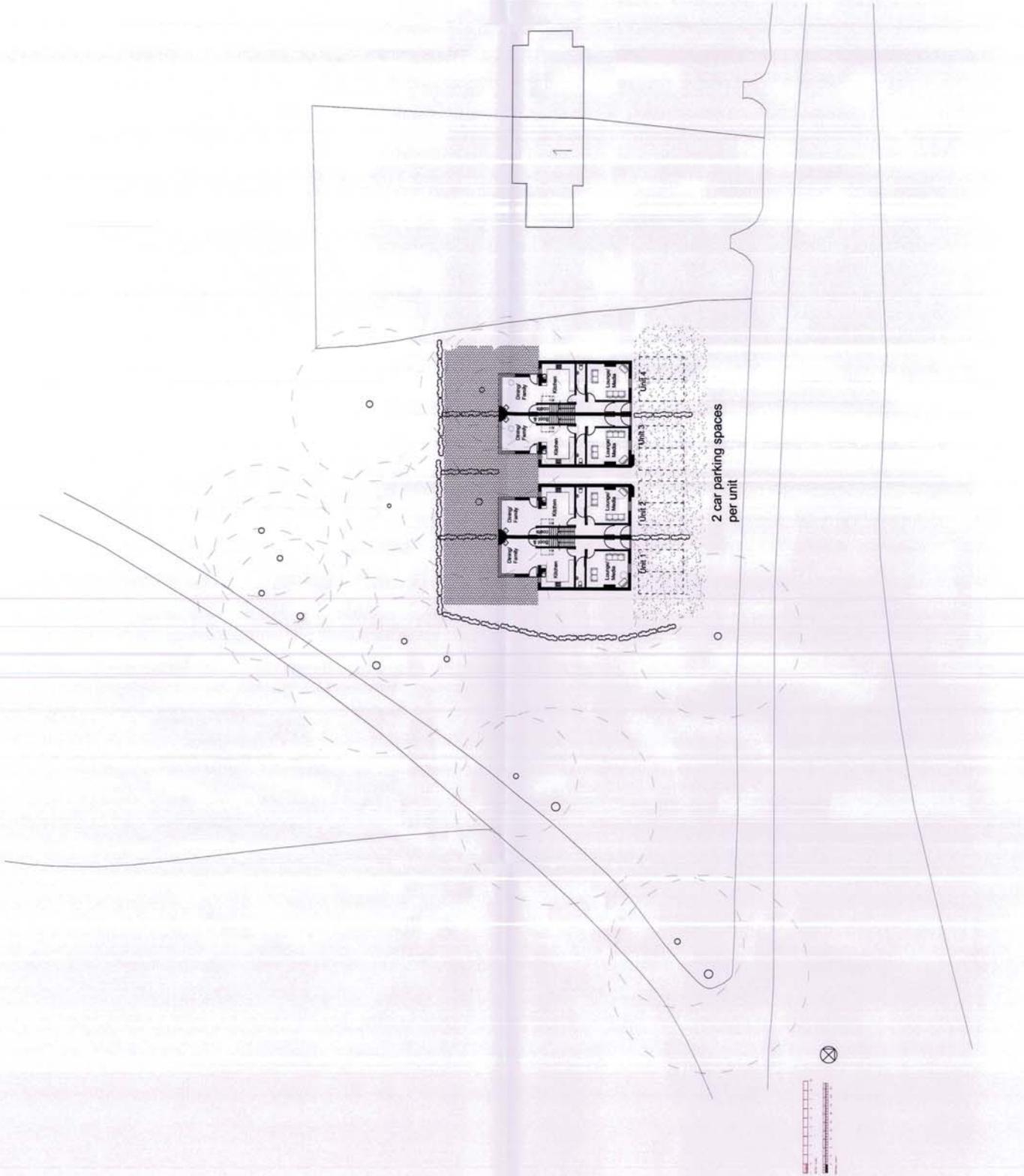


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Project Name: **Horton Construction Ltd**
Proposed Holiday Lets 4 No.
Garden Walk
 Site Plan as Proposed

Scale	Sheet	Project	Date
1:200	A1	LVP	08/02/2013
1304		015	D



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 11 MAY 2013
 111063

REVISIONS

No.	Description	Date	By
1	Prepared drawing package	08/05/12	GD
2	Change made	08/05/12	GD
3	Change made	08/05/12	GD
4	Change made	08/05/12	GD
5	Change made	08/05/12	GD
6	Change made	08/05/12	GD
7	Change made	08/05/12	GD
8	Change made	08/05/12	GD
9	Change made	08/05/12	GD
10	Change made	08/05/12	GD

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Planning
 Hayton Construction Ltd
 Proposed Holiday Units 4 No
 Garden Walk

Block Plan
 BLUE LINE OWNERSHIP ADDED

Scale	1:500	Area	A1	Level	LVP	Date	31/03/13
Sheet No.	1304	Sheet	016	Sheet	G		



1. The contractor must check and verify dimensions of the site and
2. The drawing is to be used as a guide and checked against any
3. The contractor must verify in each compliance with all British Standards
4. This drawing and the work shown on this drawing is to be checked
5. The contractor must ensure that the work is carried out in accordance with the



SPACE
DESIGNED SOLUTIONS LTD

Hayton High Estate
Eatonford Castle
Hayton
Carlisle
Proposed Holiday Letting Units (4No.)
Site Drainage Plan
Garden Walk
Revised Scheme As Proposed
16.04.2013 1213.20
1:500
LP

