

Development Control Committee Main Schedule

Schedule of Applications for
Planning Permission

PART 1

19th December 2008

Applications Entered on Development Control Committee Schedule

Item No.	Application Number/ Schedule	Location	Case Officer	Page No.
01.	<u>08/0904</u> A	Carlisle College, Victoria Place, Carlisle, Cumbria, CA1 1HG	<u>ARH</u>	1
02.	<u>08/0968</u> A	Land Behind John Street Hostel, Shaddongate, Carlisle, CA2 5LG	<u>RJM</u>	45
03.	<u>08/1093</u> A	Land At Newlands Farm, By Cumwhinton, Carlisle	<u>ARH</u>	94
04.	<u>08/1025</u> A	Land to Rear of 67 Denton Street, Rear of 4-26 Thomas Street, Carlisle	<u>SD</u>	121
05.	<u>08/0892</u> A	Henderson Gardens, Henderson Road, Carlisle	<u>ST</u>	137
06.	<u>08/1056</u> A	71 Scotland Road, Carlisle CA3 9HT	<u>DNC</u>	148
07.	<u>08/1091</u> A	Land To The Rear Of 42 The Green, Houghton, Carlisle, CA3 0LA	<u>SG</u>	164
08.	<u>08/1128</u> B	60 Denton Street, Carlisle, Cumbria, CA2 5EH	<u>CG</u>	178
09.	<u>08/1101</u> A	Field 8578, Henrys Hill, Kirkclinton, Cumbria, CA6 6EA	<u>SD</u>	192
10.	<u>08/0722</u> A	3 Crindledyke Estate, Kingstown, Carlisle, CA6 4BZ	<u>RJM</u>	203
11.	<u>08/0350</u> A	Ghyll Bank Yard, Low Harker, Carlisle, CA6 4DG	<u>ARH</u>	217
12.	<u>08/0906</u> A	Field 8443 Spruce Grove, Penton, Carlisle, CA6 5QR	<u>RJM</u>	233
13.	<u>08/0961</u> A	Land adjacent to Windrush, Burgh by Sands	<u>SD</u>	247
14.	<u>08/0241</u> C	89 Walkmill Crescent, Carlisle, CA1 2WF	<u>SD</u>	263
15.	<u>08/0392</u> C	Land Adjoining Monkhill Farm, Monkhill, Carlisle, CA5 6DB	<u>BP</u>	264

Applications Entered on Development Control Committee Schedule

Item No.	Application Number/ Schedule	Location	Case Officer	Page No.
16.	<u>08/1094</u> D	20 Waverley Road, Stanwix, CARLISLE CA3 9JU	<u>BP</u>	267
17.	<u>08/0972</u> D	Cumbria Constabulary, Police Custody Suite, Brunel Way, Durranshill Industrial Estate, Carlisle, CA1 3NQ	<u>RJM</u>	268

The Schedule of Applications

This schedule is set out in five parts:

SCHEDULE A - contains full reports on each application proposal and concludes with a recommendation to the Development Control Committee to assist in the formal determination of the proposal or, in certain cases, to assist Members to formulate the City Council's observations on particular kinds of planning submissions. In common with applications contained in Schedule B, where a verbal recommendation is made to the Committee, Officer recommendations are made, and the Committee's decisions must be based upon, the provisions of the Development Plan in accordance with S54A of the Town and Country Planning Act 1990 unless material considerations indicate otherwise. To assist in reaching a decision on each planning proposal the Committee has regard to:-

- relevant planning policy advice contained in Government Circulars, Planning Policy Guidance Notes, Development Control Policy Notes and other Statements of Ministerial Policy;
- the adopted provisions of the Cumbria and Lake District Joint Structure Plan;
- the City Council's own statement of approved local planning policies including the Carlisle District Local Plan;
- established case law and the decisions on comparable planning proposals
- including relevant Planning Appeals.

SCHEDULE B - comprises applications for which a full report and recommendation on the proposal is not able to be made when the Schedule is compiled due to the need for further details relating to the proposal or the absence of essential consultation responses or where revisions to the proposal are awaited from the applicant. As the outstanding information and/or amendment is expected to be received prior to the Committee meeting, Officers anticipate being able to make an additional verbal report and recommendations.

SCHEDULE C - provides details of the decisions taken by other authorities in respect of those applications determined by that Authority and upon which this Council has previously made observations.

SCHEDULE D - reports upon applications which have been previously deferred by the Development Control Committee with authority given to Officers to undertake specific action on the proposal, for example the attainment of a legal agreement or to await the completion of consultation responses prior to the issue of a Decision Notice. The Reports confirm these actions and formally record the decision taken by the City Council upon the relevant proposals. Copies of the Decision Notices follow reports, where applicable.

SCHEDULE E - is for information and provides details of those applications which have been determined under powers delegated by the City Council since the previous Committee meeting.

The officer recommendations made in respect of applications included in the Schedule are intended to focus debate and discussions on the planning issues engendered and to guide Members to a decision based on the relevant planning considerations. The recommendations should not therefore be interpreted as an intention to restrict the Committee's discretion to attach greater weight to any planning issue when formulating their decision or observations on a proposal.

If you are in doubt about any of the information or background material referred to in the Schedule you should contact the Development Control Section of the Department of Environment and Development.

This Schedule of Applications contains reports produced by the Department up to the 05/12/2008 and related supporting information or representations received up to the Schedule's printing and compilation prior to despatch to the Members of the Development Control Committee on the 10/12/2008.

Any relevant correspondence or further information received subsequent to the printing of this document will be incorporated in a Supplementary Schedule which will be distributed to Members of the Committee on the day of the meeting.

SCHEDULE A

SCHEDULE A

SCHEDULE A

SCHEDULE A

SCHEDULE A

SCHEDULE A

SCHEDULE A: Applications with Recommendation

08/0904

Item No: 01

Date of Committee: 19/12/2008

Appn Ref No:
08/0904

Applicant:
Mr B Rose

Parish:
Carlisle

Date of Receipt:
04/09/2008

Agent:
Mr P Malthouse

Ward:
Castle

Location:
Carlisle College, Victoria Place, Carlisle, Cumbria,
CA1 1HG

Grid Reference:
340510 556100

Proposal: To Demolish Blocks B, C & D Of The Existing College And Erection Of A Replacement (9715 square metres) College Building (B, C, D & E) With Parking For 125 No Spaces

Amendment:

1. Revised floor and elevation plans received 13th November 2008.
2. Revised floor and elevation plans received 28th November 2008.

REPORT

Case Officer: Angus Hutchinson

Reason for Determination by Committee:

This a Major application of local significance and neighbouring residents wish to exercise their Right to Speak.

1. Constraints and Planning Policies

Public Footpath

The proposal relates to development which affects a public footpath.

Flood Risk Zone

Conservation Area

The proposal relates to land or premises situated within the Portland Square/Chatsworth Square Conservation Area.

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP9 - Devel., Energy Conservation and Effic.

Local Plan Pol CP12 - Foul&Surf.Water Sewerage/Sew.Tr.

Local Plan CP15 - Access, Mobility and Inclusion

Local Plan Pol CP17 - Planning Out Crime

Local Plan Pol LC8 - Rights of Way

Local Plan Pol LE8 - Archaeology on Other Sites

Local Plan Pol LE10 - Archaeological Field Evaluation

Local Plan Pol LE19 - Conservation Areas

Local Plan Pol LE27- Developed Land in Floodplains

Local Plan Pol LC11- Educational Needs

Local Plan Pol CP16 -Public Trans.Pedestrians & Cyclists

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): the Transport Assessment submitted with this application takes into account all the various elements of the Learning Village. However, it is considered that the approach taken in the TA was disappointing in that it seemed to put emphasis on vehicular traffic. Nevertheless, it came to the conclusion that "the Carlisle Learning Village can be developed without a detrimental impact on the surrounding highway network." (pg47).

It is considered that this application in particular, could have done considerably more to improve and encourage more sustainable means of travel. The site is ideally located (town centre, with good links to public transport/cycling facilities) to encourage students to use non motorised means of transport.

The presence of a cycling/pedestrian route does not negate the need by the applicant to assess the current facilities. It is a well known fact that "people will only choose to walk and cycle where the facilities they need to get to are within easy reach, and the journey will take then through a pleasant and welcoming street environment" (DfT Walking & Cycling an action plan 2004). For a route to be encouraged it should be Convenient, Safe, Accessible, Comfortable and Attractive.

Even though there was no requirement to undertake a full non motorised user audit, it was assumed that the author of the TA would raise at least a few of the aforementioned concerns. The County Council and the City Council, in consultation

with Sustrans, are spending considerable finance and effort to try and improve the cycling and walking links to the Learning Village, yet the TA gave only brief mention of this in point 3.3.

It is considered that the College should be required to make a contribution towards the following:

1) The improvements to the Cycle network; In particular the route that runs from Eden Bridge/Bitts Park, along Newark Terrace, Zero Path, Strand Road, on to Lismore Place, across Victoria Place/Warwick Road, Aglionby Street to Fusehill Street and then links to the Petterill Valley Cycle Path. There is also the need to upgrade the current pedestrian facilities (across Victoria Place) to allow cyclist to make use of this crossing point (i.e. a Puffin crossing to a Toucan crossing).

2) The review of the waiting restrictions in the immediate area. There is already considerable concerns in the neighbourhood about use of on street parking by college/school staff and students. It is proposed to extend the controlled parking zones A & B to include Strand Road and Victoria Place area, with a weekday restriction of 2 hours.

The applicant should therefore be required to partly fund these improvement to the amount of £29750.

The level of contribution will be in line with similar contribution sought on developments of the same scale. (Richard Rose Central Academy temporary move to NCTC)

The applicant should also be required to produce and maintain a Travel Plan through the imposition of a relevant condition.

The above concerns aside, there is no objection to the application, however recommend that the applicant create a raised table at the proposed pedestrian crossing point of Strand Road. Details of this table to be agreed with this Authority, prior to construction works starting on site. It is proposed that this table could be installed under a Highways Act 1980 Section 184 licence. This will create a safer crossing point for pedestrians as well as create a traffic calming element to Strand Road.

In conclusion there is no objection to this application but would recommend the imposition of 8 conditions;

Environment Agency (N Area (+ Waste Disp)): no objection to the development as proposed providing that the recommendations in the Flood Risk Assessment are taken forward into detailed design. The recommendations relate primarily to flood resilience measures to be incorporated into the proposed car parking on the Strand Road site and the requirement for the attenuation of surface water run-off. This is in order to ensure that volumes of surface water do not exceed existing discharges, and take into account allowance for climate change as recommended by the current guidance.

The Agency would recommend that any developer incorporates some form of

Sustainable Drainage System (SuDS) to mitigate the impact that the creation of large impermeable areas would have on the local surface water drainage system.

Alternatively, the Agency would request that the run-off of surface water to the existing surface water infrastructure is maintained at the existing rates;

Cumbria County Council - (Archaeological Services): the site of the proposed new college building was the subject of a programme of archaeological work in 2004 and 2005 as part of an earlier phase of development of the site. The results of this archaeological work indicate that the site of the proposed new college building will have a minimal impact upon archaeological remains. As part of this 2008 application there is a proposed car park to the north of Strand Road and the archaeological desk-based assessment that accompanies this application indicates that this area has some archaeological potential. However, given that the proposal in this area is for car parking, which will require limited ground disturbance, and that the existing college buildings are likely to have disturbed the site to a depth greater than the impact of the proposed car park, it is considered that the proposed development will have minimal archaeological implications. Therefore no wish to make any recommendations or comments;

Ramblers Association: comments awaited;

Cumbria Constabulary - Crime Prevention: I am encouraged to note the proposals in respect of the Building Footprint & Orientation, Climbing Aids, CCTV and Intruder Alarm System. However, I note there is no reference to the specification of exterior doors or windows. I recommend the incorporation of security standard products - i.e. products compliant with LPS 1175. It may also be appropriate to deploy similar products to secure internal storage areas - in addition to the proposed Internal Security measures.

I have also perused a separate document 'Carlisle College - Landscape and Public Realm Strategy and viewed the Landscape Masterplan drawing. It is imperative that the Landscape Architect, Lighting Engineer and CCTV Scheme designers liaise with each other, to maximise surveillance opportunities and to ensure that landscape elements do not impede effective illumination of the site.

With regard to the proposals for the new parking area, the SBD Statement advises 'To the rear and the sides of the car park, the existing timber fence will be retained.' This fence does not form a complete perimeter and varies in height between approximately 1.2 and 2 metres. Part of the rear boundary is formed by brick walls varying in height of approximately 1.8m & 2.4 m. Several trees and other features could be exploited as climbing aids from this direction. In my view this arrangement does not form a secure boundary for this facility and a more substantial treatment should be implemented. I note the intention to observe the car park with CCTV from cameras mounted on the main building. These sightlines must not be impeded by the proposed landscaped buffer strip.

I acknowledge the applicant's stated desire regarding the incorporation of advice within the initial correspondence;

East Cumbria Countryside Project: comments awaited;

Development Services Planning & Housing Services - Access Officer: the contents of the submitted Design and Access Statement are appreciated. This aside it is considered that the following matters need to be noted:

1. automatic sliding doors are quoted within the Statement as being provided at both entrances but the plans show inward and outward opening doors;
2. disabled toilet locations should comply with ADM 5.10 and travelling distances for disabled people accessing these toilets should be checked;
3. attention to counter heights is required i.e. at reception, any eating areas etc;
4. consideration to layout and furniture (i.e. eating areas and reception) should be considered as well as colour contrast, lighting and door furniture;
5. induction loops should be fitted where appropriate.

The applicant should be aware of the requirement to comply with Part M of the Building Regulations and the duties under the Disability and Discrimination Act;

Northern Gas Networks: United Utilities has no objections to these proposals however there may be apparatus in the area that may be at risk during construction works and should the planning application be approved, the the promoter of the works should contact NGN directly to discuss requirements in detail. Should diversionary works be required these will be fully chargeable;

Conservation Area Advisory Committee: the Committee had grave concerns about this proposal which it considered would have a significant and detrimental impact on the setting and appearance of the immediately adjacent Conservation Area. The scheme was completely unacceptable, in scale, volume, detailing and materials. The proposed building will not sit well with the well-designed frontage building on Victoria Place. This very dated design was considered to be both horrendous and gross. There was no sign that the relationship of the new building to its surroundings had been considered at all. This ugly replacement building would overpower the adjacent Strand Road properties;

Development Services Planning & Housing Services - Conservation Section: in relation to the originally submitted plans overall concerns were raised that the proposal represented a lost opportunity that could not be supported.

In the case of the revised scheme it is noted that the revised scheme involves a detailed parapet and altered window details whilst also 'revealing' the structure and splaying back the ground floor under the cantilever to 'announce' the entrance as suggested by the Design Review. However, this is only tweaking a design that has lost the boldness of the earlier pre-application scheme.

Remain unimpressed by the proposal and could not, therefore, give support to this application;

Development Services Planning & Housing Services - Urban Designer: have

had a long series of discussions with the applicants and I feel that they have arrived at a proposal which I can now offer support. The submitted scheme is a substantial new building which will form a significant piece of townscape and I believe will make a positive contribution to the appearance of the city. Its modern idiom is appropriate given its scale, function, and position in the streetscape.

The building is of an appropriate scale to bridge its challenging location between modestly scaled Victorian terraces on Strand Road and the substantial buildings of Trinity School and the city beyond. Treatment such as the lower three storey eastern elevations respect the modesty of neighbouring streets, while the higher portion of the building looks westwards and makes a visual connection across Georgian Way.

Careful choice of materials, such as a brick type which reflects the local texture and colour range will help to form a link between the College and surrounding buildings. Areas of glazing, and architectural statements such as the cantilever and the projecting 14-19 box introduce confident modern elements that add life to a building of considerable scale.

I would welcome careful detailing in the public realm surrounding the building and would consider that tree planting to Strand Road would help integrate the structure into the frequently tree-lined streets east of Georgian Way. The landscaping treatment to Compton Street should also be developed to draw the user subconsciously towards the entrance, without the need to rely on extraneous signage and directional aids.

Our discussions with the applicants have frequently touched on the need to emphasise vertical elements in the scheme in order to tie in with the wider streetscape. On paper, they have now achieved this and it is important to ensure that the detailed implementation of the scheme reflects this, for example, in ensuring a hierarchy of framing elements to the Kalwall and glazed portions that continue to express this vertical rhythm.

In conclusion, this is a challenging site but the applicants have now arrived at a building which will make a positive contribution to the streetscene and in my view it should be recommended for approval;

Environmental Services: from the information provided in the Transport Assessment and following national guidance on local air quality, the slight increase in traffic associated with this development does not trigger the need for an air quality impact assessment and is unlikely to lead to a significant deterioration in air quality in the locality or in any of the air quality management areas within the city. This Division subsequently does not have any objections to this development.

Places Matter Design Review: there are a number of different issues that must be addressed by this scheme. First of all you are working with an existing building which covers almost 1/3 of the site. You must also include a complementary yet separate centre for 14 to 19 year olds and you must provide a strong visual contact with the town centre and an equally strong entrance to this multipurpose building.

You have created a very strong cantilever at the northwest corner of the new building which provides a lens pulling the college into the city centre. However, it

creates a certain amount of ambiguity as to where the main entrance is as this is such a strong feature. It might help to angle the glazing towards the entrance emphasising it. You would be in essence turning people at this point. We also suggest you experiment with flipping the positions of the stair tower with the cantilever as this might reinforce the entrance location.

The 14 to 19 year old box at the entrance does not appear to have as strong a presence perhaps due to the lack of structure expressed in the facade. This further dilutes its presence and makes it less legible to those trying to locate it.

We feel more work is needed on the public realm at Strand Road as it is not expressive enough to draw the pedestrian towards the entrance to the college. Every effort should be made to draw the pedestrian into the entrance through public realm. The levels on the forecourt appear to be helpful in that they set up a diagonal fall that could be further accentuated by the layout of elements such as seating and work together with an angle on the cantilever described above.

The vertical elements in the fenestration reflecting the structure of the building respond well to the surrounding domestic architecture. We find the brick box floating on top of the glazed facade to be less convincing. This is due in part to the lack of structural expression in the glazed curtainwall and in part due to the brick cladding. We suggest you consider a lighter cladding material for this box. It reads more as an office building and less as an academic institution with the use of the brickwork.

The solar gain on the cantilever to the west must be addressed possibly through the use of brise soleil.

On a final note we suggest that the proposed car park is considered in the longer term as a possible recreation ground for the entire learning village. It is acknowledged that the changes likely in the surrounding fabric are not yet defined but the fact that this car park does not need to be constructed until the end of the construction period does afford the opportunity for a better solution to be negotiated with adjoining landowners and the Council. To this end we are disappointed that the masterplan currently being undertaken for the centre does not extend to incorporate this crucially changing part of the city: perhaps the City Council can be persuaded to extend the boundary of this important exercise in order to provide a guiding framework in consultation with the constituent land-owners.

The Georgian Way is an impenetrable barrier between the centre of the city and the Learning Village. Although you have made efforts to visually bridge this barrier it is imperative that a dialogue needs to happen about a better connection across this, whether it is addressed for its own sake or as part of the wider masterplanning exercise advocated above.

We feel that this is a strong scheme and is welcome for the further development of the College. We have made only a few comments and recommend that it should receive planning permission.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
36 Victoria Place	15/09/08	
37 Victoria Place	15/09/08	
1 Strand Road	15/09/08	
2 Strand Road	15/09/08	
3 Strand Road	15/09/08	
4 Strand Road	15/09/08	
5 Strand Road	15/09/08	
6 Strand Road	15/09/08	
7 Strand Road	15/09/08	
8 Strand Road	15/09/08	
9 Strand Road	15/09/08	
20 Showfield	15/09/08	
Trinity School	15/09/08	
38 Victoria Place	15/09/08	
39 Victoria Place	15/09/08	
40 Victoria Place	15/09/08	
41 Victoria Place	15/09/08	
42 Victoria Place	15/09/08	
43 Victoria Place	15/09/08	
44 Victoria Place	15/09/08	
45 Victoria Place	15/09/08	
46 Victoria Place	15/09/08	
1 Compton Street	15/09/08	
2 Compton Street	15/09/08	
3 Compton Street	15/09/08	
4 Compton Street	15/09/08	
5 Compton Street	15/09/08	
6 Compton Street	15/09/08	
7 Compton Street	15/09/08	
8 Compton Street	15/09/08	
9 Compton Street	15/09/08	
2 Chatsworth Square	15/09/08	
50 Victoria Place	15/09/08	
Christian Science Church	15/09/08	
Central Clinic	15/09/08	
Red Lodge	15/09/08	
Houghton House	15/09/08	
Hartington House		Objection

3.1 This application has been advertised by press and site notices and the direct notification of the occupiers of 40 neighbouring properties. In response one letter of objection has been received on the following grounds:

1) presently, Hartington House on Hartington Street faces one storey and two storey Carlisle College buildings and several trees. The house has a South-West aspect. The proposed height of Block D in the new build is higher than the roof of Hartington House. The long narrow design of our house means that all the living rooms, kitchen and bedrooms (apart from one room) face into Hartington Street. Therefore, the proposed Block D would overshadow virtually all the rooms in the house including our private garden. The plan of the existing context elevation, DWG19, shows this quite clearly. We would refer you to policy CP4 and CP5 in the Carlisle and District Local Plan and request an Overshadow Exercise to be undertaken.

2) Additionally, we are extremely concerned about the impact on traffic management in Strand Road and the adjoining streets. This is an area with a very high number of College students and School children, which will increase when the new Academy moves back onto the St. Aidan's site, and the inevitable increase in vehicle traffic is certain to pose an even greater risk to their safety. Currently the speed of cars on Strand Road can be very dangerous and we would ask for a 20mph speed limit to be applied in this area and a Travel Plan to be set up by the College.

3) reserve the right to speak to the Development Control Committee.

4. Planning History

- 4.1 The site has a relatively extensive history. As a way of summarising the situation the most significant decisions comprise the following.
- 4.2 In 1949, under application number TP16, planning permission was given for the erection of a Technical College.
- 4.3 In 1971, application number C89, permission was given for extensions to the College.
- 4.4 In 1977, application number 77/0895, permission was given for the formation of a connecting corridor.
- 4.5 In 1983, application number 83/0319, permission was given for a projecting canopy along Victoria Place.
- 4.6 In 1991, 1996 and 1999, application numbers 91/0635, 96/0083, 96/0363 and 99/0863, has subsequently been granted for a series of additional extensions.
- 4.7 In 2004, under application numbers 04/0520 and 04/0521 planning permission and Conservation Area Consent were given for the redevelopment of the entire campus ("phases 1-5").
- 4.8 In 2005, application 05/0838, planning permission was given amended details to the scheme approved under 04/0520 including creation of a smoking platform, modified Victoria Road entrance, enclosure of bin storage area, re-siting of pedal/motorcycle storage, re-location of boiler, re-positioning of workshop doors, and, modification to the emergency escape stairs and doors.

5. Details of Proposal/Officer Appraisal

Forward

- 5.1 Members will recollect that during their Meeting on the 3rd October they resolved to defer consideration of the application in order to allow further

discussions to take place over the proposal inclusive of the receipt of "shadow plans"; refer the proposal to a Design Review Panel; clarify the adequacy of the proposed parking arrangements; consult Environmental Services with regard to any issues associated with air quality. Following this decision and the presentation of the proposal to the Places Matter Design Review in Chester on the 4th November, a Sun Cast Investigation Report was received on the 11th November and revised plans on the 13th November.

- 5.2 During the Committee Meeting on the 14th November, consideration of the application was deferred in order to allow proper consideration of recently revised plans and comments of consultees.
- 5.3 In order to clarify matters, what follows is a modified version of the report originally presented to Members at their previous Meeting.

Introduction

- 5.4 Carlisle College campus comprises five property holdings namely:
 - a) the main collection of buildings contained by Victoria Place, Compton Street, Hartington Street and Strand Road;
 - b) the buildings located on the northern side of Strand Road linked by an overhead walkway;
 - c) Chatsworth House located at the corner of Victoria Place and Chatsworth Square;
 - d) St Paul's Church Hall at the junction of Strand Road and Compton Street; and,
 - e) Swifts Mews bounded by Georgian Way and Strand Road.
- 5.5 This application relates to those elements which front onto Compton Street, Hartington Street and Strand Road and for the purposes of this application have been annotated buildings "A", "B", "C" and "D". Building A is the recently constructed four storey block which fronts onto Victoria Place and houses engineering, science, general teaching areas. Building B is sandwiched between buildings A and C and is a five storey block which provides accommodation for catering, IT, management and administration. Building C consists of a single storey element fronting the southern side of Strand Road and an attached three storey block which originally housed engineering, car maintenance, electronics and plumbing. On the opposite side of Strand Road there is building D which has single and four storey elements that provide accommodation for construction, the refectory and temporary administration functions.
- 5.6 Carlisle College campus is set within the context of Trinity School and two former semi-detached houses on the northern side of Strand Road which are used as classrooms; the terraced residential properties on the western side of

Strand Road; the Central Clinic and two houses on the eastern side of Hartington Street; and, the terraced houses on the southern side of Strand Road. The site slopes from south to north and west to east.

- 5.7 A public footpath (Zero Path) runs along the western side of building D leading to Dukes Road and the Sands Centre. Building A fronting Victoria Place is within the Chatsworth Square Conservation Area. There are grade II Listed Buildings at 1 Compton Street, 36 - 46 Victoria Place, 22 and 23 Chatsworth Square, and the railings/walls and gates of Chatsworth Square gardens.

Background

- 5.8 A space-needs assessment was undertaken by the College in 2003 which identified that the gross internal area of the College was 22,699 square metres but on the basis of 2002/03 course provision the maximum area actually required was 9,886 square metres. A study of the College's future prospects concluded that by 2007/08 the "Guided Learning Hours" would have recovered from 817,410 in 2002/03 to 973,488. As a result it was determined that the most economic approach was to demolish all but 5,385 square metres of the current campus and then to re-build an area amounting to 6,067 square metres i.e. a total floor space of 11,452 square metres. In June 2004, under application 04/0520, planning permission was given to redevelop the entire campus with a revised scheme, application 05/0838, approved in 2005.
- 5.9 In 2005 the College commenced the implementation of the schemes approved under 04/0520 and 05/0838 by the demolition and replacement of building A which now has 5,326 sqm of floor space. In May 2007 a further feasibility study concluded that the College could be redeveloped in a phased manner but based on a different scheme to that already given permission in order to better meet the aspirations of the Learning and Skills Council.
- 5.10 The current application shows the demolition of the existing buildings B, C and D providing 9,715 sqm of accommodation leading to a total floor space of over 15,000 sqm which is over 7,000 sqm less than the current overall campus.
- 5.11 The submitted plans show the provision of a main "entrance plaza" and access via Compton Street with a centrally positioned secondary Strand Road entrance to serve visitors and staff using a new 122/125 space car park with bicycle storage and a "linear park" for socialising. The Compton Street elevation consists of the replacement buildings B and C. Building B is shown to have a three storey brick stairwell and glazed atrium with a centrally positioned projecting bay framed by copper cladding on the second floor. The projecting bay serving what is referred to as the 14-19 Centre. Proposed building C has five floors with the walls externally faced in brickwork, glazing and "Kalwall" translucent panels. At the corner of Compton Street with Strand Road there is a bay of three floors which projects beyond the glazed ground and first floors by 5.0m. Building C continues around and along Strand Road with the glazing on the ground and first floors with upper three

floors clad in brickwork. The glazed entrance from Strand Road, that is shown to have a copper clad main entrance canopy, provides the linking element with the three storeys of replacement building D. The Hartington Street elevation consists of the gable end of building D and the composite panelled with recessed brick columns of building E.

- 5.12 Documents accompanying the application include a Flood Risk Assessment, Transport Assessment, Archaeological Assessment, Environmental Strategy, Landscape and Public Realm Strategy, Design and Access Statement, Delivery of Goods Statement, and Sun Cast Investigation Report.
- 5.13 The submitted Flood Risk Assessment concludes that the application site is situated in Flood Zones 1 and 2 classifying the site as being at low to medium vulnerability to flood risk from the River Eden - the College itself did not suffer from the January 2005 flood event. As the redevelopment is to be constructed over the existing site, the impermeable areas should not be increased by the proposed development. The Assessment concludes that soakways are not possible and therefore recommends that surface water should be discharged into the existing UU public combined sewage system; run off from the site should be attenuated; flood resilient construction measures should be utilised within the redevelopment area; a 30% increase in flows should be allowed within site attenuation design; and, the entire College should be logged onto the areas flood warning systems.
- 5.14 From the submitted Transport Assessment the following five points need to be highlighted.
- 1) The area is accessible to non-car modes of travel and benefits from high levels of access to/from public transport, walking routes and cycling routes/facilities.
 - 2) Each element of the Learning Village will have multiple access points for pedestrians and cyclists and that parking provision accords with Cumbria Country Council's parking standards.
 - 3) There are no clear accident trends/patterns either in type, casual factors or age groups. Development proposals should not detrimentally affect road safety.
 - 4) The addition of development traffic to the network is predicted to result in satisfactory levels of operation at all junctions included in the assessment.
 - 5) The Hartington Street/Victoria Place is predicted to experience capacity problems in 2022 with the Learning Village traffic included however, this junction would be over capacity even if the Learning Village were not developed.
- 5.15 The Archaeological Assessment, which only refers to building D/the proposed car park, explains that:
- 1) the development area lies within an area of unknown archaeological potential;
 - 2) the potential for Roman activity on the site is high given the site close proximity to buried Roman plough soils and features discovered during archaeological work at the College directly to the south of Strand Street as

well as other sites of Roman survival within the study area;

- 3) the potential for prehistoric remains surviving sub-surface is classed as medium;
- 4) the potential for medieval archaeological remains surviving sub-surface within the boundaries of the development is medium;
- 5) the potential for medieval archaeological deposits surviving on the site is high; and,
- 6) the extant College building may have destroyed archaeological features within its footprint though without further fieldwork the nature of this destruction can not be ascertained.

- 5.16 The submitted Landscape and Public Realm Strategy has been prepared in consideration to the emerging Carlisle City Centre Public Realm Design Guide. The strategy indicates that in order to provide a step change in public realm quality a combination of natural stone and high quality concrete materials are proposed. Feature paving will be laid in the "linear park" area to provide visual interest and contrast to those areas, which have pedestrian priority. The main entrance to the College creates an external space allowing informal use of the area by students. The hard landscape will be complemented by soft landscaping to create a green and welcoming College campus and City Centre. There will also be ornamental planting providing a buffer between the College building and public realm. Street furniture and external lighting will also be used to emphasise the public realm. The overall strategy aims to facilitate both movement and gatherings and enrich students, staff and the public experience of the College campus.
- 5.17 The submitted Design and Access Statement states that a strong high quality design has been developed in response to the ambition and vision of the College. The design has embodied key concepts which follow operational requirements during construction and on completion of the works and will offer high quality teaching environments to complete the last phase of redevelopment at Carlisle College. The site and building will continue to offer free access to all members of the public. The guidance of Approved Document Part M of the Building Regulations will be adopted in the accessible parking bays, access to the main entrance, access to the building, vertical and horizontal circulation through the building, toilet and changing facilities as well as stairs. All areas of the integrated college will be accessible for all pupils with disabilities.
- 5.18 The Delivery of Goods Statement explains that the intention is for the College to have three "goods in" receiving points at the corner of Compton Street and Strand Road, the corner of Hartington Street and Victoria Place, and the corner of Hartington Street and Strand Road. All delivery vehicles for Hartington Street/Strand Road will be asked to park in Strand Road subject to parking restrictions. The Statement goes on to highlight that: when the proposed scheme is complete there will be 33% less space in the College compared to the current floor space; due to Government funding and national post 19 initiatives fewer students are studying at the College compared to previous years; therefore it is expected that there will be a reduction in the volume of deliveries; and the College has a 36 week academic year - during the 16 week non attendance periods the volume of deliveries reduce

substantially.

Assessment

5.19 In considering this application based upon the policies of the Development Plan the main issues are:

- i) Whether the proposal either preserves or enhances the character of the Chatsworth Square Conservation Area, the setting of any listed buildings and character of the area within the immediate vicinity;
- ii) Whether the proposal would be detrimental to the living conditions of neighbouring residents including secure by design;
- iii) Whether the proposal, during and following construction, will lead to congestion and/or exacerbate the situation to the detriment of highway safety and the flow of traffic;
- iv) Whether the proposal complies with the underlying objectives of Policy CP16 of the Local Plan;
- v) Whether any archaeological artefacts/interests would be safeguarded; and
- vi) Whether the application adequately takes account of any issues associated with air quality and flooding.

5.20 In relation to i) the relevant Government guidance is contained in PPS1 "Delivering Sustainable Development" (2005) and PPG15 "Planning and the Historic Environment" (1994).

5.21 Paragraphs 33 to 39 of PPS1 set out national guidance on design matters. Paragraph 33 states, unequivocally; Good design is indivisible from good planning with the corollary being that bad design is bad planning." Subsequently, paragraph 34 states planning authorities should plan positively for the achievement of high quality and inclusive design. Further it sets out that Design which is inappropriate in its context, or which fails to take the opportunities available for improving the character and quality of an area and the way it functions should not be accepted. High quality and inclusive design is defined as ensuring a place will function well and add to the overall character and quality of the area, not just for the short term but over the lifetime of the development (paragraph 35). Planning authorities are advised to prepare robust policies on design but, as a check, these should not avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, massing, height, landscape, layout and access of new development in relation to neighbouring buildings and the local area more generally, (paragraph 36). Local planning authorities are urged not to impose architectural styles or particular tastes or stifle innovation through unsubstantiated requirements to conform to certain development forms or styles. Lastly, it sets out the governments position on local distinctiveness stating it is proper to seek to promote or reinforce locally distinctiveness

where this is supported by clear policies or supplementary documents on design, (paragraph 38).

- 5.22 Under PPG15 design proposals that involve listed buildings, their settings or are to take place within conservation areas will be subject to a greater degree of scrutiny than in most other circumstances. Very careful consideration is needed in the design of new buildings that are to stand alongside historic buildings, (paragraph 2.14), but this can be done without slavishly copying the historic buildings. Of greater importance is that the fundamental architectural principles of scale, height, massing and alignment and the use of appropriate materials are followed. It notes that some of the most interesting streets have many varieties of building and materials but, together, form a harmonious group. Reference is made to the statutory tests to be applied to development relating to listed buildings and their settings is set out in sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990. These require planning authorities to have regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Similar statutory tests relating to conservation areas, that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area, set out in section 72 of the Act, are referred to in the PPG.
- 5.23 In relation to the current proposal, there is a noticeable difference of opinion between the views of the City Council's Conservation Officer and the Conservation Area Advisory Committee when compared to the opinions of the City Council's Urban Design Officer and the Places Matter Design Review supported by the RIBA and North West Regional Development Agency. This is no doubt a reflection of the lack of a contemporary aesthetic discipline and, as such, what is considered to constitute an acceptable design can be a subjective matter.
- 5.24 The application site is characterised as being within a transitional area of differing uses and building scales. It is evident that the buildings proposed to be demolished are undistinguished and outdated. The extent of the site to be redeveloped, whilst relatively extensive, does not immediately front either the Chatsworth Square Conservation Area or a Listed Building. On this basis it is considered that the proposal will not have a damaging effect either on the setting of any Listed Building or the Conservation Area.
- 5.25 When looking at the design of the proposal and how it sits in relation to and affects its surroundings (as opposed to its detailed design), it is considered that the height, bulk and massing are similar to the existing buildings. In effect, it is considered that the proposal will not be incongruous or out of keeping in this context. Following an extensive series of discussions, this view is supported by the Council's Urban Design Officer and the Places Matter Design Review.
- 5.27 When assessing the impact of the proposal on the living conditions of neighbouring residents, this has to be made in the light of the existing level and nature of use of the College. As such, the principle issues are considered to relate to whether the proposal is overbearing, leads to

additional problems associated with losses in light or privacy, and creating an unsecure environment.

- 5.28 The application is accompanied by a plan that shows the context and relationship of the proposed development in comparison to the existing buildings. Based on this it is apparent that at the junction of Hartington Street with Strand Road there is the contrast between domestic two and two and half storey terraced houses with the proposed three storey College building. It is acknowledged that the proposed structure is closer to the pavement and immediate in terms of its height at the junction of Hartington Street/Strand Road, but this contrast is not considered to be of such a magnitude that it could be considered to form an overbearing feature. The nature and relationship of windows on the proposed blocks are such that the proposal should not lead to a material loss in privacy for any neighbouring residents. The submitted Sun Cast Investigation Report highlights that out of five houses/properties investigated, four will have less shadow cast from the proposal in comparison to the existing College buildings. In the case of Hartington House, there is less or the same shadow cast throughout the whole year during 13.00 and 14.00 hours but with an increase in overshadowing from April to September during 17.00 and 18.00 hours.
- 5.29 In addition, it is considered that the matters of detail raised by Cumbria Constabulary can be covered by the imposition of relevant conditions.
- 5.30 In the case of iii) and iv) the Highways Authority have not raised any objections subject to the imposition of relevant conditions and the payment of a commuted sum covering improvements to the local cycle network and extending controlled parking zones. As a comparison, the schemes approved under 04/0520 and 05/0838 involved the provision of 11,452 square metres with 71 off-street parking spaces i.e. at the ratio of one space per 161 square metres. The ratio of provision for the current proposal is one space per 120 square metres.
- 5.31 Finally, for items v) and vi) the County Archaeologist, Environmental Services and Environment Agency have not raised any objections.

Conclusion

- 5.32 When considering this proposal it is necessary to weigh any harm created against the benefits. There is an acknowledged difference in opinion over the design. However, the harm in this instance is considered to be primarily related to the losses in light/overshadowing of a single neighbouring property between April and September and particularly during 17.00 and 18.00 hours. The advantages of the development lie in the replacement of outdated educational buildings with new fit for purpose, state of the art facilities that will provide wider social, educational and economic benefits to the wider community of Carlisle. The proposal can also be seen within the context of the proposed developments at the Richard Rose Academies and Trinity School.
- 5.33 In overall terms it is considered that the advantages outweigh the

disadvantages and the proposal is recommended for approval subject to the imposition of relevant conditions and the completion of a Section 106 Agreement concerning the payment of a commuted sum to the Highways Authority.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary.

- 6.3 It is recognised that the proposal would have some impact on the homes, family life and peaceful enjoyment of possessions by a number of local residents. However these effects must be balanced against the rights and freedoms of others in the community. It is considered that if the development goes ahead its effect would be neither disproportionate nor unbalanced and, therefore, determine that no violation of any persons' human rights would take place.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development permitted by this planning permission shall not be initiated by the undertaking of a material operation as defined in section 56(4)(a)-(d) of the Town and Country Planning Act 1990 in relation to the development until a planning obligation pursuant to s.106 of the said Act relating to the land has been made and lodged with the Local Planning Authority and the

Local Planning Authority has notified the persons submitting the same that it is to the Local Planning Authority's approval. The said planning obligation will provide for the payment of a commuted sum of £29750 by the applicant as a contribution towards improvements to the cycle network in the immediate vicinity, the upgrade of the current pedestrian facilities (across Victoria Place), and to enable a review to take place of the local waiting restrictions in operation.

Reason: In accordance with Policy CP16 of the Carlisle District Local Plan 2001-2016.

3. Prior to the commencement of development there shall be submitted to, and approved in writing by the Local Planning Authority ("the LPA"), a plan and/or program showing the proposed phasing of the development (inclusive of the proposed access, parking and required "raised table" crossing of Strand Road). The development shall thereafter proceed only in accordance with the approved phasing and/or program or such variation to that plan and/or program as may subsequently be agreed in writing by the LPA.

Reason: To secure in the public interest a satisfactorily correlated order of development that safeguards the living conditions of neighbouring residents and highway safety.

4. Prior to the commencement of demolition a construction management plan ("the plan") shall be submitted to and approved in writing by the Local Planning Authority. The plan will detail measures for construction traffic accessing the site. Construction traffic shall only enter and leave the site via accesses and at times of the day as contained in the agreed construction management plan.

Reason: To safeguard the amenity of neighbouring residents and in the interests of highway safety in accordance with Local Transport Plan Policies S3 and LD9.

5. Before the commencement of development the developer/applicant shall prepare and submit to the Local Planning Authority a Travel Plan which shall identify the measures that will be undertaken by the applicant/occupier to encourage the achievement of a modal shift away from the use of private cars to visit the premises to sustainable transport modes. The measures identified in the Travel Plan shall be implemented by the applicant within 12 months of the development (or any part thereof) commencing use. An annual report reviewing the effectiveness of the Travel Plan, including any necessary amendments or measures shall be subsequently prepared by the applicant/occupier and submitted to the Local Planning Authority for approval.

Reason: To aid in the delivery of sustainable transport objectives in accordance with the underlying objectives of Policy CP16 of the Carlisle District Local Plan 2001-2016.

6. Before the commencement of development details shall be submitted to and

approved in writing by the Local Planning Authority of a "raised table" crossing Strand Road (from the proposed car park) to enable safe access for pedestrians and those using wheelchairs and pushchairs.

Reason: In accordance with Policy CP16 of the Carlisle District Local Plan 2001-2016.

7. Before any development takes place, a plan shall be submitted for the prior approval of the local planning authority reserving adequate land for the parking of vehicles engaged in construction operations associated with the development hereby approved, and that land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

Reason: The carrying out of this development without the provision of these facilities during the construction works is likely to lead to inconvenience and danger to road users and to support Local Transport Plan Policies S3 and LD9.

8. The parking area shall be constructed and drained in accordance with plans to be submitted to and approved in writing beforehand by the Local Planning Authority and shall not be used except for the parking of vehicles in connection with the development hereby approved.

Reason: To ensure the proposed off-street parking is provided in accord with Policy T1 of the Carlisle District Local Plan 2001-2016.

9. Ramps shall be provided on each side of every road junction to enable wheelchairs, prams and invalid carriages to be safely manoeuvred at kerb lines. Details of all such ramps shall be submitted to the Local Planning Authority for approval before development commences. Any details so approved shall be constructed as part of the development.

Reason: To ensure that pedestrians and people with impaired mobility can negotiate road junctions in relative safety and to support Local Transport Plan Policies LD12 and LD7 and Structure Plan Policy L49.

10. Efficient means shall be installed for cleaning all vehicles leaving the site (with the exception of public cars), maintained for the life of operations and used to ensure that no slurry, mud or other material from the site is deposited upon the public highway. Adequate drains shall be installed to ensure that water from any wheel wash does not flow onto the public highway.

Reason: To avoid danger and inconvenience to road users.

11. The operator shall maintain on site a water bowser or other dust suppression system and during periods of dry weather shall spray the haul roads working areas, plant area and stock piling areas with water to satisfactorily suppress dust in order that it does not constitute a nuisance outside the site.

Reason: To prevent disturbance: nearby occupants.

12. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the local planning authority before any work is commenced.

Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policy 25 of the Cumbria and Lake District Structure Plan.

13. Details shall be submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved by the Local Planning Authority before any site works commence, and the approved scheme shall be implemented in accordance with a phasing scheme for the conversion works hereby approved.

Reason: To ensure that materials to be used are acceptable and in compliance with the objectives of Policy 25 of the Cumbria and Lake District Joint Structure Plan.

14. No development shall take place until details of a landscaping scheme have been submitted to and approved by the local planning authority.

Reason: To ensure that a satisfactory landscaping scheme is prepared in accord with Policy CP3 of the Carlisle District Local Plan 2001-2016.

15. All works comprised in the approved details of landscaping for the constituent phases of the development hereby permitted shall be carried out contemporaneously with the completion of each phase or, in the alternative, by not later than the end of the planting and seeding season following the completion of that phase of the development.

Reason: To ensure that a satisfactory landscaping scheme is implemented in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

16. Trees, hedges and plants shown in the landscaping scheme to be retained or planted which, during the development works or a period of five years thereafter, are removed without prior written consent from the local planning authority, or die, become diseased or are damaged, shall be replaced in the first available planting season with others of such species and size as the authority may specify.

Reason: To ensure as far as possible that the landscaping scheme is fully effective in accord with Policy CP3 of the Carlisle District Local Plan 2001-2016.

17. Prior to the commencement of development there shall be submitted to and approved in writing details of the proposed security measures with particular

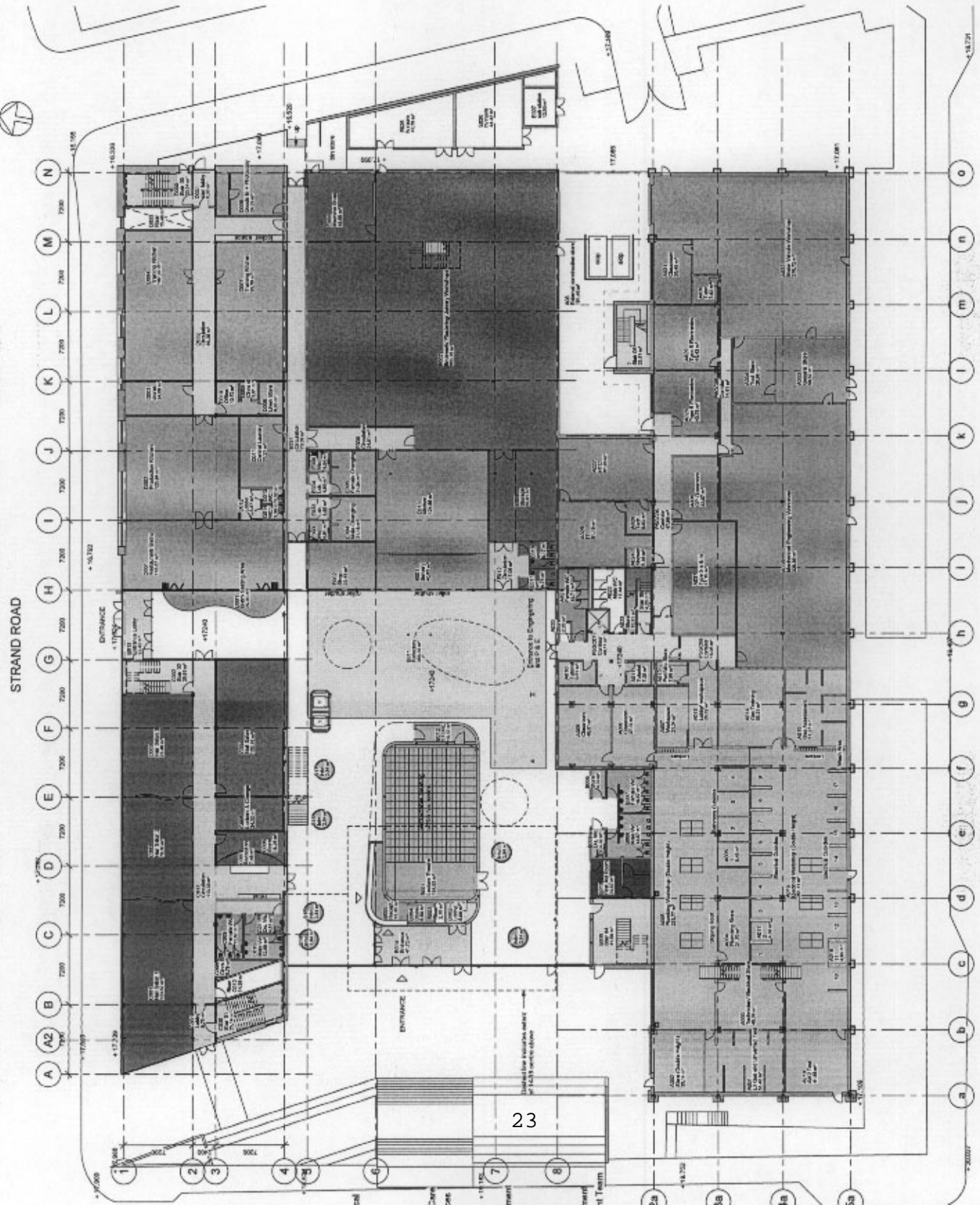
regard to the means of enclosure/boundary treatment (inclusive of the proposed car park), lighting, cycle parking and CCTV. All of the aforementioned security measures for the constituent phases of the development hereby permitted shall be carried out contemporaneously with the completion of each phase.

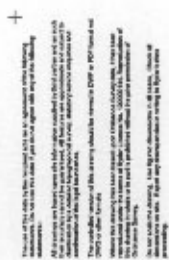
Reason: In order to ensure that the development complies with Policy CP16 of the Carlisle District Local Plan 2001-2016.

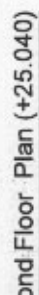


Site Boundary	Adjoining Land owned by the College	Existing Block A related
---------------	-------------------------------------	--------------------------

[illegible]

[illegible][illegible]

[illegible]

[illegible]

Architectural floor plan of a building, likely a residential or commercial structure, showing a grid system (A-G) and dimensions (1250-1750). The plan includes various rooms and areas, with labels for 'Roof over Shop C', 'Roof over Shop B', and 'Roof over Parking Area'. There are also notes about 'Lift and machine room to be constructed and re-signaled by landlord' and 'Roof to be made good to original state'.

Business Development
or Management Team[illegible]

+



1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.

209

[illegible]

[illegible]

Roof construction to be mechanically fastened. High performance single ply polymers are available over rigid foam insulation and over concrete, or on a profiled steel deck. For these membranes, on a profiled steel deck, fasteners are to be on steel profiles to the deck.

Whisperly advises for a continuous joint, insulation be laid up to the

Book Reviews

Gender: ☐ Male ☐ Female

11/11/2019 10:11:11 AM

► Diversity of Fat

33 35

Unit	Area
1	100
2	100
3	100
4	100
5	100
6	100
7	100
8	100
9	100
10	100
11	100
12	100
13	100
14	100
15	100
16	100
17	100
18	100
19	100
20	100
21	100
22	100
23	100
24	100
25	100
26	100
27	100
28	100
29	100
30	100
31	100
32	100
33	100
34	100
35	100
36	100
37	100
38	100
39	100
40	100
41	100
42	100
43	100
44	100
45	100
46	100
47	100
48	100
49	100
50	100
51	100
52	100
53	100
54	100
55	100
56	100
57	100
58	100
59	100
60	100
61	100
62	100
63	100
64	100
65	100
66	100
67	100
68	100
69	100
70	100
71	100
72	100
73	100
74	100
75	100
76	100
77	100
78	100
79	100
80	100
81	100
82	100
83	100
84	100
85	100
86	100
87	100
88	100
89	100
90	100
91	100
92	100
93	100
94	100
95	100
96	100
97	100
98	100
99	100
100	100

4607

Table 1

1

1

3001_CIT_01

	NOV	DEC
NOV		
DEC		

<http://www.mechanical.com>

For more information, contact the publisher at info@wiley.com.

Roof GA Plan

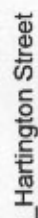
1 : 200

BE 00181002

North Strand Road

[illegible]

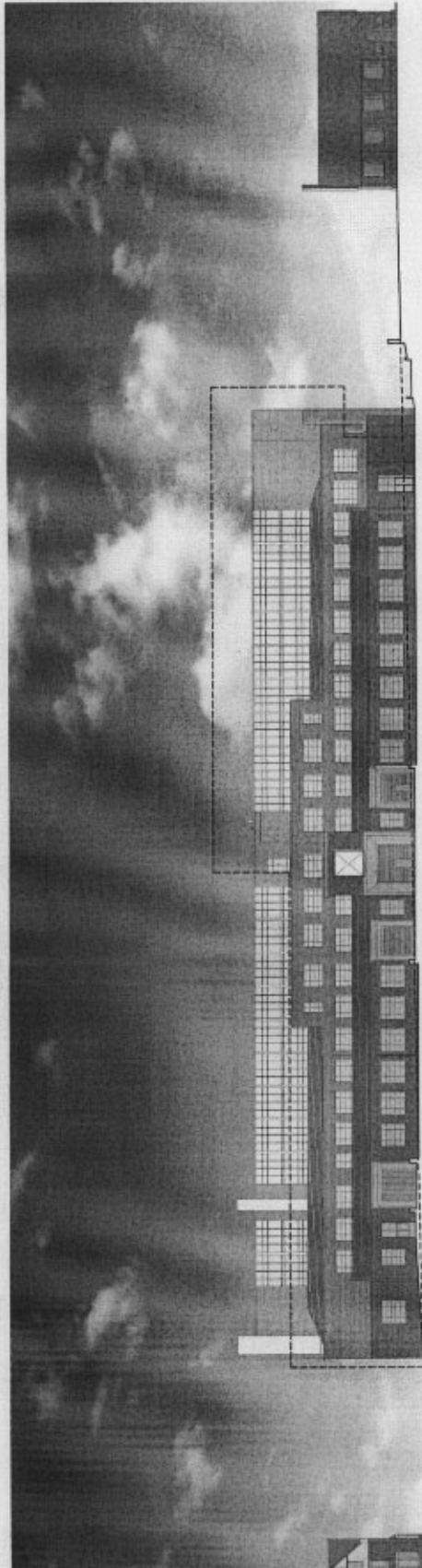
West_Compton Street



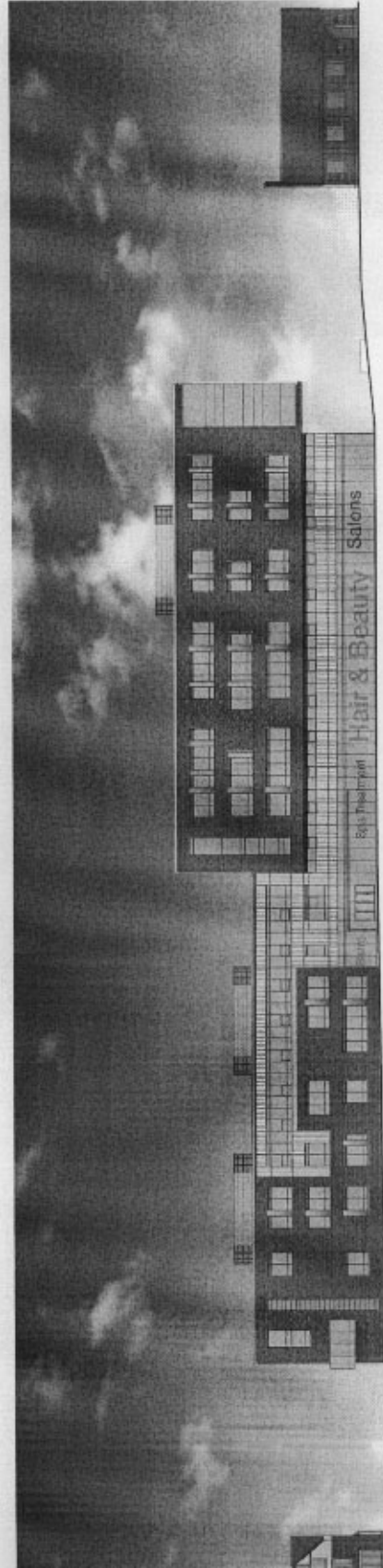
Architectural elevation drawing of a building facade. The drawing shows a long, multi-story structure with a series of windows and a prominent horizontal band. The facade is characterized by a rhythmic pattern of windows and a central horizontal element that spans the width of the building. The drawing is oriented vertically, with the building's length running along the vertical axis. The style is a technical architectural sketch, using lines to define the building's form and shading to indicate depth and material. The building appears to be a modern or mid-century structure, given the clean lines and repetitive window pattern. The horizontal band in the center might represent a different material or a decorative element. The overall composition is simple and focused on the building's form and proportions.

[illegible]

The use of this plan for any purpose other than that for which it was prepared is prohibited. The user of this plan is responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The user of this plan is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the architect. The user of this plan is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the architect.



Elevation_North_Strand Road



North_Strand Road

Sheet	02	North Strand Road	June
The use of this plan for any purpose other than that for which it was prepared is prohibited. The user of this plan is responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The user of this plan is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the architect.			
Sheet	01	North Strand Road	June
The use of this plan for any purpose other than that for which it was prepared is prohibited. The user of this plan is responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The user of this plan is also responsible for obtaining all necessary information regarding the project and for providing all necessary information to the architect.			
Project	North Strand Road		
Client	North Strand Road		
Architect	North Strand Road		
Location	North Strand Road		
Elevation in Context - Strand Road	North Strand Road		
Project No.	312_10_02		
Scale	1:250		
Page	Page		

[illegible]

Typical Elevation_14-19 Centre

1:50

Precedents_Materiality

[illegible]

Ryder

Existing Building

15 Jan 11:00



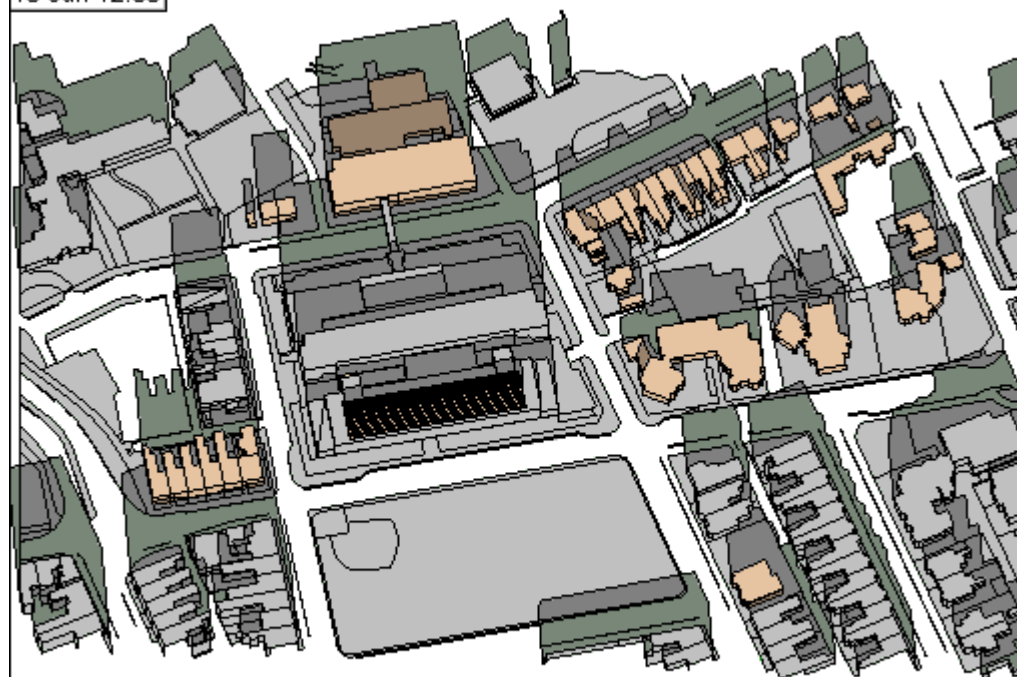
Proposed Building

15 Jan 11:00



Existing Building

15 Jan 12:00



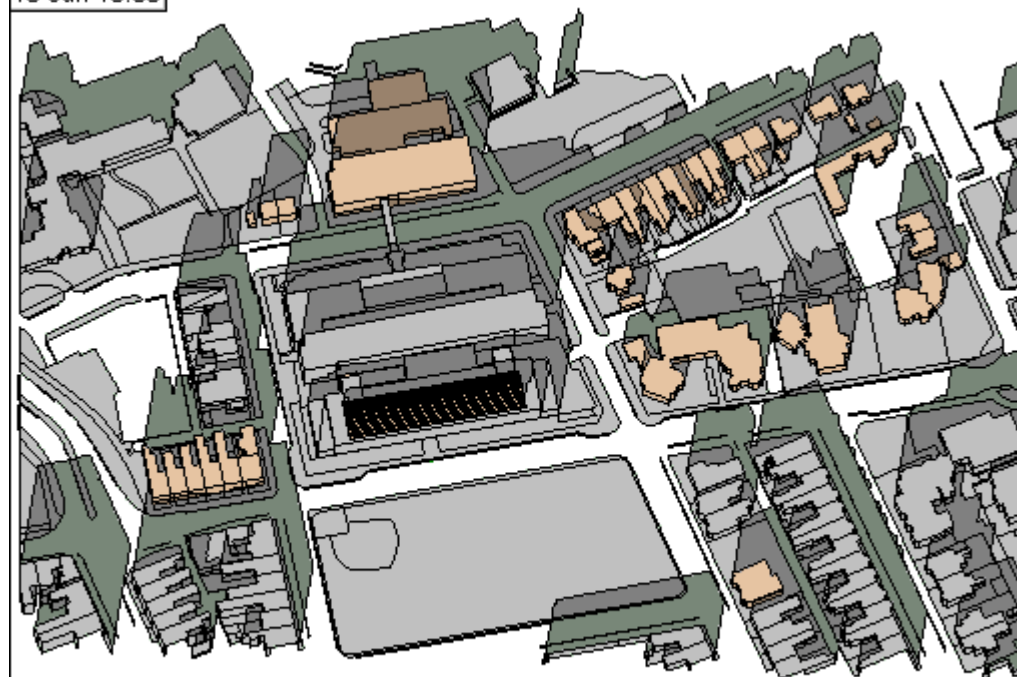
Proposed Building

15 Jan 12:00



Existing Building

15 Jan 13:00



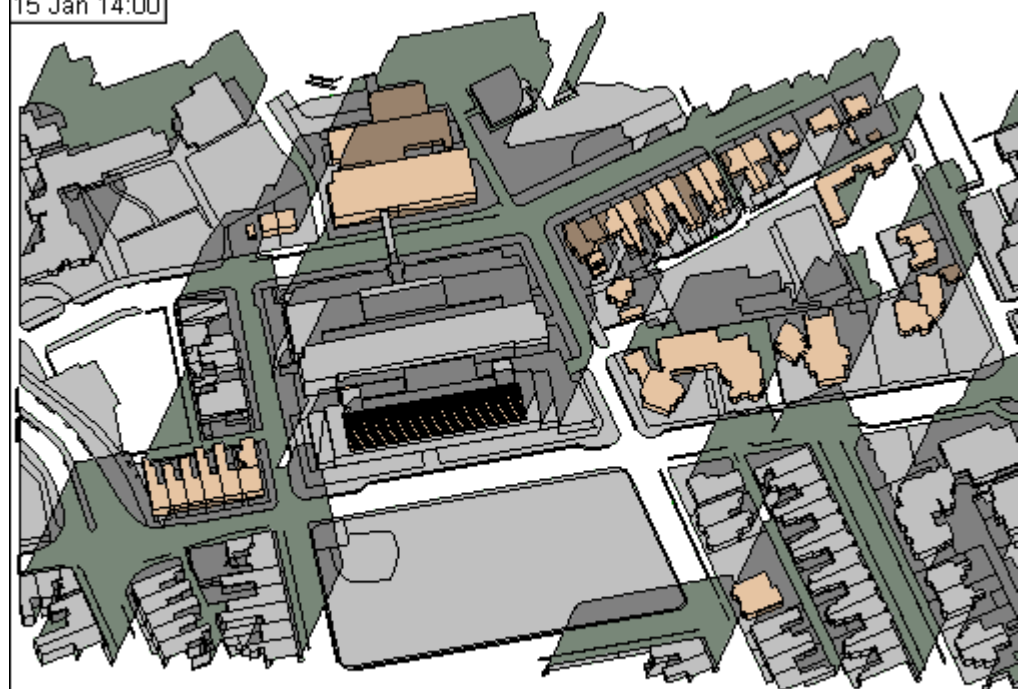
Proposed Building

15 Jan 13:00



Existing Building

15 Jan 14:00



Proposed Building

15 Jan 14:00



Existing Building



Proposed Building



Existing Building

15 Jan 16:00

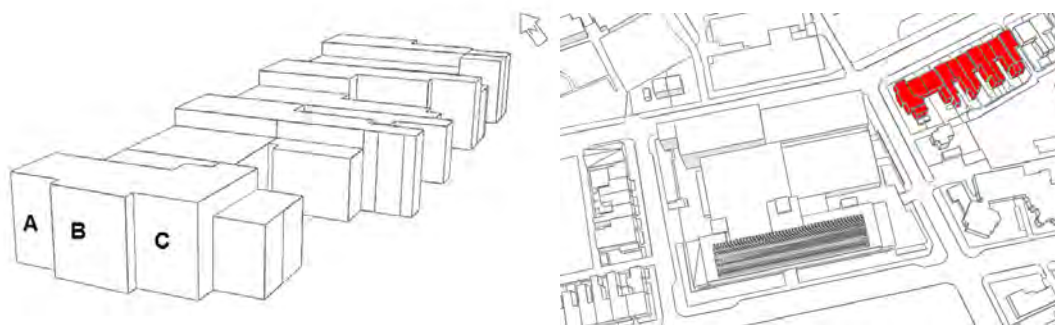


Proposed Building

15 Jan 16:00



Housing Block 3



Wall - Section A

Existing building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	6.3	40.8	9.1	0	0	0								
Feb								0	0	0	10.6	37.2	67.8	37.4	32.9	5.5	0							
Mar							0	0	0	0	17.2	42.3	71.5	84.5	92.7	97	94	69.4						
Apr						0	0	0	0	0	27.2	51.9	77.1	88.9	96.5	100	100	99.8	0					
May					0	0	0	0	0	0	0	57.9	80.9	92	99.4	100	100	100	0.1	0				
Jun				0	0	0	0	0	0	0	0	57.9	81.5	92.8	100	100	100	100	37.5	0				
Jul					0	0	0	0	0	0	0	53.5	79.5	91.5	99.1	100	100	100	30.5	0				
Aug					0	0	0	0	0	0	0	50.6	77.3	89.4	97.2	100	100	100	0					
Sep						0	0	0	0	0	21.6	54	76.8	88	95.5	100	100	26.2						
Oct							0	0	0	0	13.9	56.7	76.3	76.5	48.7	27.7	0							
Nov								0	0	0	8.2	55	9.1	0	0									
Dec									0	0	5.6	48.9	0	0	0								Ave	34.12%

Proposed building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	6.3	40.8	67.8	54.1	4.2	0								
Feb								0	0	0	10.6	37.2	67.8	81.5	6.3	0	0							
Mar							0	0	0	0	17.2	42.3	71.5	84.5	53.1	2	0	83.8						
Apr						0	0	0	0	0	27.2	51.9	77.1	88.9	96.5	48	59.8	100	70.4					
May					0	0	0	0	0	0	0	57.9	80.9	92	99.4	90.5	100	100	100	100				
Jun				0	0	0	0	0	0	0	0	57.9	81.5	92.8	100	100	100	100	100	100				
Jul					0	0	0	0	0	0	0	53.5	79.5	91.5	99.1	100	100	100	100	100				
Aug					0	0	0	0	0	0	0	50.6	77.3	89.4	97.2	72	80.3	100	100					
Sep						0	0	0	0	0	21.6	54	76.8	88	63.7	11.5	0	77.4						
Oct							0	0	0	0	13.9	56.7	76.3	80.1	0.5	0	0							
Nov								0	0	0	8.2	55	74.3	50.1	0									
Dec									0	0	5.6	48.9	70.2	32.7	0								Ave	37.14%

Wall - Section B

Existing building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	100	100	76	0	0	0								
Feb								0	0	0	100	100	100	22.8	6.8	0	0							
Mar							0	0	0	0	100	100	100	99.9	100	57.6	48	32.7						
Apr						0	0	0	0	0	100	100	100	100	100	100	100	100	0					
May					0	0	0	0	0	0	0	100	100	100	100	100	100	100	14.5	0				
Jun				0	0	0	0	0	0	0	0	100	100	100	100	100	100	100	59.7	0				
Jul					0	0	0	0	0	0	0	100	100	100	100	100	100	100	58.5	0				
Aug					0	0	0	0	0	0	0	100	100	100	100	100	100	100	0					
Sep						0	0	0	0	0	100	100	100	100	100	86.5	95.4	44.7						
Oct							0	0	0	0	100	100	88.2	46	38.9	8.2	0							
Nov								0	0	0	100	100	0.3	0	0									
Dec									0	0	100	100	13	0	0									Ave 44.20%

Proposed building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	100	100	100	69.2	18.6	0								
Feb								0	0	0	100	100	100	100	68.7	2	0							
Mar							0	0	0	0	100	100	100	100	83.6	4.1	0	0						
Apr						0	0	0	0	0	100	100	100	100	100	51.3	3.1	34.4	47.1					
May					0	0	0	0	0	0	0	100	100	100	100	93.4	42.9	76.7	100	100				
Jun				0	0	0	0	0	0	0	0	100	100	100	100	100	72.7	93.7	100	100				
Jul					0	0	0	0	0	0	0	100	100	100	100	100	62.8	80.8	100	100				
Aug					0	0	0	0	0	0	0	100	100	100	100	75.9	24.8	45.6	100					
Sep						0	0	0	0	0	100	100	100	100	75.6	13.9	0	16.9						
Oct							0	0	0	0	100	100	100	100	27.6	0	0							
Nov								0	0	0	100	100	100	60.9	7.4									
Dec									0	0	100	100	100	33.8	0									Ave 46.17%

Wall - Section C

Existing building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	100	100	100	0	0	0								
Feb								0	0	0	100	100	100	21.4	0	0	0							
Mar							0	0	0	0	100	100	100	99.9	80.8	60.8	13.5	0						
Apr						0	0	0	0	0	100	100	100	100	100	98.2	93	85.4	0					
May					0	0	0	0	0	0	100	100	100	100	100	95.6	90.2	83.9	27.4	0				
Jun				0	0	0	0	0	0	0	0	100	100	100	100	94.8	89.3	82.8	67.5	0				
Jul					0	0	0	0	0	0	0	100	100	100	100	95.7	90.3	84.1	67.9	0				
Aug					0	0	0	0	0	0	100	100	100	100	100	97.5	92.3	86.4	1.5					
Sep						0	0	0	0	0	100	100	100	100	100	71.8	63.7	12.2						
Oct							0	0	0	0	100	100	100	25.4	8.3	0.8	0							
Nov								0	0	0	100	100	72.1	0	0									
Dec									0	0	100	100	100	0	0									Ave 44.59%

Proposed building site

Month	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
Jan									0	0	100	100	100	64.9	16.1	0								
Feb								0	0	0	100	100	100	100	80.5	26.8	0							
Mar							0	0	0	0	100	100	100	100	100	55.1	0	0						
Apr						0	0	0	0	0	100	100	100	100	100	68.9	14.5	0	11.7					
May					0	0	0	0	0	0	100	100	100	100	100	95.6	53.9	10.3	75.4	60.8				
Jun				0	0	0	0	0	0	0	0	100	100	100	100	94.8	79.1	33.2	74	58.8				
Jul					0	0	0	0	0	0	0	100	100	100	100	95.7	75	28.6	75.8	61.9				
Aug					0	0	0	0	0	0	100	100	100	100	100	95.1	37.3	0	43.3					
Sep						0	0	0	0	0	100	100	100	100	100	35.9	0	0						
Oct							0	0	0	0	100	100	100	100	73.2	11.1	0							
Nov								0	0	0	100	100	100	72	18.5									
Dec									0	0	100	100	100	21.3	0									Ave 45.71%



The use of this data by the recipient acts as an agreement of the following statements. Do not use this data if you do not agree with any of the following statements:-

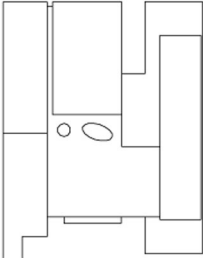
All drawings are based upon site information supplied by third parties and as such their accuracy cannot be guaranteed. All features are approximate and subject to clarification by a detailed topographical survey, statutory service enquiries and confirmation of the legal boundaries.

The controlled version of this drawing should be viewed in DWG or PDF format not DWG or other formats

Where this drawing has been based upon Ordnance Survey data, it has been reproduced under the terms of Ryder Licence No. 100000144. Reproduction of this drawing in whole or in part is prohibited without the prior permission of Ordnance Survey.

Do not scale the drawing. Use figured dimensions in all cases. Check all dimensions on site. Report any discrepancies in writing to Ryder before proceeding.

A



Revision	Date	Drawn By
01		
Amendment		
Status	Preliminary	
Project	Carlisle College Redevelopment	
Drawing		
External view 05		
Project No.	Drawing No.	
1887	930_05_01	
Scale at A3	Drawn By	
1 : 3000	AAI	
info@ryderarchitecture.com www.ryderarchitecture.com		
Ryder		

SCHEDULE A: Applications with Recommendation

08/0968

Item No: 02

Date of Committee: 19/12/2008

Appn Ref No:
08/0968

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
26/09/2008

Agent:
Johnston & Wright

Ward:
Castle

Location:
Land Behind John Street Hostel, Shaddongate,
Carlisle, CA2 5LG

Grid Reference:
339475 555900

Proposal: Change Of Use From Existing Car Park To Proposed Homelessness
Centre Of Excellence Providing Short Term Accommodation For Women
And Families In 8 Flats And Incorporating Skills Training And
Administrative Facilities As Well As Associated Car Parking

Amendment:

REPORT

Case Officer: Richard Maunsell

Reason for Determination by Committee:

This application is brought for determination by Members of the Development Control Committee on the basis that it is a major application which is in the public interest.

1. Constraints and Planning Policies

Flood Risk Zone

Local Plan Pol DP1 - Sustainable Development Location

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP9 - Devel., Energy Conservation and Effic.

Local Plan Pol CP10 - Sustainable Drainage Systems

Local Plan Pol CP11-Prot.Groundwaters &Surface Waters

Local Plan CP15 - Access, Mobility and Inclusion

Local Plan Pol CP16 -Public Trans.Pedestrians & Cyclists

Local Plan Pol CP17 - Planning Out Crime

Local Plan Pol EC2 - Mixed Commercial Areas

Local Plan Pol LE7-Buffer Zone Hadrians Wall W.Herit.Site

Local Plan Pol LE27- Developed Land in Floodplains

Local Plan Pol LE29 - Land Affected by Contamination

Local Plan Pol T1- Parking Guidelines for Development

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): the car park has already been shown in the first stage of the Carlisle Parking review process, to be surplus to requirements, subject to the Paddy's Market car park remaining available for use (given the lack of 'on street' parking in the area and intention to develop the site at the Church St/ Bridge Lane corner for university student Halls of Residence, with minimal parking). The Highway Authority would not object to this being developed for residential services; however, it should be noted it will be introducing housing units into what is currently an area scheduled for business use.

From the details submitted it seems as if the development will make use of the existing access but will reduce its width, it would therefore involve works within the highway. The width of the access seems to allow for pedestrian visibility on exiting the site. For the avoidance of doubt, however, the Highway Authority would seek to place a condition on this element.

No objections subject to the imposition of conditions;

Environment Agency (N Area (+ Waste Disp)): the site is located within Flood Zone 3 as defined in Table D.1 of Planning Policy Statement 25: Development and Flood Risk (PPS25). With reference to the Agency's Flood Zone Mapping the site is at high risk from fluvial flooding which shows the extent of the floods with a 1% annual probability of occurrence. Table D.1 of PPS25 recommends that for planning applications within a high risk flood zone, a Flood Risk Assessment (FRA) appropriate to the scale and nature of the development, should be provided the applicant.

Additionally PPS25 tables flood risk vulnerability and compatibility and the development as proposed could be viewed as 'more vulnerable' and should be sequentially and exception tested in accordance with the current guidance detailed in Annex D, table D.3 of PPS25.

SCHEDULE A: Applications with Recommendation

08/0968

The FRA has been produced in accordance with the current guidance and in this instance the demonstration of the sequential and exception test is dealt with as part of the FRA.

The Agency has been involved in the provision of information to assist in the production of the FRA.

The development as proposed follows flood mitigation design measures utilised in other areas subject to flood risk.

In Carlisle there are similarities with student development on John Street which received planning permission prior to the January 2005 floods. Both sites were severely affected by flooding in 2005 for a duration in excess of 24 hours.

The proposed development includes communal areas on the ground floor. More vulnerable sleeping accommodation is situated in the first floor and by default above the modelled 1:100 year or 1% annual probability event level.

The site will benefit from the completion of the Carlisle and Caldew Flood Alleviation Scheme (currently under construction). The area will, however, remain in Flood Zone 3 on completion of the scheme but will be shown on flood map as areas benefiting from defences.

The completion of flood defences can never completely eliminate the risk of flooding in the future and residual risks remain as a result of overtopping or breach failure. Therefore, the proximity of developments to flood defences, the size of flood, the cell behind the defence and the likely depth of a maximum flood level based on the above require site by site consideration.

Having considered the FRA and this specific development, in line with the current guidance the Agency conclude that there are no grounds for objection on flood risk alone providing the recommendations made in the FRA are taken forward into detailed design and into construction.

Therefore, the Agency's Development Control Section has no objection to the proposed development provided that any approval includes suggested planning conditions;

Community Services - Drainage Engineer: comments awaited;

United Utilities (former Norweb & NWWA): no objection given that it is proposed to reduce the rate of run-off by including sustainable drainage systems;

Cumbria County Council - (Archaeological Services): records indicate that the site lies in an area of high archaeological potential. The area formed part of a small medieval suburb that lay outside the city walls and documentary records indicate that the medieval Holy Trinity Church was located in the vicinity (HER no. 4598). Furthermore, an archaeological investigation was undertaken at the former Maltster's Arms, on the northern boundary of the site and the results revealed deeply stratified archaeological remains of Roman ditches and pits and 14th - 15th century

SCHEDULE A: Applications with Recommendation

08/0968

timber workshops and furnaces related to bronze working.

It is understood that an archaeological evaluation has been carried out on the site but a copy of the report has not yet been received. Verbal communication with the applicant's archaeological contractor indicates that post-medieval industrial remains were revealed during the evaluation. Without these results, it is considered likely that significant archaeological remains survive and that there would be damaged or destroyed by the proposed development. However, in order to keep within the limits of the consultation period, the following comments are offered.

It is recommended that a scheme of archaeological recording of the site be undertaken in advance of development and advise that this work should be commissioned and undertaken at the expense of the developer. It is considered that this programme of work can be secured through the inclusion of two conditions in any planning consent;

Development Services Planning & Housing Services - Access Officer: the following comments should be noted:

- Wheelchair users can circulate around the building
- Toilet facilities on the ground floor do not identify if they are disabled toilets. There should be two disabled toilets provided on the ground floor within the areas where provision has been currently located.
- There should be a separate baby change facility on the ground floor – it should not be located within any of the toilet provision.
- Attention should be paid to heights of switches and controls as well as lighting and colour definition (LRV).

Flats numbered 1 and 5:

- There is no detail within the en-suites and little detail within the bedroom. Provision of fixtures to the bedroom and bathroom should not intrude on the turning areas for wheelchair users.
- The general WC door obstructs the entrance door.

Flat 3:

- The store door obstructs the entrance door.
- There is no detail within the en-suite and little detail within the bedroom. Provision of fixtures to the bedroom and bathroom should not intrude on the turning areas for wheelchair users.
- Bedroom two's ensuite has two entrances to it – one from the bedroom and one from the hall area. The door from the hall obstructs the entrance from the door from the en-suite. I'm assuming this has been designed as there is not a shared toilet facility within the flat. This is unreasonable for one occupant to accept this situation.

The Access Officer queries the rationale as to the assumption that wheelchair users require single facilities? To facilitate this would bedrooms designed for the wheelchair users be lost to accommodate a carer or family? If this were the case would they be expected to share the flat if another wheelchair user required accommodation?

SCHEDULE A: Applications with Recommendation

08/0968

Policy CP14 of the Carlisle District Local Plan 2001-2016 revised deposit draft (as amended by the Inspectors Report) should be complied with as well as Approved Document M. Applicant should be aware of their duties within the DDA;

Cumbria Constabulary - Crime Prevention: comments awaited; and

Development Services Planning & Housing Services - Urban Designer: pre-application discussions have been held regarding this proposal. It is considered that the scheme is appropriate in scale and massing for the site and helps to repair a gap in the built frontage resulting from demolition. The principle of three storey development is appropriate (rising to 4 at the tower feature) given the need for a building of urban scale on this main approach to the City.

The applicant's inclusion of various elements of sustainable design including the use of lime in construction, sedum roofing and layout to maximise natural lighting is welcomed.

It is also considered that the emerging principles of the Development Brief for Caldewgate and Shaddongate accord well with this proposal in terms of its overall form and massing, and in promoting residential uses in the area. It is recommended that this application is approved.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
John Street Hostel	13/10/08	
U Student	13/10/08	
Viceroy Restaurant	13/10/08	
35 Rigg Street		
35 Rigg Street	13/10/08	
37 Rigg Street		
37 Rigg Street	13/10/08	
39 Rigg Street		
39 Rigg Street	13/10/08	
41 Rigg Street		
41 Rigg Street	13/10/08	
43 Rigg Street		
43 Rigg Street	13/10/08	
45 Rigg Street		
45 Rigg Street	13/10/08	
47 Rigg Street		
47 Rigg Street	13/10/08	
49 Rigg Street		
49 Rigg Street	13/10/08	
51 Rigg Street		
51 Rigg Street	13/10/08	
53 Rigg Street		
53 Rigg Street	13/10/08	
55 Rigg Street		

SCHEDULE A: Applications with Recommendation

08/0968

	55 Rigg Street	13/10/08	
	Pheasant House		
	Pheasant House	13/10/08	
	BK Screenprint		
	BK Screenprint	13/10/08	
	The Golden Pheasant		
	The Golden Pheasant	13/10/08	
		13/10/08	
	Unit 8 Caldew Business Park	10/11/08	
	Units 14-16 Caldew	10/11/08	
Business Park			
	The Maltings	10/11/08	
	Church Street	10/11/08	
	Shaddongate	10/11/08	
	Church Street	10/11/08	
	Church Street	10/11/08	
	11 John Street	13/10/08	
	13 John Street	13/10/08	
	15 John Street	13/10/08	
	25 John Street	13/10/08	
	27 John Street	13/10/08	
	29 John Street	13/10/08	
	Curry Master	13/10/08	
	Unit 2	13/10/08	
	Jacksons	13/10/08	
	Speediserve Building		
	Speediserve Building	13/10/08	
	Unit 4		
	Unit 4	13/10/08	
	Subway		
	Subway	13/10/08	
	Texile Warehouse		
	Texile Warehouse	13/10/08	
	5 The Maltings		
	5 The Maltings	13/10/08	
	Coleridge House		Objection
	Coleridge House	13/10/08	Objection
	Viceroy Restaurant		
	Oakvale House		Comment Only
	- Castle		Objection
	Gill Place		Objection
	64 Newfield Drive		Objection
	1 Caldew maltings		Objection
	69 London Road		Petition For

3.1 This application has been advertised by means of two Site Notices, a Press Notice and direct notification to the occupiers of fifty five of the neighbouring properties. Responses are requested by 7th November. At the time of writing this report, one objection has been received from a Ward Councillor whose objections are unspecified and one letter of objection and the main issues raised are summarised as follows:

1. the description of the location is misleading and should read "Land occupied as Shaddongate Car Park";
2. there is enormous expert and informed lay opinion that the location of the

women's and children's hostel adjacent to the men's hostel is a thoroughly bad idea;

3. the land was provided to the City of Carlisle as a car park and should not be built upon;
4. the development will result in the loss of a car park which is relatively little used owing to poor signage and maintenance but as pressures in the city increase i.e. Tesco development/ redevelopment of Shaddongate/ Caldewgate etc. the retention of the car park will become more important; and
5. no planning decision should be reached until the Caldewgate/ Shaddongate Development Brief has been consulted and formalised.

4. Planning History

- 4.1 Planning permission was granted in 1994 for the erection of a height restriction barrier and provision of 2.4 metre high fencing at the west side of the car park.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This application seeks full planning permission for the construction of a homeless centre including car parking and an allotment area on Shaddongate Car Park, Shaddongate, Carlisle. The 0.185 hectare site is located within a Mixed Commercial Area as identified within the Proposals Map forming part of the Carlisle District Local Plan 2001-2016.
- 5.2 The site lies to the rear of John Street, close to the road junction of Shaddongate with John Street/Caldewgate, to the west of the City Centre. The site is irregular in shape with a relatively flat topography and is currently used as a long-stay car park. It is bounded to the north by a two storey corner brick building that is used as the men's hostel; further to the north-west is a two storey terrace building and a four storey building that is used as student accommodation; a more open aspect exists to the west with access to properties on Queen Street which are predominantly single storey buildings in commercial use. The site is bounded to the south by a parking area adjacent to which are more commercial premises. The Maltings, a series of retail units generally two stories in height and finished from a variety of materials including facing brickwork, slate, profile sheeting and flat roofs is situated on the eastern side of Shaddongate.

Proposal

SCHEDULE A: Applications with Recommendation

08/0968

- 5.3 The application seeks consent for the erection of a homeless centre for women. The main aspect of the three storey building would front Shaddongate with vehicular access taken through a pend. The front elevation would be contemporary in appearance: the ground floor is proposed to be finished in facing brickwork with natural stone around the entrance, with lime render and wash to the upper floors. The flat roof will consist of "green roof" planted with a sedum that will also incorporate thermal solar panels and photovoltaic panels. The first and second floor windows will be separated by vertical cedar panels. A column extending an extra storey in height will be located centrally within the frontage and will incorporate glazing for almost its full height. The frontage will be visually broken up by a series of elements of the building that will be set back from each other providing depth and variation. An access ramp will be constructed to the entrance on the front elevation.
- 5.4 To the rear of the building and adjacent to the southern boundary will be a car park, surfaced in permeable paving, that will provide 12no. car parking spaces including 2no. for disabled persons. Further to the west, and again adjacent to the southern boundary, will be a single storey building that will provide a construction skills workshop, allotment office and allotment store.
- 5.5 In the western corner of the site will be an allotment comprising of 6no. growing beds. To the rear of the main building, a walled garden will be created adjacent to the west elevation and a two metre high wall would be constructed along the south-west, west and north-west perimeter of the site.
- 5.6 The ground floor accommodation is separated into two parts. Firstly a public reception and office; flood defence store; storage areas; 2no. direct access rooms; 3no. interview rooms; workshop; multi-purpose room and toilets. The second element of the ground floor, which can only be accessed by residents, comprises a kitchen; lounge; play area; creche; toilets; lift; and storage areas.
- 5.7 The upper floors are non-public areas and will comprise of: 3no. 3 bedroom flats, 1no. 2 bedroom flat, storage areas, medical room, and interview room on the first floor; with 3no. 3 bedroom flats, a 1no. 2 bedroom flat, a meeting room, a storage room and a plant room on the second floor; with a further plant room on the third floor.
- 5.8 The relevant planning policies against which the application is required to be assessed are Policies DP1, CP5, CP6, CP9, CP10, CP11, CP15, CP16, CP17, EC2, LE7, LE27, LE29 and T1 of the Carlisle District Local Plan 2001-2016. It is considered that there are eight main planning issues raised by this proposal.

Assessment

1. The Principle Of Development

SCHEDULE A: Applications with Recommendation

08/0968

- 5.9 The site is within a Mixed Commercial Area and Policy EC2 of the Carlisle District Local Plan 2001-2016 is appropriate. This Policy recognises that no one land use predominates and allows for a variety of different planning uses as a consequence, including residential. The Policy also sets out four criteria against which development proposals should be assessed. These state that the relationship with the surrounding highway network is satisfactory; access to the site is satisfactory; there is appropriate parking provision; and the scale of development is appropriate in relation to the site. Furthermore, Policy DP1 of the Local Plan requires that development proposals should enhance the overall quality of life within Cumbria through the promotion of sustainable development that seeks to protect the environment, ensure prudent use of resources and maintain social progress and economic growth.
- 5.10 The site is brown field land and is also immediately adjacent to other existing development. The site is located adjacent to the existing men's hostel and as previously stated, residential uses on sites identified as Mixed Commercial Sites in acceptable in policy terms. Members may have some reservations regarding the inter-relationship of the separate gender hostels. The applicant has submitted a Security Statement in support of the application which identifies controlled access between the facilities and internally within the proposed development, will be restricted by means of swipe cards or remote proximity fobs. This system is already in use in the men's hostel.
- 5.11 The supporting Planning Statement discusses in more detail the benefits for siting the new hostel on the proposed site and adjacent to the existing men's hostel. The hostel service is currently provided from a number of sites within the City and it is considered that the amalgamation of these sites will enable a more efficient and effective provision of service that will also be fully Disability Discrimination Act compliant.
- 5.12 It is stated that there are two main aspects to the scheme that address the concerns regarding the siting of the development: first, the design of the building and, secondly, the management of the site. With regard to the design, the building has restricted access within and between the two buildings, CCTV coverage, lighting and controllable external spaces.
- 5.13 In relation to management controls, it is stated that the site will be monitored by staff on a 24 hours basis, 365 days a year. It is further stated:
- "All residents are already, and will be in the future, police checked before being accommodated in the hostel or the new flats. Because of the information we hold and the detailed risk assessment we carry out every time we consider someone for temporary accommodation, people who are accommodated are considered to present no unacceptable risks to anyone else. The Council also has available other temporary housing where particular men or women who would prefer to be accommodated elsewhere or are deemed to present unacceptable risks or be at risk if accommodated here, can be housed."*
- 5.14 Whilst there may be differing opinions as to the acceptability or otherwise of

SCHEDULE A: Applications with Recommendation

08/0968

siting the female hostel adjacent to the men's hostel, in land use planning terms, the principle of development does not conflict with current policy guidance.

- 5.15 The site is well related to the existing highway network and is in a location that is accessible by other modes of transport, including public transport. Specific on-site parking provision will be created which is acceptable.

2. Scale And Design

- 5.16 Development should be appropriate in terms of quality to that of the surrounding area and incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This is reflected in Policy CP5 of the Local Plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and making use of appropriate materials and detailing.
- 5.17 As previously stated, there is a diverse range and varying scale, design and materials of buildings in the locality. The proposed building will be predominantly three storeys in height. The appearance of the building would be distinctive in character and appearance involving a contemporary design with an appropriate use of materials; furthermore, the building incorporates modern materials that would assist in promoting the energy efficiency of the building. The building is striking in appearance and will provide definition to the frontage but would be reasonable in scale and well related to the surrounding buildings. The design would not be obtrusive or detrimental to the character of the area.

3. Effect On The Living Conditions Of The Occupiers Of Neighbouring Properties

- 5.18 Planning policies require that development proposals do not adversely affect the living conditions of occupiers of residential properties by virtue of inappropriate development, scale or is visually intrusive. The nearest residential properties are the student accommodation building that is approximately 12 metres to the west of the application site. Other residential properties are found 75 metres to the south on Rigg Street. The proposed building is appropriate to the overall scale of buildings within the locality. In this respect it is not considered that the proposal that is being presented for consideration would be disproportionate or obtrusive and it is not considered that the occupiers of the adjacent buildings would suffer from an unreasonable loss of daylight or sunlight.

4. Traffic Issues

- 5.19 Policy T1 of the Local Plan requires that there is sufficient parking provision within the site for the relevant development. The level of parking provision within the site will be for twelve car parking spaces together with secure

parking for cycle storage. This represents an overall loss of thirty four car parking spaces.

- 5.20 The existing use as a long-stay car park has the potential to generate more vehicle movements than the proposed use. Given the surrounding road network and bus routes near to the site, and the number of proposed vehicle movements, it is not considered likely that there will be any highway objection to the proposal. The Highway Authority has raised no objection subject to the imposition of conditions.

5. Public Access

- 5.21 The design and layout of the building is required to be designed to meet the highest standards of accessibility and inclusion for all potential users regardless of disability, age or gender in accordance with the objectives of Policy CP15 of the Local Plan. Although the building is three storeys, the development will also incorporate automatic entrance doors, level access and a lift allowing access to the upper floors. Additional comments have been received in respect of the Council's Access Officer, who has raised some queries with regard to the application. These relate to some of the layout of the rooms and the opening of the doors. At the time of writing this report, the applicant's agent is considering the comments with a view to addressing the issues.

6. Drainage Issues/ Green Design

- 5.22 The design of the building takes into account energy efficiency and this would be achieved through the incorporation of local materials, a "green roof", low energy environmental design utilising solar panels and photovoltaic panels, locally sourced materials and storage and re-use of surface water.
- 5.23 The site is currently occupied by a large area of hardstanding, the proposed building aims to reduce the amount of surface water run-off that would discharge into the water network which would reduce the pressure on the infrastructure within the City, through the use of a greywater recycling system, permeable paving etc. Likewise, in accordance with the City Council's aspiration to reduce its carbon footprint, the development will incorporate a variety of energy saving measures to become more efficient, that will also be in accordance with current planning policy.

7. Flood Risk

- 5.24 The site is within Flood Zones 2 and 3 and therefore, there is a relatively high potential for flooding to occur on the site in the future. Clearly, this will be mitigated to an extent by the flood alleviation scheme currently under construction but nonetheless, the issue of flooding has to be addressed in accordance with current policy.
- 5.25 The submitted Flood Risk Assessment (FRA) has identified through the Exception Test that:

- the development will provide wider sustainability benefits to the community that outweigh the flood risk;
- there are no reasonable alternative sites on developable previously developed land; and
- the FRA demonstrates that with the installation of flood defence measures and the adoption of a flood action plan, the development would be safe and is unlikely to increase flood risk elsewhere.

5.26 Specifically with regard to the application, the habitable accommodation is predominantly sited on the first floor with only the emergency overnight rooms being on the ground floor. The floor levels of the building itself will be constructed on levels to take account of the Environment Agency's flood level model. The proposed finished first floor level, for example will be 16.55m AOD in comparison to the Environment Agency's predicted 1 in 100 year return level of 15.3m AOD. The building will incorporate ground floor materials of a non-porous nature and a Flood Action Plan will be agreed with the Environment Agency.

8. Crime Reduction

5.27 The need for this facility can be deemed as a material consideration. Section 17 of the Crime and Disorder Act 1998 promotes the practice of partnership working and states:

"Without prejudice to any other obligations imposed upon it, it shall be the duty of each authority to exercise its various functions with due regard to the likely effect of the exercise of those functions on, and the need to do all it reasonably can to prevent crime and disorder in its area."

5.28 It is acknowledged that fear of crime can form the basis of a reason for refusal; however, the City Council has a statutory responsibility to provide emergency accommodation and in this regard Section 17 is relevant.

5.29 The applicant has highlighted both physical security features together with the management of the site. On this basis, it is considered insufficient to warrant refusal of the application on this basis.

Conclusion

5.30 In overall terms, the homeless hostel building represents use of a brown field site within the boundaries of the urban area. The principle of development within the site is considered to be acceptable and the building would contemporary but well related to the existing buildings and would not result in any harm to the visual amenity of the area. The design and siting of the building will allow efficient and effective use of Council resources in terms of managing the statutory function and the building itself will allow the construction of a purpose built, energy efficient and DDA compliant building. The fenestration and the use of materials are appropriate and it is not considered that the amenity of the occupiers of neighbouring properties

would be adversely affected, in accordance with current planning policies.

- 5.31 The potential interaction between residents of the existing men's hostel and the occupants of the proposed building has been addressed in the design of the scheme and the physical measures incorporated within the development to prohibit unauthorised interaction. This will be reinforced through the management of the two sites. It is considered on balance, therefore, that the application should be granted.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. Prior to the commencement of development hereby approved, samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority. The development

SCHEDULE A: Applications with Recommendation

08/0968

shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

3. Prior to the commencement of development hereby approved, particulars of height and materials of all screen walls and boundary fences shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. Prior to the commencement of development hereby approved, details shall be submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. Prior to the commencement of development of the access hereby approved, a 1.5 metres x 1.5 metre pedestrian visibility sight splay as measured from the highway boundary, shall be provided on both sides of the vehicular access. There shall be no obstruction above a height of 600mm as measured from the finished surface of the access within the area of the visibility sight splays thereafter.

Reason: To provide adequate inter-visibility between the pedestrians and users of the access and the existing public highway for the safety and convenience of users of the highway and of the access and to support Local Transport Plan Policies LD7 and LD8.

6. Prior to the commencement of development hereby approved, a specification for the construction and drainage of the access area bounded by the carriageway edge, entrance gates and the splays shall be submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved details.

Reason: In the interests of road safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

7. Access gates, if provided, shall be erected to open inwards only away from the highway, be recessed no less than 4.5 metres as measured from the

SCHEDULE A: Applications with Recommendation

08/0968

carriageway edge of the adjacent highway and shall incorporate 45 degree splays to each side.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

8. Prior to the commencement of development hereby approved, details of all measures to be taken by the applicant/ developer to prevent surface water discharging onto the highway shall be submitted to and approved in writing by the Local Planning Authority. Any approved works shall be implemented prior to the development being completed and shall be maintained operational thereafter.

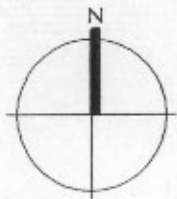
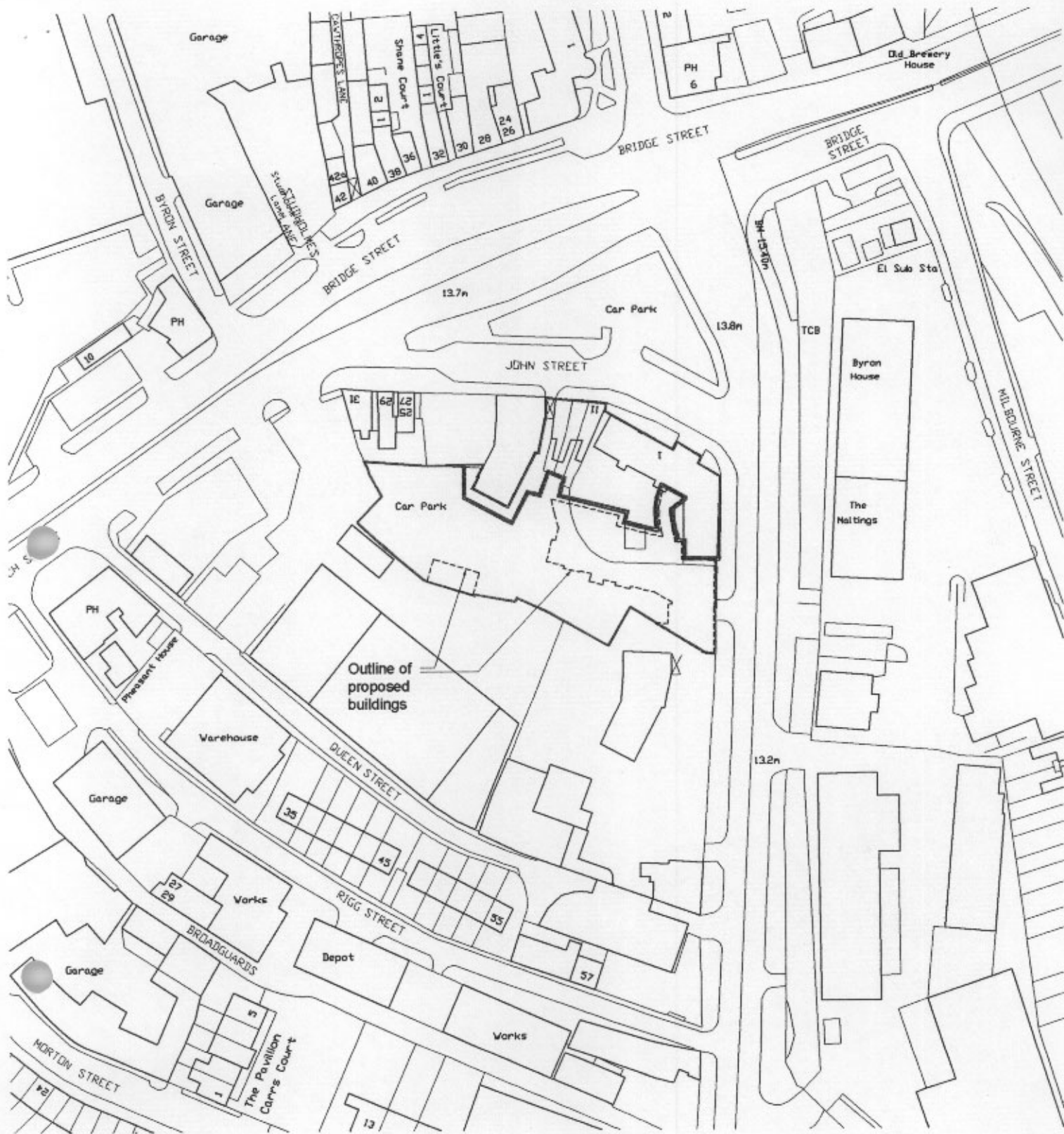
Reason: In the interests of highway safety and environmental management and to support Local Transport Plan Policies LD7 and LD8.

9. The use shall not be commenced until the access and parking requirements have been constructed in accordance with the approved plan. Any such access and parking provision shall be retained and be capable of use when the development is completed and shall not be removed or altered without the prior written consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies LD5, LD7 and LD8.

10. Prior to the commencement of development hereby approved, a plan reserving adequate land for the parking of vehicles engaged in construction operations associated with the development hereby approved shall be submitted to and approved in writing by the Local Planning Authority. That land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

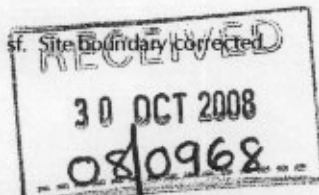
Reason: The carrying out of this development without the provision of these facilities during the construction works is likely to lead to inconvenience and danger to road users and to support Local Transport Plan Policies LD8.



CROWN COPYRIGHT RESERVED
Based on the ordinance survey map
with the permission of the controller of
Her Majesty's Stationary Office
Licence Number 100006179

Revisions:
A. Oct 2008

sf. Site boundary corrected



Johnston and Wright

Chartered Architects

15 Castle Street Carlisle Cumbria CA3 8TD

tel +44 (0) 1228 525161

fax +44 (0) 1228 515559

e-mail jw@jwarchitects.co.uk

Project HOMELESSNESS CENTRE OF EXCELLENCE, SHADDONGATE, CARLISLE. LOCATION PLAN

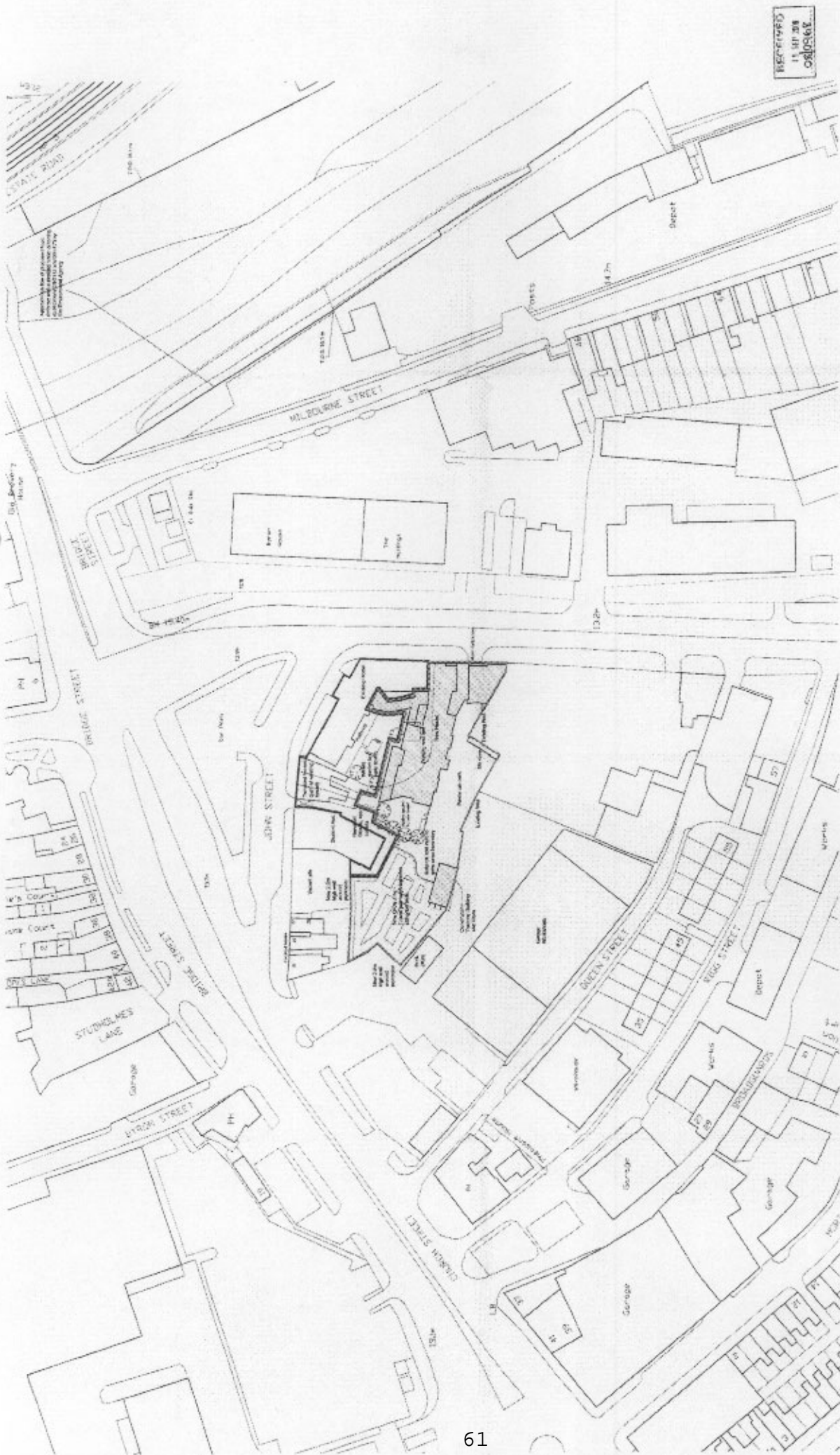
Scale 1/1250

Date Nov 07

Drawn am60

Number 11381 (D) 01A

THIS DRAWING IS COPYRIGHT. FIGURED DIMENSIONS ARE TO BE FOLLOWED IN PREFERENCE TO SCALED DIMENSIONS AND PARTICULARS ARE TO BE TAKEN FROM THE ACTUAL WORK WHERE POSSIBLE. ANY DISCREPANCY MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE COPIED WITHOUT THE PRIOR PERMISSION OF JOHNSTON AND WRIGHT.



15.01.2018
04/09/18

Johnston and Wright Chartered Architects
13 Castle Street Carlisle LA1 1ED Tel: 01223 328555 Fax: 01223 328556

Project: Homelessness Centre Of Excellence
Location: Shaddingle, Carlisle, for Carlisle City Council
Drawing: Block Plan

Scale: 1/500 Date: 03/08 Drawn by: Number: 11351 (0) 02A



Prepared by: J. Wright
Approved by: J. Wright
Date: 03/08



RECEIVED
19 SEP 2008
CARLISLE

Johnston and Wright Chartered Architects

15 Castle Street Carlisle, Cumbria CA1 1BT Tel: +44 (0) 1228 535161 Fax: +44 (0) 1228 515559 Email: johnstonwright.co.uk

Project: Homelessness Centre Of Excellence

Shaddergate, Carlisle, for Carlisle City Council

Drawing: Site Plan as Existing

Scale: 1/7500 Date: 02/08 Drawn: JH Number: 1181 (M) 018F



CARLISLE
CITY-COUNCIL



Project Managed By
Community Services

March 2008 STAGE D
A. August 2008 Planning Application. Entrance to Centre and pond revised.

RECEIVED
19 SEP 2008
08/0962



Johnston and Wright

Chartered Architects

15 Castle Street Carlisle Cumbria CA3 8TD tel +44 (0) 1228 523161 fax +44 (0) 1228 515559
e-mail jw@jwarchitects.co.uk

Project Homelessness Centre Of Excellence, Shoddongate, for Carlisle City Council, Perspective 1

Scale nts Date 03/2008 Drawn sf Number 11381 (D) 12A

THIS DRAWING IS COPYRIGHT. FIGURED DRAWINGS ARE TO BE FOLLOWED IN PRESENT TO LOCAL AUTHORITIES AND PARTIALS ARE NOT TO BE PART OF THE ACTUAL WORK WHERE POSSIBLE. ANY DISCREPANCY MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING. THIS DRAWING IS NOT TO BE COPIED WITHOUT THE PRIOR PERMISSION OF JOHNSTON AND WRIGHT.

RECEIVED
19 SEP 2008
08/09/08



Project Managed By
Community Services

March 2008 - STAGE D
August 2008 Planning Application

Johnston and Wright

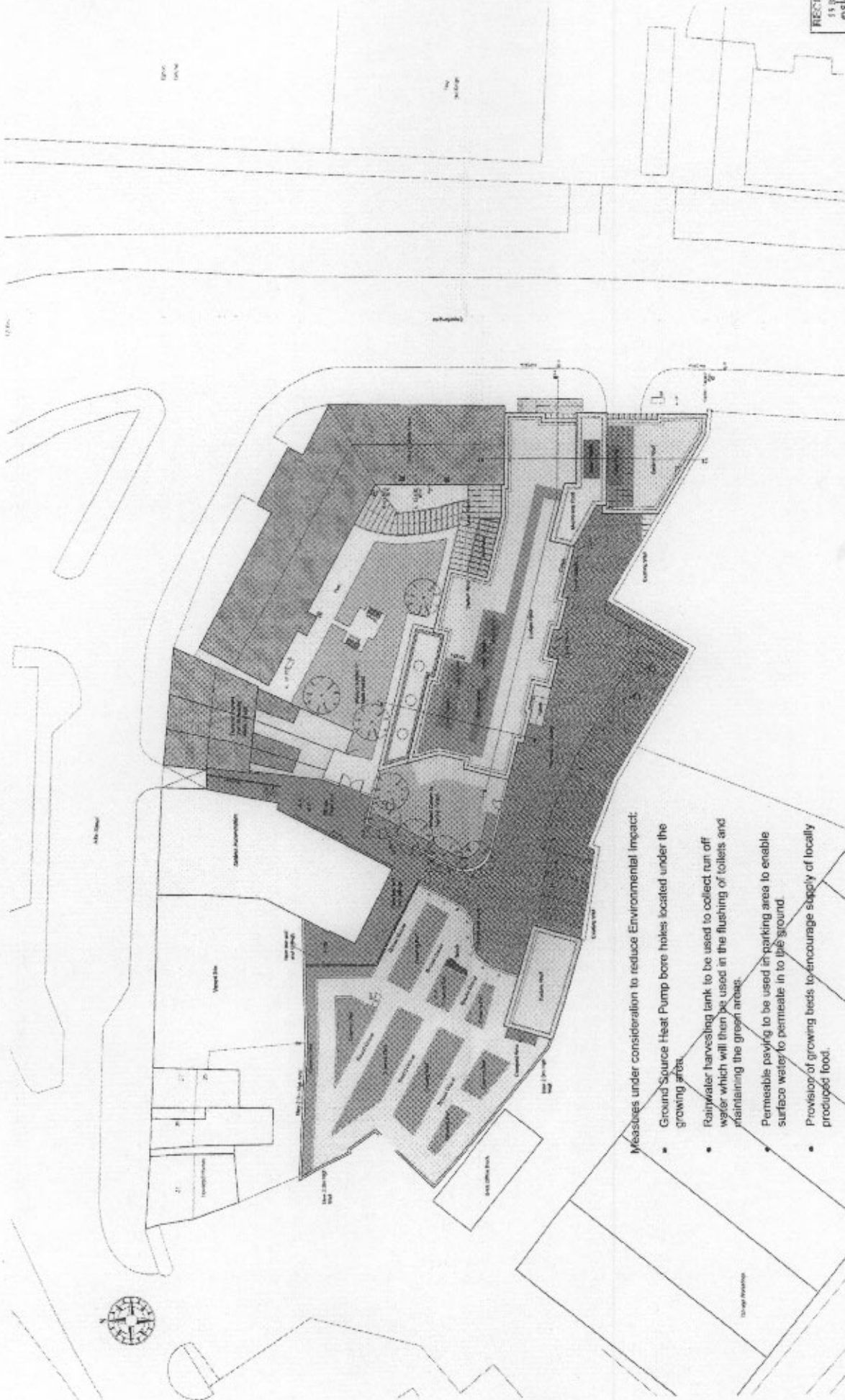
Chartered Architects

15 Castle Street Carlisle Cumbria CA3 8TD tel +44 (0) 1228 525161 fax +44 (0) 1228 515559 e-mail jw@jwarchitects.co.uk

Project Homelessness Centre Of Excellence, Shroddongate, for Carlisle City Council. Perspective 2

Scale n/a Date 03/2008 Drawn sf Number 11381 (0) 13

THIS DRAWING IS COPYRIGHT. THE DRAWINGS ARE TO BE FOLLOWED IN PREFERENCE TO ANY HAND-DRAWN DIMENSIONS AND PARTIALS ARE TO BE TAKEN FROM THE ACTUAL SCALE WHEN POSSIBLE. ANY DISCREPANCY MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING. THE DRAWING IS NOT TO BE COPIED WITHOUT THE PRIOR PERMISSION OF JOHNSTON AND WRIGHT.



Measures under consideration to reduce Environmental Impact:

- Ground Source Heat Pump bore holes located under the growing areas
- Rainwater harvesting tank to be used to collect run off water which will then be used in the flushing of toilets and maintaining the green areas
- Permeable paving to be used in parking area to enable surface water to permeate in to the ground
- Provision of growing beds to encourage supply of locally produced food.

RECEIVED
11 SEP 2008
03:09:58

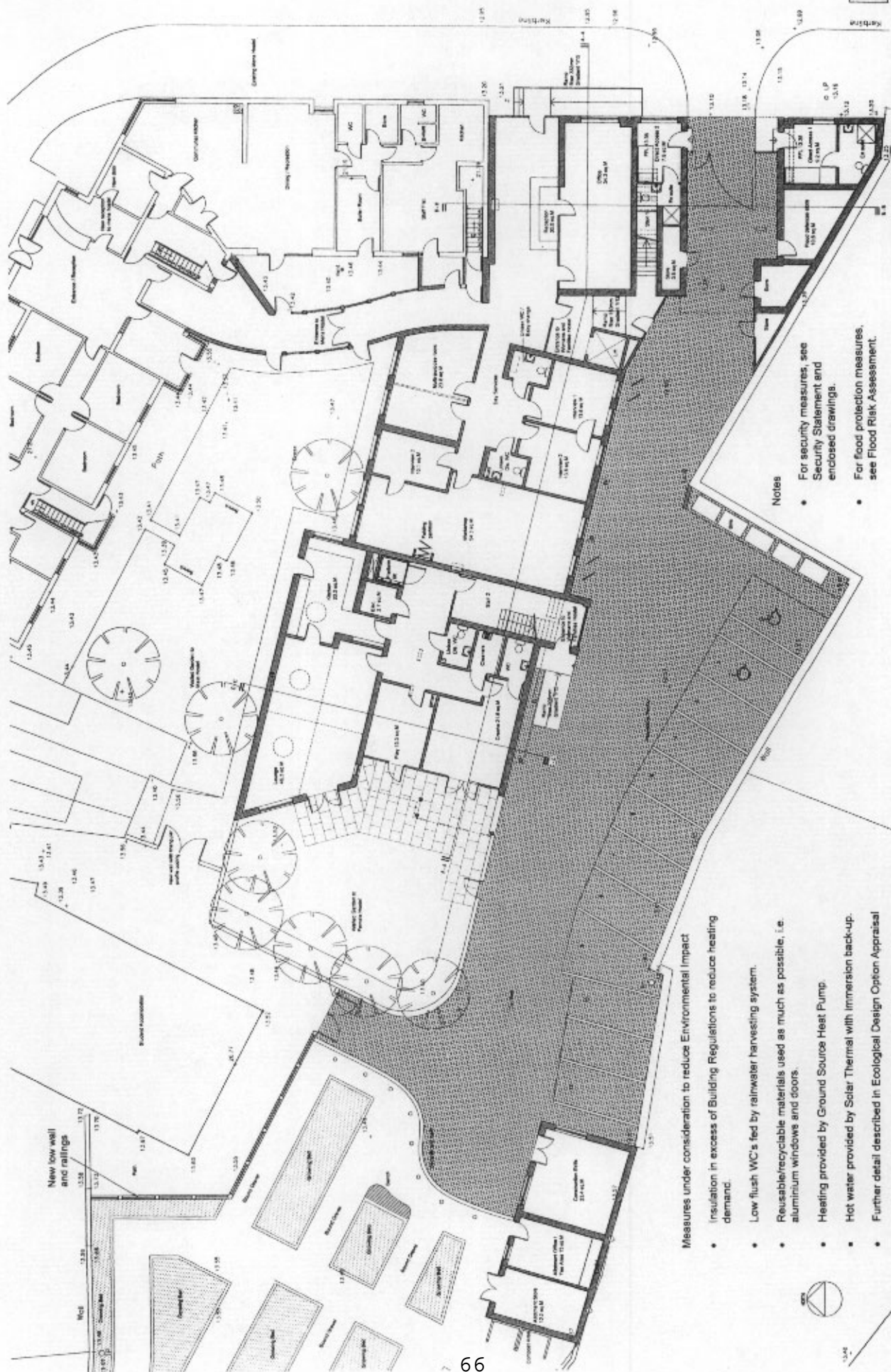
Johnston and Wright Chartered Architects
15 Castle Street, Cardiff, CF1 1RT. Tel: 01446 1238 1231 Fax: 01446 1238 1555

Project: Homelessness Centre Of Excellence
Location: Shadwellgate, Cardiff, Cardiff City Council
Drawing: Site Plan As Proposed

Scale: 1/200 Date: 01/08 Drawn: J. Johnston Number: 11381 (1) 04C
This drawing is the property of Johnston and Wright and is not to be used for any other purpose without the written consent of Johnston and Wright.



A: 10/08/08 1/200 (1/200)
B: 10/08/08 1/200 (1/200)
C: 10/08/08 1/200 (1/200)



Notes

- For security measures, see Security Statement and enclosed drawings.
- For flood protection measures, see Flood Risk Assessment.

Measures under consideration to reduce Environmental Impact

- Insulation in excess of Building Regulations to reduce heating demand.
- Low flush WC's fed by rainwater harvesting system.
- Reusable/recyclable materials used as much as possible, i.e. aluminium windows and doors.
- Heating provided by Ground Source Heat Pump.
- Hot water provided by Solar Thermal with immersion back-up.
- Further detail described in Ecological Design Option Appraisal

Johnston and Wright Chartered Architects
15 Carlisle Street Carlisle CA3 8TD Tel: +44 (0) 1228 525161 Fax: +44 (0) 1228 513559
email: jw@johnstonwright.co.uk

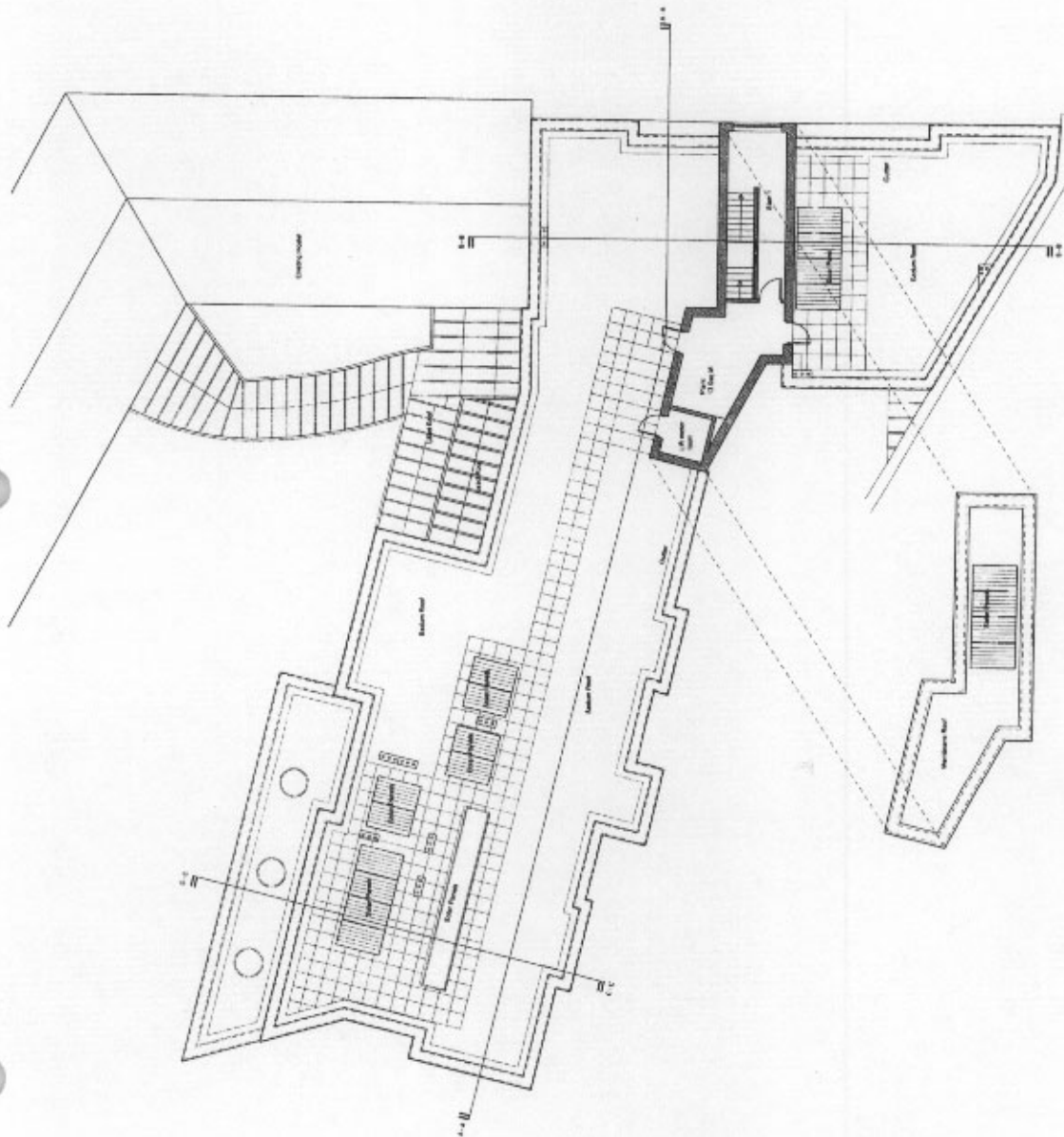


Project: Homelessness Centre Of Excellence
Sheddinggate, Carlisle, Carlisle City Council
Drawing: Ground Floor Plan as Proposed
Scale: 1/100 Date: 01/06 Drawn by: Number: 11381 (D) 05E



Measures under consideration to reduce Environmental Impact

- Sedum roof - adds insulation and thermal mass, reducing the impact of external temperature spikes therefore reducing the buildings reliance on mechanical heating and cooling. Adds to the local biodiversity, providing a place where wildlife can flourish. Green roofs also reduce the amount of water run off during storms, reducing the pressure on drains and the flooding risk.
- Solar Thermal panels provide hot water to flats and training centres.
- PV Solar to be included if the budget allows.
- Lead roof to connecting passage is 100% recyclable.
- Rooflight to allow natural light in to communal lounge without compromising privacy.
- Roof is to be insulated in excess of building regulations.



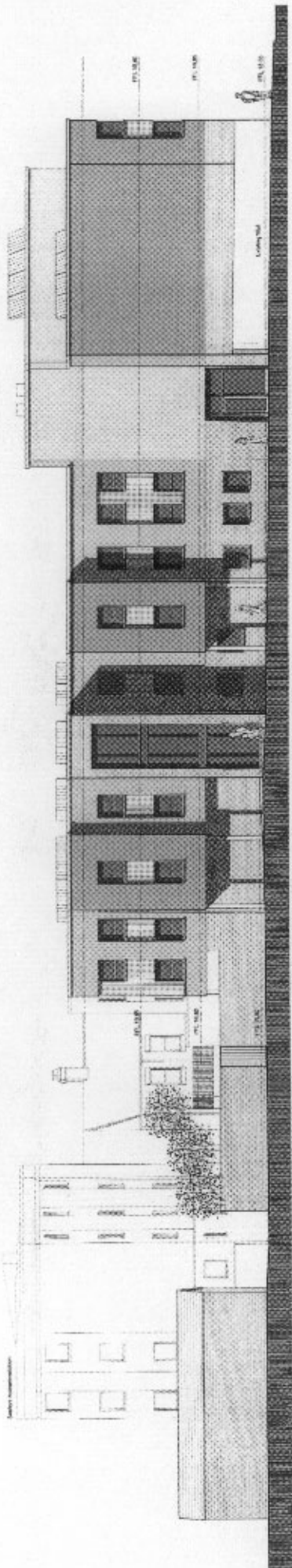
RECEIVED
13 SEP 2008
ON 10/08/08

Johnston and Wright Chartered Architects
13 Gable Street Carlisle, Cumbria CA1 8TD Tel: +44 (0) 1228 523551 Fax: +44 (0) 1228 523559
e-mail: jrw@johnstonwright.co.uk



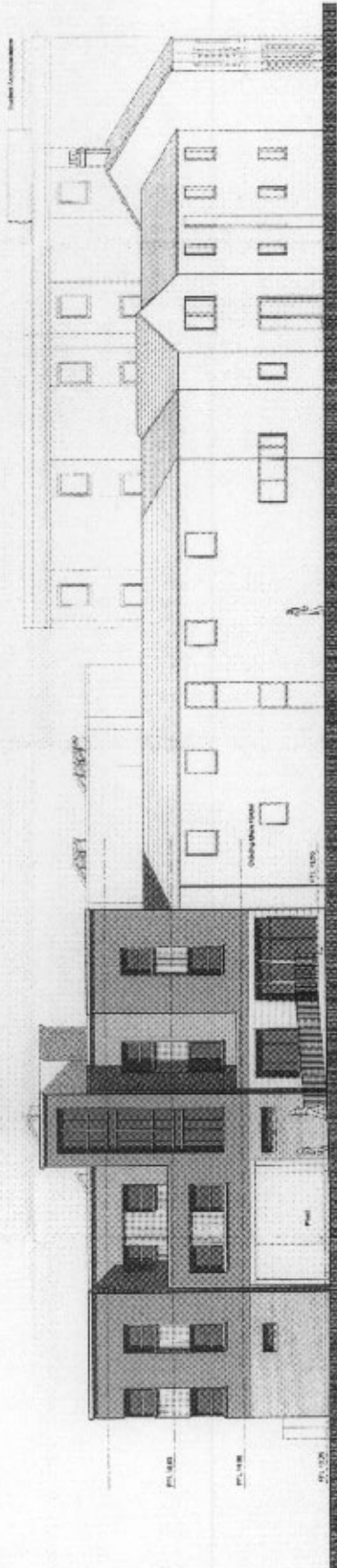
Project Homelessness Centre Of Excellence
Shaddongate, Carlisle, Carlisle City Council
Drawing Roof Plan as Proposed

Scale 1/100 **Date** 01/08 **Drawn** at **Number** 11361 (D) 08C
This drawing is a preliminary drawing and is not to be used for construction without the written approval of the architect. It is the responsibility of the client to ensure that the drawing is used for the purpose intended and that it is not used for any other purpose without the written approval of the architect.



Materials

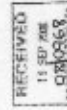
- Walls - Red-brown brick ground floor. Art stone main entrance, galvanised steel surround to pend. Cedar boarding and lime render to upper floors in varying colours, off white and light pink.
- Roof - Sedum, lead and membrane.
- Windows/doors - Powder coated aluminium, light grey.
- Rainwater goods - Aluminium.



East Elevation Scale 1:100

Measures under consideration to reduce Environmental Impact

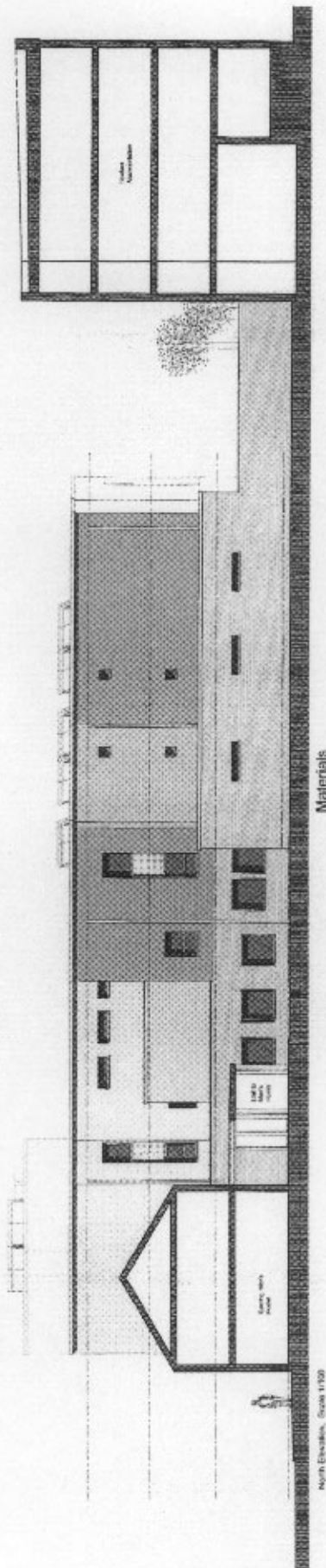
- Living spaces orientated to South/South West to give good natural light and reduce reliance on artificial light and mechanical heating.
- Lime render finish to First and Second Floors.
- Recyclable materials used where possible.
- Sedum (green) roof to provide additional wildlife habitat and to slow rainwater run off.



Johnston and Wright Chartered Architects
15 Cude Street Carlisle Cumbria CA1 1BD Tel: 01768 31231 Fax: 01768 31229 Email: info@johnstonwright.co.uk

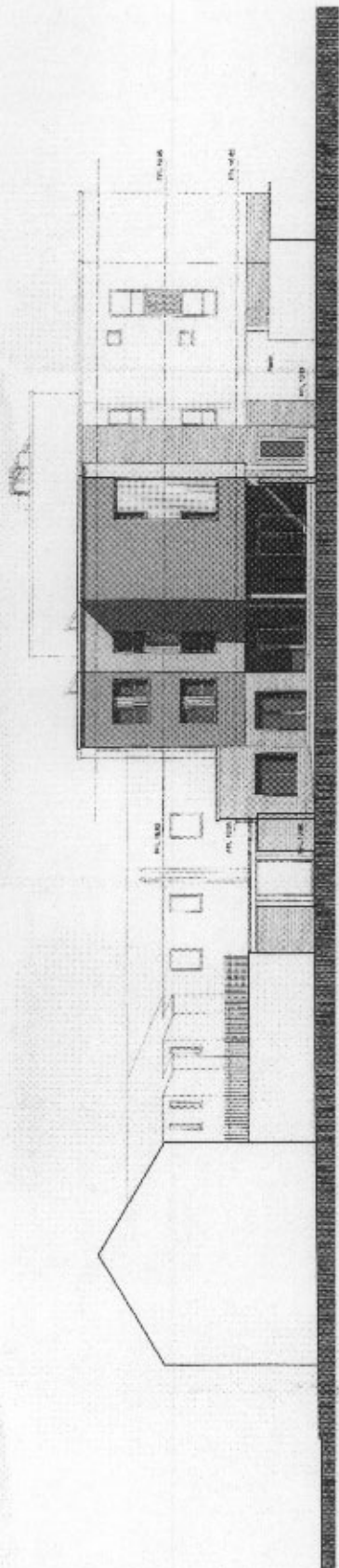


Project Homelessness Centre of Excellence
Location Sheddington, Carlisle City Council
Drawing South and East Elevations
Scale 1/100
Date 17/08
Drawn by 11381 (D) 09C
Checked by 11381 (D) 09C



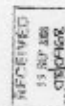
Materials

- Walls - Red/brown brick ground floor. Cedar boarding and lime render to upper floors in varying colours, off white and light pink.
- Roof - Sedum, lead and membrane.
- Windows/doors - Powder coated aluminium, light grey.
- Rainwater goods - Aluminium.



Measures under consideration to reduce Environmental Impact

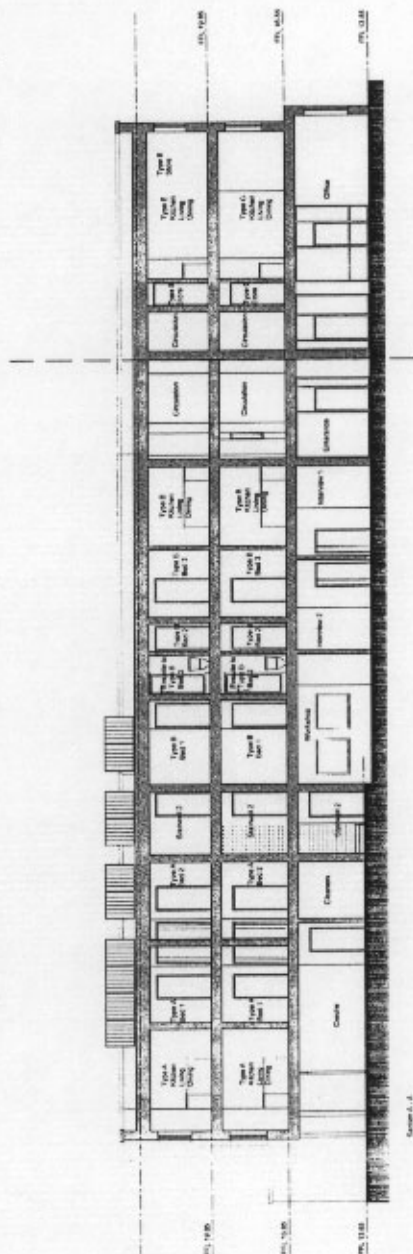
- Living spaces orientated to South/South West to give good natural light and reduce reliance on artificial light and mechanical heating.
- Lime render finish to First and Second Floors.
- Recyclable materials used where possible.
- Sedum (green) roof to provide additional wildlife habitat and to slow rainwater run off.



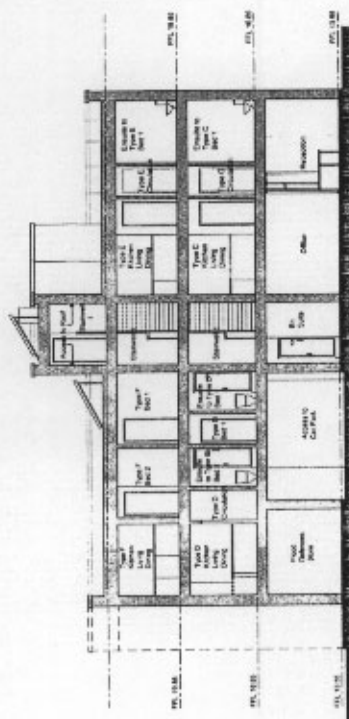
Johnston and Wright Chartered Architects
15 Gable Street, Corlisle, Carlisle, Cumbria, CA1 1JH Tel: 01268 333367 Fax: 01268 333368



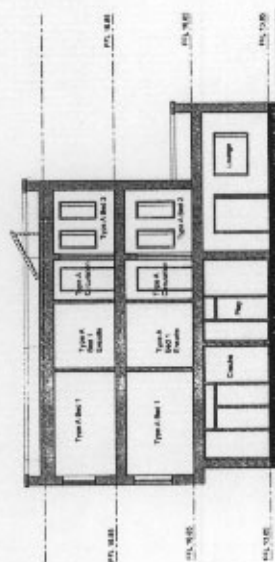
Project: Homelessness Centre Of Excellence
Shackleton, Corlisle, Carlisle City Council
Drawing: North and West Elevations
as Proposed
Scale: 1/150 Date: 15/05/06 Drawn by: J. O'NEILL
Checked by: J. O'NEILL
Number: 111381 (D) 108



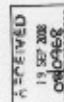
Section A-A



Section B-B



Section C-C



Johnston and Wright Chartered Architects
15 Carlisle Street Carlisle Cumbria CA1 1ED Tel: +44 (0) 1223 525151 Fax: +44 (0) 1223 515559
e-mail: jrw@johnstonwright.co.uk

Project: Homelessness Centre Of Excellence
Shroddongate, Carlisle, Carlisle City Council

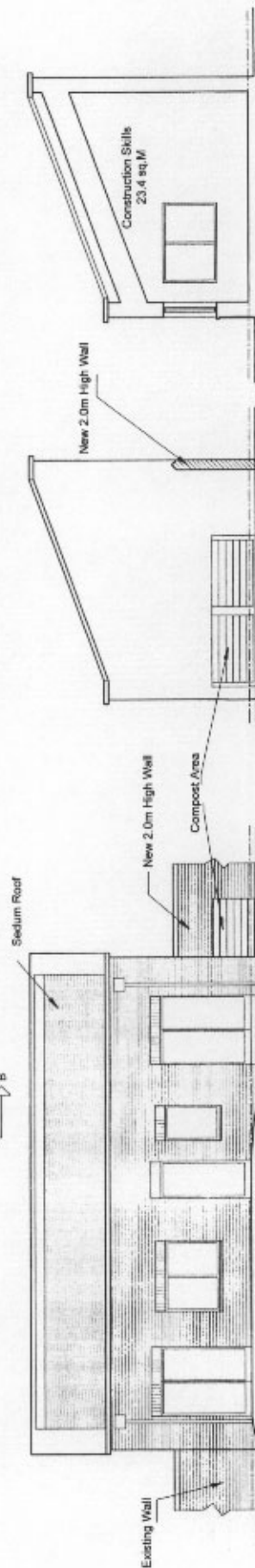
Drawing: Sections as Proposed

Scale: 1/100 Date: 02/06 Drawn: jm Number: 11381 (D) 11B



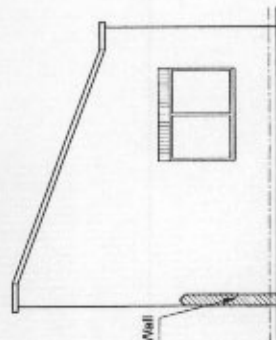


Section A-A



Section B-B

West Elevation



East Elevation



South Elevation

OUTLINE SPECIFICATION

Walls: Thermoplastic clay blocks faced with red/brown facing brick

Windows/ doors: Timber

Roof: Monopitched sedum roof

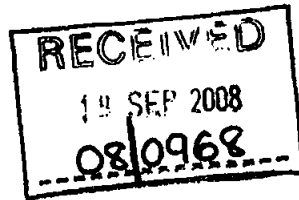
Rainwater Goods: Aluminium

Measures under consideration to reduce Environmental Impact

- Sedum roof - adds insulation and thermal mass, reducing impact of external temperature spikes therefore reducing the buildings reliance on mechanical heating and cooling. Adds to local biodiversity, providing a space where wildlife can flourish. Green roofs also reduce the amount of water run off during storms, reducing the pressure on drains and the flooding risk.
- Clay blocks, reduce use of concrete which uses a lot of energy in its manufacture.
- Timber windows and doors - timber is a natural material which breaks down at the end of its useable life unlike plastic.
- Aluminium rainwater goods are to be used which are a recyclable material.
- Provision of composting area.



Johnston and Wright



SECURITY STATEMENT

HOMELESSNESS CENTRE
OF EXCELLENCE
SHADDONGATE, CARLISLE

AUGUST 2008

Johnston and Wright

CONTENTS

1. DEFINITION OF SPACE – PERIMETER SECURITY
2. DESIGNATED VEHICLES ACCESS POINT AND DIRECT ACCESS SUITE
3. WALLED GARDENS AND ACCESS POINTS
4. LANDSCAPING
5. SECURITY LIGHTING
6. CCTV
7. CAR AND CYCLE PARKING
8. PHYSICAL SECURITY
9. BIN STORAGE
10. CONCLUSION

APPENDICES

- A. Letter from Cumbria Constabulary
- B. Security Drawing No. 11381(D)04C
- C. Security Drawing No. 11381(D)05C

PROPOSED REPLACEMENT FAMILIES HOSTEL, SHADDONGATE, CARLISLE

Careful consideration has been given to the security of the Shaddongate Replacement Families accommodation as it is recognised that this type of accommodation is much more prone to burglary than privately owned housing.

Cumbria Constabulary were sent the Stage D design drawings of the proposals and invited to comment. Their letter in reply was issued on 30 April 2008, see Appendix A. This statement is a response to Cumbria Constabulary's letter and should be read in conjunction with it as a basis for detail design development.

1. DEFINITION OF SPACE – PERIMETER SECURITY

The building and boundary walls define spaces clearly identified as being for the use of residents, staff and users of the facility. Access to this area is controlled and is either through the building or a gated 'pend'.

Carlisle City Council and U-Student are carrying out alterations to the gate on John Street to improve visibility and security.

In line with recommendations from Cumbria Constabulary the 2.0m high wall will be designed to deter climbing, without projections or recesses, and will be topped with a triangular profiled coping so that it cannot be easily walked along. See notes A and B on drawing in Appendix B.

The garden and construction skills workshop has been designed to minimise the risk of people climbing in to the site over the building. The eaves are high, at 3.0m and rainwater pipes are kept within the site to ensure they cannot be used as a climbing aid from outside the site and to ease maintenance. See note C on drawing in Appendix B.

2. DESIGNATED VEHICLE ACCESS POINT AND DIRECT ACCESS SUITE

The letter from Cumbria Constabulary raised concerns about the depth of the recess and that it may form a gathering place.

The area has been redesigned and the vehicle gates brought towards the front of the 'pend'. See note D on drawing in Appendix C. The remaining recess, which is much reduced, will be visible from Caldewgate and therefore there will be a much-reduced risk of people gathering here. This area will be lit through the hours of darkness and have CCTV which will be vandal resistant.

3. WALLED GARDENS AND ACCESS POINTS

The walled garden is well overlooked by the lounge, play and crèche areas as well as the bedrooms above. To ensure that there are no corners that are not overlooked by the lounge an extra window has been added as the play and crèche areas may not be occupied during evenings/ nights. See note C on drawing in Appendix C.

Johnston and Wright

4. LANDSCAPING

It is the intention to plant some small to medium sized trees in the walled garden to provide a pleasant environment and provide some separation from U-Student building. Following advice from Cumbria Constabulary, any bushes under the trees will be low level and spiky. See note F on drawing in Appendix C.

5. SECURITY LIGHTING

The recess by the direct access suite is to be lit through the hours of darkness, with the lighting controlled by a photo-electric cell or timers. The lighting will be mounted in vandal resistant fittings. See note G on drawing in Appendix C.

The car park and allotment garden will also be lit through the hours of darkness so that potential intruders would feel that by entering this space their presence would be noticed. See note H on drawing in Appendix C.

Halogen bulbs controlled by infrared movement sensors will be avoided as these can cause unnecessary anxiety when triggered by wildlife or pets.

6. CCTV

The current men's hostel has CCTV in communal and circulation areas which is monitored from the staff office and flat.

This type of system would be included in the new accommodation and selected external areas.

7. CAR AND CYCLE PARKING

The security gate to the pend will improve the security of the car and cycle parking, CCTV will be considered as an additional deterrent to theft/ vandalism in this area.

8. PHYSICAL SECURITY

The specification of security standard doors and windows is intended in accordance with the advice given Cumbria Constabulary's letter.

9. INTERNAL SECURITY

Internal security will be achieved by swipe cards or remote proximity fobs to allow/ restrict access as required by the management with a similar system to that used in the current men's hostel.

10. BIN STORAGE

Bins will be chained in a position to prevent them being moved and exploited as climbing aids. See note M on drawing in Appendix C.

11. CONCLUSION

The proposed accommodation for Homeless Families is designed to address the security issues it faces. The detailed and knowledgeable input from Cumbria Constabulary is appreciated and will be used to develop the design to be more resistant to the threats of security and vandalism.

Johnston and Wright

APPENDIX A

Andy Hunton
North Area Community Safety Unit
Email andrew.hunton@cumbria.police.uk
T 0845 33 00247
F 01228 558289

My Reference C/359/08/ASH
Your Reference 11381/SF/AL

Area Commander
Ch Supt Andy Davidson

Citadel Chambers
English Street
Carlisle, Cumbria
CA3 8SQ

www.cumbria.police.uk



CUMBRIA
CONSTABULARY
SAFER STRONGER CUMBRIA

Not Protectively Marked

16 September 2008

Mr S Fletcher
Johnston and Wright
15 Castle Street
Carlisle
CA3 8TD

Dear Sam

SBD – Proposed Homeless Families Hostel, Shaddongate, Carlisle

Many thanks for your letter dated 9th April 2008 and enclosed drawings. I wish to make the following observations regarding this proposal, which I have considered from a Community Safety and Architectural Liaison viewpoint. National statistics indicate that social housing is three times more likely to be subject to burglary than privately owned, so it is certainly worthwhile considering the security arrangements for this facility.

Definition of Space – Perimeter Security

The intention is to create a space that is clearly not public, over which the staff and residents feel they have control and a mutual responsibility. A substantial perimeter treatment is intended to prevent or deter casual or unobserved access and oblige all visitors to enter the site via the designated access points.

In this case, the new perimeter shall comprise of 1.8 metre brick walls. These should be designed to deter climbing (without projections or recesses to permit footholds) and topped with a triangular profile coping so that it cannot easily be walked along. The proximity of the garden workshop and store to the wall may be an issue. I perceive that the height to the eaves will be just over 3 metres. Scaling the wall may give access to the roof and the location and design of the compost bins may provide another climbing aid. Maximising the height to the eaves and concealing or repositioning the rainwater goods will make this route as awkward as possible. This area shall be partially overlooked from the new building.

Designated Vehicle Access Point and Direct Access Suite

The entrances to the car park and Direct Access Suite are located underneath an archway, which forms a deep recess and consequently are concealed from easy view. It occurs to me that the recess is too deep and forms a convenient potential gathering place. I believe the vehicle access gate should be mounted towards the front of the recess, on the opposite wall and to swing internally. The access control method must be vandal resistant and I recommend that the space should be permanently illuminated. The Direct Access Suite cannot be directly supervised from the reception/office area so would benefit from CCTV surveillance. The lighting units and camera(s) must be appropriately specified to be vandal resistant.

Walled Gardens and Access Points

The intention is to provide amenity areas within the development for the enjoyment of residents. However, reasonable access control measures must be deployed to prevent unauthorised access to other parts of the site. Natural surveillance into these amenity areas must be maximised, particularly from upper levels.

Landscaping

The choice and location of soft landscaping species must be carefully considered. The intention is to provide a pleasing and textured environment that does not

- impede surveillance opportunities (i.e. from ground floor or upper floor levels)
- create potential hiding places
- reduce the effects of security lighting or CCTV (if deployed)
- provide climbing aids to reach upper levels

Shrubs and bushes should not exceed 1 metre in height and should not be grouped too densely. Broad canopied trees must be placed so that they do not obscure views from upper levels. Landscape elements should not be placed too close to buildings, except where they are intended to screen blank walls. Spiked or thorny species can be utilised to define or reinforce boundaries and do not require warning signage.

Security Lighting

Security lighting has a specific purpose and must not be confused with courtesy lighting, which is not always lit. The intention is to illuminate the exterior of the buildings throughout darkness hours, especially above doors and in recesses, or in other vulnerable areas. This can frequently be achieved by the deployment of compact fluorescent tubes in vandal resistant fittings. These should be mounted as high as possible, to prevent tampering. Lighting should be controlled by photoelectric cell or timeswitch (operated from inside the building). For the larger exterior spaces (car park and growing beds), more powerful lighting such as metal halide or high-pressure sodium is required.

The lighting scheme must be designed to avoid light pollution or nuisance. Illumination need not be harsh or intrusive, but must be even, to minimise shadows.

By this arrangement, any resident can look into a space and be reassured that no intruder is concealed there. A potential intruder shall also perceive that by entering the lit area, their presence is more likely to be detected.

The use of halogen bulb floodlights, controlled by passive infrared detector is not appropriate as the lamp is always switched off, until a heat source activates the unit. This arrangement is prone to false activations by wildlife or domestic pets and may cause unnecessary anxiety to residents if triggered for the wrong reason.

CCTV

CCTV may be deployed for the purposes of crime prevention, crime detection and property management. However, it should not be relied upon as the primary defence against crime. Cameras must be capable of providing identification quality images within the area of deployment, preferably in colour. The most effective systems are 'active' i.e. an operator is employed to run several pan, tilt and zoom cameras, manage the recording system and respond to any incidents arising. 'Passive' systems invariably utilise fixed focus, fixed view cameras and may require additional units to observe the site fully. The images from this type of system are only reviewed after an incident has occurred, which could be several days later. The preferred choice will be regulated by the Data Protection Act 1998 and should be operated in accordance with the code of practice published by the Information Commissioner's Office. A member of staff must be designated as the Data Controller and shall accept responsibility for management of the system and security of the data obtained.

The client must decide which internal or external spaces require surveillance. A copy of Cumbria Constabulary Operational Requirement document, which gives guidance on the specification and management of CCTV systems, is available on request.

Car and Cycle Parking Arrangements

The car parking spaces are laid out in a straight row, which permits maximum surveillance from the building. However, I perceive that none of the rooms overlooking this space shall be continuously occupied (interview rooms, bedrooms). The main security feature is the provision of gated access, which shall prevent casual access.

I perceive that cycle parking is provided via 'Sheffield' stands, positioned outside the workshop and interview rooms. This method reflects best practice, but as already mentioned, the space is not readily overlooked.

Physical Security

The selection of appropriate physical protection for doors and windows will depend on a number of issues, including the following:

- The location of the building
- The location of door/window in the building
- The value of the building
- The value or desirability of goods or information stored within the building
- The frequency of previous attacks against the building
- The risks relating to the loss of or interruption to business
- The deployment of additional security products or technology

I recommend the installation of security standard products for all exterior doorsets and window openings. The current commercial standard is Loss Prevention Standard (LPS) 1175. This includes doors, shutters and grilles for commercial premises and higher risk domestic premises. There are 8 security ratings within the standard, SR 1 being the lowest. Products which have achieved the appropriate security rating have been designed and constructed to withstand a series of professional attacks for a specified period, with the use of hand tools, battery operated tools or mains powered tools, as defined.

The current standard for domestic doors is BS PAS 24. Products which achieved this standard have been constructed to withstand a series of attacks for up to 10 minutes, with the use of hand tools. I have no doubt that the Direct Access Suite shall become a potential target for unauthorised entry, once its intended purpose is publicised. The client should therefore decide on the appropriate level of physical protection for this facility, considering the deployment of other measures such as lighting and CCTV as well.

The present standard for domestic windows is BS 7950 and covers casement, tilt-and-turn and vertical sash types.

Confusingly, the standard does not include a test for glass. For security purposes, the use of laminated glass is recommended, which is covered by BS 6206. I recommend that all ground floor glazing (and any at vulnerable levels) should be laminated to at least 6.8mm thickness. Other glass protection products are available, such as Rolflex 'CrimeShield' or Trellidor 'GriffinGuard'.

Security standard doors and windows should also be installed in the workshop and stores.

Consideration should also be given to connecting this building to the main Intruder Alarm System.

Internal Security

Access to some rooms or areas may be restricted so internal measures must be robust to prevent unauthorised entry (e.g. medical room, staff flat etc). Security standard doors are also available for internal use. Electronic access control measures are the most convenient and they also provide audit trails of permitted movements. Swipe cards or remote proximity fobs can be isolated from the system in the event of loss or abuse.

The layout of internal spaces must be designed to maximise natural surveillance opportunities and hidden recesses or blind corners in corridors should be avoided. Consideration must be given to the positioning of furniture or fixtures within interview rooms to promote safety and the deployment of a Personal Attack facility.

Bins Storage

Wheelie bins should be chained into position to prevent them being dragged and exploited as climbing aids within the site. The bin storage is well placed – away from any building elevation in the event of arson.

If your client wishes to apply for a 'Secured by Design' award, this could only be considered on the incorporation of security standard products. It is expected that commercial premises design guidance and the appropriate application form shall be available from www.securedbydesign.com in the near future.

I trust the above is of value. I shall be pleased to discuss any of the issues raised in this report, if required.

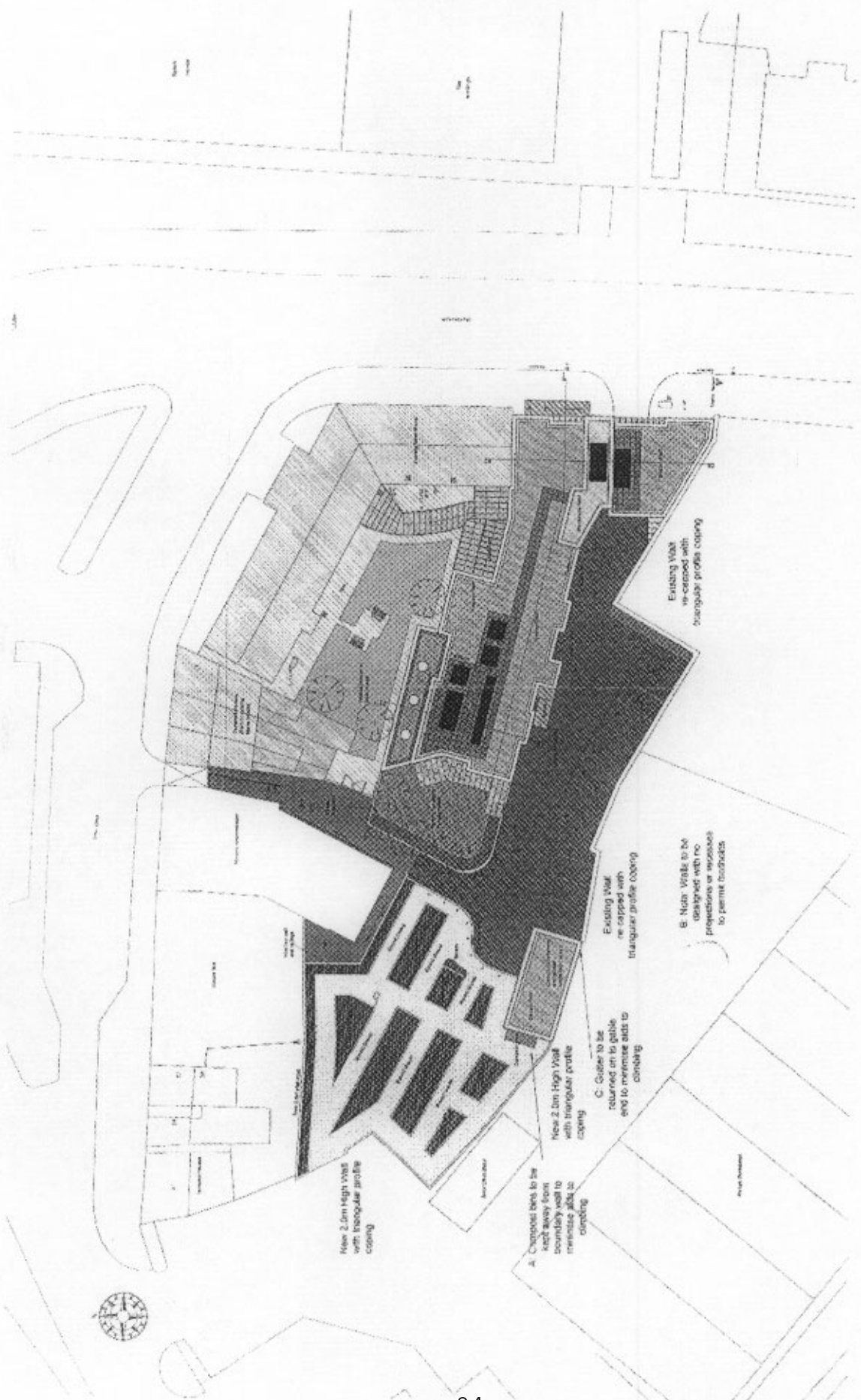
Architectural liaison and crime prevention advice is given free without the intention of creating a contract. Neither the Home Office, nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed and will assist all authorities to comply with Section 17 of the Crime and Disorder Act 1998

Yours sincerely,

**Andy Hulton
Crime Prevention/Architectural Liaison Officer
North Area Community Safety Unit
Direct Tel. 01228 558251**

Johnston and Wright

APPENDIX B



New 2.0m High Wall with triangular profile coping

A. Composite box to be kept away from boundary wall to minimise risk to building

C. Gate to be returned on to public end to minimise risk to building

Existing Wall re-capped with triangular profile coping

B. New Wall to be designed with no projections or recesses to permit footpaths

Existing Wall re-capped with triangular profile coping

Johnston and Wright Chartered Architects
 10, Green Street, London, E1 6JL
 Tel: 020 7424 1234
 Fax: 020 7424 1235
 Email: info@johnstonwright.co.uk
 Website: www.johnstonwright.co.uk
 Planning: 10/01/01
 Design: 10/01/01
 Drawn: 10/01/01
 Checked: 10/01/01
 Date: 10/01/01
 Scale: 1:1000
 Drawing: 10/01/01
 Project: 10/01/01

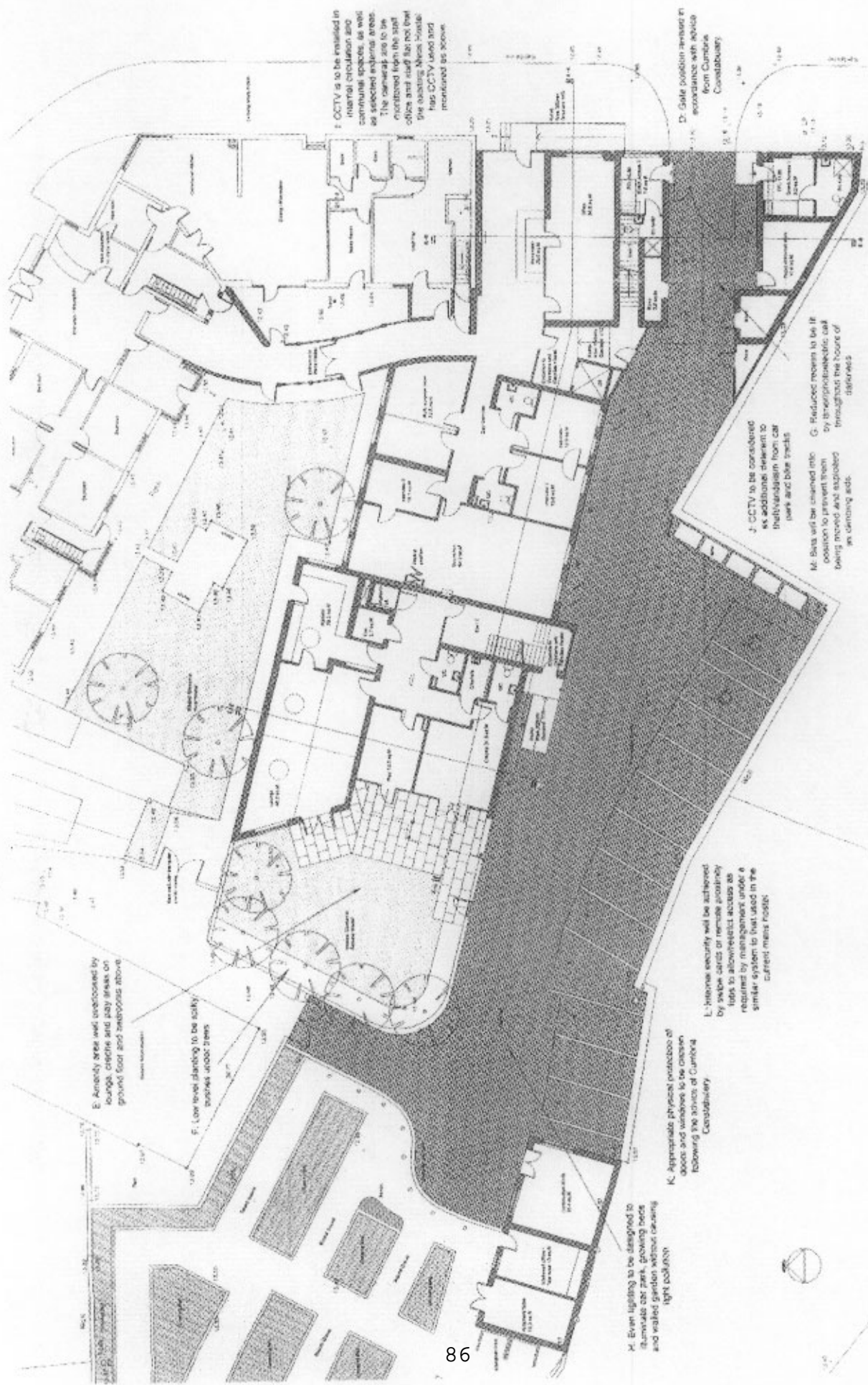


SECURITY DRAWING

Copyright © 2001 Johnston and Wright
 All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without prior permission in writing from Johnston and Wright.

Johnston and Wright

APPENDIX C



E. Amenity area well enclosed by lounge, cafe and play areas on ground floor and mezzanine above

F. Low level planting to be sited, bushes and trees

M. Even lighting to be designed to illuminate car park, growing beds and walled garden without causing light pollution

L. Internal security will be achieved by video feeds or remote proximity links to allow direct access as required by management under a similar system to that used in the current main building

K. Appropriate physical protection of doors and windows to be chosen following the advice of Cumfrie Constabulary

J. CCTV to be considered as additional element to their own security from car park and bike racks

M. Data will be shared into position to prevent from being moved and exposed in denoting acts

G. Reduced means to be in position to prevent from being moved and exposed in denoting acts

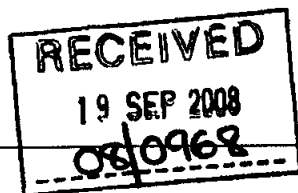
I. CCTV is to be installed in internal circulation and communal spaces, as well as selected external areas. The cameras are to be monitored from the site office and staff for the use of the existing Alarm House has CCTV used and monitored by some

D. Gate position advised in accordance with advice from Cumfrie Constabulary

Johnston and Wright Chartered Architects
 11 Castle Road, Dundee, Dundee DD1 1AB, Tel: 01382 434441, Fax: 01382 434442
 E-mail: jrw@johnstonwright.co.uk
 Project: Homelessness Centre, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



SECURITY DRAWING



Johnston and Wright

PROPOSED HOMELESSNESS CENTRE OF EXCELLENCE, SHADDONGATE, CARLISLE, CUMBRIA. CA2 5TU FOR CARLISLE CITY COUNCIL

DESIGN AND ACCESS STATEMENT

1. PROJECT AIM

- 1.1 Carlisle City Council is proposing to replace an existing hostel on London Road which no longer meets requirements, with a new hostel and day services for homeless families to be provided under the Government's Places for Change, Hostels Capital Improvement Programme.
- 1.2 The proposed development will consist of short stay residential flats at first and second floor levels to accommodate 22 people with day services, workspace and office accommodation at ground floor level. It is also proposed to provide emergency overnight accommodation with controlled usage at ground floor level.
- 1.3 In a wider urban design context the project will provide a significant element of regeneration of a brownfield site close to the city centre.

2. SITE

- 2.1 The site identified by the City Council for the proposed development is council owned land in the Shaddongate area of Carlisle, (NGR NY 395 559), to the west of the city centre. The site is irregularly shaped, with a relatively flat topography, behind John Street with pedestrian and vehicle access from Shaddongate at the east end of the site. The site is currently operated by the City Council as a surfaced long stay car park.

The site is within an area of historical development in the nineteenth century for bread and biscuit manufacturing, brewing, dyeing and bleaching works, cotton spinning and weaving works and terraced housing. The immediate area of the site was occupied by the Ragged and Industrial Schools in 1870, then a Corn Mill, and then a Dairy, and an industrial building before the site was cleared by 1990. Further information on the history of the site is contained in the accompanying Site Desk Study Report prepared by Scott Doherty Associates.

- 2.2 The south boundary of the site is formed by irregularly aligned brick walling and wire mesh fencing approximately 2 m high separating the site from adjacent yards of car dealers and workshops. A small two-storey rectangular flat roofed brick office is located on the adjacent site close to the west end of the south boundary. An electricity substation is located adjacent to the east end of the south boundary.
- 2.3 There is also a car dealership forecourt adjacent to the narrow west boundary.
- 2.4 The north boundary comprises the rear elevations of the remaining elements of the two and three-storey terraced houses facing onto John Street. The group of existing terraced houses at the west end is separated by a gap site from a student accommodation building constructed in 2005. McKnight and Sons are currently considering a four-storey housing development for the gap site.

(Contd.)

Johnston and Wright

- 2.5 Three terraced houses to the east of the Student accommodation block belong to the City Council and provide accommodation associated with the two-storey mens' hostel located at the north east corner of the site from John Street round into Shaddongate. This existing hostel building has a rear garden with mature shrubs and trees bounded by a brick wall and railings.
- 2.6 * An appraisal of the site and its proposed development has been carried out by the City Council's Planning Department (copy attached in Appendix A).
- 2.7 The site in the Shaddongate area of Carlisle, is on the fluvial flood plain of the rivers Eden, Caldew and Little Caldew. The Shaddongate area has a history of flooding from back flow up the rivers and overtopping of banks and from the sewers in the area being overwhelmed by heavy rainfall and floodwater. It is inevitable that without alleviation measures there will be flooding in the future.
- 2.8 The site is included in a Flood Alleviation Scheme, which is due to be implemented during 2008 – 2009. This proposal includes the installation of 2m high walls along the River Caldew.
- 2.9 The site is within the Caldewgate area for which a Development Brief for public realm works is due to be issued in mid 2008 by Gillespies as part of their master planning appointment for Carlisle Renaissance.

3. SCHEME DESIGN

- 3.1 The proposed development consists of 3 no. 3-bedroom family flats, 1 no. 2-bedroom family flat, 2 no. 3-bedroom shared flats for wheelchair users, 1 no. 2-bedroom shared flat for wheelchair users and 1 no. 2-bedroom shared flat. The flats are located at first floor and second floor level. A resident's communal lounge, kitchen, laundry, meeting room, crèche, play area and garden are located at ground level. Reception area, offices and day services workspaces, meeting rooms and interview rooms and located at ground floor level.

The proposals are described on drawings nos. 11381/D/01, 02, 03, 04, 05 and 06.

- 3.2 The residential units, which contain the sleeping accommodation have been located at first and second floor level above the flood risk level. The administrative, meeting, and work spaces are located at ground floor level. The communal areas for use by residents although located at ground level are at the further end of the building away from the lowest part of the site.

4. SCALE

- 4.1 The area requirements of the proposed development enables a three-storey frontage to be located to fill the gap at the east end of the site onto Shaddongate. A second three-storey block is proposed to extend westwards into the site to provide south facing orientation with car parking on the south side and an enclosed garden to the existing two-storey mens' hostel on the north side.
- 4.2 The existing buildings in the area do not have a consistent scale or planned character being an area of mixed use and redundant sites. Two notable buildings are the modern four-storey student accommodation block to which the scale of the new building would relate and the distinctive stated roofed building across Shaddongate.

(Contd.)

Johnston and Wright

4. SCALE

- 4.3 The proposed alignment of the new building with the streetscape respects the surviving terraced housing on John Street in terms of amenity and avoidance of risk of overlooking and does not impose restrictions on the future redevelopment of adjacent sites to the south and west.
- 4.4 The scale of the new building would be a positive addition to the streetscape on the approach to the western gateway of the historic core of the city.

5. LANDSCAPING

- 5.1 Although the site of existing garden area at the rear of the existing men's hostel would be partly used in accommodating the new building in a position that relates to the existing, new garden areas would be provided as follows:
- (1) A walled garden with shrub and tree planting would be created as a private outdoor space to the residents' communal areas in order to provide a safe and screened environment for the families and their children.
 - (2) An allotment garden is planned for the open area of the site to the west of the building where it is intended to construct raised accessible planting beds within a new perimeter wall.
 - (3) The existing garden between the new building and the existing hostel would be reinstated with grassed areas and low shrubs.
 - (4) Permeable paving blocks are proposed for the hard landscaping to the car park to provide a sustainable urban drainage system.

6. APPEARANCE

- 6.1 The elevational treatment of the building is designed in a contemporary style to reflect the positive and welcoming values of the forward-looking programme for the rehabilitation of the residents.
- 6.2 The external materials would be traditional facing brickwork and coloured renders to reflect the historical character of preceding development and the adjacent men's hostel and terraced housing but with panelled areas to provide significant attractive features.
- 6.3 A contemporary flat roof is considered acceptable in this location and for this building. The design of the roof is based on green roof technology to slow down surface water run-off in periods of heavy rainfall and also to provide a base for the utilisation of thermal solar panels and possibly photo voltaic panels.
- 6.4 The appearance is intended to promote the values of the renewable energy technologies employed in the design of the building and described in more detail in a separate Sustainability Report.

Johnston and Wright

7. ACCESS

7.1 VEHICULAR ACCESS:

Access for vehicles is from Shaddongate through a pend in the frontage block.

Parking for twelve vehicles is provided at the rear of this block, together with cycle storage.

7.2 INCLUSIVE ACCESS:

The site is well located for access to the town centre and public transport.

The building and access to it has been designed to comply with current DDA legislation with ramped access to ground floor entrances and suitable lifts and staircases to upper floor properties.

JOHNSTON AND WRIGHT,
Chartered Architects,
15 Castle Street,
CARLISLE,
Cumbria.
CA3 8TD

15 February 2008
Updated: 6 March 2008

Johnston and Wright

APPENDIX A

SITE APPRAISAL FOR SHADDONGATE CAR PARK, CARLISLE

The information in this document sets out the principles which must be taken into account when considering potential future uses of the site in accordance with local and national planning policy guidance.

Site Description

The site is located to the rear of John Street, close to the road junction of Shaddongate with John Street/Caldewgate to the west of Carlisle City Centre. The site currently operates as a long-stay surface car park. The car park is not heavily utilised on a daily basis however it does provide for additional parking when the Auctions are taking place at Thomson Roddick & Medcalf Auctioneers situated within The Maltings nearby. The site is irregular in shape, with a relatively flat topography. In terms of size, the total site area extends to approximately 1850 square metres (0.185 hectares). Vehicular and pedestrian access to the site is from Shaddongate.

Surrounding uses

The site is located within an area where no single land use predominates. As such, a mixture of commercial, industrial and residential land uses are evident along the boundaries of the site. The properties which face on to John Street along the northern boundary of the site include the Council owned homeless persons hostel, terraced housing (linked to the hostel), a student accommodation block, a locksmiths with flats above and a hot food take away. There is also a cleared site where nos. 19-23 Johns Street once stood. All these properties have rear windows that overlook the site, this is particularly apparent with the student accommodation which projects out into the car park with windows serving primary rooms overlooking the site from three of the four elevations at ground floor, first, second, and third floor level. The ground floor windows do however serve communal areas not bedrooms etc as is the case on the upper floors.

The boundary between the rear of the John Street properties and the site is provided by a brick wall which varies in height from between about 1.5 to 2 metres. The exception to this being the student accommodation where there is no boundary treatment. The buildings along the north of the site vary between two to three storeys in height. External building materials are a mixture of brick, block and render.

The southern boundary of the site consists of brick wall and wire fencing of varying heights. The uses adjacent to the southern boundary consist of a second hand car dealers, car valeting and a welders workshop. These uses are set away from the boundary of the site by approximately 10m at the point with the car sales/valeting and 17-20m from the welders.

Planning Policy

The policy framework against which proposals for this site will be assessed consists of national policy guidance in the form of Planning Policy Guidance Notes and Statements and the Development Plan for Carlisle which consists of The Cumbria and Lake District Joint Structure Plan 2001-2016 and the Carlisle District Local Plan redeposit draft 2001-2016.

Under section 38(6) of the Planning and Compulsory Purchase Act 2004 all development must be in accordance with development plan policy unless material considerations indicate otherwise.

The site is identified within the Carlisle District Local Plan redeposit Draft under policy EC2 as a mixed commercial area within which B1 (Business), B2 (General Industry), B8 (Warehousing) and A2 (Financial and Professional) uses will be considered appropriate subject to the criteria set out. The policy also allows, dependent upon the nature of the existing uses and the potential for successful integration, for some residential development. In this instance the availability of employment land will be taken into consideration to ensure that the potential loss does not leave a shortfall in supply. The nature of mixed commercial areas is that no one land use predominates. A1 uses will only be considered appropriate on mixed commercial areas where they fall within 300m of the primary retail areas.

Policy EC2 sets out four criteria against which development proposals would be assessed.

Criteria 1 states that the 'relationship of the site to the highway network should be satisfactory'. Shaddongate is an orbital highway route that links the B5299 road to Dalston (Dalston Road) with Castle Way and Caldewgate. Shaddongate is directly adjacent to the site's eastern boundary. Vehicular access from/to the site is onto Shaddongate. In this respect it is considered that the site's relationship to the highway network is satisfactory.

Criteria 2 and 3 advise that in order to be acceptable, 'access to the site is satisfactory' and 'appropriate parking provision can be provided'. The current usage of the site as a long stay car park means that most days there are relatively few traffic movements during a 24-hour period. Any proposed change of use is likely to result in an increase in vehicular movement to and from the site. The extent of this increase will depend upon the nature of the proposed development/land use. Where a proposed development is likely to have significant transport implications a Transport Assessment may be required which may result in works being required to improve the access to the site.

In terms of the level of car parking provision that would be required on the site this will depend upon the nature of the development and be assessed against the maximum standards in PPG13 and the criteria set out in Policy T1.

Criteria 4 advises that proposals will be acceptable provided that the scale of development is appropriate in relation to the site and the amenity of adjacent

SCHEDULE A: Applications with Recommendation

08/1093

Item No: 03

Date of Committee: 19/12/2008

Appn Ref No:
08/1093

Applicant:
Bolsterstone Innovative
Energy Carlisle Ltd

Parish:
St Cuthberts Without

Date of Receipt:
28/10/2008

Agent:
Arcus Renewable Energy
Consulting Ltd

Ward:
Dalston

Location:
Land At Newlands Farm, By Cumwhinton, Carlisle

Grid Reference:
344152 552458

Proposal: Erection Of A 60m High Meteorological Monitoring Mast For A One Year
Period (Revised Application)

Amendment:

REPORT

Case Officer: Angus Hutchinson

Reason for Determination by Committee:

In the light of the decision made concerning the previous application and interested parties wishing to exercise their Right to Speak.

1. Constraints and Planning Policies

Local Plan Pol CP1 - Landscape Character

Local Plan Pol CP2 - Biodiversity

Local Plan Pol CP3 - Trees and Hedges on Development Sites

Local Plan Pol CP4 - Agricultural Land

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP8 - Renewable Energy

Local Plan Pol DP5 - Trunk Roads

Local Plan Pol DP9 - Areas of Outstanding Natural Beauty

Local Plan Pol LC8 - Rights of Way

Local Plan Pol LE3 - Other Nature Conservation Sites

Local Plan Pol LE5 - Hadrian's Wall World Heritage Site

Local Plan Pol LE7-Buffer Zone Hadrians Wall W.Herit.Site

Local Plan Pol LE8 - Archaeology on Other Sites

Local Plan Pol LE10 - Archaeological Field Evaluation

Local Plan Pol LE12 - Proposals Affecting Listed Buildings

Local Plan Pol LE19 - Conservation Areas

Local Plan Pol LE22-Historic Parks, Gardens&Battlefields

Local Plan Pol Policy LE23 - MOD Safeguarding Zone

Airport Safeguarding Area

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): Comments awaiting.

Cumbria County Council (Strategic Planning Authority) Wind Energy Consultations: No comments to makes as the proposal is temporary and not strategic in nature.

Local Plans (Tree Preservation), Development Services: Comments awaiting.

Environmental Services - Environmental Quality: No objections.

Carlisle Airport: No objection to this proposal.

BBC: Comments awaiting.

Council for Protection of Rural England/Friends of the Lake District:
Comments awaiting.

National Air Traffic Services: No safeguarding objections to this proposal.

Radio Engineering & Systems Unit: Comments awaiting.

Office of Communications -Wind Farm Enquiries: Comments awaiting.

Cumbria Wildlife Trust: Comments awaiting.

SCHEDULE A: Applications with Recommendation

08/1093

Natural England: Natural England is a statutory agency charged with the responsibility to ensure that England's unique natural environment is conserved, enhanced, and managed for the benefit of present and future generations, thereby contributing to sustainable development.

We do not wish to comment in detail on this proposal because it does not materially or significantly affect our interests. This should not be taken as implying a lack of interest or indicating either support for, or objection to, any proposal.

However, we believe that the fitting of bird diverter discs to the guy lines, as mentioned in the accompanying Design and Access Statement, should be required to minimise the risk of bird collision.

Department for Transport (Highways Agency): It is understood that this proposal is for a monopole cylindrical mast in stainless steel. This would be 60 metres in height and be located approx. 300 metres away from the M6 motorway managed by the Agency

To assist in the construction process, were planning permission to be granted for this proposal the accompanying Design and Access Statement does refer to there being a rough farm track, accessible using a 4 x 4 vehicle.

Provided that there is to be no access required for the construction/operation or maintenance of the mast direct from the M6 motorway, the Highways Agency is satisfied that this structure is located at a sufficient distance not to give rise to distraction to drivers of vehicles using the M6.

Nevertheless, to minimise what may be only a slight risk of glare from this structure it is requested that consideration be made that the mast should be finished/treated in materials which are not reflective

Therefore the given three above mentioned caveats on distance from the motorway, access and finish materials, the Agency can confirm no objections to this proposed development;

St Cuthberts Without Parish Council: Comments awaiting.

Ministry of Defence/Defence Estates: Comments awaiting.

RAF Spadeadam: Comments awaiting.

Cumbria County Council - (Archaeological Services): The proposed development lies in an area of high archaeological potential. However, the below ground impact of the proposed development is minimal and it is unlikely to have a significant effect on any archaeological remains. I therefore do not wish to make any recommendations or comments.

Wetheral Parish Council: The Council can see no reason to approve this application, in view of the previous application 08/0779 being refused.

Although the time scale has been reduced, from 3 years to 1, all previous concerns remain the same, therefore reasons for refusal should also remain the same.

SCHEDULE A: Applications with Recommendation

08/1093

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
Holme Lea	31/10/08	Objection
Holme Acre	31/10/08	
Holme Croft	31/10/08	Objection
Ivy Cottage	31/10/08	Objection
Lowther Arms	31/10/08	
Rose Cottage	31/10/08	
Rose Garth	31/10/08	
Rosehill	31/10/08	Objection
Swallow Cottage	31/10/08	
Ash Tree Cottage	31/10/08	
Banks Villa	31/10/08	
Chapel Cottage	31/10/08	
Annex Chapel Cottage	31/10/08	
Greenways	31/10/08	
Oaklands	31/10/08	Objection
Rhudil House	31/10/08	Objection
The Banks	31/10/08	
Vermont	31/10/08	Objection
Westway	31/10/08	
Laburnum Cottage	31/10/08	
Tanglewood	31/10/08	
Ashdown	31/10/08	Objection
Beech Croft	31/10/08	
Bold	31/10/08	Objection
Venture		
Crofton House	31/10/08	
Green End Cottage	31/10/08	Objection
The Cottage	31/10/08	
1 Holme Farm Court	31/10/08	Objection
2 Holme Farm Court	31/10/08	Objection
3 Holme Farm Court	31/10/08	
4 Holme Farm Court	31/10/08	
5 Holme Farm Court	31/10/08	
6 Holme Farm Court	31/10/08	
7 Holme Farm Court	31/10/08	Objection
1 Holme Meadow	31/10/08	Objection
2 Holme Meadow	31/10/08	Objection
3 Holme Meadow	31/10/08	Objection
4 Holme Meadow	31/10/08	
5 Holme Meadow	31/10/08	
6 Holme Meadow	31/10/08	Objection
7 Holme Meadow	31/10/08	
8 Holme Meadow	31/10/08	Objection
9 Holme Meadow	31/10/08	Objection
10 Holme Meadow	31/10/08	Objection
11 Holme Meadow	31/10/08	
12 Holme Meadow	31/10/08	Objection
Carmel House, Holme Meadow	31/10/08	
14 Holme Meadow	31/10/08	Objection
15 Holme Meadow	31/10/08	Objection
Cringles Farm	31/10/08	Objection

SCHEDULE A: Applications with Recommendation

08/1093

	West Cottage	31/10/08	
	Gill Head Farm	31/10/08	
	The Carleton Clinic	31/10/08	
	Fairhaven	31/10/08	
	Rose Wood	31/10/08	
	Carleton Filling Station	31/10/08	
Ardnaree		31/10/08	Objection
	River Forge	31/10/08	
	Kells Cottage	31/10/08	
	Newlands Cottage	31/10/08	
	Woodend	31/10/08	
	Hamilton House	31/10/08	
	Bordergate Travel Inn	31/10/08	
	Newlands Farm Cottage	31/10/08	
	The Golden Fleece	31/10/08	Objection
	Golden Fleece House	31/10/08	
Golden Fleece		31/10/08	
	Exelby Services Ltd	31/10/08	
	The Flat, Golden Fleece	31/10/08	
	Golden Fleece Cottage	31/10/08	
	Thistle Cafe, Golden	31/10/08	
Fleece			
	Overwood	31/10/08	
	Quarry Gate	31/10/08	
	Hill Rise	31/10/08	
	Ypsilanti	31/10/08	
	Lyndhurst	31/10/08	
	Coomara	31/10/08	
	Glendale	31/10/08	
	Carleton Mill Cottage	31/10/08	
	Carleton Mill	31/10/08	
	Orchard View	31/10/08	
	Orchard House	31/10/08	
	The Orchards	31/10/08	
	Park End	31/10/08	
	Broadfield	31/10/08	
	The Beeches	31/10/08	
	The Flat, The Beeches	31/10/08	
	Yew Tree House	31/10/08	
	The Elms	31/10/08	
	The Cottage	31/10/08	
	Gifford House	31/10/08	
	Mount View	31/10/08	
	1 White Cottages	31/10/08	
	2 White Cottages	31/10/08	
	1 Petteril Villas	31/10/08	
	2 Petteril Villas	31/10/08	
	Craig Roy	31/10/08	
	Arnside	31/10/08	
	Corusik	31/10/08	
	Aikbank	31/10/08	
	Valdor	31/10/08	
	The Willows	31/10/08	
	Kielder	31/10/08	
	DaNene	31/10/08	
	Gleneagle	31/10/08	
	The Bungalow	31/10/08	
	Fell View	31/10/08	
	Carleton Farmhouse	31/10/08	
	Redlands	31/10/08	
	Bluerare Restaurant	31/10/08	

SCHEDULE A: Applications with Recommendation

08/1093

	Bluebell Cottage	31/10/08	
	Rose Cottage	31/10/08	
	Terracotta Bungalow	31/10/08	
	1 St Christophers	31/10/08	
	2 St Christophers	31/10/08	
	Motor Body Repairs	31/10/08	
	Dhaka Tandoori	31/10/08	
Restaurant			
	Carleton Depot	31/10/08	
	Greenbank Inn	31/10/08	
	Carleton Day Centre	31/10/08	
	1 Brisco View	31/10/08	
	2 Brisco View	31/10/08	
	3 Brisco View	31/10/08	
	4 Brisco View	31/10/08	
	5 Brisco View	31/10/08	
	Hill Howe	31/10/08	
	Croft House	31/10/08	
	1 Carleton Farm Mews	31/10/08	
	2 Carleton Farm Mews	31/10/08	
	3 Carleton Farm Mews	31/10/08	
	4 Carleton Farm Mews	31/10/08	
	5 Carleton Farm Mews	31/10/08	
	6 Carleton Farm Mews	31/10/08	
	1 Meadow View	31/10/08	
	2 Meadow View	31/10/08	
	3 Meadow View	31/10/08	
	1 Carleton Close	31/10/08	
	2 Carleton Close	31/10/08	
	3 Carleton Close	31/10/08	
	4 Carleton Close	31/10/08	
	6 Leywell Drive	31/10/08	
	Camstraddan	31/10/08	
	3 Beech Tree Farm	31/10/08	Objection
	Ferrers, 4	31/10/08	
	5 Beech Tree Farm	31/10/08	
	Auchrannie, 6	31/10/08	
	8 Beech Tree Farm	31/10/08	
	9 Beech Tree Farm	31/10/08	
	10 Beech Tree Farm	31/10/08	
	11 Beech Tree Farm	31/10/08	
	The Cottage, 12 Beech	31/10/08	
Tree Farm			
	13 Beech Tree Farm	31/10/08	
	Cherrystones	31/10/08	
	Braeside	31/10/08	
	Brier Hill	31/10/08	Objection
	Millfield House	31/10/08	Objection
	The Conifers	31/10/08	Objection
	Dale House	31/10/08	Objection
	Dalegarth	31/10/08	Objection
	Holme House	31/10/08	
	The Conifers	31/10/08	
	Maughan Holme	31/10/08	
	26 Skiddaw	31/10/08	Objection
Road			
	St John's Hall	31/10/08	
	Ashcroft	31/10/08	Objection
	Howcroft Park	31/10/08	
	Murray House	31/10/08	Objection
	The Croft	31/10/08	

SCHEDULE A: Applications with Recommendation

08/1093

Upna House	31/10/08	Objection
Ridgemeade	31/10/08	
Farnham House	31/10/08	
Beech Cottage	31/10/08	Objection
Stonewood	31/10/08	
Balgownie	31/10/08	Objection
Woodlands	31/10/08	
The Brambles	31/10/08	Objection
Cooper's Meadow	31/10/08	Objection
Cringles	31/10/08	Objection
Cringles Farm Cottage	31/10/08	
East		
Hollvside	31/10/08	Objection
Stonelea		Objection
Holme Croft		Objection
Holme Acre		Objection
1 Holme Farm Court		Objection
- Wetheral		Objection
Three Ashes		Objection
Maplewood		Objection
Wreay Syke		Objection
The Station		Objection
Well Green		Objection
Kentmere		Objection
Bold Venture		Objection
Bold Venture		Objection
Stonethwaite		Objection
Cringles		Objection
10 Glebe Gardens Grove		Objection
2 Nuneham Square		Objection
58 Hanson Road		Objection
58 Hanson Road		Objection
Fernbank Cottage		Objection
The Pinfold		Objection
Dale House		Objection
4 West View		Objection
Rossendahl		Objection
Wooden Walls		Objection
15 Irthing Street		Objection
33 Helvellyn Rise		Objection
15 Irthing Street		Objection
15 Irthing Street		Objection
15 Irthing Street		Objection
15 Irthington Street		Objection
76 Newfield Park		Objection
76 Newfield Park		Objection
76 Newfield Park		Objection
76 Newfield Park		Objection
274 Yewdale Road		Objection
100 Cumwhinton Road		Objection
3 Mayson Street		Objection
219 Pennine Way		Objection
219 Pennine Way		Objection
17 Edgehill Road		Objection
7 Sunningdale Gardens		Objection
7 Sunningdale Gardens		Objection
195 Newtown Road		Objection
3 Newtown Road		Objection
274 Yewdale Road		Objection
3 Newtown Road		Objection
17 Edgehill Road		Objection

SCHEDULE A: Applications with Recommendation

08/1093

54 Brampton Road	Objection
195 Newtown Road	Objection
18 St Ninians Road	Objection
46 Cavoran Way	Objection
46 Cavoran Way	Objection
Balgownie	Objection
17 Edgehill Road	Objection
166 Beverly Rise	Objection
The Beeches	Objection
9 Inglewood	Objection
100 Cumwhinton Road	Objection
Balgownie	Objection
18 St Ninians Road	Objection
3 Lingmoor Way	Objection
295 Warwick Road	Objection
71 Mayfield Ave	Objection
22 Eldon Drive	Objection
63 Hopes Hill Drive	Objection
40 School Road	Objection
122 Springfield Road	Objection
1 Gooseland Head	Objection
10 Hopeshill Drive	Objection
122 Spring Field Road	Objection
10 Hopeshill Drive	Objection
40 School Road	Objection
1 Gooseland Head	Objection
Barn Skew	Objection
6 Holme Farm Court	Objection
23 Forgeholm	Objection
No 1 School House	Objection
5 Beech Grove	Objection
Top Flat	Objection
Prospect	Objection
Farmham House	Objection
Rosehill	Objection
12a Carmel House	Objection
6 Holme Farm Court	Objection
17 Scholars Green	Objection
Meadow Ling	Objection
East House	Objection
Windhover Barn	Objection
14 St Edmunds Park	Objection
49 Lansdowne Crescent	Objection
Hazeldean	Objection
The Nook	Objection
18 Kirklea	Objection
18 Kirklea	Objection
26 Summervale Avenue	Objection
4 Beech Tree Farm	Objection
3 Beech Tree Farm	Objection
1 Beech Tree Farm	Objection
2 Beech Tree Farm	Objection
2 Beech Tree Farm	Objection
4 Manor Croft	Objection
4 Manor Croft	Objection
3 Walter Street	Objection
Jerriestown Farm	Objection
2 Spittal Villas	Objection
10 Langdale Avenue	Objection
10 Hatfield Gardens	Objection
10 Langdale Avenue	Objection

SCHEDULE A: Applications with Recommendation

08/1093

Greenways	Objection
85 Watermans Walk	Objection
Edenbrae	Objection
Dalegarth	Objection
137 Castlesteads Drive	Objection
, Dalegarth	Objection
19 Madam Banks Road	Objection
2 The Hollows	Objection
37 Eden Grange	Objection
6 Leywell Drive	Objection
Rosebank	Objection
Rosebank	Objection
, Garth Cottage	Objection
71 Longholme Road	Objection
Whyncote	Objection
6 St Ninians Avenue	Objection
10 Park Drive	Objection
10 Farbrow Road	Objection
3 Beech Grove	Objection
46 Coronation Drive	Objection
14 Bentinck Row	Objection
23 Ehen Road	Objection
48 Pinecroft	Objection
2 Pennine View	Objection
Hill Cottage	Objection
8 Morton Rigg	Objection
75 Scotby Road	Objection
Coopers Meadow	Objection
Coopers Meadow	Objection
Haresfield	Objection
7 Wellbank	Objection
73 Scotby Road	Objection
53 Collingwood Street	Objection
Edenside House	Objection
Bramblea	Objection
Dale Garth	Objection
Longlands	Objection
7 Wellbank	Objection
100 Bransty Road	Objection
34 Leathwaite	Objection
34 Leathwaite	Objection
10 The Oval	Objection
10 The Oval	Objection
4 Hawick Street	Objection
9 Ravenstone Way	Objection
70 Wigton Road	Objection
Bramblea	Objection
100 Bransty Road	Objection
Upna House	Objection
Upna House	Objection
Upna House	Objection
Green Noah	Objection
66 Nelson Street	Objection
East House	Objection
Rose Cottage	Objection
31 Cammock Avenue	Objection
4 Low Croft	Objection
3 Holme Meadow	Objection
, Rose Cottage	Objection
Rose Cottage	Objection
Wall End	Objection

SCHEDULE A: Applications with Recommendation

08/1093

33 St Nicholas Street	Objection
School House	Objection
Aikrigg	Objection
6 Leywell Drive	Objection
Aikrigg	Objection
The Hollins	Objection
3 Cairn Crescent	Objection
3 Cairn Crescent	Objection
3 Cairn Crescent	Objection
3 Cairn Crescent	Objection
134 Dacre Road	Objection
3 Green Close	Objection
Vermont	Objection
Vermont	Objection
46 Alexander Street	Objection
Hollyside	Objection
5 Huntsman Lane	Objection
186 Greenacres	Objection
3 West View	Objection
3 West View	Objection
4 William Street	Objection
Abbeyfield	Objection
89 Milbourne Street	Objection
Coopers Meadow	Objection
22 Waldegrave Road	Objection
Fell View House	Objection
Fell View House	Objection
Dale View	Objection
Flat 4	Objection
78 Knowe Park Avenue	Objection
4 Hillcrest Nook	Objection
Flat 8	Objection
North Lodge	Objection
Flat 3	Objection
12 Cheviot Road	Objection
Flat 6	Objection
12 Cheviot Road	Objection
Flat 2	Objection
Heathlands	Objection
Jesmond House	Objection
1 Townhead Court	Objection
Thornedge	Objection
Little Common	Objection

3.1 This application has been advertised by the display of 3 site notices around the perimeter of the application site as well as notification letters sent to 179 neighbouring properties. At the time of preparing the report two hundred and fifty-five letters of objection have been received which are summarised below:

1. Inappropriate development/use that involves gathering meteorological data that serves no useful purpose;
2. Detrimental impact on visual amenity;
3. Meteorological mast provides no energy at all. No purpose or relevance as a stand along project;

4. Effect on the well being of autistic children.
 5. The proposal is contrary to criterion 1 of Policy R44 and Policy E37 of the Cumbria and Lake District Joint Structure Plan 2001-2016, and, criteria 1 and 3 of Policy CP8 of the Carlisle District Local Plan 2001-2016.
 6. Polluting agricultural land by adding vast amounts of concrete to the site.
 7. Similar application recently refused permission.
 8. A meteorological mast falls outside the terms of the guidelines concerning (renewable) energy.
 9. Contrary to right for a peaceful lifestyle without unnecessary disruption
- 3.2 Four people have requested the Right To Speak.

4. Planning History

- 4.1 In August 2008, under application reference numbers 08/0707 and 08/0779, planning permission was refused not only for the erection of three wind turbines but also the erection of a 60m meteorological monitoring mast for three years.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 Newlands Farm is in an elevated location approximately 30 metres to the immediate east of the M6, 300 metres to the north of junction 42. The Farm is bound to the west by the M6, to the south by the B6263 road which runs from Junction 42 to Cumwhinton, and, the Garlands Road leading from Cumwhinton to Carlisle.
- 5.2 The farmstead comprises the original farmhouse based around which there are a series of agricultural buildings varying in age, design and materials. There is a detached "new" farmhouse located approximately 200 metres to the east of the main steading.
- 5.3 The application site is relatively elevated at an AOD of approximately 65m set within a rolling topography of glacial deposits with agricultural fields bounded by hedgerows, isolated trees and mature copses. To the immediate east of the site there is an overhead power line carried by pylons that are approximately 40/45 metres in height. The Caldbeck Transmitter Station,

which has a mast 337m in height and is 17km to the south, can be clearly seen from the site.

- 5.4 Access to a public footpath (no. 138040), which runs to Cocklakes, lies to the south of the application site off the B6263. Cumwhinton is served by a number of public footpaths, such as nos. 138035, 138053 and 138059. There are additional public footpaths further a field inclusive of no. 129011 at Brisco.

Background

- 5.5 Members will recollect that in August of this year, under application reference numbers 08/0707 planning permission was refused for the erection of three wind turbines and associated infrastructure. During the same Meeting, application reference number 08/0779, temporary planning permission for three years for the erection of a 60 m high meteorological mast was also refused. The stated reason being:

"The application site occupies an elevated and prominent position close to the urban edge of Carlisle and in very close proximity to the village of Cumwhinton. Whilst it does not occupy a location within a landscape subject to any special designations the close proximity of the development to, and visual impact upon, such closely adjacent population centres is, due to the size, scale and position of the proposed meteorological mast, considered to be seriously detrimental to the landscape and visual character of the area and that these effects outweigh the potential benefits associated with scheme. The proposal is therefore considered to be contrary to criterion 1 of Policy R44 and Policy E37 of the Cumbria and Lake District Joint Structure Plan 2001-2016, and, criteria 1 and 3 of Policy CP8 of the Carlisle District Local Plan 2001-2016."

- 5.6 Following this decision, the current application seeks temporary permission for one year to erect a 60m meteorological monitoring mast. The proposed mast is a cylindrical galvanised steel structure, approximately 20cm diameter, held in place by high tensile steel guy wires at an interval of approximately 10m.
- 5.7 The positioning of the mast is based on achieving suitable data in order to assess the wind resource at the site such that a wind speed and energy production report suitable for submission to financial institutions can be produced.
- 5.8 The height of the proposed mast is determined by the need to allow for accurate projection of the likely performance in terms of their energy production. The intention would be to have anemometers at approximately 60m, 50m, 40m and 30m and wind vanes at approximately 58m and 38m. The proposed guy wires can be fitted with bird diverter discs to minimise the risk of collision if considered necessary. A lightning finial will be fitted at the top of the mast.

Assessment

SCHEDULE A: Applications with Recommendation

08/1093

- 5.9 In the context of the reason for refusal of application 08/0779, it is considered that there are two main issues, namely:
1. the potential contribution of the scheme towards the regional and county targets for the generation of renewable energy; and
 2. the impact of the proposed development on the landscape and visual character of the area.
- 5.10 1. The Potential Contribution Towards The Generation of Renewable Energy
- 5.11 In relation to this proposal it is evident that the mast is a precursor to establish the viability and potential for the siting of turbines to contribute towards the targets for the generation of renewable energy. As such the current application needs to be considered on its own merits with any proposal (that may or may not arise in the future for turbines of whatever number, size and design) subject to separate consideration.
- 5.12 The importance attached by the Government to increasing the proportion of electricity generation derived from renewable sources is expressed in the Renewables Statement of Need included in The Energy Challenge published by the former Department of Trade and Industry in 2006. Amongst other matters, this states that new renewable projects may not always appear to convey any particular local benefit, but they convey crucial national benefits. Individual renewable projects are part of a growing proportion of low-carbon generation that provides benefits shared by all communities both through reduced emissions and more diverse supplies of energy, which helps to ensure reliability. This message is reinforced in the Energy White Paper 2007 which also explains that developers should not be required to show the need for a proposed development to be sited in a particular location.
- 5.13 The Climate Change Bill was introduced in Parliament on 14 November 2007 and completed its passage through the House of Lords on 31 March 2008. It has now moved to the House of Commons for consideration. This Bill puts into statute the UK's targets to reduce carbon dioxide emissions through domestic and international action by at least 60 per cent by 2050 and at least 26 per cent by 2020, against a 1990 baseline. It is also consulting on a draft Renewable Energy Strategy. The accompanying information explains that renewable energy has a critical role to play in meeting the Government's two key energy policy challenges: a) tackling climate change - unlike fossil fuel (oil, coal, gas) renewable energy emits little or no carbon or other greenhouse gasses; and, b) ensuring secure energy supplies - increasing use of renewable energy reduces our dependence on imported fossil fuel. The European Commission has proposed that 15% of the UK's energy (electricity, heat and transport) should come from renewables by 2020. It has been estimated that to meet this target, it will require a ten-fold increase in the level of renewable generation and use in the UK over the next 12 years.
- 5.14 The more directly relevant national policy documents are PPS 22 "Renewable

Energy” and “Planning for Renewable Energy: A Companion Guide to PPS22”. The aforementioned PPS identifies a number of key principles which local planning authorities and developers should adhere to in their approach to planning for renewable energy. Paragraph 1(i) explains that renewable energy developments should be capable of being accommodated throughout England in locations where the technology is viable and environmental, economic and social impacts can be addressed satisfactorily. Paragraph 1(iv) records that the wider environmental and economic benefits of considerations that should be given significant weight in determining whether proposals should be given planning permission. Paragraph 1(viii) requires that development proposals should demonstrate how environmental and social impacts have been minimised through careful consideration of location, scale, design and other measures. There is no specific requirement in PPS22 to provide precise calculations on the energy levels to be derived from a particular proposal and/or examine alternative sites.

- 5.15 Paragraphs 2 to 5 of PPS22 highlight that the Regional Spatial Strategy should include the target for renewable energy capacity in the region. The targets should be reviewed on a regular basis and revised upwards if they are met. However, the fact that a target has been reached should not be used in itself as a reason for refusing planning permission for further renewable energy projects, nor should the potential for offshore generation be used as a justification to set lower onshore targets.
- 5.16 Policy EM17 of the draft RSS (March 2008) encourages the promotion and greater use of renewable energy sources and includes a target of having 10% of the region's electricity production from renewable sources by 2010 and rising to 15% in 2015 and 20% in 2020.
- 5.17 The sub-regional target for Cumbria is to have 15 - 21 onshore wind farms by 2010 with generating capacity of 210 MW increasing to 247.5 MW by 2015.
- 5.18 The available records indicate that there are currently 16 onshore wind farms operating in Cumbria and three more with consent with a total of 88 MW of generating capacity.
- 5.19 In effect, the county target has yet to be and, at the current rate, is unlikely to be met. A current shortfall of approximately 122 MW representing a serious deficiency.
- 5.20 2. Landscape and Visual Impact
- 5.21 Paragraph 1 of PPS1 notes that poor planning can result in the loss of the finest countryside to development. PPS1 whilst identifying the need to ameliorate climate change through a range of measures (including renewable energy) also seeks development which enhances as well as protects the historic environment and landscape; and, address the causes and impacts of climate change.
- 5.22 Paragraphs 1(iv) and (v) of PPS7 explains that the Government's aim is to

protect the countryside for the sake of its intrinsic character and beauty, the diversity of its landscape, heritage and wildlife, the wealth of its natural resources, and so that it may be enjoyed by all. All development in rural areas should be well designed and inclusive, in keeping and scale with its location, and sensitive to the character of the countryside and its local distinctiveness. Paragraph 16(iv) also advises that planning determinations should provide for the sensitive exploitation of renewable energy sources in accordance with the policies set out in PPS22.

- 5.23 Paragraphs 19 and 20 of PPS22 highlight that landscape and visual effects should be assessed on a case by case basis using objective descriptive material and analysis wherever possible; and, of all renewable technologies, wind turbines are likely to have the greatest visual and landscape effects.
- 5.24 The application site comprises relatively large open fields of grassland set in an undulating agricultural landscape. When looking at the differences in landscape type, as opposed to its grading of natural beauty, the site falls within an area defined as Lowland Low Farmland in the Cumbria Landscape Character Assessment carried out for the County Council. The landform rises from the M6, B6263 and Garlands Road. The village of Cumwhinton is about 500-600m north-east of the application site. There is also scattered development based around junction 42 of the M6. The villages of Carleton and Brisco are respectively 1km and 1.8km to the north-west and west of Newlands Farm.
- 5.25 The Solway Firth AONB is approximately 10km to the north-west of the application site. The Hadrian's Wall Buffer Zone and Hadrian's Wall are respectively approximately 3.5 km and 6 km north of the application site. The Carlisle/Settle Conservation Area is 1.4km to the northeast. The North Pennines AONB lies approximately 10km to the east of the application site.
- 5.26 The Cumbria Wind Energy Supplementary Planning Document states that the character of the immediate area (Lowland Low Farmland) is judged to have "moderate" capacity to accommodate turbine development that is defined as "a small group or, in exceptional circumstances a large group (which) could relate to the medium to large scale landform." A small group is 3-5 turbines. It is clear that a single monitoring mast is within the size limits suggested for this landscape type.
- 5.27 In considering this issue, the greatest impact is likely to be on residents of Cumwhinton who directly overlook the site. In mitigation the structure, despite its height and the associated guy ropes, is relatively slender and now only proposed for a single year.

Conclusion

- 5.28 Subject to the awaited comments from interested parties, the proposal is recommended for approval.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered against the above but in this instance it was not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. Recommendation - Grant Permission

1. The meteorological monitoring mast and associated guy wires shall be removed and there shall be carried out such works as may be required for the reinstatement of the land to the satisfaction of the local planning authority not later than the 31st day of December 2009.

Reason: The local planning authority wish to review the matter at the end of the limited period specified.

2. Before the commencement of development details of the proposed external finish of the mast hereby permitted shall be submitted to and approved in writing by the local planning authority.

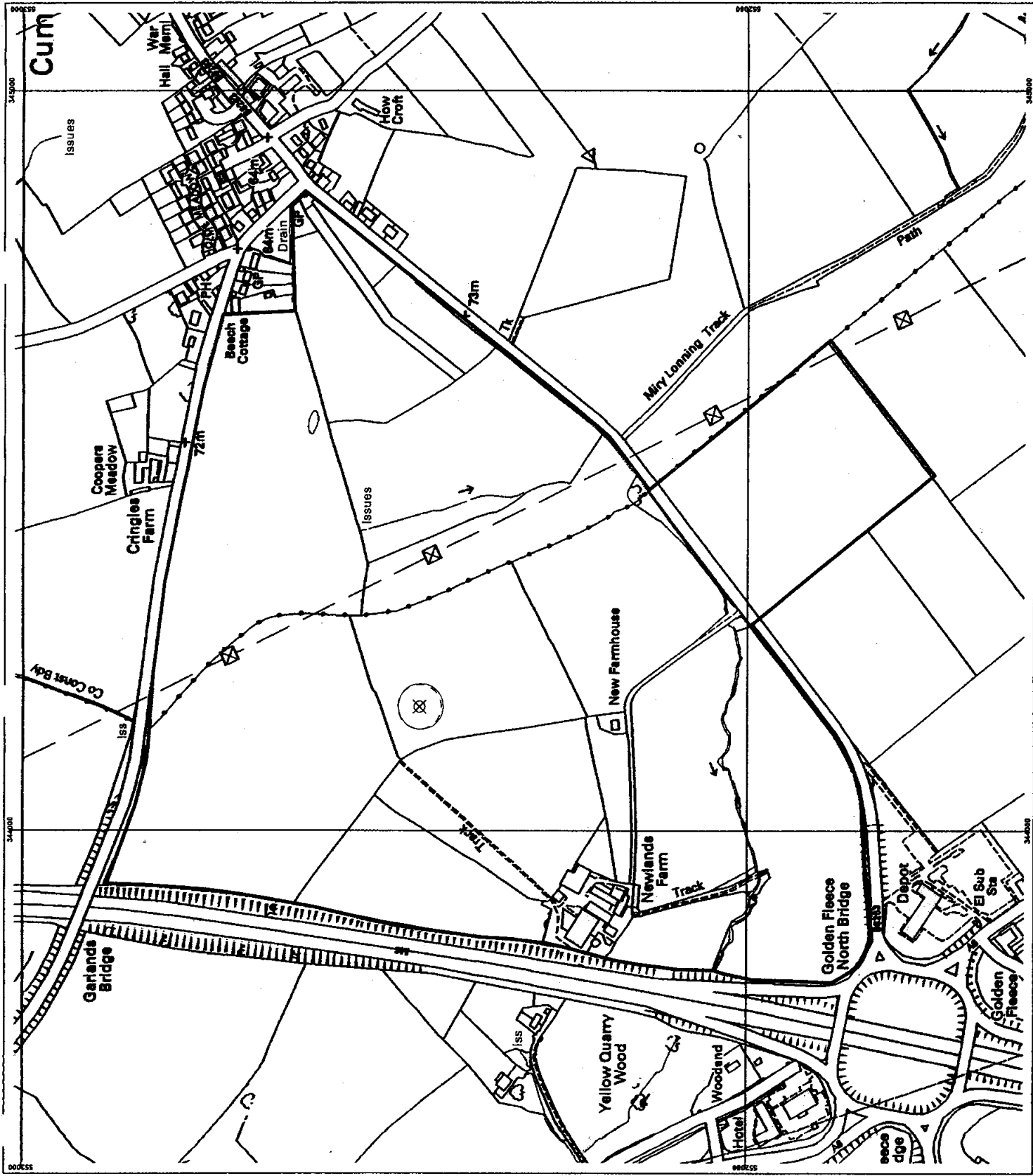
Reason: To minimise any risk of glare to drivers of vehicles using the adjoining highways inclusive of the M6 motorway.

3. No guy wires associated with the meteorological mast hereby permitted shall be in place unless fitted with bird diverter discs in accordance with details submitted to and approved in writing beforehand by the Local Planning Authority.

SCHEDULE A: Applications with Recommendation

08/1093

Reason: To safeguard local biodiversity in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.



Reproduced from Ordnance Survey digital map data © Crown copyright 2008. All rights reserved. Licence number 0100031673

RECEIVED

28 OCT 2013

08/10/13

15,000 Scale @ A3

0 100 200 m

N

Key

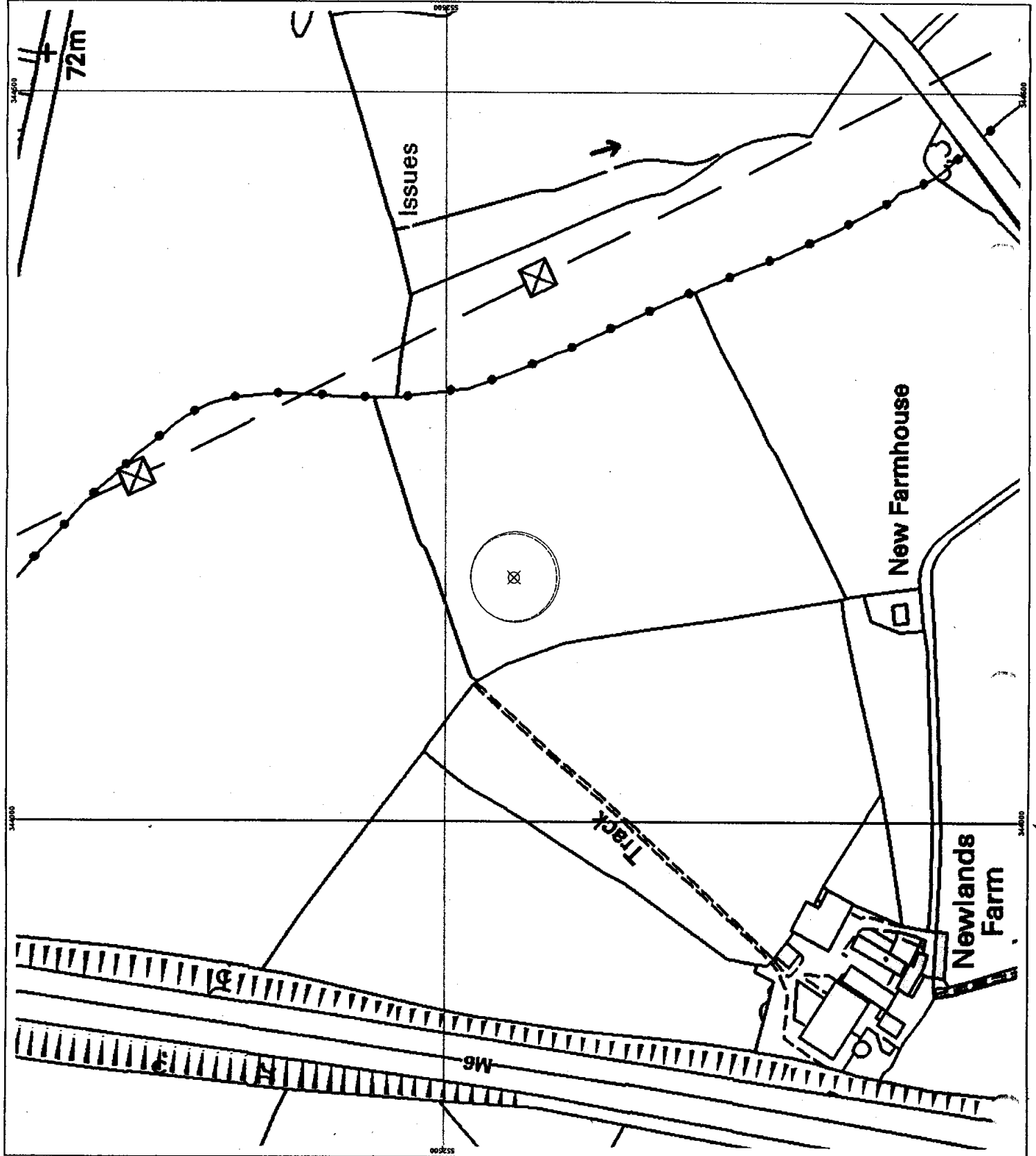
- ⊗ Proposed Mast Location
- Extents of Guy Wires
- ▭ Application Boundary
- ▭ Land Ownership Boundary

Site Location

Figure PA01

Newlands Farm

Meteorological Mast Application



bulwerstone

Key

- ⊠ Proposed Mast Location
- ▭ Extents of Guy Wires
- ▭ Application Boundary

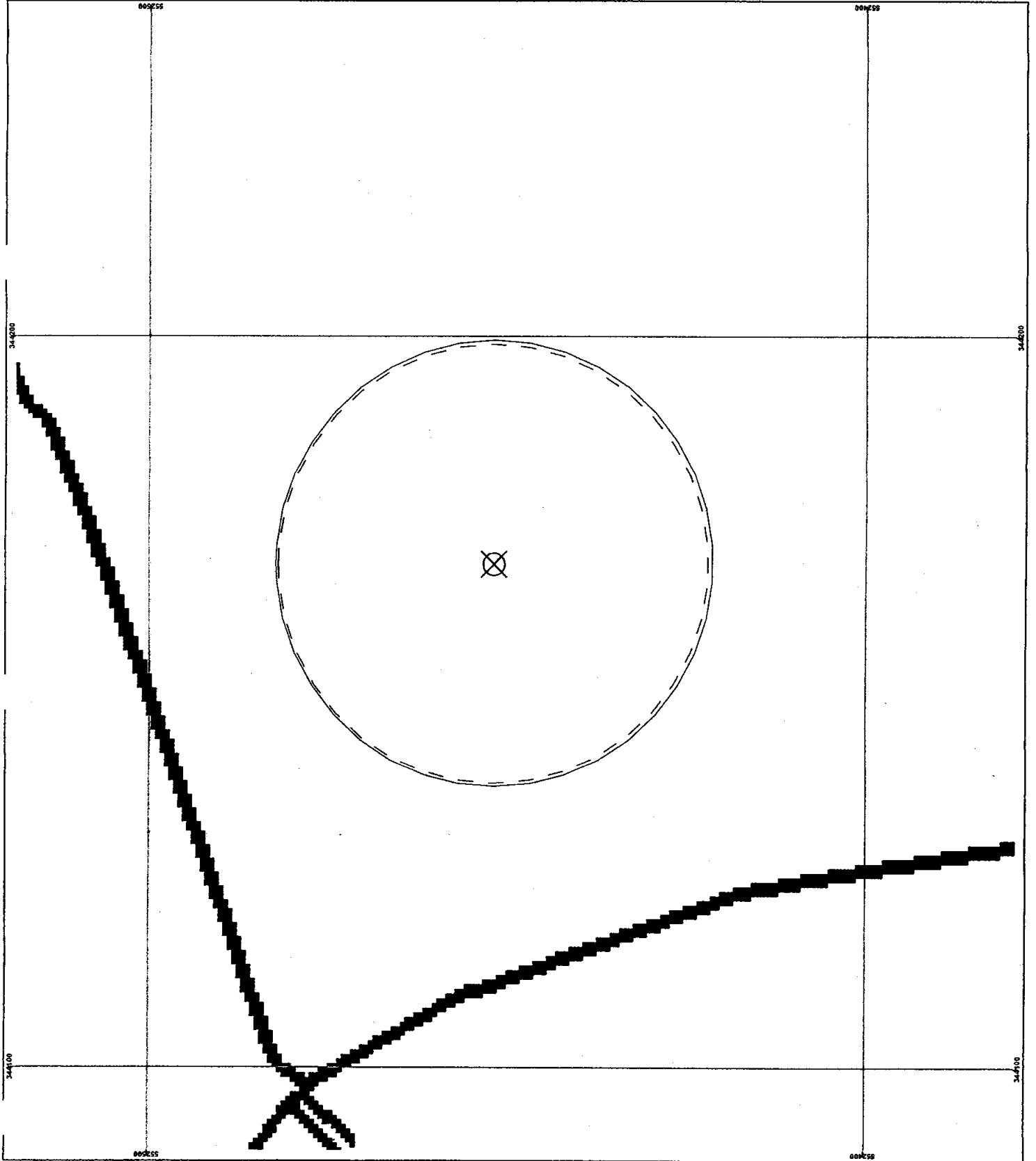
RECEIVED
28 OCT 2003
081093


1:2,500 Scale @ A3
0 50 100 m



Site Location
Figure PA02

Newlands Farm
Meteorological Mast Application





bristolstone

RECEIVED
28 OCT 2003
08/1093

1:500 Scale @ A3

0 10 20 m

N

Key

- ⊗ Proposed Mast Location
- Application Boundary
- - - Extents of Guy Wires

Block Plan
Figure PA03

Newlands Farm
Meteorological Mast Application

bolsterstone

08/09/23

RECEIVED
28 OCT 2023
08/09/23

NOT FOR CONSTRUCTION

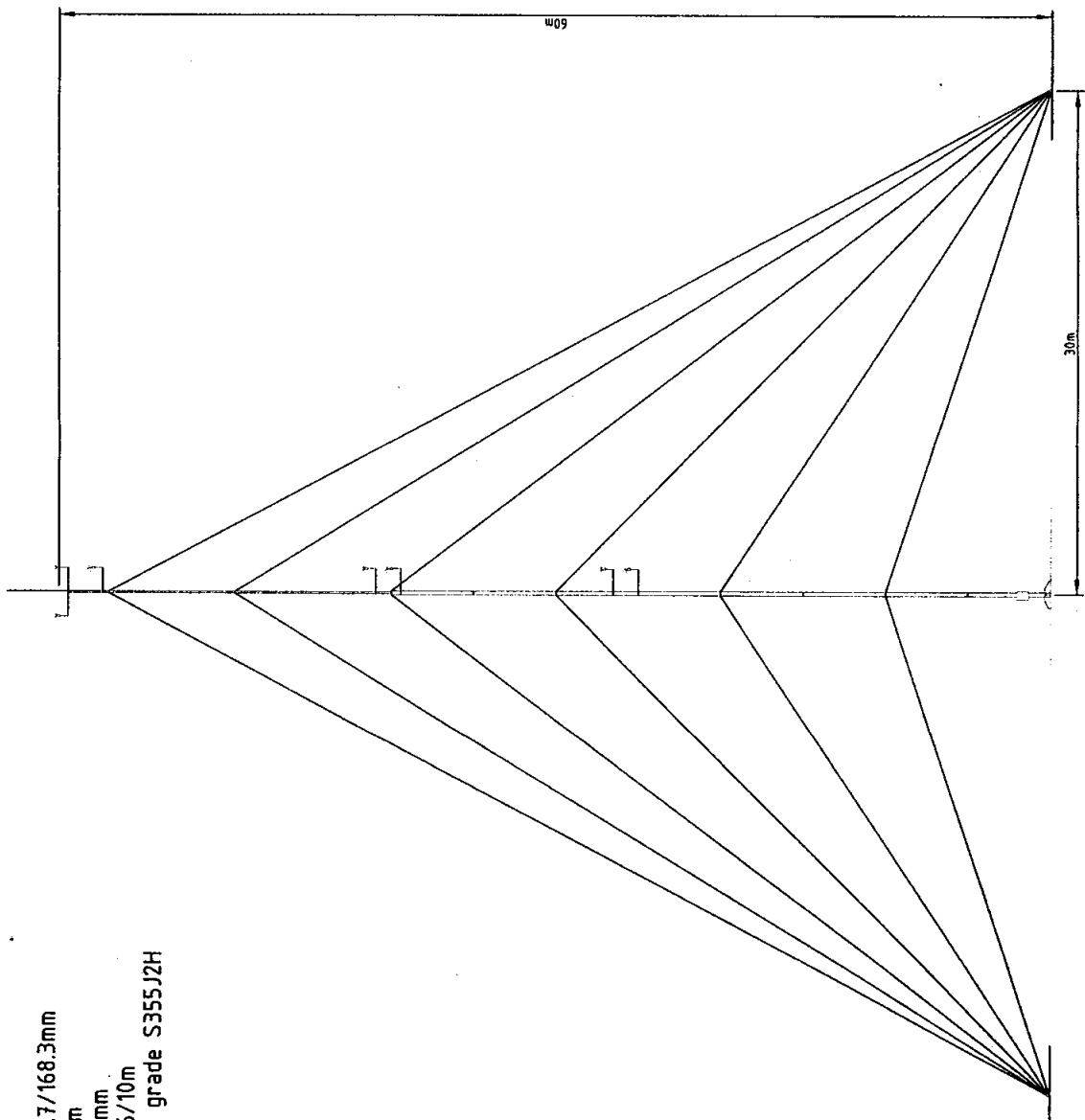
Meteorological Mast Elevation
Figure PA04

Newlands Farm
Meteorological Application

60m Mast

Specification

Mast Diameter: 193.7/168.3mm
Section Length: 5.8m
Wall Thickness: 4.0mm
Guying Interval: 11.6/10m
Material: CHS steel grade S355J2H



SCALE 1:300



BOLSTERSTONE PLC

**METEOROLOGICAL MONITORING MAST AT NEWLANDS FARM
DESIGN AND ACCESS STATEMENT**

Prepared By:

**Arcus Renewable Energy Consultants Ltd
507-511 Baltic Chambers
50 Wellington Street
Glasgow
G2 6HJ**

**T 0141 847 0340
W arcusrenewables.co.uk
E dellal@arcusrenewables.co.uk**

October 2008

1. Introduction

This Design and Access Statement has been prepared to accompany an application by Bolsterstone Innovative Energy (Carlisle) Ltd for permission to erect a temporary 60 m meteorological monitoring mast at Newlands Farm, near Cumwhinton, Cumbria.

This Statement has been produced with reference to Carlisle City Council's website, the 2006, Commission for Architecture and the Built Environment's (CABE) guide: Design and Access Statements, How to write, read and use them and Department for Communities and Local Government (DCLG) Circular 01/2006: Guidance on Changes to the Development Control System.

It considers the context of the site and details the reasoning behind the choice of location and height of the monitoring mast.

As there will be no alteration to any existing access arrangements or land use practices no further details are provided on these matters.

2. Site Context

Newlands Farm is located approximately 5.5 km south-east of the centre of Carlisle and immediately east of the M6 motorway. It is located on farmland currently in agricultural use for grazing, with a rolling topography of glacial deposits. Immediately to the east of the proposed turbine sites, is the line of an existing 400 kV overhead electricity power line, running north to the Harker substation, and south towards Penrith.

The application is for a temporary consent for a one year period. It may be visible to a number of the surrounding properties during this period, due to its height. The nearest residential properties are Newlands Farmhouse and Bungalow (landowner properties) and Cringles Farm to the north-east.

The closest settlements are Cumwhinton just over 0.5 km to the east, Scotby at approx 1.5 km to the north and Carleton (approx 1 km to the west on the far side of the M6). The outer suburbs of Carlisle begin at approximately 1.5 km from the proposed development, and the clinic at Garlands is approximately 700 m from the proposal.

The site is accessed from the M6 Motorway junction 42, which connects to the main A6 Carlisle to Penrith road and, has a spur road B6263 leading to Cumwhinton. The access road opens directly onto this route and is located some 550 m from the Junction 42 roundabout. There are no public roads or rights of way crossing the application site or within the Newlands Farm landholding as shown on Figure PA01 accompanying the planning application.

There are no environmental designations within the planning boundary for the mast, nor are there any designations within the overall Newlands's Farm landholding.

3. Design Statement

There are five design principles that require to be addressed within the design component of the Design and Access Statement. These are listed below:

- Amount – How much development is proposed
- Layout – The general arrangement and orientation of the development
- Scale – The size and extent of the development and any individual components

- Landscaping – Landscaping techniques to enhance or protect the amenity of the development site and surrounding environment
- Appearance – Measures incorporated into the design, including its built form, choice of materials, lighting, colour and texture

These 5 principals are dealt with in the following discussion, bearing in mind that wind monitoring masts are an 'off the shelf' product with limited design options.

3.1 Amount

The application area is just under 0.3 ha, although the land take will be a small percentage of this area. The mast, a cylindrical galvanised steel structure, is approximately 20 cm in diameter, and this is held erect with high tensile steel guy wires at an interval of approximately 10 m. This type of mast can be erected using galvanised iron ground anchors, which screw into the ground. These anchors can be completely removed at the end of the consent period.

3.2 Layout

The positioning of the mast is based on achieving suitable data in order to assess the wind resource at the site such that a wind speed and energy production report suitable for submission to financial institutions can be produced when the wind measurements are complete. The specification for the location and height/design of the mast is based on the following considerations:

- The final proposed wind turbine layout for the Newlands Windfarm (current application number 08/0707)
- As a "rule of thumb", for complex terrain masts should be installed such that no turbine is situated more than 1 km from an anemometry mast for a representative measurement. The location of the mast coincides with that of proposed Turbine 2 of the windfarm proposal and the distance from the remaining 2 proposed turbines is also well within the 1 km recommendation
- There is a rough farm track (accessible using a 4x4 vehicle) which leads from the main farm yard to the field containing the proposed mast
- The ground conditions at the proposed mast location were observed to be typical of farmland areas and with ground conditions not dissimilar to other sites in the UK where monitoring masts have been successfully installed
- Achieving required separation distance from the 400 kV overhead electricity transmission line and local distribution pylons running alongside the site
- Other considerations included minimising loss of land use for the farm and proximity of trees, which can act as a barrier to windflow. A mast sited too close to the trees can provide measurements that are not representative of the more open areas of the site.

3.3 Scale

The height of the mast is based on achieving representative measurements as outlined above and is determined by the potential hub height of the wind turbines that may be erected on the site.

Measuring wind speeds at hub height allows for accurate projection of the likely performance of the wind turbines in terms of their energy production and associated

emissions savings. The mast would also be employed during the initial commissioning of the wind farm in assessing the actual performance of the turbines against the manufacturer's specification.

At Newlands Farm the hub height of the wind turbines will not exceed 74 m and a 60 m monitoring mast has been assessed as being appropriate for the recording necessary data.

There would be anemometers at approximately 60 m, 50 m, 40 metres and 30 m and wind vanes at approximately 58 metres and 38 metres. In order to minimise the risk of bird collisions with the guy wires, these can be fitted with bird diverter discs should Carlisle City Council feel that it is necessary.

3.4 Landscaping

No changes are proposed to any of the existing land use practices around the mast location.

3.5 Appearance

Wind monitoring masts are an 'off the shelf' product with limited design options. A mast shall be supplied which is suitable for installation at the proposed site and which can be demonstrated to comply with the relevant standards regarding the expected meteorological conditions. The relevant British Standard is primarily BS8100.

- The mast shall be of hot dipped galvanised circular hollow section mild steel tubes
- A hinged base plate and gin-pole shall also be provided in hot dipped galvanised steel
- Mast sections shall either be interlocking (without the use of fastenings), or be flanged and bolted together
- Connected sections shall be prevented from fusing together by the use of suitable gaskets or other surface treatment during the installation process
- Guy wires shall be manufactured in stainless steel

Although it is not possible to provide absolute protection during a direct strike, precautions must be taken against damage from lightning strokes. The installation of a lightning finial at the top of the mast is recommended, providing a protection umbrella of 60 degrees to instruments mounted at the top of the mast.

All instrument mounting arrangements will comply with the definitive standard for the mounting of anemometry and wind vanes on wind measurement masts "IEC 6-1400 Part 12-1 Ed.1: *Power performance measurements of electricity producing wind turbines*, 2005".

Using two instruments in parallel at the top of the mast is preferred, usually resulting in the individual anemometers being mounted further from the mast, lightning finial and other potential flow disturbances. Using two anemometers therefore reduces the uncertainty in the recorded wind speeds caused by the proximity of the mast. Additionally, at least one instrument will be unaffected by the lightning protection regardless of wind direction and the arrangement also gives some redundancy in the event that one of the two anemometers should fail.

The alternative mast design involves a lattice tower sited on a small concrete foundation. This design is not as easily erected or decommissioned as the guyed mast as it involves excavation and a concrete foundation. As the lattice tower is substantially larger than the cylindrical mast it is also more visible and birds may choose to roost on the tower itself. This design was therefore dismissed as an option.

SCHEDULE A: Applications with Recommendation

08/1025

Item No: 04

Date of Committee: 19/12/2008

Appn Ref No:
08/1025

Applicant:
Denton Tyre Centre Ltd

Parish:
Carlisle

Date of Receipt:
07/10/2008

Agent:

Ward:
Denton Holme

Location:
Land to Rear of 67 Denton Street, Rear of 4-26
Thomas Street, Carlisle

Grid Reference:
339890 555249

Proposal: Demolition Of Existing Storage Buildings & Erection Of New Tyre Store
& Unit To Let For Car Repairs

Amendment:

REPORT

Case Officer: Stephen Daniel

Reason for Determination by Committee:

Forty-seven letters of objection have been received. Members should, however, note that forty-four of these letters are a standard photocopied letter.

1. Constraints and Planning Policies

Flood Risk Zone

Health & Safety Executive Consultation

The proposal relates to development involving or affected by hazardous substances or noise.

Contaminated Land

Local Plan Pol EC1 - Primary Employment Areas

Local Plan Pol LE27- Developed Land in Floodplains

Local Plan Pol LE28 - Undeveloped Coastal Zone

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): comments awaited;

Environment Agency (N Area (+ Waste Disp)): the site is located within Flood Zone 3 and is at high risk of fluvial flooding. A basic Flood Risk Assessment has been received, as required, and this adequately addresses the main areas of concern considering the vulnerability classification of the development as proposed.

Upon completion of the Carlisle and Caldew Scheme the development site will be protected to an appropriate standard. The Agency, therefore, has no objections in principle to the proposed development;

Community Services - Drainage Engineer: comments awaited;

Environmental Services - Environmental Quality: no objections in principle, subject to conditions.

In relation to the possible contamination of the watercourse from the proposed tyre store, this is not a consideration as the present store is closer to the river than the proposed one.

Suggest that the Fire Brigade is consulted on fire safety issues and that the Environment Agency is consulted on the proximity of the tyre store to the River Caldew;

Cumbria Constabulary - Crime Prevention: recommends the implementation of various security measures at the site;

Cumbria County Council - (Archaeological Services): no comments;

Cumbria Fire & Rescue Service: no comments - once occupied the building will be subject to the requirement of the Regulatory Reform (Fire Safety) Order 2005.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
55 Denton Street	14/10/08	Undelivered
57 Denton Street	14/10/08	Objection
16 Thomas Street	14/10/08	
18 Thomas Street	14/10/08	Objection
20 Thomas Street	14/10/08	Objection
22 Thomas Street	14/10/08	Objection
26 Thomas Street	14/10/08	

Denton Street	14/10/08	Objection
59 Denton Street	14/10/08	Objection
61 Denton Street	14/10/08	Objection
63 Denton Street	14/10/08	Objection
65 Denton Street	14/10/08	Objection
67 Denton Street	14/10/08	
26 Skiddaw Road	14/10/08	Objection
4 Thomas Street	14/10/08	Objection
6 Thomas Street	14/10/08	Objection
8 Thomas Street	14/10/08	Objection
10 Thomas Street	14/10/08	Objection
12 Thomas Street	14/10/08	Objection
14 Thomas Street	14/10/08	Objection
29 Lime Street		Objection
3 Thomas Street		Objection
7 Thomas Street		Objection
7 Richardson Street		Objection
Flat 2		Objection
20 Thomas Street		Objection
24 Holly Drive		Objection
19 Lime Street		Objection
23 Lime Street		Objection
7 Colville Street		Objection
21 Lime Street		Objection
25 Lime Street		Objection
19 Lime Street		Objection
36 Whiteclosegate		Objection
63 Denton Street		Objection
27 Lime Street		Objection
3 Thomas Street		Objection
198 Scalegate Road		Objection
67 Dunmail Drive		Objection
41 Wood Street		Objection
3 Victoria Place		Objection
33 Lime Street		Objection
24 Thomas Street		Objection
33 Lime Street		Objection
33 Lime Street		Objection
29 Lime Street		Objection

3.1 This application has been advertised by means of a site notice and notification letters sent to twenty-one neighbouring properties. Forty-seven letters of objection have been received (forty-four of these are a standard photo copied letter) which make the following points:

- This is a residential area and further commercial activity should be actively discouraged;
- This sort of business is more suited to an industrial estate or should be located on the other side of Denton Road;
- The Thomas Street area should become wholly residential;
- There are other commercial sites in Denton Street (McKnight) and in Carlisle district where commercial activity should be directed;

- As Thomas Street is substantially residential the storage of old tyres, in vertical racks, in a 163 sq m building is totally unacceptable;
- Tyre smoke, which is not easily extinguished, contains a number of hazardous substances, some of which cause cancer;
- Wind can cause the fire/hazardous substances to spread;
- The tyre store could become a target for arsonists - there have been arson attacks in the area and there have been other large dangerous tyre fires locally;
- The creation of noise, smells and other pollution next to housing is unacceptable;
- Extra vehicle traffic, of various natures, will be created, which will be a danger to those on foot;
- The narrow entrance/exit between 2 & 4 Thomas Street is unsuitable;
- Thomas Street and Lime Street are not large enough to cope with the volume of traffic that will be generated;
- Vehicles accessing the site could park on the street to the disadvantage of local residents;
- The site is next to a children's nursery - the development will disadvantage the nursery and the access to it;
- There will be extra danger to the children at the adjacent nursery and users of the adjacent gym;
- The hours/days of operation could create a nuisance to residents;
- The site is near to the river (25 yards away) and there is a danger of contaminated water entering the river and the pollution this would cause;
- The River Caldw is a Special Area of Conservation - has an assessment under the Habitats Regulations been undertaken?;
- The residents of Lime Street were not consulted about this application;
- A 163 sq m tyre storage building is a potential arson and fire risk to adjacent premises and businesses, including the adjacent Denton Holme Sawmills;

3.2 One objector has submitted some articles on: the tyre fire at Crosby-on-Eden; the dangers of tyre smoke; and the burning behaviour of stack tyres.

4. Planning History

- 4.1 In September 2007, outline planning permission was refused for residential development (06/1014).
- 4.2 In September 2005, outline planning permission was withdrawn for residential development (05/0701).

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This application is seeking planning permission for the demolition of an existing storage building and the erection of new tyre store and a unit for car repairs at land to the rear of 67 Denton Street and 4-26 Thomas Street, Denton Holme. The site was last used as a builders yard, but is currently vacant. A brick building, which is in a poor state of repair, occupies part of the site. This building measures 28m by 10m and is 5m to the eaves and 7m to the ridge. An open fronted materials store is attached to this building and this measures 23m by 4m. The remainder of the site is hardstanding.
- 5.2 Andersons Timber Yard adjoins the site to the south, with a gym being located directly to the east and a children's nursery adjoining the site to the west. A terrace of residential properties (4-26 Thomas Street) is located to the north of the site, and is separated from it by an access road that runs to the rear of the terrace. There are currently two access points into the site, one adjacent to 4 Thomas Street and the other adjacent to 26 Thomas Street.

Background

- 5.3 The applicant, Denton Tyre Centre Ltd, currently has a tyre store in part of a building, which is located at the end of Thomas Street, adjacent to the River Caldew. This building is also occupied by a vehicle repair business and an upholstery business. The part of the building which houses the tyre store is due to be demolished due to flood defence works being carried out in the area by the Environment Agency. The applicant is seeking to retain a tyre store in the same area, so that it is in close proximity to his existing business (Denton Tyres) on Sheffield Street.

The Proposal

- 5.4 The proposal is seeking to demolish the existing structures on the site and to erect a new building slightly further to the east. Half of the building would be used as a tyre store, with the other half being used for vehicle repairs. The new building would measure 33m by 12m and would be constructed of cornflower blue profile sheeting. It would contain a monopitch roof, which would vary in height from 4m at the eaves to 5m at the peak. The western part of the site, adjacent to the children's nursery, would be used for the staff parking for nursery staff and as a dropping off point for the nursery. This would be separated from the tyre store/car repair unit by a security fence. Access to the tyre store/car repair unit would be via the existing

access, adjacent to 26 Thomas Street. The area around the building would be retained as hardstanding, with some of it being used for staff parking.

Assessment

5.5 The relevant policies against which this application is required to be assessed are Policies EC1, LE27, LE28, CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

5.6 The proposal raises the following planning issues:

1. The Principle Of Employment Uses On The Site

5.7 The site is designated as a 'Primary Employment Area' in the Carlisle District Local Plan 2001-2016 and developing the site for a tyre store and a car repair unit is acceptable in principle.

2. The Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Properties

5.8 The site, which is currently in a poor state of repair, was last used as a builders yard and could lawfully be re-used as a builders yard, without the need for planning permission. The use of the site for the storage of tyres and for car repairs would not have anymore impact on the occupiers of adjoining properties than the use of the site as a builders yard. Whilst it is acknowledged that the new building would be nearer to the terrace of residential properties on Thomas Street than the existing building, it would be lower than the current building and would be a modern purpose built unit. Furthermore, the imposition of a condition to control the hours of operation on the site should bring benefits to local residents. In light of the above, the proposal would not have an adverse impact on the living conditions of local residents and should improve the current situation.

5.9 Local residents have raised a number of concerns relating to the storage of tyres (tyre fires produce a range of harmful chemicals and are difficult to extinguish) in close proximity to residential properties, a children's nursery and a gym. Cumbria Fire & Rescue Service and the City Council's Environmental Services Dept have not, however, raised any objections to the proposal. Furthermore, there is an existing tyre store at the end of Thomas Street, approximately 40m from the application site, with further tyres also being stored at Denton Tyre Centre on Sheffield Street. In addition, the new building would have to meet current Building Regulations and Fire Safety Standards and would, as a result, be safer than the existing tyre store.

5.10 Concern has also been expressed about locating a car repair unit next to a tyre store. However, this relationship already exists in the existing tyre store at the end of Thomas Street (the unit is occupied by a tyre store, a car repair unit and an upholstery unit). Again, the Fire Service and the City Council's Environmental Services Dept have raised no concerns in relation to this issue.

3. Other Matters

- 5.11 Concern has expressed about the proximity of the new tyre store to the River Caldeu, which is designated as a Site of Special Scientific Interest. However, the existing tyre store, that this new store would replace, is located right on the banks of the river, whilst the new unit would be over 50m away. Furthermore, both the Environment Agency and the City Council's Environmental Services Dept do not consider this to be an issue. Indeed, Environmental Services commented that the possible contamination of the River Caldeu from the proposed tyre store is not a consideration, as the present store is closer to the river than the proposed one.
- 5.12 The applicant has supplied figures on previous and proposed vehicle movements. Comments are awaited from County Highways, but it is not anticipated that they will raise any concerns. Their comments will be reported verbally at committee.

Conclusion

- 5.12 In overall terms, the proposal is acceptable in principle and it would not have an adverse impact on the living conditions of the occupiers of neighbouring properties. The scale and design of the proposal are acceptable. In all aspects, the proposal is compliant with the relevant policies contained within the adopted Local Plan.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:
- Article 6** bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;
- Article 7** provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;
- Article 8** recognises the "Right To Respect for Private and Family Life";
- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;
- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed, in writing, by the Local Planning Authority.

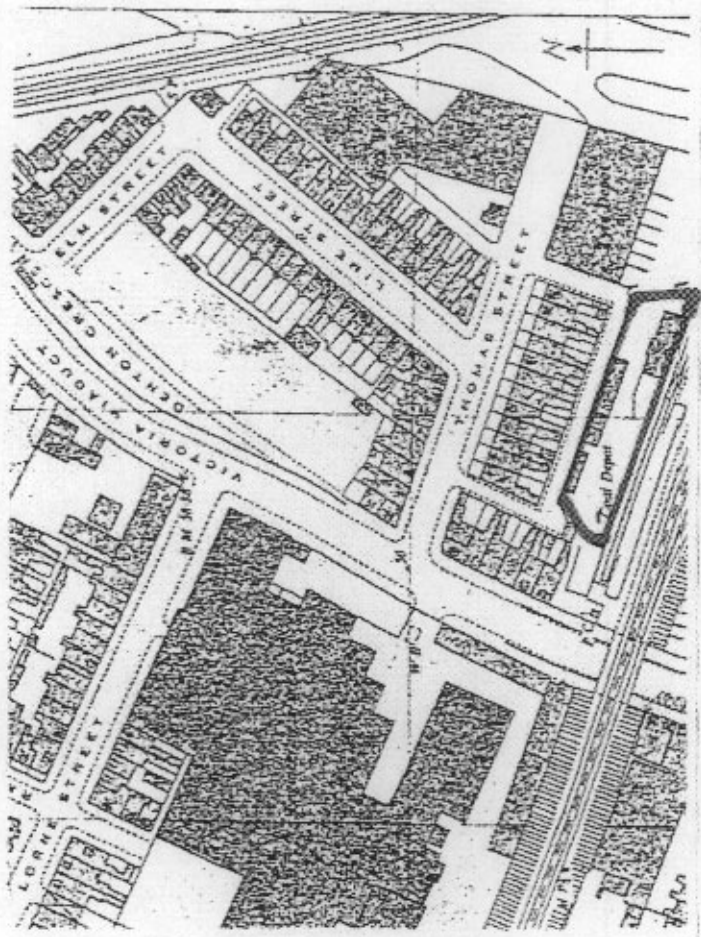
Reason: To ensure an acceptable appearance for the completed development in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

3. No work other than office work shall be carried out before 0800 hours or after 1800 on weekdays or before 0800 hours or after 1700 hours on Saturdays nor at any time on Sundays or statutory holidays.

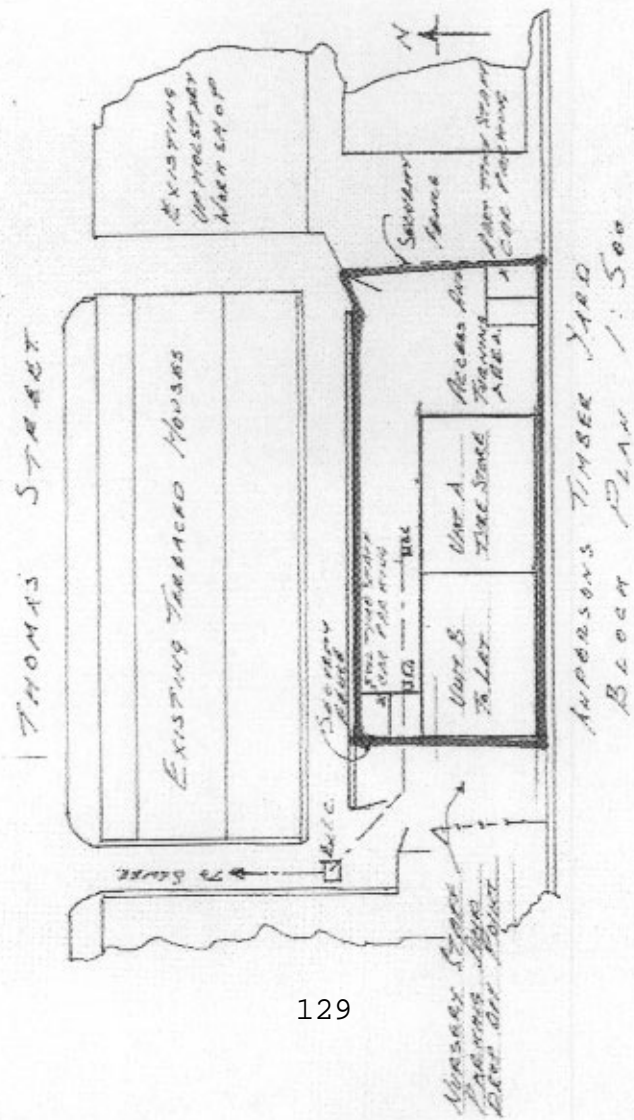
Reason: To prevent disturbance to nearby occupants in accordance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

4. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken to assess the impact of the contamination upon both human health and controlled waters depending on the nature and location of the contamination, and where remediation is necessary a remediation scheme must be prepared and the local planning authority given two weeks notification of the commencement of remediation scheme works. Upon completion of remediation a verification report/validation report must be submitted subject to the approval of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors and to accord with Policy LE28 of the Carlisle District Local Plan 2001-2016.



LOCATION PLAN 1:1250



ANDERSON'S TIMBER YARD
BLOOM PLAN 1:500

[illegible]

	<p>DEVELOPMENT</p> <p>PROPOSED DEMOLITION OF EXISTING STORAGE BUILDINGS AND ERECTION TYRE STORE & UNIT TO LET</p>	<p>LOCATION</p> <p>FORMER BUILDERS YARD THOMAS STREET DENTON HOLME CARLISLE</p>	<p>APPLICANT</p> <p>MR. G. JARDINE CO DENTON TYRES SHEFFIELD STREET DENTON HOLME CARLISLE</p>
<p>SCALE 1:1000 1:50</p>			

DEVELOPMENT	LOCATION	APPLICANT
PROPOSED DEMOLITION OF EXISTING STORAGE BUILDINGS AND ERECTION TYRE STORE & UNIT TO LET	FORMER BUILDERS YARD THOMAS STREET DENTON HOLME CARLISLE	MR G. JARDINE CO DENTON TYRES SIEFFIELD STREET DENTON HOLME CARLISLE

SCALE 1:1000 & 1:50

[illegible]

132

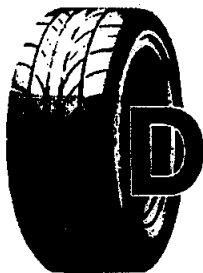
PHOENIX STREET

[illegible]

Location: Room 112 So

7

HEAD OFFICE
SHEFFIELD STREET
CARLISLE
CUMBRIA
CA2 5DT
Tel: 01228 522033
Fax: 01228 592369
dentontyres@btconnect.com



08/1025

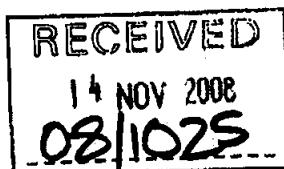
DENTON

TYRE CENTRE LTD.

61 PARK HILL ROAD
KINGSTOWN
CARLISLE
CUMBRIA CA3 0EX
Tel: 01228 597213
Fax: 01228 599066

ANNAN ROAD
DUMFRIES
DG1 3JX
Tel: 01387 254433
Fax: 01387 254478

Co. Reg. No. 3571013
VAT Reg. No. 257 4777 18
Terms: 30 DAYS NETT
13th November 2008



For the attention of: Mr Steven Daniel

Development Services
Carlisle City Council
Civic Centre
Carlisle

Dear Mr Daniel

Proposed Tyre Store, Thomas Street, Carlisle.

I am the owner of industrial units at the end of Thomas Street, one of which is used as a tyre store and is some 165 square metres. This unit is due for demolition due to the flood defence work being carried out in the local area.

I also own the tyre depot with storage across the road on Sheffield Street. Between the two buildings I store approximately 5000 tyres and I employ forty people on three sites. Storage is a crucial element to our business, as we need to be able to buy in quantity to enable us to be competitive within our industry against the larger national companies who have a stronger buying power. We have found that if we are able to hold the tyre in stock we usually get the sale.

The proposed yard in the rear of Thomas Street already has a similar size building to what we require, but is in a poor state of repair and does not now meet modern regulations – fire, noise and security. A new building would improve the appearance of the local area and hopefully bring new job opportunities.

If you require any further information please do not hesitate to contact me.

Yours sincerely

Graham Jardine
Director

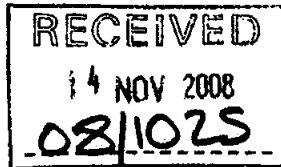
GOODS REMAIN PROPERTY OF DENTON TYRE CENTRE UNTIL PAID IN FULL
INTEREST IS CHARGEABLE ON OVERDUE ACCOUNTS E.&O.E.
WHEELNUTS MUST BE CHECKED WITHIN THE FIRST 50 KMS OF USE
Directors: W.H. JARDINE, A. JARDINE, J.G. JARDINE

08/1025

T. Beck & T. Gibson
C/o 14 Talbot road,
Carlisle Cumbria CA2 5PB
Tel 01228597387

10/11/2008

Denton Tyres
Sheffield st
Carlisle



Dear Graham

Thank for your enquiry as to approximate vehicle movements whilst we were in occupation

At 67 Denton St

West entrance (narrow lane)

Office and workshop

- (1) Office staff Cars 10/15 per day
- (2) Workshop employee's car 4/5 per day
- (3) Delivery and collection vehicles to office and workshop 5/6 per day
- (Current occupier Nursery 30/40 vehicles per day)

East entrance

- (4) Heavy goods 10 per day
- (5) Light Vans 20/30 per day to PGW holdings paint store and distribution depot
- (6) Light vans /cars to shoe repair workshop 10/15 vehicles per day
- (7) Plus our heavy goods vehicles and plant at random times 20/30 per week

Also I would point out that prior to our occupation this was a coal storage and distribution depot, with, I suspect many more daily movements
I hope the above approximate vehicle movements list is of assistance to you,
Please let me know if I can further assistance

Yours sincerely
T Gibson

A handwritten signature in black ink, appearing to be "T. Gibson", written over a horizontal line.

HEAD OFFICE
SHEFFIELD STREET
CARLISLE
CUMBRIA
CA2 5DT
Tel: 01228 522033
Fax: 01228 592369
dentontyres@btconnect.com

Co. Reg. No. 3571013
VAT Reg. No. 257 4777 18
Terms: 30 DAYS NETT

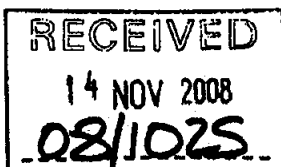


DENTON

TYRE CENTRE LTD.

61 PARK HILL ROAD
KINGSTOWN
CARLISLE
CUMBRIA CA3 0EX
Tel: 01228 597213
Fax: 01228 599066

ANNAN ROAD
DUMFRIES
DG1 3JX
Tel: 01387 254433
Fax: 01387 254478



13th November 2008

Highway Department
Carlisle City Council
Civic Centre
Carlisle

Dear Sirs

Proposed Tyre Store, Thomas Street, Carlisle.

I confirm that the entrance/exit would be via the lane at the top end of Thomas Street some 15.5 ft wide plus a pavement.

I propose to alter the entrance into the yard allowing for a 22 ft gateway. I have allowed approximately 50 – 60 ft for parking plus turning space so vehicles can turn then drive out rather than reverse.

Vehicle movements will be roughly 6 to 10 times per day, mainly transit type vans. This is based on our usage of our tyre store already on Thomas Street, which is due for demolition due to flood defence work.

If you require any further information please do not hesitate to contact me.

Yours sincerely

Graham Jardine
Director

GOODS REMAIN PROPERTY OF DENTON TYRE CENTRE UNTIL PAID IN FULL
INTEREST IS CHARGEABLE ON OVERDUE ACCOUNTS E.&O.E.
WHEELNUTS MUST BE CHECKED WITHIN THE FIRST 50 KMS OF USE
Directors: W.H. JARDINE, A. JARDINE, J.G. JARDINE

HEAD OFFICE
SHEFFIELD STREET
CARLISLE
CUMBRIA
CA2 5DT
Tel: 01228 522033
Fax: 01228 592369
dentontyres@btconnect.com

Co. Reg. No. 3571013
VAT Reg. No. 257 4777 18
Terms: 30 DAYS NETT

13th November 2008

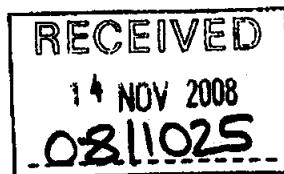


DENTON

TYRE CENTRE LTD.

08/1025
61 PARK HILL ROAD
KINGSTOWN
CARLISLE
CUMBRIA CA3 0EX
Tel: 01228 597213
Fax: 01228 599066

ANNAN ROAD
DUMFRIES
DG1 3JX
Tel: 01387 254433
Fax: 01387 254478



Dear Neighbours

Planning Application 08/1025 at Thomas Street, Denton Holme, Tyre Store.

Denton Tyre Centre would like to clarify the following points with reference to the above planning application.

1. We already own units at the river end of Thomas Street, one of which is used as a tyre store and is some 165 square metres. Unfortunately it has to be demolished to allow flood defence work to protect our industrial units and your residential properties.
2. The property at the rear of Thomas Street has become vacant for commercial use as it has already been turned down for residential planning a number of times.
3. The current building as it stands now is some 240 square metres, but in poor structural condition, has no insulation for fire or noise and has an asbestos roof.
4. As a tyre store I believe that vehicle movement would be minimal, possibly some six to ten times a day – if not less. As for parking, the development would have its own allocated spaces.
5. The entrance/exit would be at the opposite end to the nursery.
6. Hours of operation would be Monday – Friday 8.30 am to 5.30 pm,
Saturday 8.30am to 12.30 pm.

To summarise the yard and building to the rear of Thomas Street is an unkempt eye sore. Denton Tyre Centre wishes to replace the building to improve the view from the rear of the houses and surrounding area with a modern, purpose built unit that will meet all building regulations, have fire and noise insulation, a fire alarm and security lighting and cameras. Arson has been a problem on Thomas Street but mainly from derelict buildings.

Denton Tyre Centre has been trading for some 27 years as your local tyre company, employing and supporting the local community. We have a good relationship with our neighbours on Sheffield Street and Lorne Street. If you require any further information please do not hesitate to contact me.

Yours truly

Graham Jardine

SCHEDULE A: Applications with Recommendation

08/0892

Item No: 05

Date of Committee: 19/12/2008

Appn Ref No:
08/0892

Applicant:
Carlisle Housing
Association Ltd

Parish:
Carlisle

Date of Receipt:
17/09/2008

Agent:
Day Cummins Limited

Ward:
Upperby

Location:
Henderson Gardens, Henderson Road, Carlisle

Grid Reference:
340541 553695

Proposal: Erection Of Affordable Housing Development Of 3 Dwellings (Outline)
Amendment:

REPORT

Case Officer: Shona Taylor

Reason for Determination by Committee:

This application is brought before the Development Control Committee for determination as a local resident wishes to exercise their right to speak against the application.

1. Constraints and Planning Policies

Gas Pipeline Safeguarding Area

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol H1 - Location of New Housing Develop.

Local Plan Pol H2 - Primary Residential Area

Local Plan Pol H3 - Residential Density

Local Plan Pol H4 - Res.Dev.on Prev.Dev.Land&Phasing of Dev.

Local Plan Pol H5 - Affordable Housing

SCHEDULE A: Applications with Recommendation

08/0892

Local Plan Pol T1- Parking Guidelines for Development

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): the parking provision is a reduction to the normal figure required, but the highway authority are content in this instance that 5 parking spaces for the three dwellings would be acceptable; therefore the highway authority have raised no objections subject to the imposition of four conditions;

United Utilities (former Norweb & NWWA): no objections, however, a separate metered supply to each unit will be required at the applicants expense and all internal pipework must comply with current water supply (water fittings) regulations 1999.

Community Services - Drainage Engineer: no response received;

Development Services Planning & Housing Services - Local Plans: no objections, as application raises no issues in a policy context;

Northern Gas Networks: no objections to the proposal, however there may be apparatus in the area that may be at risk during construction works and should the application be approved, then the applicant should contact Northern Gas Networks directly to discuss their requirements in detail.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
7 Henderson Road	03/10/08	
9 Henderson Road	03/10/08	
59 Henderson Road	03/10/08	
61 Henderson Road	03/10/08	Comment Only
63 Henderson Road	03/10/08	
65 Henderson Road	03/10/08	
10 Henderson Road	03/10/08	
12 Henderson Road	03/10/08	
14 Henderson Road	03/10/08	
16 Henderson Road	03/10/08	
18 Henderson Road	03/10/08	
23 Holmes Avenue	03/10/08	
24 Holmes Avenue	03/10/08	
11 Henderson Road	03/10/08	
13 Henderson Road	03/10/08	
15 Henderson Road	03/10/08	
17 Henderson Road	03/10/08	
19 Henderson Road	03/10/08	
21 Henderson Road	03/10/08	

SCHEDULE A: Applications with Recommendation

08/0892

23 Henderson Road	03/10/08	
25 Henderson Road	03/10/08	
27 Henderson Road	03/10/08	
29 Henderson Road	03/10/08	
31 Henderson Road	03/10/08	
33 Henderson Road	03/10/08	
35 Henderson Road	03/10/08	
37 Henderson Road	03/10/08	
39 Henderson Road	03/10/08	
41 Henderson Road	03/10/08	
43 Henderson Road	03/10/08	
45 Henderson Road	03/10/08	
47 Henderson Road	03/10/08	
49 Henderson Road	03/10/08	
51 Henderson Road	03/10/08	
53 Henderson Road	03/10/08	
55 Henderson Road	03/10/08	
57 Henderson Road	03/10/08	Comment Only

- 3.1 This application has been advertised by means of site and press notices as well as notification letters sent to thirty seven neighbouring properties. Three representations were made by local residents within the consultation period, one of who wishes to exercise their 'right to speak'. The letters raised the following issues:
1. Why were the original flats that were located on the site were demolished rather than being refurbished;
 2. What is meant by the term 'affordable housing' and who would be entitled to live in these properties;
 3. Why redevelop this attractive grassed site, when a more suitable area for redevelopment is available on Leabourne Road; and
 4. The area of land is too small to accommodate these houses.

4. Planning History

- 4.1 In 2005 consent was approved under the determination process for the demolition of Nos. 1-8 Henderson Gardens (application reference 05/0001/DEM).

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 The application is seeking outline planning permission for the erection of a terrace of three dwellings on land at Henderson Gardens, Currock. The site

SCHEDULE A: Applications with Recommendation

08/0892

comprises half of the land within the 'loop-section' of Henderson Road, which previously had residential dwellings on it. The dwellings were demolished in 2006 and removed, following this the land was fenced off and grassed. The surroundings to the site are wholly residential, with the exception of the Hammond's Pond Park that lies approximately 100m beyond the southern boundary of the application site.

- 5.2 The site is identified as located within a Primary Residential Area on the Urban Area Inset Map that forms part of the Carlisle District Local Plan 2001-2016.

Proposal

- 5.3 It is proposed to erect three dwellings on the land, which would front onto the main stretch of Henderson Road, with the gables facing onto the loop section. The indicative layout plan and Design and Access Statement that accompanies the application suggests that these will be two storey dwellings, with either two or three bedrooms.
- 5.4 Vehicular access would be to the rear of the site, and one parking space is to be provided per dwelling house plus two visitor spaces to be used by all three properties.
- 5.5 It is proposed to discharge the foul drainage and surface water to the mains sewer.

Assessment

- 5.6 The relevant planning policies against which the application is required to be assessed are Policies CP5, CP6, CP12, H1, H2, H3, H4, H5 and T1 of the Carlisle District Local Plan 2001-2016.
- 5.7 The proposal raises the following planning issues:
1. Whether The Principle Of The Proposed Development Is Acceptable.
- 5.8 The application site lies within the Primary Residential Area, as identified in the Carlisle District Local Plan 2001-2016. As such, the principle of residential development is acceptable, subject to compliance with the criteria identified in Policy H2 and other relevant policies of the Local Plan.
2. Whether The Scale And Layout Of The Development Is Acceptable.
- 5.9 The indicative layout plan and information contained within the 'Design and Access Statement' illustrates that the proposed dwelling types and the plots within which they are situated are comparable to the surrounding properties. The proposed dwellings therefore would complement the existing properties and the streetscene.

- 5.10 The indicative position of the proposed dwellings is well related to the surrounding properties in terms of its siting, scale and the plot widths. The specific details regarding the height and detailing of the dwellings would be addressed at the 'reserved matters' application stage to ensure that they are in keeping with the neighbouring properties.

3. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

- 5.11 Although the siting of the dwellings is only indicative, adequate separation distance between the existing residential properties and the proposed dwellings can be achieved. As such, taking into consideration the scale and position of the proposed dwellings in relation to these properties it is unlikely that the living conditions of the occupiers of these properties will be compromised through loss of light, loss of privacy or overdominance.

4. Highway Matters

- 5.12 Adequate car parking and turning facilities have been provided to serve the dwelling. The Highway Authority has raised no objections to the scheme subject to the imposition of four conditions relating to the construction of the access and crossings.

5. Other Matters.

- 5.13 A local resident has raised concerns regarding the classification of the scheme as 'Affordable Housing' and questioned who would be living in the properties. Although the applicant has chosen to indicate that the properties will be made 'affordable', in policy terms, there is no requirement to provide affordable housing, as the number of dwellings proposed is below the threshold set by Policy H5. It would, therefore, be at the developers discretion to ensure that this takes place. The applicant's agent, however, has indicated that the properties are likely to be made 'affordable' by means of discounted sale, shared ownership or as social rented accommodation.

Conclusion

- 5.14 In overall terms, the principle of the proposed development is acceptable. The scale, siting and design of the proposed dwelling are acceptable in relation to the site and the surrounding properties. The living conditions of neighbouring properties would not be compromised through unreasonable overlooking or unreasonable loss of daylight or sunlight. Adequate car parking and amenity space would be provided to serve the dwellings. In all aspects the proposals are compliant with the objectives of the relevant Local Plan policies.

6. Human Rights Act 1998

SCHEDULE A: Applications with Recommendation

08/0892

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 Article 8 and Article 1 Protocol 1 are relevant but the impact of the development in these respects will be minimal and the separate rights of the individuals under this legislation will not be prejudiced.

7. Recommendation - Grant Permission

1. In case of any "Reserved Matter" application for approval shall be made not later than the expiration of 1 year beginning with the date of this permission, and the development shall be begun not later than whichever is the later of the following dates:

- (i) The expiration of 3 years from the date of the grant of this permission, or
- (ii) The expiration of 2 years from the final approval of the reserved matters, or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason: In accordance with the provisions of Section 92 of the Town and Country Planning Act 1990. (as amended by The Planning and Compulsory Purchase Act 2004).

2. Before any work is commenced, details of the siting, design and external appearance of the building(s), the means of access thereto and the landscaping of the site (hereinafter called "reserved matters") shall be submitted to and approved by the local planning authority.

Reason: The application was submitted as an outline application in accordance with the provisions of Article 3 of the Town and Country Planning (General Development Procedure) Order

SCHEDULE A: Applications with Recommendation

08/0892

1995.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. Details shall be submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved, in writing, by the Local Planning Authority before any site works commence.

Reason: To ensure that materials to be used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. No development shall take place until full landscaping details have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. No development shall commence until the proposed means of surface water disposal have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the means of disposal is acceptable and to ensure compliance with Policy CP9 of the Carlisle District Local Plan 2001-2016.

7. Details of proposed crossings of the highway verge and/or footway shall be submitted to the Local Planning Authority for approval. The development shall not be commenced until the details have been approved and the crossings have been constructed.

Reason: To ensure a suitable standard of crossing for pedestrian safety in accordance with Local Transport Plan Policies LD5, LD7 and LD8.

8. Details of all measures to be taken by the applicant/developer to prevent surface water discharging onto or off the highway shall be submitted to the Local Planning Authority for approval prior to development being

SCHEDULE A: Applications with Recommendation

08/0892

commenced. Any approved works shall be implemented prior to the development being completed and shall be maintained operational thereafter.

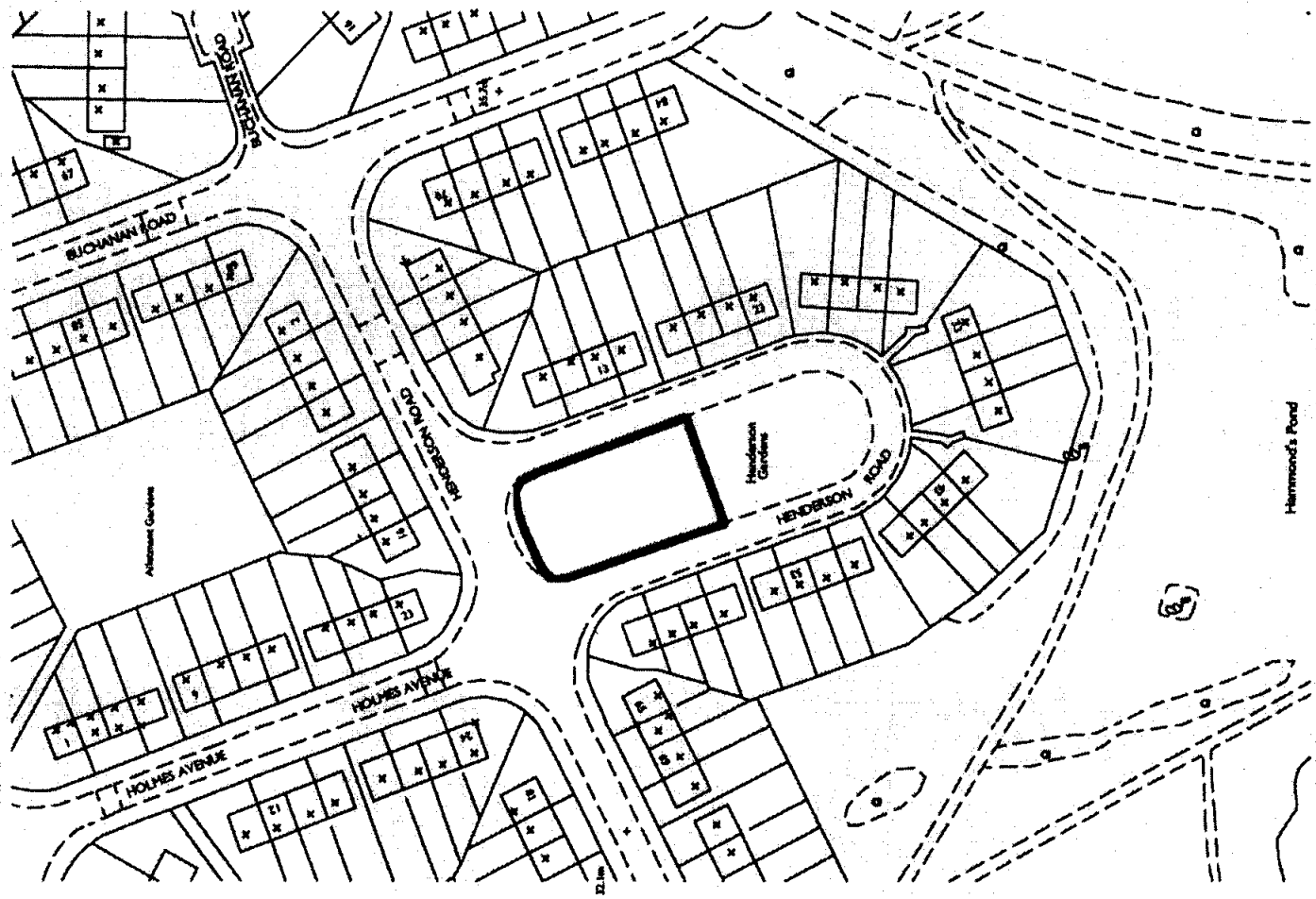
Reason: In the interests of highway safety and environmental management in accordance with Local transport Plan Policies LD7 and LD8.

9. The use shall not be commenced until the access and parking requirements have been constructed in accordance with the approved plan. Any such access and or parking provision shall be retained and be capable of use when the development is completed and shall not be removed or altered without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use.

10. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained to the specification of the Local Planning Authority in consultation with the Highway Authority.

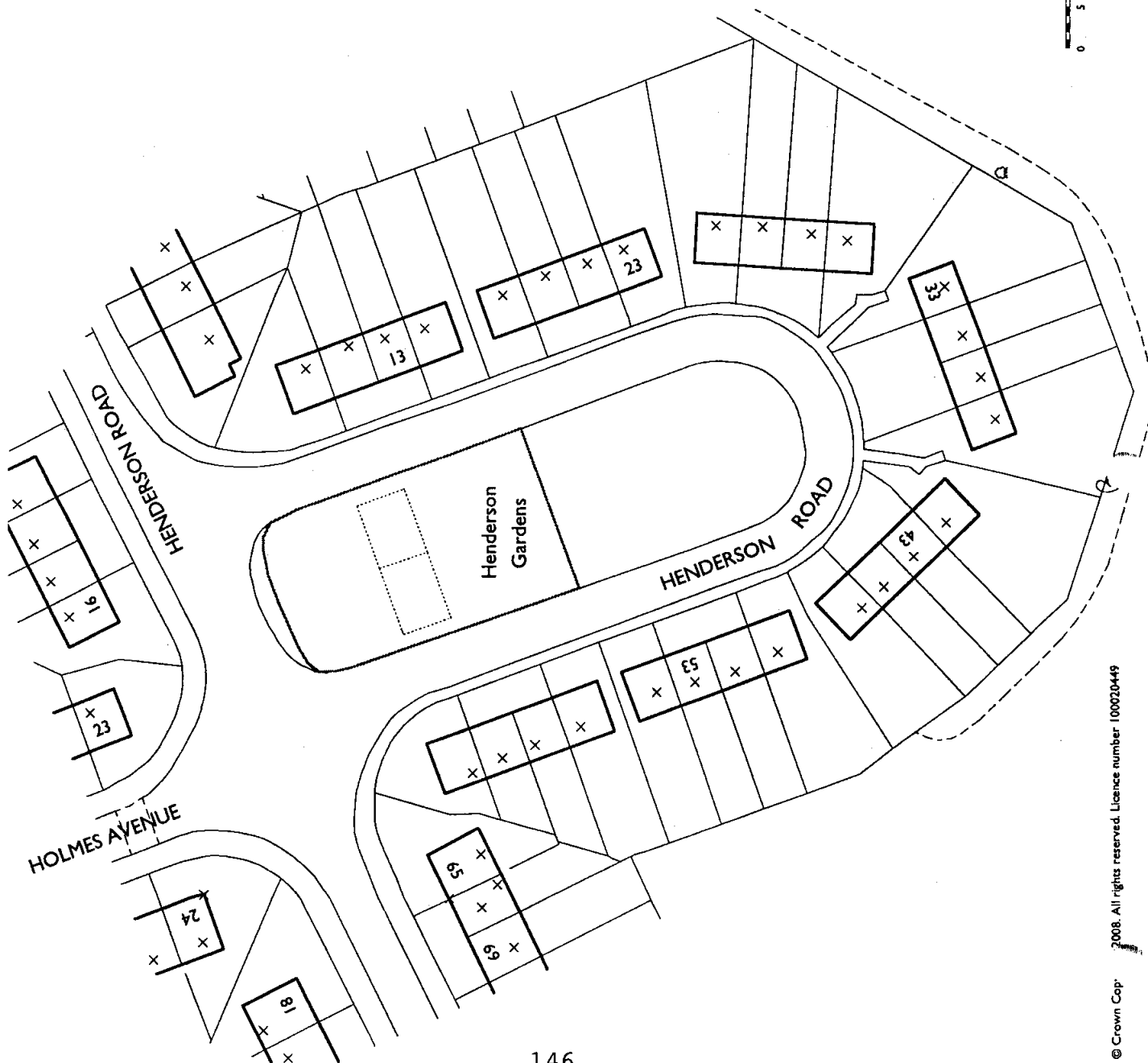
Reason: In the interests of road safety in accordance with Local Transport Plan Policies LD5, LD7 and LD8.





© Crown Copyright 2008. All rights reserved. Licence number 100020449

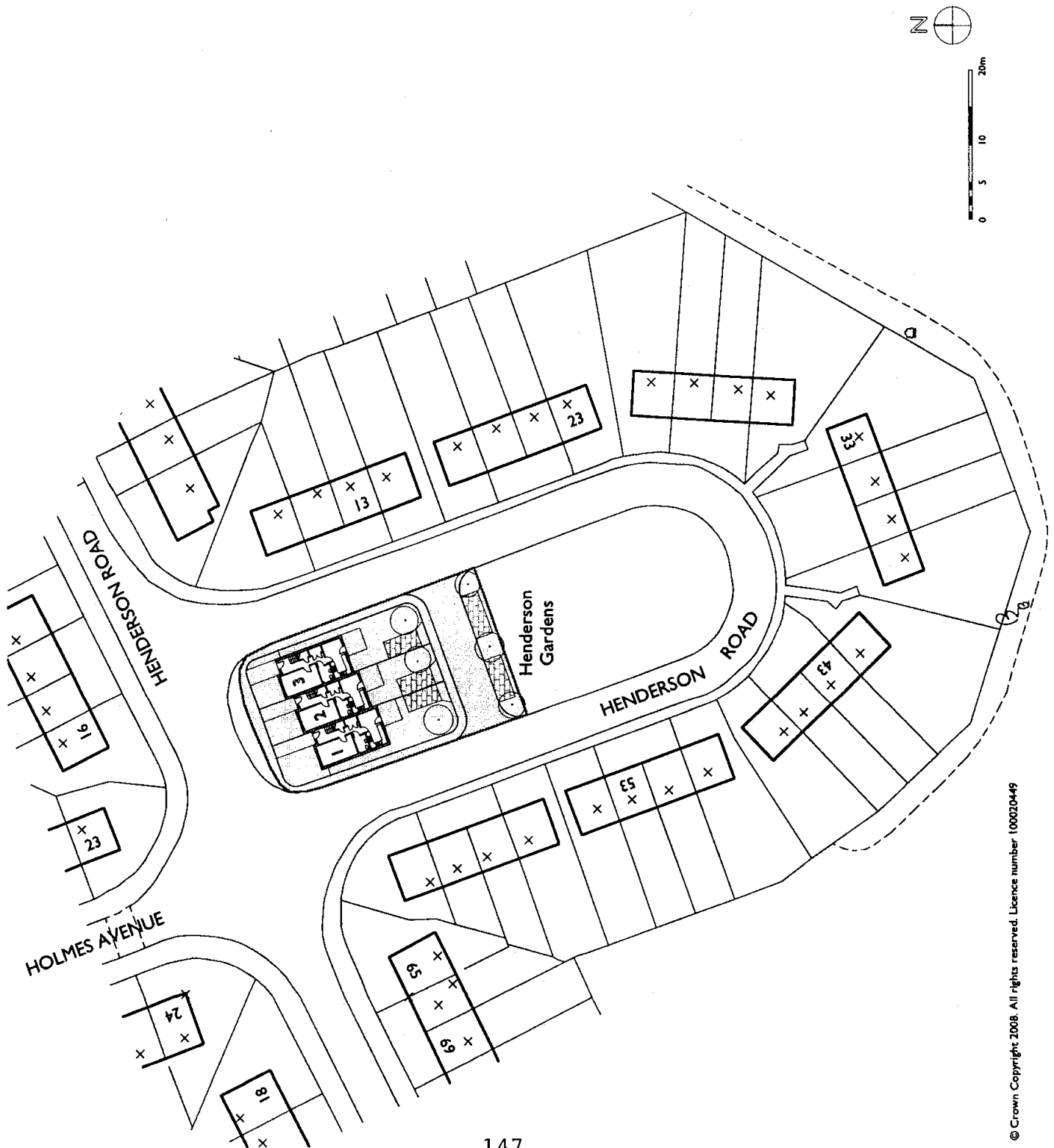
RECEIVED
17 SEP 2008
08/0392

Rev: Date:	Continued:	By:
Carlisle Housing Association Carlisle Housing Association		
DAY CUMMINS Architects & Surveyors Lakeland Business Park Cockermouth Cumbria CA13 0QT Tel: 01900 820700 Fax: 01900 820701 email: dc@day-cummins.co.uk www.day-cummins.co.uk		
Project: Proposed Affordable Housing Development, Land at Henderson Gardens, Henderson Road, Carlisle		
Drawing Title: Site Location Plan		
Drawn: PB	Checked: PB	Signed:
Scale: 1:1250	Date: 28/8/08	Paper Size: A4
ALL DRAWINGS TO BE CHECKED AND SIGNED BY THE ARCHITECT BEFORE PROCEEDING TO THE NEXT STAGE OF THE PROJECT		
Project No: 2812	Drawing No: 06	Rev: -



Rev. Date:	Comments:	By:
Client:	Carlisle Housing Association	
		
		
DAY CUMMINS LIMITED Architects & Surveyors Lakeland Business Park Cockermouth Cumbria CA13 0QT Tel: 01900 820700 Fax: 01900 820701 email: dc@day-cummins.co.uk www.day-cummins.co.uk		
Project: Proposed Affordable Housing Development Land at Henderson Gardens, Henderson Road, Carlisle		
Drawing Title: Existing Site / Location Plan		
Drawn:	Checked:	Signed:
PB	PB	
Scale:	Date:	Page Size:
1:500	28/8/08	A3
ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE CONSTRUCTION TO ENSURE THE DRAWING IS CORRECT		
Project No:	Drawing No:	Rev:
2812	03	

Proposed Accommodation Mix of 2-Bed & 3-Bed Houses e.g. 3-Bedroom 5-person Houses @ 82sqm approx 2-Bedroom 4-person Houses @ 75sqm approx Total 3 No. dwellings, mix and detailed house types to be considered at Reserved Matters stage	Proposed parking ratio 1 space per dwelling, i.e. 3 No. in-curtage spaces, with planted / soft landscaped garden buffer to street frontage. Possible visitor parking bays (2 No.) Private front & rear garden to each dwelling.	Site Area 0.07 ha approx Pro-rata density approx 43 dwellings/ha	Rev: Date: _____ Client: _____ Commence: _____ Br: _____
Carlisle HOUSING ASSOCIATION Carlisle Housing Association		DAY CUMMINS DAY CUMMINS LIMITED Architects & Surveyors Lakeland Business Park Cockermouth Cumbria CA13 0QT Tel: 01900 820700 Fax: 01900 820701 email: dc@day-cummins.co.uk www.day-cummins.co.uk Project: Proposed Affordable Housing Development, Land at Henderson Gardens, Henderson Road, Carlisle	
Drawing Title: Proposed Site Plan - INDICATIVE LAYOUT Drawn: PB Checked: PB Signed: _____ Date: 28/8/08 Paper Size: A3 Scale: 1:500 All dimensions to be checked on site. No dimensions to be taken from this drawing.			
Project No: 2812 Drawing No: 04 Rev: _____			



SCHEDULE A: Applications with Recommendation

08/1056

Item No: 06

Date of Committee: 19/12/2008

Appn Ref No:
08/1056

Applicant:
Mrs R Grimaldi

Parish:
Carlisle

Date of Receipt:
16/10/2008

Agent:
Jock Gordon

Ward:
Stanwix Urban

Location:
71 Scotland Road, Carlisle CA3 9HT

Grid Reference:
339976 557288

Proposal: (1) Change of use and subdivision Of Guesthouse, with private accommodation for the owner, to form 1 No five bedroom dwelling and 1 No two bedroom dwelling and (2) the erection of an porch on the two bedroom dwelling (Revised Application)

Amendment:

REPORT

Case Officer: Dave Cartmell

Reason for Determination by Committee:

This application is brought before the Development Control Committee for determination for the reasons that (1) the recommendation is contrary to a previous decision of the Council and (2) the applicant has requested a right to speak.

1. Constraints and Planning Policies

Gas Pipeline Safeguarding Area

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

Conservation Area

The proposal relates to land or premises situated within the Stanwix Conservation Area.

Local Plan Pol H2 - Primary Residential Area

Local Plan Pol H11 - Extns to Existing Resid. Premises

Local Plan Pol LE19 - Conservation Areas

SCHEDULE A: Applications with Recommendation

08/1056

Local Plan Pol CP5 - Design

RSS Pol DP 2 - Promote Sustainable Communities

RSS Pol DP 4 - Make Best Use Exstg.Resources&Infrastructure

RSS Pol DP 5 - Manage Travel Demand. Reduce Need to Travel

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): Highways advised that provided that the guesthouse element is removed from this property (and converted into a five bedroom house) the parking standard would be two spaces for the five bedroom dwelling one space for the two bedroom dwelling. (This is less than the Parking Guidelines because it allows for a 'communal element' of parking on the adjacent street where there are no restrictions).

Community Services - Drainage Engineer: Reply awaited.

United Utilities (former Norweb & NWWA): I have no objection to the proposal.

This site must be drained on a separate system, with only foul drainage connected into the foul sewer. Surface water should discharge to the watercourse/soakaway/surface water sewer and may require the consent of the Environment Agency. If surface water is allowed to be discharged to the public surface water sewerage system we may require the flow to be attenuated to a maximum discharge rate determined by United Utilities.

A separate metered supply to each unit will be required at the applicant's expense and all internal pipework must comply with current water supply (water fittings) regulations 1999.

Should this planning application be approved, the applicant should contact our Service Enquiries on 0845 7462200 regarding connection to the water mains/public sewers.

Planning & Housing Services - Conservation/Richard Majewicz: Reply awaited

Northern Gas Networks: No objections but advise that there may be apparatus in the area that may be at risk during construction works and should the application be approved, NGN require the promoter of the works to contact them to discuss their requirements in detail . NGN also advise:

1. should diversionary works be necessary they will be fully rechargable
2. the extract from the mains record of the area covered by the proposals shows

SCHEDULE A: Applications with Recommendation

08/1056

only mains owned by NGN in its role as a Licensed Gas Transporter

3. privately owned networks and gas mains owned by other GT's may also be present in this area and information with regard to such pipes should be obtained from the owners

4. service pipes, valves, siphons, stub connections, etc are not shown but their presence should be anticipated

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
69 Scotland Road	23/10/08	
73 Scotland Road	23/10/08	
1 Rosebery Road	23/10/08	
Allied Carpets	23/10/08	

3.1 As the proposal lies within the Stanwix Conservation Area, publicity was given to the application by site and press notice in addition to direct notification of neighbouring occupiers. No representations have been received.

4. Planning History

4.1

Planning permission was granted (04/520) for an extension to form an extension to the guest house to provide a living room/kitchen and two bedrooms for the proprietor.

4.2

Planning permission to subdivide the guesthouse to form a separate 2 bedroom dwelling, together with an entrance porch (07/976 was refused).

5. Details of Proposal/Officer Appraisal

Introduction

5.1 This is an application for full planning permission to subdivide a guesthouse, with private accommodation for the owner, at 71 Scotland Road to form two separate dwellings, one of five bedrooms and one of two bedrooms. It is also proposed to erect a porch on the front elevation of the smaller property.

5.2 This is an end-terrace mainly brick-built property at the junction of Scotland Road and Rosebery Road and while the guesthouse is predominantly three

storeys in height (with a conservatory to the side), the owner's accommodation to the rear is one- and-a-half storeys. At present there is a direct link between the two properties at ground floor level. The property has a small curtilage in relation to its size which at present comprises space to the side of the guesthouse used for storage, decking outside the conservatory and a parking area of tarmac to the rear which is overlooked by the owner's accommodation. (See attached plans). The boundary of the property is a substantial brick wall to the side and rear with access to the parking area being taken from the rear lane.

- 5.3 In addition to the single parking space for the proposed two bedroom dwelling, to be formed within its curtilage (which is approximately 27 sq metres) an off-street parking space will remain for the larger dwelling. It will be necessary to demolish part of the boundary wall with the rear lane to afford access to both properties.
- 5.4 There is housing on the opposite side of Scotland Road, to the north and, separated by a rear lane, to the west.

Background

- 5.5 Planning permission was granted for the formation of domestic accommodation for the owner of the guesthouse in 2004 (04/52) and a condition was attached to ensure this was only occupied as part of the single planning unit by members of the applicant's family or their successors in title. This condition was attached as it was considered that, because of the restricted nature of the curtilage and the juxtaposition of a commercial use, the external space associated with it was inadequate in both terms of both quality and quantity.
- 5.6 An application (07/796) to subdivide the guesthouse to form a separate two bedroom dwelling with an entrance porch was refused on the grounds that it was contrary to Development Plan objectives in that the proposal would (1) constitute overdevelopment comprising a cramped form of development with the dwelling having insufficient, and an unsatisfactory standard of, amenity space and (2) have insufficient off street parking.
- 5.7 The existing accommodation, which is of brick construction and with a slated roof, comprises two bedrooms on the ground floor and an open plan living room and kitchen on the first floor. There are three half dormers on the front elevation. The proposed lean-to porch, which will be 6.2m long and 1.15m wide, will be of uPVC.
- 5.8 The applicant has submitted a Design and Access Statement which states that:
1. the dwelling, being a rear offshoot, is subordinate to the main house
 2. there is existing vehicular and pedestrian access to the property and

SCHEDULE A: Applications with Recommendation

08/1056

parking provision on site for one car, with adjacent amenity space in front of the entrance porch

3. a concrete post and timber panel fence will be erected within the rear curtilage as a boundary separating the existing and proposed dwellings

4. the dwelling will have security locks fitted to the doors and windows and external PIR security lighting.

5.9 The applicant has also submitted a statement in support of the application and evidence of the marketing of the property. The salient points of the statement of support are:

1. the application property is presently a large family house at the end of a terrace with some bedrooms used as bed and breakfast

2. the applicant now wishes to sell the property but is finding a lack of interest with prospective purchasers. The property has been advertised for sale since November 2006 with various local estate agencies but without success even though the selling price has been reduced during the marketing period

3. marketing agencies have suggested that the property would attract more interest if it is sub-divided into two separate dwellings, therefore making the two dwellings more affordable to prospective purchasers than the whole dwelling

4. the main dwelling could then be marketed as a substantial family home and the smaller dwelling as an affordable 'starter' home, of which there are very few in the Stanwix area, and which could allow a lower income family the opportunity of accessing one of the better junior schools in the city

5. the application property is on the corner of Scotland Road and Rosebery Road, both of which provide ample on-street parking, which the applicant uses. There is also a public carpark at the top of Scotland Road which is a main arterial road into the city with a number of different regular bus services, and the property is approximately a 15 minute walk from the city centre

6. it is contended that a precedent has been set by a permission granted under reference 05/978 for a new build detached dwelling in the rear garden of large end terrace dwelling fronting Thornton Road. The new dwelling has one off-street space, the access to which is invariably blocked by on-street parking and has no external amenity space. The original dwelling has extremely limited space for a large family house and one off-street parking space, the entrance to which is blocked by on-street parking.

5.10 Documentation has been submitted confirming that the property has been advertised for sale since 2006 as guesthouse, the asking price for which has been reduced from £435,000 to £420,000. It is currently being advertised with three agencies.

- 5.11 The property lies on the northern edge of the Stanwix Conservation Area and within a Primary Residential Area as defined in the Carlisle District Local Plan (2001 - 2016) (adopted 9/9/2008).

Assessment

- 5.12 Section 54a of the Town and Country Planning Act/Section 38(6) of the Planning and Compulsory Purchase Act 2004, require that an application for planning permission shall be determined in accordance with the provisions of the Development Plan unless material considerations (including Government Policy as expressed through Planning Policy Guidance notes, Planning Policy Statements and objections) indicate otherwise.
- 5.13 The Development Plan comprises the Carlisle District Local Plan (2001 - 2016) 9 adopted 9/9/2008) and the North West of England Plan Regional Spatial Strategy to 2021.
- 5.14 PPS3 (Housing) sets out the Government's national policies with regard to strategic housing objectives. While these objectives include the need to provide a sufficient quantity of housing (to meet need, demand and improved choice) in sustainable locations, the document also recognises the need for high quality housing. PPS3 recognises that 'good design should contribute to making places better for people'.
- 5.15 PPS 13 (Transport) advocates the importance of reducing reliance on the private car.
- 5.16 In consideration of this application Policies H2, H11, LE19 of the Carlisle District Local Plan (2001 - 2016) (adopted 9/9/2008) and Policies DP2, DP4 and DP5 of the North West of England Plan Regional Spatial Strategy to 2021 are relevant. these policies seek to ensure that:
1. all development proposals are assessed against their ability to promote sustainable communities (places where people want to live and work). Development should be focussed in Carlisle and the Key and Local Service Centres, and take account of:
 - (1) the diverse needs of existing and future residents
 - (2) the need to foster a sustainable relationship between home, workplace and other concentrations of regularly used services and facilities
 - (3) the availability of alternative means of transport and the national objective of reducing the need to travel by car
 2. priority is given to reusing existing buildings within settlements
 3. residential extensions are appropriate to the dwelling, its design and setting

SCHEDULE A: Applications with Recommendation

08/1056

4. development within conservation areas preserves or enhances their character
 5. development does not affect the residential amenity of existing areas nor result in unacceptable standards for future users and occupiers of the development
 6. where dwellinghouses are created by subdivision, (a) acceptable living conditions can be achieved and (b) adequate internal and external space (including appropriate parking provision/access, outside drying and bin spaces) is provided.
- 5.17 A previous appeal decision in the District relating to residential subdivision acknowledged the need for the efficient use of land for housing but stressed that this should not be at the expense of the environment or social considerations.
- 5.18 With regard to the Development Plan objectives, precedent issues raised by the applicant and other material considerations:
1. the development involves the continuing use of an existing building within a sustainable location (within a Primary Residential Area in Carlisle, adjacent to a bus route and close to local facilities)
 2. the proposed porch is to be constructed of material to match the existing conservatory (uPVC). Given the previous use of uPVC on the building, the low profile of the porch and the fact that it is screened from Rosebury Road, it is considered that the porch is appropriate to the building and acceptable in terms of its setting within a conservation area.
 3. while the off-street parking space provided for the smaller dwelling meets the County Parking Guidelines the single space provided for the five bedroom dwelling represents a shortfall of one. However given that (1) this house is replacing a five bedroom guesthouse and (2) there are no parking restrictions in Rosebery Road, it is not considered that the additional on-street parking would be to the detriment of (a) the amenity of the adjacent residential area and pedestrian and highway safety or (b) the character of the Stanwix Conservation Area.
 4. with regard to the requirement to achieve acceptable living conditions and adequate external space, the area currently used for storage to the side of the guesthouse, the decking in front of the conservatory and rear parking space (19 sq metres) will form the curtilage of the larger house. The only curtilage for the smaller house will be the remainder of the tarmac area (approximately 27 sq metres) which will have to accommodate a parked car and bin/recycling storage. The curtilages are to be separated by a 2m high post and panel fence.

While appropriate screen fencing could possibly prevent overlooking from the

conservatory of the proposed larger dwelling, removal/part removal of the rear lane boundary wall could expose the external amenity space of the house to views from the lane. This could however be resolved by use of sliding doors.

The need to accommodate parking spaces for the two houses and bin storage for the smaller house within the existing tarmac area will result in a cramped form of development. The only outlook from the two bedroomed house will be onto a tarmac space ranging in width from 3.5m to 5m and 7m long enclosed by a 2m high post and panel fence. This could be considered to constitute overdevelopment which will result in insufficient residential curtilage, in terms of size, and usability, to afford an acceptable level of residential amenity.

5. with regard to the issue of precedent raised by the applicant in relation to planning permission granted elsewhere, members will be aware that individual applications are determined on their merit

6. with regard to other material considerations, the applicant advises that she has spent a considerable amount of money upgrading the property but now wishes to sell the property. She has produced evidence to demonstrate that the existing property (guest house and owner's accommodation) has been marketed for two years and ,despite reducing the price, no offers have been received. Professional advice has been given to the applicant that changing the use and subdividing the property into two dwellings would attract more interest, hence the current application. While PPS3 (Housing) emphasises the need for well designed family accommodation with access to safe and secure recreational areas including private gardens, PPS3 also promotes provision of a wider mix of dwellings to suit all sections of the community.

- 5.19 It is also recognised that (1) homes with little or no external space are a common feature of urban life and (2) conversion for a viable use would secure the long term maintenance of a building on prominent corner site in a conservation area on a main arterial road. Given the advantages of easy access to the local centre, town centre and outdoor recreation (allotments and open space immediately to the north of Rosebery Road), it would be open to future residents to decide whether the quality of the accommodation was acceptable to their way of life.

Conclusion

- 5.20 While the amount and quality of external space for the two dwellings (and the amenity, including outlook, enjoyed by the smaller dwelling), is very limited, it is considered that the level of amenity which will be enjoyed by the two bedroom house will be significantly better than that which would have resulted from the previous proposal (07/976) which involved the retention of the guesthouse. It is also recognised that (1) the requirement, through PPS3, for higher residential densities in the urban area, and (2) the need to provide accommodation to meet the demands of the whole community in sustainable locations, has resulted in a reduction in both the provision of and demand for

SCHEDULE A: Applications with Recommendation

08/1056

external space.

- 5.21 This proposal represents an opportunity to create additional residential accommodation in a sustainable location and on balance, given the background to the proposal, it is considered that the objective of providing a wide mix of dwellings in sustainable locations to suit all sections of the community should be given more weight than the need to achieve optimum living conditions including levels of external space.
- 5.22 It is therefore recommended that the application be approved subject to conditions with regard to erection of boundary fencing, details of alterations to the rear boundary wall and maintenance of the boundary wall fronting Rosebery Road.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered giving due regard to the provisions of the Act. It is not considered that the proposal would conflict with the Act. Where any conflict is perceived it is not considered that such conflict would be significant enough to warrant refusal of the application.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of

SCHEDULE A: Applications with Recommendation

08/1056

the Planning and Compulsory Purchase Act 2004).

2. Before the change of use of the existing guesthouse and owner's accommodation to form two separate dwellings takes place, the 2 metre high screen fence shown on the approved plans shall be erected to the satisfaction of the local planning authority and shall be maintained at that height.

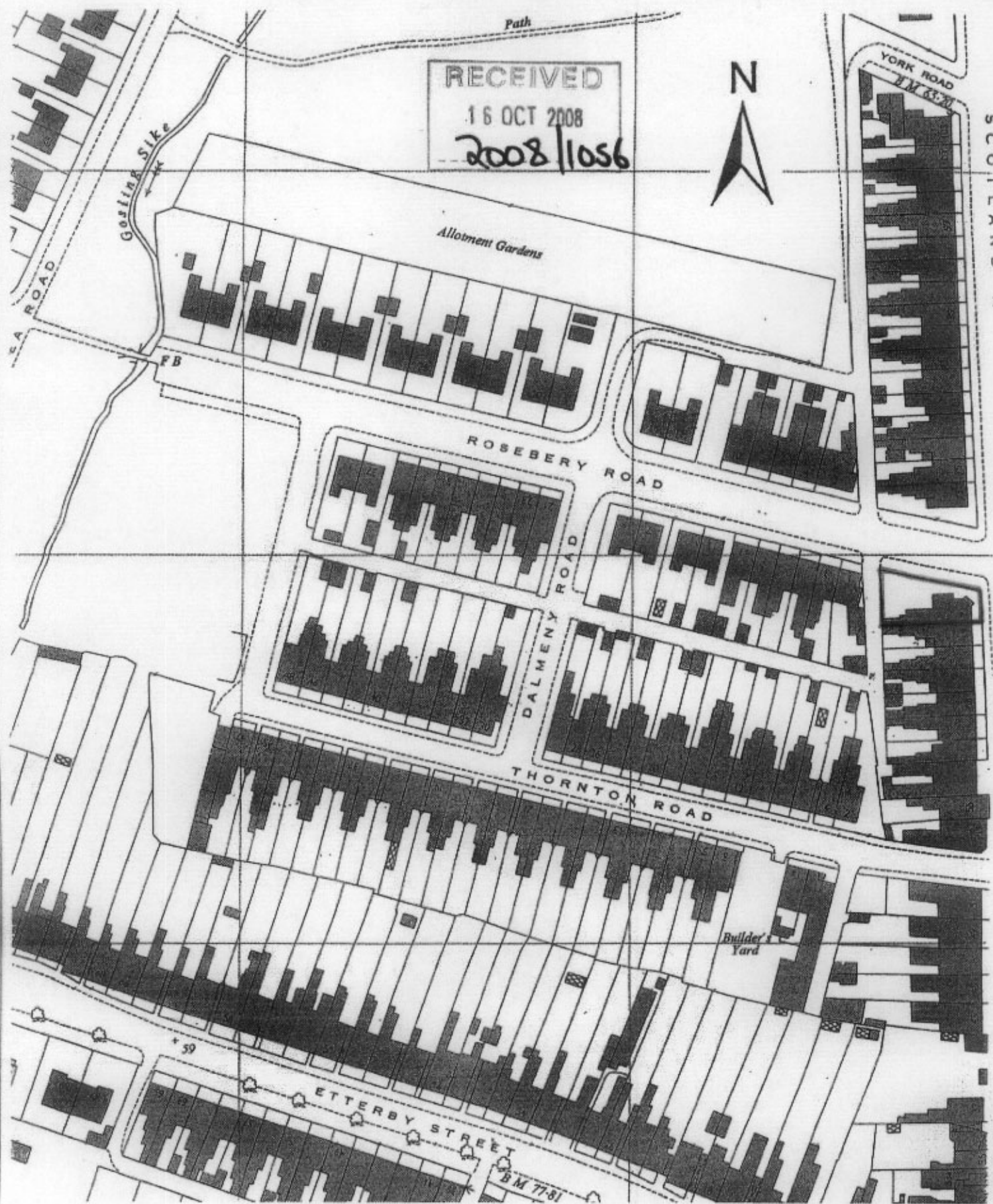
Reason: To ensure a reasonable level of privacy in accordance with the objectives of Policy CP5 of the Carlisle District Local Plan (2001 - 2016) (adopted 9/9/2008) and PPS3 (Housing).

3. Particulars of the proposed alterations to the rear wall shall be submitted to and approved by the Local Planning Authority prior to the commencement of works to the wall.

Reason: To retain the character of the Stanwix Conservation Area and comply with the objectives of Policy LE19 of the Carlisle District Local Plan (2001 - 2016) (adopted 9/9/2008)

4. The brick wall along the boundary with Rosebery Road shall be maintained at its current height.

Reason: To retain the character of the Stanwix Conservation Area and comply with the objectives of Policy LE19 of the Carlisle District Local Plan (2001 - 2016) (adopted 9/9/2008)

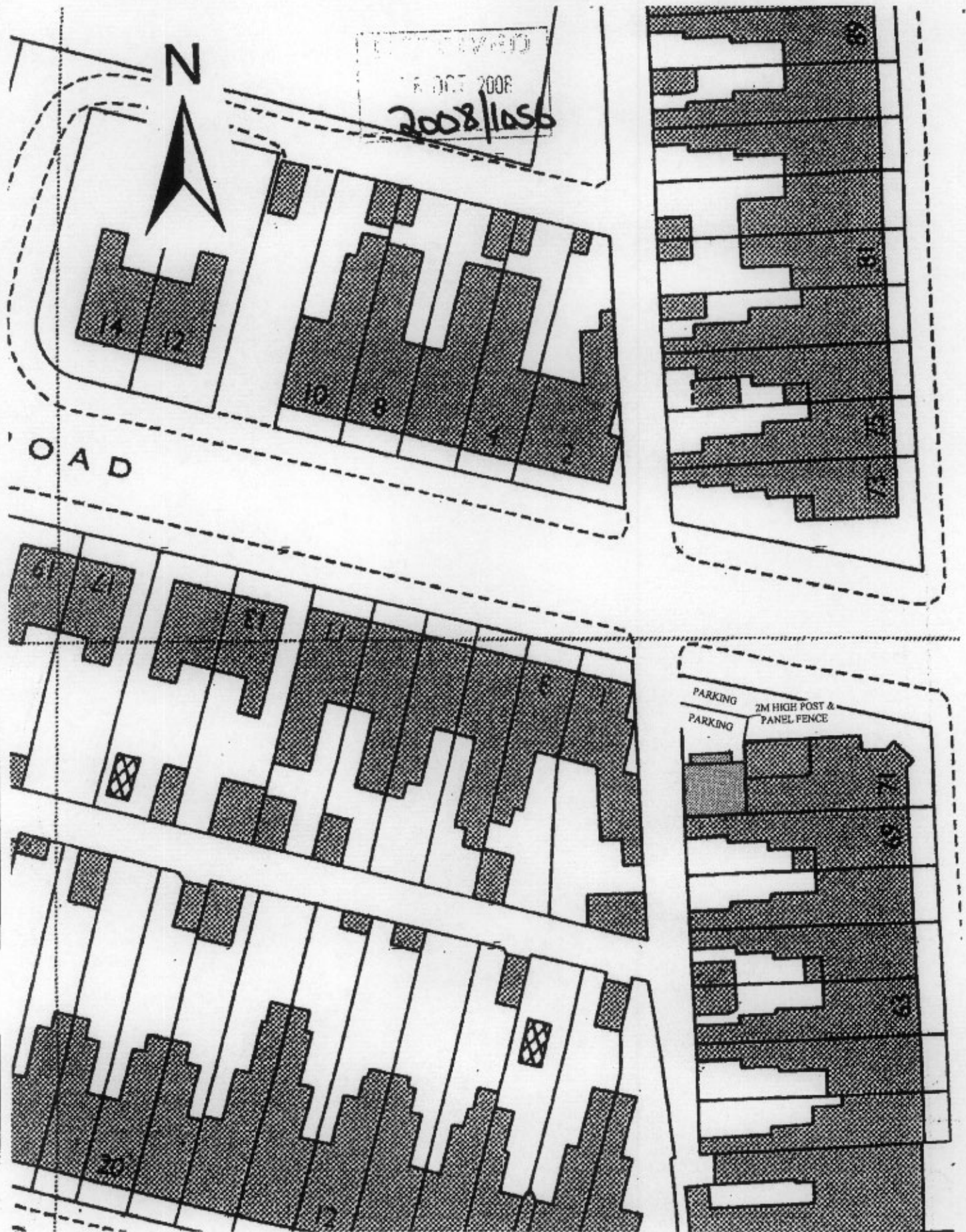


PROPOSED SUB-DIVISION OF DWELLING

LOCATION PLAN

158
71 SCOTLAND ROAD - CARLISLE

SCALE : 1-1250



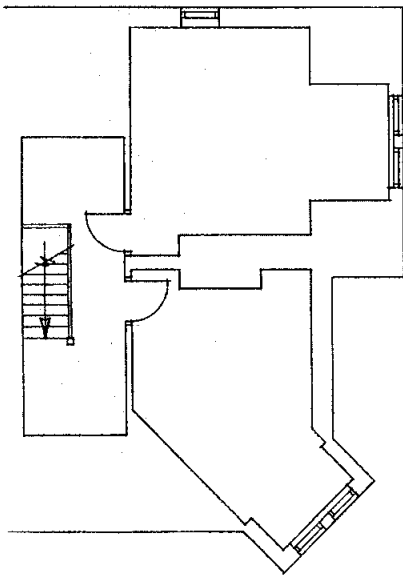
PROPOSED SUB-DIVISION OF DWELLING

SITE PLAN

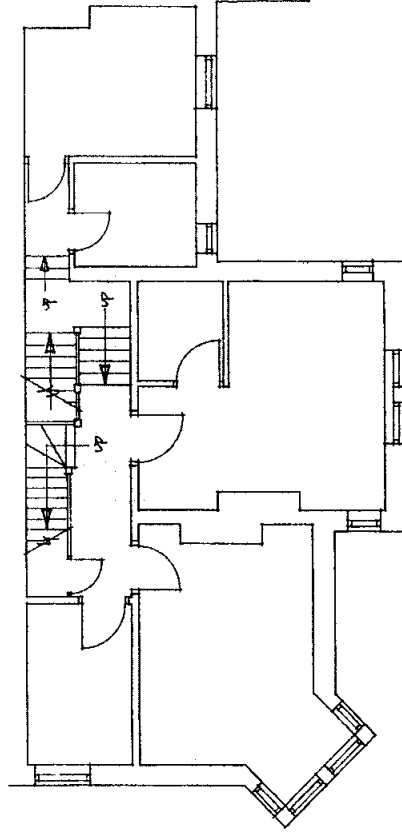
159

71 SCOTLAND ROAD - CARLISLE

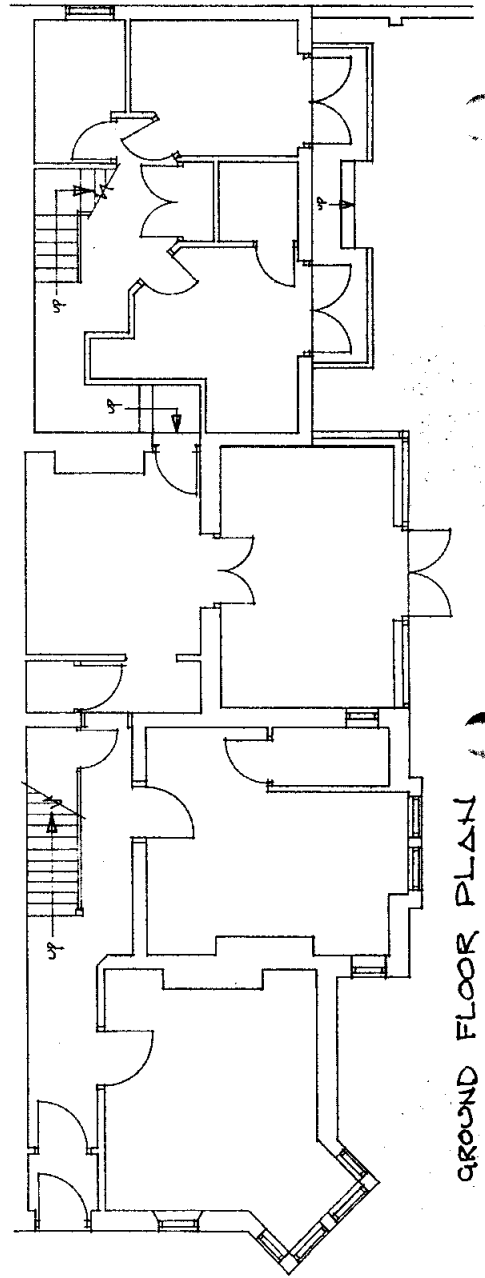
SCALE : 1-500



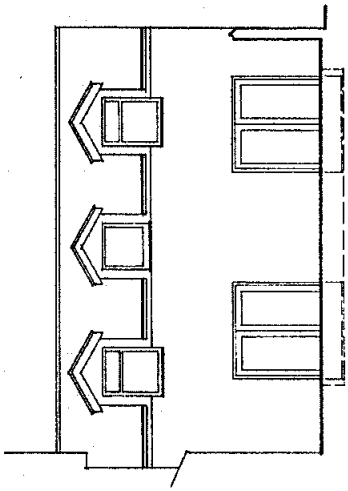
SECOND FLOOR PLAN



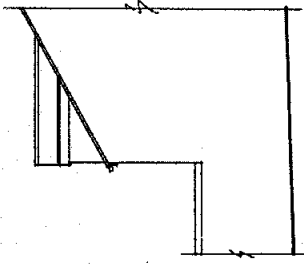
FIRST FLOOR PLAN



GROUND FLOOR PLAN



FRONT ELEVATION



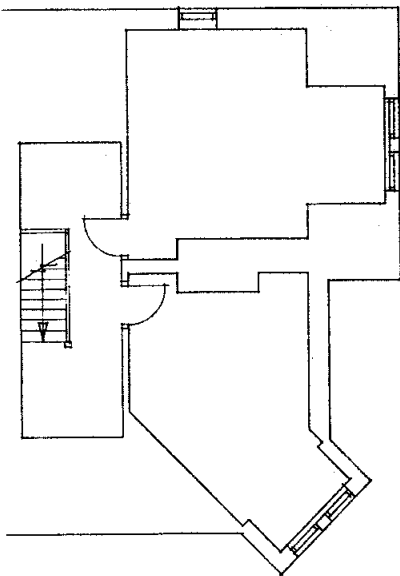
SIDE ELEVATION

AS EXISTING

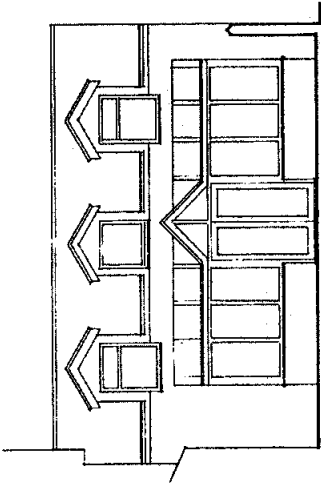
RECEIVED
16 OCT 2008
JACK GORDON

PROPOSED SEPARATE DWELLING
71 SCOTLAND ROAD - CARLISLE

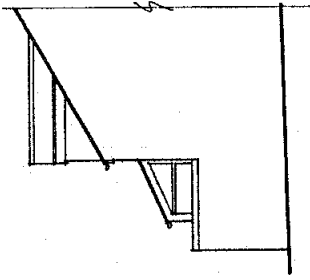
JACK GORDON
ARCHITECTURAL SERVICES
47 SCOTLAND ROAD
CARLISLE CB8
NR. C11 0TB
DATE: AUG. 2007



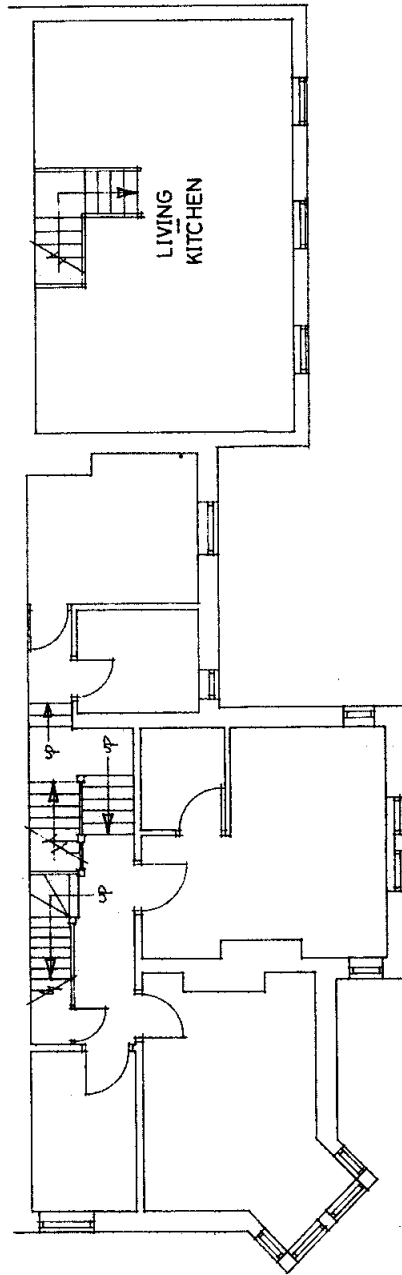
SECOND FLOOR PLAN



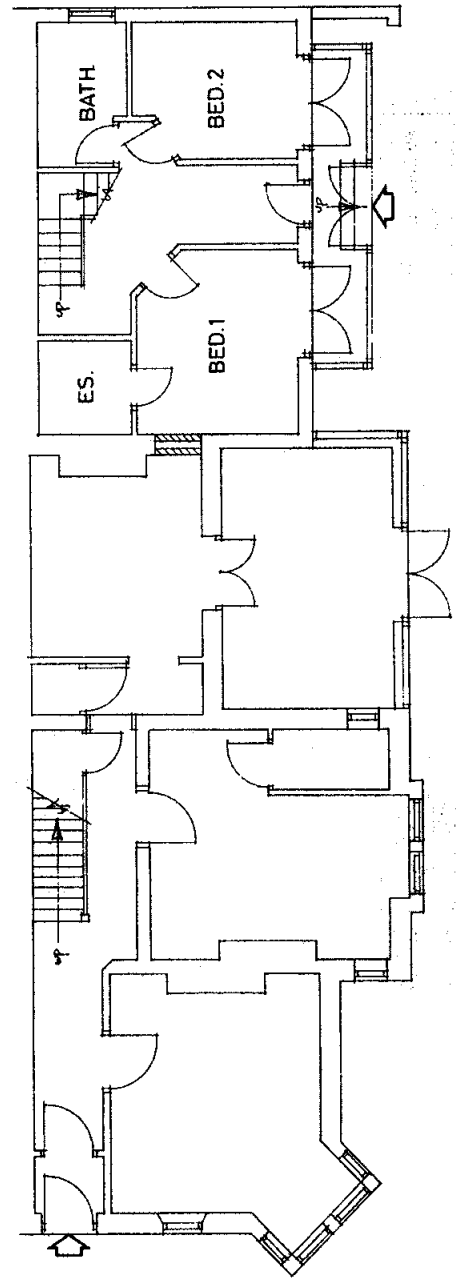
FRONT ELEVATION



SIDE ELEVATION



FIRST FLOOR PLAN



GROUND FLOOR PLAN

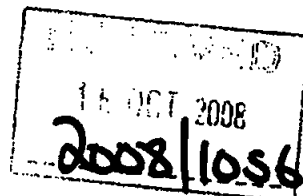
RECEIVED
11 OCT 2007
JOCK GORDON

AS PROPOSED

PROPOSED SEPARATE DWELLING 71 SCOTLAND ROAD - CARLISLE	
DRG. No. 1202 / 7 SCALE: 1-50 DATE: AUG. 2007	JOCK GORDON ARCHITECTURAL SERVICES 47 SCOTLAND ROAD CARLISLE CA3 9HS TEL: 01228 549389

**PROPOSED SUB-DIVISION OF DWELLING
TO FORM TWO SEPARATE DWELLINGS
AT
71 SCOTLAND ROAD - CARLISLE**

**SUPPORTIVE STATEMENT
FOR THE PLANNING APPLICATION**



This is a revised planning application to one submitted under application number 07/0976, and which was refused on 19/10/2007.

The application property is presently a large family dwelling house, being the end property of a terrace, with some of the bedrooms used as bed & breakfast accomodation; but fewer rooms than is necessary for planning permission for full guest house use.

The applicant now wishes to sell the property, but is finding a lack of interest with prospective purchasers. The property has been advertised for sale since November 2006, with various different local estate agencies, but without success, even though the selling price of the property has been reduced during the marketing period.

It has been suggested by some of the marketing agencies that the property would attract more interest if it is sub-divided into two separate dwellings, therefore making the two dwellings more affordable to prospective purchasers than the whole dwelling.

The main dwelling could then be marketed as a substantial family house, and the smaller dwelling as an affordable 'starter home'; of which there are very few in the Stanwix area, and which could allow a lower income family the opportunity of accessing one of the better junior schools in the city.

The original planning application was refused because of lack of amenity space for the proposed new dwelling, and insufficient off-street parking provision.

The application property is on the corner of Scotland Road and Rosebery Road, both of which roads provide ample on-street parking, which the applicant uses. There is also a public car park at the top of Scotland Road. Scotland Road is a main arterial road into the city with a number of different regular bus services, and the property is approximately a 15 minute walk from the city centre.

It is contended that a precedent has been set by the City Council when planning permission was granted, (application reference 05/0978), for a similar scheme to this application, at 51 Scotland Road, Carlisle, for a new-build detached dwelling, in the rear garden of a large end of terrace Grade II Listed family house, which fronts onto Thornton Road.

The new dwelling has one off-street parking space, the access to which is invariably blocked by on-street parking, and has no external amenity space.

The existing dwelling has extremely limited amenity space for a large family house, with one off-street parking space, which the occupier does not use because the entrance to the parking space is blocked by on-street parking, as happens with the new dwelling.

The present application for the sub-division of 71 Scotland Road provides one off-street parking space for each dwelling, and external amenity space for each dwelling; more than is provided for the two properties at the previously mentioned scheme at 51 Scotland Road. Plus, there is ample on-street parking on both Scotland Road and Rosebery Road for the two proposed properties, which facility is not available at 51 Scotland Road/Thornton Road.

SCHEDULE A: Applications with Recommendation

08/1091

Item No: 07

Date of Committee: 19/12/2008

Appn Ref No:
08/1091

Applicant:
A & S Developments

Parish:
Stanwix Rural

Date of Receipt:
28/10/2008 11:30:14

Agent:
Tsada Building Design
Services

Ward:
Stanwix Rural

Location:
Land To The Rear Of 42 The Green, Houghton,
Carlisle, CA3 0LA

Grid Reference:
340926 559183

Proposal: Erection Of 3no. Bungalows With Garages (Part Retrospective/Revised Application)

Amendment:

1. Inclusion of an attic window to the gable of Plot A; and,
A 0.45 metre increase in the height of the stone boundary wall to the rear of 'Spring Grove'.

REPORT

Case Officer: Sam Greig

Reason for Determination by Committee:

This application is brought before the Development Control Committee for determination as a Ward Councillor wishes to exercise their right to speak against the application.

1. Constraints and Planning Policies

Gas Pipeline Safeguarding Area

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP10 - Sustainable Drainage Systems

Local Plan Pol H1 - Location of New Housing Develop.

Local Plan Pol T1- Parking Guidelines for Development

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): no objections, subject to the imposition of four highway related conditions that were attached to the previous consent;

Stanwix Rural Parish Council: in response to the original plans submitted the Parish Council commented that they were concerned regarding the loss of privacy once enjoyed by the neighbouring property, Spring Grove.

In order to mitigate this loss of privacy the Parish Council strongly recommended that the applicant raised the boundary wall to an appropriate height to prevent overlooking.

The application has been amended in accordance with the suggestion of the Parish Council and they have since commented that they do not wish to raise any objections;

Environment Agency (N Area (+ Waste Disp)): confirmed verbally that they do not wish to make any comments;

Community Services - Drainage Engineer: awaiting comments;

United Utilities (former Norweb & NWWA): no objection to the proposal provided surface water drains to the watercourse as stated on the application form.

Deep rooted shrubs and trees should not be planted in the vicinity of the public sewer that runs through the site and overflow systems;

Development Services Planning & Housing Services - Local Plans (Trees): no comments;

National Grid UK Transmission: no objections;

Development Services Planning & Housing Services - Local Plans: no comments;

Northern Gas Networks: awaiting comments.

3. Summary of Representations

Representations Received

Initial:

Consulted:

Reply Type:

SCHEDULE A: Applications with Recommendation

08/1091

	39 The Green	30/10/08	
	40 The Green	30/10/08	
	41 The Green	30/10/08	
	160 Houghton Road	30/10/08	
	162 Houghton Road	30/10/08	
	14 Beech Grove	30/10/08	
	15 Beech Grove	30/10/08	
16 Beech Grove		30/10/08	Objection
	61 Tribune Drive	30/10/08	
	63 Tribune Drive	30/10/08	
	Stanwix Rural		Objection

- 3.1 This application has been advertised by means of a site notice and notification letters sent to ten neighbouring properties. In response one letter of objection has been received. The ground of objection relates to the loss of additional trees.
- 3.2 A letter of objection has also been received from Councillor Bainbridge. The grounds of objection relate to;
1. the impact of the development upon the occupiers of a neighbouring property, Spring Grove, as a result of loss of privacy;
 2. disturbance as a result of the construction works; and
 3. the retrospective nature of the application.

4. Planning History

- 4.1 In 1996 outline planning permission was sought for the erection of a dwelling. The application was withdrawn prior to determination (Application 96/0313).
- 4.2 In 1996 outline planning permission was granted for the erection of a dwelling and the formation of a vehicular access from Beech Grove (Application 96/0710).
- 4.3 In 1999 the renewal of a previous outline consent was granted for the erection of a dwelling (Application 99/0358).
- 4.4 In 2006 outline planning permission was granted for the erection of a three dwellings within the rear garden area of No.42 The Green (Application 06/1115).
- 4.5 In 2007 reserved matters approval was granted pursuant to the above outline consent (Application 07/0351).
- 4.6 In 2007 full planning permission was granted for the erection of a fourth dwelling (Application 07/0353).

- 4.7 In 2008 full planning permission was granted for a revision to application 07/0353 to include an annex (Application 08/0285).
- 4.8 In 2008 full planning permission was granted for the erection of three bungalows, which would replace the existing permission for the erection of two dormer bungalows (Application 08/0422).

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This revised application seeks full planning permission, retrospectively, for the erection of three detached bungalows on land to the rear of 42 The Green, which is situated off Houghton Road. The site is close to the centre of Houghton, and about 25 metres north of the village green. The application site is situated within part of the former garden of No.42, which is a substantial two storey property of traditional construction. The dwelling is finished in facing brick with a slate roof, incorporating traditional features such as stone quoins and window surrounds. The site is identified on the Inset Map that accompanies the Carlisle District Local Plan as being within a Local Service Centre and a Primary Residential Area.
- 5.2 The surroundings to the application site are wholly residential with the exception of Houghton School located beyond the southern boundary. To the east of the site lie two dormer bungalows that occupy the head of the cul de sac of Beech Grove. To the south lies a bungalow, No. 61 Tribune Drive. To the west lies another bungalow, Spring Grove, and the 'host' dwelling No. 42 The Green. To the north of the application site is a recently constructed two storey dwelling and a bungalow that share the same access as the dwellings hereby proposed. Excluding No. 42 The Green, the surrounding properties, which are of modern construction, are predominantly single storey/one or a half storey in height.

Background

- 5.3 In 2006 outline planning permission was granted by the Development Control Committee for the erection of a bungalow and two dormer bungalows. Following the approval of a Reserved Matters application the bungalow was built; however, due to concerns over the current housing market the applicants sought approval to erect three bungalows on the land that had planning permission to be occupied by the two dormer bungalows. This application was approved at the July meeting of the Development Control Committee (Application 08/0422).
- 5.4 Planning permission is now sought retrospectively to vary that consent. Whilst two of the bungalows have already been erected in accordance with the plans for which permission is now sought, Members are reminded that this fact

SCHEDULE A: Applications with Recommendation

08/1091

alone should not prejudice the determination of the application.

The Proposal

- 5.5 It is proposed to erect three modestly proportioned bungalows with integral garages on similarly sized plots. Plot A, which is the largest of the three plots would accommodate a three bedroom bungalow, whereas the remaining two smaller plots would accommodate two identical two bedroom bungalows. The dwellings, which are proportionate to the size of the individual plots, are to be finished in a combination of facing brick and natural stone with slate roofs.
- 5.6 The alterations to the previously approved consent for three bungalows relate to:
1. the omission of the peaked dormers above the patio door on the rear elevation of Plots A, B and C;
 2. the front door to Plots B and C have been repositioned further forward, thereby omitting a covered entrance porch;
 3. the hedge to the rear boundary, which abuts Beech Grove, is to be replaced by a 1.8 metre high timber fence;
 4. the existing stone wall to the rear of Spring Grove is to be raised by 0.45 metres to safeguard the privacy of its occupants;
 5. part of the ridgeline of Plot A has been raised by 0.6 metres and an attic window has been incorporated in the gable; and
 6. internal alterations to the layout of Plot A, which have had a knock on effect regarding the position of window openings and doors.
- 5.7 Vehicular and pedestrian access to the site would be by means of a private access road that has been formed between No.42 The Green and the neighbouring property, Spring Grove, as part of the previously agreed scheme. Each dwelling has parking provision for two vehicles on the driveway with further provision within the proposed garages. Two visitor car parking spaces are also available within this cul de sac development.
- 5.8 The existing boundary fences shall be retained; however, it is proposed to remove the hedge that aligns the eastern boundary and replace it with a 1.8 metre high timber fence. Substantial parts of this former well landscaped garden have been removed to facilitate implementation of the development; however, the applicants have retained several semi-mature trees around the periphery of the site which would be incorporated within the new landscaping scheme.
- 5.9 As agreed as part of the approved scheme to redevelop this site, a new wall has been erected to the rear of No.42 The Green, to form a walled garden that provides private amenity space to serve that property, which is to be

retained in residential use. Pedestrian and vehicular access to No.42 The Green will remain as existing and would be unaffected by this current application.

Assessment

5.10 The relevant planning policies against which the application is required to be assessed are Policies CP5, CP6, CP10, H1 and T1 of the Carlisle District Local Plan 2001-2016.

5.11 The proposals raise the following planning issues:

1. Principle Of Development

5.12 The application site lies within the settlement boundary of Houghton, which is identified as a Local Service Centre by Policy H1 of the Local Plan. The principle of residential development is therefore acceptable, subject to compliance with the criteria identified in Policy H1 and the other relevant policies contained within the adopted Local Plan.

5.13 In respect of this particular site, the principle of development for residential purposes has been established by the approval of previous applications, in particular the most recent application, which proposed the erection of three bungalows.

2. Scale And Layout Of The Development

5.14 The proposed dwelling types, which are of a similar scale and height, and the size of the plots within which they are situated, are comparable to the surrounding properties. The site location plan that has been reproduced in the schedule illustrates that the plot sizes are comparable to the neighbouring bungalows at 162 Houghton Road and 61 Tribune Drive. Adequate parking provision and amenity space has also been provided to serve the individual units.

3. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

5.15 The proposed house types, which are single storey only, have been chosen and positioned in such a way so as to minimise their impact on the neighbouring properties. The provision of 1.8 metre high fencing to the rear of the site will ensure that the occupants of Beech Grove will not be overlooked from any ground floor windows. In order to safeguard the privacy of the occupants of Spring Grove the existing wall is to be increased in height by 0.45 metres. It is not proposed to accommodate habitable rooms within the roof void; however, a condition has been imposed removing the future occupiers permitted development rights to insert roof lights or install dormer windows at a later date in order to safe privacy of the neighbouring dwellings.

5.16 Whilst the upper section of the bungalows and the roofs are likely to be visible

SCHEDULE A: Applications with Recommendation

08/1091

from neighbouring properties, given that the buildings are single storey in height, it is unlikely that the living conditions of the occupiers of the existing properties would be adversely affected through loss of light or overdominance.

4. Highway Safety

- 5.17 The parking and access arrangements are unchanged from the previous approvals. These arrangements are acceptable to the Highway Authority, subject to the imposition of highway related planning conditions. Although the Highway Authority suggested that four conditions are imposed, one of these condition is no longer relevant due to the advanced stage of the building works.

5. Landscaping

- 5.18 When outline permission was sought the City Council's Landscape Architect commented that although the garden of No. 42 was well stocked with trees and shrubs, a number of which are interesting or unusual for this area, the trees were not worthy of statutory protection by means of a Tree Preservation Order. The Landscape Architect stated that the trees that were present were relatively small with very limited public visibility, and, as such, there would not be a significant loss of public amenity if these trees were removed. In respect of this current proposal, which includes the removal of the hedge that aligns the boundary with Beech Grove, the Council's Landscape Architect has raised observations.
- 5.19 The majority of the landscaped features that existed have been removed to facilitate the implementation of the development. Several semi-mature trees have been retained, with a view to incorporating them into the gardens of the proposed dwellings, and additional planting is proposed. The implementation of the landscaping scheme can be achieved through the imposition of an appropriately worded condition.

6. Other Matters

- 5.20 Councillor Bainbridge has voiced concern on behalf of local residents that, if the scheme were approved, construction traffic/works would cause undue disturbance to neighbouring residents. It is normally reasoned that such disturbance is an inevitable temporary manifestation of any development project and is not the concern of the planning system unless there would be exceptional harm to amenity. Where this is the case, a planning condition restricting the construction hours could be applied. Whilst there is sympathy for the immediate neighbours, the construction of these dwellings is unlikely to cause exceptional harm to their living conditions of the neighbouring residents and, therefore, in this instance, Members are advised that the imposition of such a condition is not appropriate, particularly as two of the dwellings are now largely constructed.
- 5.21 In overall terms, the principle of the development is acceptable. The dwellings

can be accommodated on the site without detriment to the living conditions of the neighbouring properties through loss of light, privacy or overdominance. Adequate amenity space, in-curtilage parking provision and visitor car parking would be available to serve the dwellings. It has previously been established that the access serving the development is capable of accommodating the traffic associated with these units and that the level of traffic generated by the proposal would not prejudice highway safety. Sufficient parking and amenity space would also be retained to serve No.42 The Green. In all aspects the proposals are considered to be compliant with the objectives of the relevant Local Plan policies.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 Article 8 and Article 1 Protocol 1 are relevant but the impact of the development in these respects will be minimal and the separate rights of the individuals under this legislation will not be prejudiced.

7. Recommendation - Grant Permission

1. The materials to be used shall be in accordance with those details submitted to the Local Planning Authority and discharged under condition 3 of application 06/1115 unless otherwise agreed, in writing, by the Local Planning Authority.

Reason: To ensure that materials to be used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

SCHEDULE A: Applications with Recommendation

08/1091

2. The hard surface materials to be used shall be in accordance with those details submitted to the Local Planning Authority and discharged under condition 4 of application 06/1115 unless otherwise agreed, in writing, by the Local Planning Authority.

Reason: To ensure that materials to be used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

3. The development hereby approved shall be landscaped in accordance with the details contained on Drawing No. 11/3/2007/IJ, received 24th November 2008, prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants, which die or are removed within the first five years following the implementation of the landscaping scheme, shall be replaced during the next planting season.

Reason: To ensure that an acceptable landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. The dwellings shall not be occupied until visibility splays providing clear visibility of 2.4 metres by 25 metres metres measured down the centre of the access road and the nearside channel line of the major road have been provided at the junction of the access road with the county highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grown within the visibility splay which obstruct the visibility splays. The visibility splays shall be constructed before general development of the site commences so that construction traffic is safeguarded.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

5. Prior to the access being brought into use a 2.4 metre x 2.4 metre pedestrian visibility sight splay as measured from the highway boundary, shall be provided on both sides of the vehicular access. There shall be no obstruction above a height of 600mm as measured from the finished surface of the access within the area of the visibility sight splays thereafter.

Reason: To provide adequate inter-visibility between the pedestrians and users of the access and the existing public highway in accordance with Local Transport Policies LD7 and LD8.

6. The dwellings shall not be occupied until the parking, loading, unloading and manoeuvring facilities have been constructed in accordance with Drawing

SCHEDULE A: Applications with Recommendation

08/1091

No. 11/3/2007/IJ, received 24th November 2008. The parking, loading, unloading and manoeuvring areas shall be kept available for those purposes at all times and shall not be used for any other purpose.

Reason: The carrying out of this development without the provision of these facilities during the construction works is likely to lead to inconvenience and danger to road users and to support Local Transport Policies S3, LD7, P10 and LD5.

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no additional skylights or dormer windows shall be inserted in any of the roof slopes of the dwellings hereby approved without the permission of the Local Planning Authority.

Reason: In order to protect the privacy of residents in close proximity to the site and to ensure compliance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

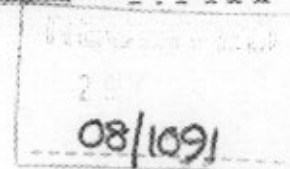


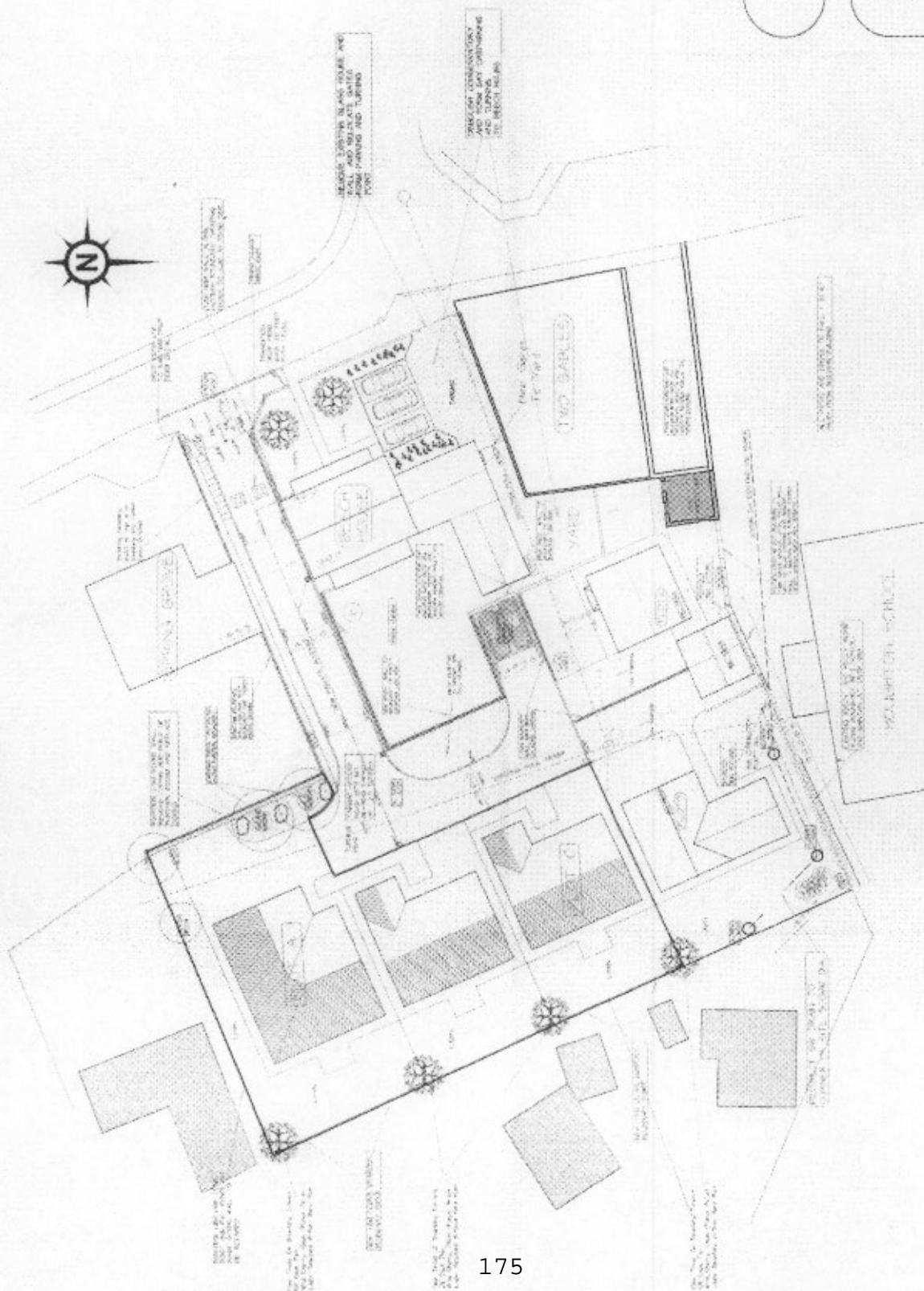
Houghton Road, Houghton

Scale: 1:1,250 Date: 13/06/2006



Civic Centre
Rickergate
Carlisle





REVISION
21 2 00
C8/00

TSADA BUILDING DESIGN SERVICES

TSADA Building Design Services Ltd
10000 Highway 10, Suite 100, Richmond, BC V6V 1K2
Tel: (604) 273-1234 Fax: (604) 273-1235
E-mail: tsada@tsada.com

Job title
BLOCK PLAN UNIT 4
TO LAYOUT AT REAR OF THE BUILDING
MOUNTAIN CREST, BC

TSADA Building Design Services Ltd
10000 Highway 10, Suite 100, Richmond, BC V6V 1K2
Tel: (604) 273-1234 Fax: (604) 273-1235
E-mail: tsada@tsada.com

Drawn by	Checked by	Approved by	Drawn No.
TSADA	TSADA	TSADA	10000
Date	Date	Date	Date
27/9/2007	27/9/2007	27/9/2007	27/9/2007

BLOCK PLAN 1200



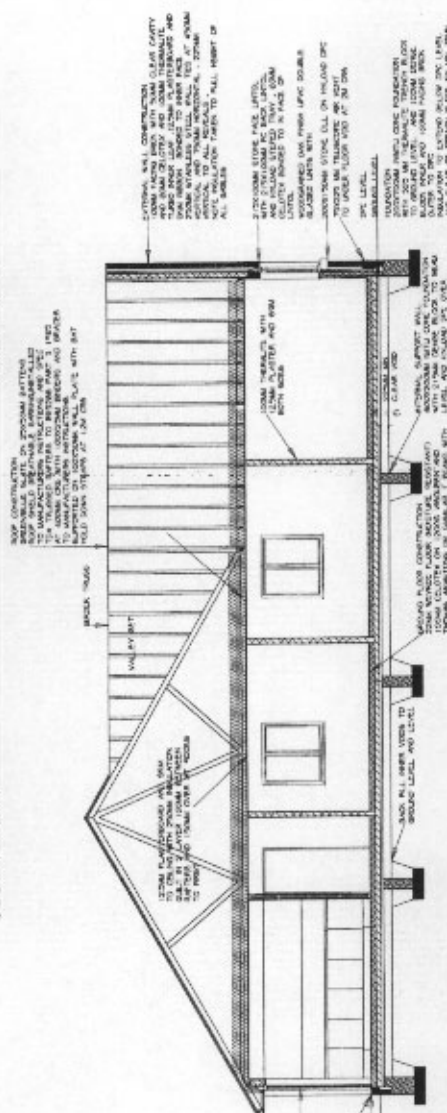
NORTH WEST

NORTH EAST

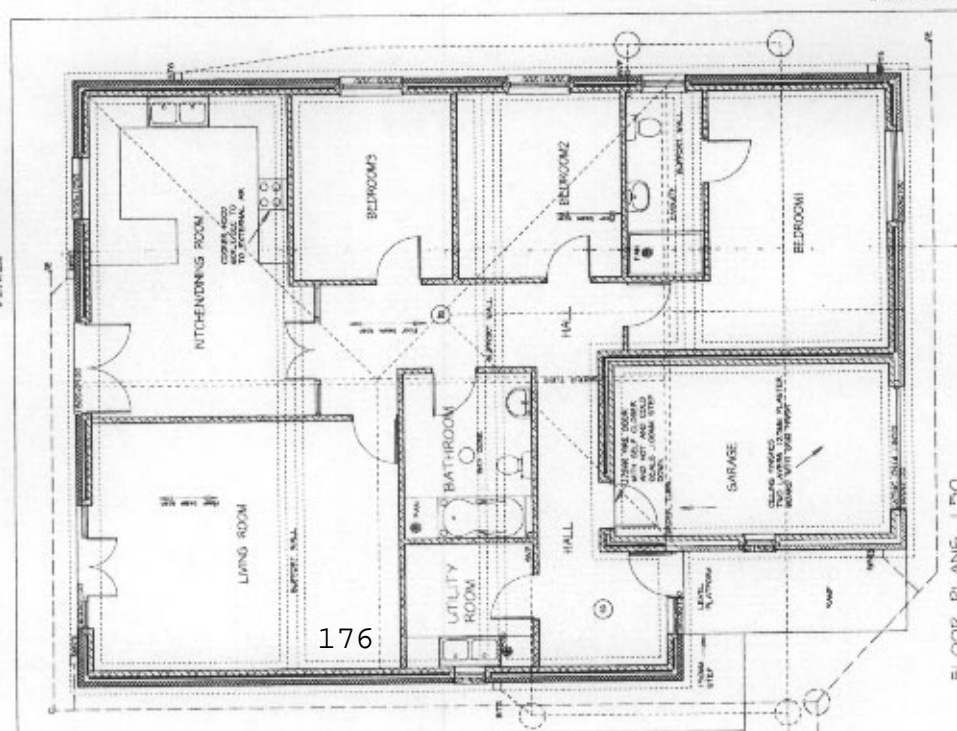
SOUTH EAST

SOUTH WEST

ELEVATIONS 1:100



LONG SECTION THROUGH DWELLING 1:50



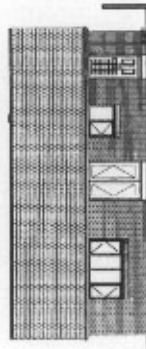
RECEIVED
11 MAY 2004
08/10/11

TSADA BUILDING DESIGN SERVICES
Trade Cottage, Longwood, Carlisle, Cumbria CA15 9NA
Telephone: (01282) 791807

Job title
**PLOT A
BLECH GROVE GARDENS
ELEVATIONS & FLOOR PLAN**

All plans shown are prepared by Tsada Building Design Services and are subject to the terms and conditions of the contract. Any other plans shown are the property of the client and are not to be used for any other purpose without the written consent of the client.

Dwg No.	Client
1/14/2006/BC	A & S DEVELOPMENTS B DRAWS STANLEY CARPENTER
Scale	Amendments
1:100	1. LIVING ROOM 2. DINING ROOM 3. KITCHEN 4. UTILITY ROOM 5. BATHROOM 6. BEDROOMS 7. NURSERY 8. GARAGE 9. PORCH
Date	Drawing by
2014/2006	W.R. FALDER



NORTH WEST

PLOT 3 & C ELEVATIONS 1.100

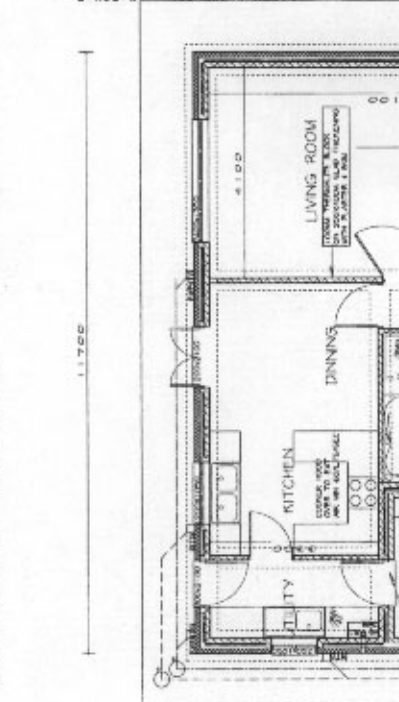
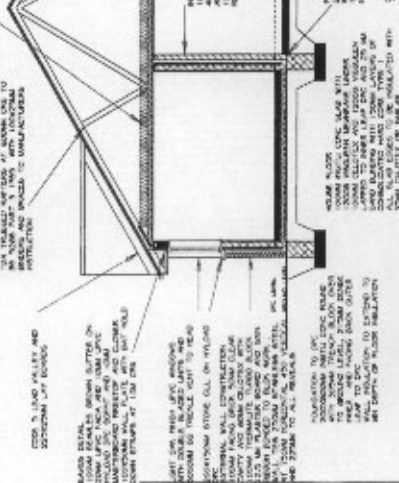
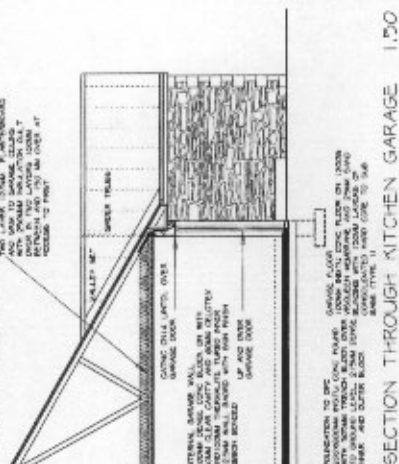


Figure 1. (continued)

THE 2014-2015 BURN CENTER RANKING IS BASED ON DATA FROM THE 2014-2015 BURN CENTER SURVEY. THE SURVEY IS CONDUCTED BY THE AMERICAN BURN ASSOCIATION (ABA) AND THE AMERICAN SOCIETY OF BURN SURGEONS (ASBS). THE SURVEY IS A KEY COMPONENT OF THE BURN CENTER CERTIFICATION PROGRAM. THE SURVEY RESULTS ARE USED TO RANK BURN CENTERS AND TO IDENTIFY AREAS FOR IMPROVEMENT. THE SURVEY IS CONDUCTED ANNUALLY AND THE RESULTS ARE RELEASED IN THE FOLLOWING YEAR.

WITH HOT AND COLD
WALLS WITH HEIL CLIMATE
AND ROOMS WITH HEIL ZONE

THE UNIVERSITY OF CHICAGO
CHICAGO, ILLINOIS 60637

DEAR MR. [REDACTED]:

I have your letter of [REDACTED] dated [REDACTED]. I am sorry that I cannot give you a more definitive answer at this time. The matter is still under review.

Sincerely,
[Signature]

[Name]
[Title]
[Department]
[University]

1. **THE STATE OF TEXAS, COUNTY OF DALLAS, ss. I, JAMES E. HARRIS, Clerk of the County Court, do hereby certify that the within and foregoing is a true and correct copy of the original as the same appears on the records of said County Court.**
 2. **WITNESSES MY HAND AND SEAL OF OFFICE, this 14th day of May, 1906.**
 3. **JAMES E. HARRIS, Clerk of the County Court.**
 4. **NOTARIAL PUBLIC, My Commission Expires May 14, 1907.**
 5. **ATTEST:**
 6. **JOHN W. HARRIS, Notary Public.**
 7. **My Comm. Expires May 14, 1907.**
 8. **JOHN W. HARRIS, Notary Public.**
 9. **My Comm. Expires May 14, 1907.**
 10. **JOHN W. HARRIS, Notary Public.**
 11. **My Comm. Expires May 14, 1907.**
 12. **JOHN W. HARRIS, Notary Public.**
 13. **My Comm. Expires May 14, 1907.**
 14. **JOHN W. HARRIS, Notary Public.**
 15. **My Comm. Expires May 14, 1907.**
 16. **JOHN W. HARRIS, Notary Public.**
 17. **My Comm. Expires May 14, 1907.**
 18. **JOHN W. HARRIS, Notary Public.**
 19. **My Comm. Expires May 14, 1907.**
 20. **JOHN W. HARRIS, Notary Public.**
 21. **My Comm. Expires May 14, 1907.**
 22. **JOHN W. HARRIS, Notary Public.**
 23. **My Comm. Expires May 14, 1907.**
 24. **JOHN W. HARRIS, Notary Public.**
 25. **My Comm. Expires May 14, 1907.**
 26. **JOHN W. HARRIS, Notary Public.**
 27. **My Comm. Expires May 14, 1907.**
 28. **JOHN W. HARRIS, Notary Public.**
 29. **My Comm. Expires May 14, 1907.**
 30. **JOHN W. HARRIS, Notary Public.**
 31. **My Comm. Expires May 14, 1907.**
 32. **JOHN W. HARRIS, Notary Public.**
 33. **My Comm. Expires May 14, 1907.**
 34. **JOHN W. HARRIS, Notary Public.**
 35. **My Comm. Expires May 14, 1907.**
 36. **JOHN W. HARRIS, Notary Public.**
 37. **My Comm. Expires May 14, 1907.**
 38. **JOHN W. HARRIS, Notary Public.**
 39. **My Comm. Expires May 14, 1907.**
 40. **JOHN W. HARRIS, Notary Public.**
 41. **My Comm. Expires May 14, 1907.**
 42. **JOHN W. HARRIS, Notary Public.**
 43. **My Comm. Expires May 14, 1907.**
 44. **JOHN W. HARRIS, Notary Public.**
 45. **My Comm. Expires May 14, 1907.**
 46. **JOHN W. HARRIS, Notary Public.**
 47. **My Comm. Expires May 14, 1907.**
 48. **JOHN W. HARRIS, Notary Public.**
 49. **My Comm. Expires May 14, 1907.**
 50. **JOHN W. HARRIS, Notary Public.**
 51. **My Comm. Expires May 14, 1907.**
 52. **JOHN W. HARRIS, Notary Public.**
 53. **My Comm. Expires May 14, 1907.**
 54. **JOHN W. HARRIS, Notary Public.**
 55. **My Comm. Expires May 14, 1907.**
 56. **JOHN W. HARRIS, Notary Public.**
 57. **My Comm. Expires May 14, 1907.**
 58. **JOHN W. HARRIS, Notary Public.**
 59. **My Comm. Expires May 14, 1907.**
 60. **JOHN W. HARRIS, Notary Public.**
 61. **My Comm. Expires May 14, 1907.**
 62. **JOHN W. HARRIS, Notary Public.**
 63. **My Comm. Expires May 14, 1907.**
 64. **JOHN W. HARRIS, Notary Public.**
 65. **My Comm. Expires May 14, 1907.**
 66. **JOHN W. HARRIS, Notary Public.**
 67. **My Comm. Expires May 14, 1907.**
 68. **JOHN W. HARRIS, Notary Public.**
 69. **My Comm. Expires May 14, 1907.**
 70. **JOHN W. HARRIS, Notary Public.**
 71. **My Comm. Expires May 14, 1907.**
 72. **JOHN W. HARRIS, Notary Public.**
 73. **My Comm. Expires May 14, 1907.**
 74. **JOHN W. HARRIS, Notary Public.**
 75. **My Comm. Expires May 14, 1907.**
 76. **JOHN W. HARRIS, Notary Public.**
 77. **My Comm. Expires May 14, 1907.**
 78. **JOHN W. HARRIS, Notary Public.**
 79. **My Comm. Expires May 14, 1907.**
 80. **JOHN W. HARRIS, Notary Public.**
 81. **My Comm. Expires May 14, 1907.**
 82. **JOHN W. HARRIS, Notary Public.**
 83. **My Comm. Expires May 14, 1907.**
 84. **JOHN W. HARRIS, Notary Public.**
 85. **My Comm. Expires May 14, 1907.**
 86. **JOHN W. HARRIS, Notary Public.**
 87. **My Comm. Expires May 14, 1907.**
 88. **JOHN W. HARRIS, Notary Public.**
 89. **My Comm. Expires May 14, 1907.**
 90. **JOHN W. HARRIS, Notary Public.**
 91. **My Comm. Expires May 14, 1907.**
 92. **JOHN W. HARRIS, Notary Public.**
 93. **My Comm. Expires May 14, 1907.**
 94. **JOHN W. HARRIS, Notary Public.**
 95. **My Comm. Expires May 14, 1907.**
 96. **JOHN W. HARRIS, Notary Public.**
 97. **My Comm. Expires May 14, 1907.**
 98. **JOHN W. HARRIS, Notary Public.**
 99. **My Comm. Expires May 14, 1907.**
 100. **JOHN W. HARRIS, Notary Public.**
 101. **My Comm. Expires May 14, 1907.**
 102. **JOHN W. HARRIS, Notary Public.**
 103. **My Comm. Expires May 14, 1907.**
 104. **JOHN W. HARRIS, Notary Public.**
 105. **My Comm. Expires May 14, 1907.**
 106. **JOHN W. HARRIS, Notary Public.**
 107. **My Comm. Expires May 14, 1907.**
 108. **JOHN W. HARRIS, Notary Public.**
 109. **My Comm. Expires May 14, 1907.**
 110. **JOHN W. HARRIS, Notary Public.**
 111. **My Comm. Expires May 14, 1907.**
 112. **JOHN W. HARRIS, Notary Public.**
 113. **My Comm. Expires May 14, 1907.**
 114. **JOHN W. HARRIS, Notary Public.**
 115. **My Comm. Expires May 14, 1907.**
 116. **JOHN W. HARRIS, Notary Public.**
 117. **My Comm. Expires May 14, 1907.**
 118. **JOHN W. HARRIS, Notary Public.**
 119. **My Comm. Expires May 14, 1907.**
 120. **JOHN W. HARRIS, Notary Public.**
 121. **My Comm. Expires May 14, 1907.**
 122. **JOHN W. HARRIS, Notary Public.**
 123. **My Comm. Expires May 14, 1907.**
 124. **JOHN W. HARRIS, Notary Public.**
 125. **My Comm. Expires May 14, 1907.**
 126. **JOHN W. HARRIS, Notary Public.**
 127. **My Comm. Expires May 14, 1907.**
 128. **JOHN W. HARRIS, Notary Public.**
 129. **My Comm. Expires May 14, 1907.**
 130. **JOHN W. HARRIS, Notary Public.**
 131. **My Comm. Expires May 14, 1907.**
 132. **JOHN W. HARRIS, Notary Public.**
 133. **My Comm. Expires May 14, 1907.**
 134. **JOHN W. HARRIS, Notary Public.**
 135. **My Comm. Expires May 14, 1907.**
 136. **JOHN W. HARRIS, Notary Public.**
 137. **My Comm. Expires May 14, 1907.**
 138. **JOHN W. HARRIS, Notary Public.**
 139. **My Comm. Expires May 14, 1907.**
 140. **JOHN W. HARRIS, Notary Public.**
 141. **My Comm. Expires May 14, 1907.**
 142. **JOHN W. HARRIS, Notary Public.**
 143. **My Comm. Expires May 14, 1907.**
 144. **JOHN W. HARRIS, Notary Public.**
 145. **My Comm. Expires May 14, 1907.**
 146. **JOHN W. HARRIS, Notary Public.**
 147. **My Comm. Expires May 14, 1907.**
 148. **JOHN W. HARRIS, Notary Public.**
 149. **My Comm. Expires May 14, 1907.**
 150. **JOHN W. HARRIS, Notary Public.**
 151. **My Comm. Expires May 14, 1907.</**

Floor plan of the second floor. The plan includes a Study Office, an En suite, a Bedroom, and a Garage. The Study Office is at the top, connected to the En suite. The Bedroom is below the En suite. The Garage is at the bottom, with a note "Access to main garage face" pointing to a door. Dimensions are given for the main sections: 11'0" for the Study Office/En suite area, 11'0" for the Bedroom, and 11'0" for the Garage area.

[illegible]

WILLIAM C. MOORE JR. JR. CHIEF CLERK
CHIEF JR. JR. CHIEF CLERK 617 1017 KENNEDY TWP
TOWNSHIP 1017 40001 1001 1017 40001 1017 1017 40001 1017
JAMES W. MOORE JR.

ANSWERS

A) PLANNED TO CHANGE INTO A COMPANY AND
RECEIVE THE SHARE.

A) YES, BUT THERE ARE PROBLEMS TO BE SOLVED
FOR THE COMPANY.

© 2001 by The McGraw-Hill Companies, Inc. All rights reserved. Printed in the United States of America. This book is printed on acid-free paper. 10 9 8 7 6 5 4 3 2 1

2000
2001
2002
2003
2004
2005
2006
2007
2008
2009
2010
2011
2012
2013
2014
2015
2016
2017
2018
2019
2020
2021
2022
2023
2024
2025
2026
2027
2028
2029
2030
2031
2032
2033
2034
2035
2036
2037
2038
2039
2040
2041
2042
2043
2044
2045
2046
2047
2048
2049
2050
2051
2052
2053
2054
2055
2056
2057
2058
2059
2060
2061
2062
2063
2064
2065
2066
2067
2068
2069
2070
2071
2072
2073
2074
2075
2076
2077
2078
2079
2080
2081
2082
2083
2084
2085
2086
2087
2088
2089
2090
2091
2092
2093
2094
2095
2096
2097
2098
2099
2100
2101
2102
2103
2104
2105
2106
2107
2108
2109
2110
2111
2112
2113
2114
2115
2116
2117
2118
2119
2120
2121
2122
2123
2124
2125
2126
2127
2128
2129
2130
2131
2132
2133
2134
2135
2136
2137
2138
2139
2140
2141
2142
2143
2144
2145
2146
2147
2148
2149
2150
2151
2152
2153
2154
2155
2156
2157
2158
2159
2160
2161
2162
2163
2164
2165
2166
2167
2168
2169
2170
2171
2172
2173
2174
2175
2176
2177
2178
2179
2180
2181
2182
2183
2184
2185
2186
2187
2188
2189
2190
2191
2192
2193
2194
2195
2196
2197
2198
2199
2200
2201
2202
2203
2204
2205
2206
2207
2208
2209
2210
2211
2212
2213
2214
2215
2216
2217
2218
2219
2220
2221
2222
2223
2224
2225
2226
2227
2228
2229
2230
2231
2232
2233
2234
2235
2236
2237
2238
2239
2240
2241
2242
2243
2244
2245
2246
2247
2248
2249
2250
2251
2252
2253
2254
2255
2256
2257
2258
2259
2260
2261
2262
2263
2264
2265
2266
2267
2268
2269
2270
2271
2272
2273
2274
2275
2276
2277
2278
2279
2280
2281
2282
2283
2284
2285
2286
2287
2288
2289
2290
2291
2292
2293
2294
2295
2296
2297
2298
2299
2300
2301
2302
2303
2304
2305
2306
2307
2308
2309
2310
2311
2312
2313
2314
2315
2316
2317
2318
2319
2320
2321
2322
2323
2324
2325
2326
2327
2328
2329
2330
2331
2332
2333
2334
2335
2336
2337
2338
2339
2340
2341
2342
2343
2344
2345
2346
2347
2348
2349
2350
2351
2352
2353
2354
2355
2356
2357
2358
2359
2360
2361
2362
2363
2364
2365
2366
2367
2368
2369
2370
2371
2372
2373
2374
2375
2376
2377
2378
2379
2380
2381
2382
2383
2384
2385
2386
2387
2388
2389
2390
2391
2392
2393
2394
2395
2396
2397
2398
2399
2400
2401
2402
2403
2404
2405
2406
2407
2408
2409
2410
2411
2412
2413
2414
2415
2416
2417
2418
2419
2420
2421
2422
2423
2424
2425
2426
2427
2428
2429
2430
2431
2432
2433
2434
2435
2436
2437
2438
2439
2440
2441
2442
2443
2444
2445
2446
2447
2448
2449
2450
2451
2452
2453
2454
2455
2456
2457
2458
2459
2460
2461
2462
2463
2464
2465
2466
2467
2468
2469
2470
2471
2472
2473
2474
2475
2476
2477
2478
2479
2480
2481
2482
2483
2484
2485
2486
2487
2488
2489
2490
2491
2492
2493
2494
2495
2496
2497
2498
2499
2500
2501
2502
2503
2504
2505
2506
2507
2508
2509
2510
2511
2512
2513
2514
2515
2516
2517
2518
2519
2520
2521
2522
2523
2524
2525
2526
2527
2528
2529
2530
2531
2532
2533
2534
2535
2536
2537
2538
2539
2540
2541
2542
2543
2544
2545
2546
2547
2548
2549
2550
2551
2552
2553
2554
2555
2556
2557
2558
2559
2560
2561
2562
2563
2564
2565
2566
2567
2568
2569
2570
2571
2572
2573
2574
2575
2576
2577
2578
2579
2580
2581
2582
2583
2584
2585
2586
2587
2588
2589
2590
2591
2592
2593
2594
2595
2596
2597
2598
2599
2600
2601
2602
2603
2604
2605
2606
2607
2608
2609
2610
2611
2612
2613
2614
2615
2616
2617
2618
2619
2620
2621
2622
2623
2624
2625
2626
2627
2628
2629
2630
2631
2632
2633
2634
2635
2636
2637
2638
2639
2640
2641
2642
2643
2644
2645
2646
2647
2648
2649
2650
2651
2652
2653
2654
2655
2656
2657
2658
2659
2660
2661
2662
2663
2664
2665
2666
2667
2668
2669
2670
2671
2672
2673
2674
2675
2676
2677
2678
2679
2680
2681
26

[illegible]

Author's address: Department of Mathematics, University of Illinois at Chicago, Chicago, IL 60607-7143, USA.
E-mail: mahdian@uic.edu

INTO SALLIES
 LONG PEA GRANTS, SURROUNDED TO ALL WITNESSES
 AND FALL, LAY TO MAKE I IN 60
 ALL FOR WORK, PASSING THROUGH WALLS

Job title

[illegible]

1500 4000

PROPOSED
BEECH GR

1987-1988
1989-1990
1991-1992
1993-1994
1995-1996
1997-1998
1999-2000
2001-2002
2003-2004
2005-2006
2007-2008
2009-2010
2011-2012
2013-2014
2015-2016
2017-2018
2019-2020
2021-2022
2023-2024
2025-2026
2027-2028
2029-2030
2031-2032
2033-2034
2035-2036
2037-2038
2039-2040
2041-2042
2043-2044
2045-2046
2047-2048
2049-2050
2051-2052
2053-2054
2055-2056
2057-2058
2059-2060
2061-2062
2063-2064
2065-2066
2067-2068
2069-2070
2071-2072
2073-2074
2075-2076
2077-2078
2079-2080
2081-2082
2083-2084
2085-2086
2087-2088
2089-2090
2091-2092
2093-2094
2095-2096
2097-2098
2099-2100
2101-2102
2103-2104
2105-2106
2107-2108
2109-2110
2111-2112
2113-2114
2115-2116
2117-2118
2119-2120
2121-2122
2123-2124
2125-2126
2127-2128
2129-2130
2131-2132
2133-2134
2135-2136
2137-2138
2139-2140
2141-2142
2143-2144
2145-2146
2147-2148
2149-2150
2151-2152
2153-2154
2155-2156
2157-2158
2159-2160
2161-2162
2163-2164
2165-2166
2167-2168
2169-2170
2171-2172
2173-2174
2175-2176
2177-2178
2179-2180
2181-2182
2183-2184
2185-2186
2187-2188
2189-2190
2191-2192
2193-2194
2195-2196
2197-2198
2199-2200
2201-2202
2203-2204
2205-2206
2207-2208
2209-2210
2211-2212
2213-2214
2215-2216
2217-2218
2219-2220
2221-2222
2223-2224
2225-2226
2227-2228
2229-2230
2231-2232
2233-2234
2235-2236
2237-2238
2239-2240
2241-2242
2243-2244
2245-2246
2247-2248
2249-2250
2251-2252
2253-2254
2255-2256
2257-2258
2259-2260
2261-2262
2263-2264
2265-2266
2267-2268
2269-2270
2271-2272
2273-2274
2275-2276
2277-2278
2279-2280
2281-2282
2283-2284
2285-2286
2287-2288
2289-2290
2291-2292
2293-2294
2295-2296
2297-2298
2299-2300
2301-2302
2303-2304
2305-2306
2307-2308
2309-2310
2311-2312
2313-2314
2315-2316
2317-2318
2319-2320
2321-2322
2323-2324
2325-2326
2327-2328
2329-2330
2331-2332
2333-2334
2335-2336
2337-2338
2339-2340
2341-2342
2343-2344
2345-2346
2347-2348
2349-2350
2351-2352
2353-2354
2355-2356
2357-2358
2359-2360
2361-2362
2363-2364
2365-2366
2367-2368
2369-2370
2371-2372
2373-2374
2375-2376
2377-2378
2379-2380
2381-2382
2383-2384
2385-2386
2387-2388
2389-2390
2391-2392
2393-2394
2395-2396
2397-2398
2399-2400
2401-2402
2403-2404
2405-2406
2407-2408
2409-2410
2411-2412
2413-2414
2415-2416
2417-2418
2419-2420
2421-2422
2423-2424
2425-2426
2427-2428
2429-2430
2431-2432
2433-2434
2435-2436
2437-2438
2439-2440
2441-2442
2443-2444
2445-2446
2447-2448
2449-2450
2451-2452
2453-2454
2455-2456
2457-2458
2459-2460
2461-2462
2463-2464
2465-2466
2467-2468
2469-2470
2471-2472
2473-2474
2475-2476
2477-2478
2479-2480
2481-2482
2483-2484
2485-2486
2487-2488
2489-2490
2491-2492
2493-2494
2495-2496
2497-2498
2499-2500
2501-2502
2503-2504
2505-2506
2507-2508
2509-2510
2511-2512
2513-2514
2515-2516
2517-2518
2519-2520
2521-2522
2523-2524
2525-2526
2527-2528
2529-2530
2531-2532
2533-2534
2535-2536
2537-2538
2539-2540
2541-2542
2543-2544
2545-2546
2547-2548
2549-2550
2551-2552
2553-2554
2555-2556
2557-2558
2559-2560
2561-2562
2563-2564
2565-2566
2567-2568
2569-2570
2571-2572
2573-2574
2575-2576
2577-2578
2579-2580
2581-2582
2583-2584
2585-2586
2587-2588
2589-2590
2591-2592
2593-2594
2595-2596
2597-2598
2599-2600
2601-2602
2603-2604
2605-2606
2607-2608
2609-2610
2611-2612
2613-2614
2615-2616
2617-2618
2619-2620
2621-2622
2623-2624
2625-2626
2627-2628
2629-2630
2631-2632
2633-2634
2635-2636
2637-2638
2639-2640
2641-2642
2643-2644
2645-2646
2647-2648
2649-2650
2651-2652
2653-2654
2655-2656
2657-2658
2659-2660
2661-2662
2663-2664
2665-2666
2667-2668
2669-2670
2671-2672
2673-2674
2675-2676
2677-2678
2679-2680
2681-2682
2683-2684
2685-2686
2687-2688
2689-2690
2691-2692
2693-2694
2695-2696
2697-2698
2699-2700
2701-2702
2703-2704
2705-2706
2707-2708
2709-2710
2711-2712
2713-2714
2715-2716
2717-2718
2719-2720
2721-2722
2723-2724
2725-2726
2727-2728
2729-2730
27

[illegible][illegible][illegible]AC: academic credit
 b: before
 m: middle
 s: after

AND BE A PART OF THE LATEST IN JEWELRY DESIGN. BE INSPIRED BY THE LATEST TRENDS IN THE WORLD OF JEWELRY. VISIT US TODAY AT WWW.CARTEE.COM AND SEE THE LATEST IN JEWELRY DESIGN.

Amendments		Client
A	DESCRIPTION	

Drawing by

	B DYMES TERRACE STANWIX CARLSLE
--	---------------------------------------

Date _____

0
:
E
J
1

9
9
9
4
7
3
3
6

SCHEDULE B: Reports Requiring Further Information

08/1128

Item No: 08

Date of Committee: 19/12/2008

Appn Ref No:
08/1128

Applicant:
Mr M Akbari

Parish:
Carlisle

Date of Receipt:
10/11/2008

Agent:
Jock Gordon

Ward:
Denton Holme

Location:
60 Denton Street, Carlisle, Cumbria, CA2 5EH

Grid Reference:
339787 555142

Proposal: Change Of Use To Provide Hot Food Takeaway On The Ground Floor
With External Flue Pipe For The Extraction System On The Rear
Elevation, With Residential Flat On The First Floor Related To The
Takeaway

Amendment:

REPORT

Case Officer: Colin Godfrey

Reason for Determination by Committee:

This application is brought before the Development Control Committee because two objectors wish to exercise their Right to Speak.

1. Constraints and Planning Policies

Gas Pipeline Safeguarding Area

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

Flood Risk Zone

Local Plan Pol EC10 - Food and Drink

Local Plan Pol H2 - Primary Residential Area

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol LE27- Developed Land in Floodplains

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): Considering that there is a current hot food takeaway directly across the road at 109 Denton Street, it is believed that a precedent for this type of application at this location is established. It is therefore considered that the proposal will not have a material affect on existing highway conditions. I can therefore confirm that the Highway Authority has no objection to the proposal;

Environmental Services - Environmental Quality: The Environmental Quality Section has no observations on the above application.

Environmental Services - Food, Health & Safety: There are a number of concerns regarding this application

1. Impact on Residential Accommodation

- a) It would be necessary for a hot food takeaway to provide lidded pest proof bins. The entire yard area to the rear of the premises is unlikely to be available for the sole use of the business as this is the main access route to residential accommodation above adjacent premises.

The siting of bins or any other equipment associated with the business could therefore cause an obstruction to or from adjacent residential accommodation.

- b) There is limited space on the back wall for the siting of an extraction flue. It is foreseeable that noise from an extraction system will impact on adjacent residential accommodation and on properties on Trafalgar and Nelson Streets, the backs of which overlook the premises. There is also a risk that the flue will cause vibration nuisance to the adjacent residential accommodation.
- c) Odours from a hot food takeaway may impact on residential accommodation. It would be necessary to ensure that any extraction system installed was capable of suppressing and adequately dispersing fumes and odours
- d) If the application was successful, the provision of an appropriate grease trap should be a condition of approval.
- e) The hours of operation are unacceptable for a residential area. If the application is successful, it is advised that the hours of operation are in agreement with the most recent application for a hot food takeaway on the same street, which has a planning condition limiting the terminal trading hour to 10.30 pm.
- f) Denton Street is already well served by 6 takeaways and 2 restaurants, one of which also provides take away food. It is possible that the addition of further takeaways will add to the cumulative effect of noise, odour, litter and drainage problems.

SCHEDULE B: Reports Requiring Further Information

08/1128

2. Layout of Premises

- a) In food premises, rooms where food is prepared cannot connect directly with the WC. The arrangements shown on the plan for the separation of the WC from the food room are inadequate.

A lobby should be provided with inward opening doors. The lobby must be of sufficient size to allow one door to be closed before the other is opened. Ideally, the lobby should be ventilated to the outside air.

- b) In order to comply with food hygiene regulations, the layout, design, construction siting and size of food premises must permit, amongst other things, good food hygiene practices including the protection of contamination.

There are concerns that the limited space in the premises will lead to cramped conditions which are not conducive to food safety.

If the application was to be successful, this Department would expect further information to be provided prior to any works being carried out.

Northern Gas Networks: No objection to the proposals, however, there may be apparatus in the area that may be at risk during construction works and should the planning application be approved, then we require the promoter of these works to contact us directly to discuss our requirements in detail. Should diversionary works be required, these will be fully chargeable;

Environment Agency (N Area (+ Waste Disp)): A basic Flood Risk Assessment (FRA) has been produced in line with the minimum requirements of Planning Policy Statement 25: Development and Flood Risk (PPS25). Therefore the Agency has no objection to the development as proposed.

The Agency are in the process of constructing the flood defences in the Denton Holme area as part of the Carlisle and Caldew Flood Alleviation Scheme. Upon completion of the scheme the site will be defended to an appropriate standard.

The Applicant should be aware that construction of defences can never completely eliminate the risk of flooding, especially the potential from non-river sources, such as surface water flooding.

The Applicant should therefore be satisfied that the impact of any flooding would not adversely affect their proposals;

Cumbria Constabulary - Crime Prevention: Awaiting comments;

Development Services Planning & Housing Services - Access Officer: I note that the entrance door to the takeaway has been relocated from a central position to the left of the frontage.

SCHEDULE B: Reports Requiring Further Information

08/1128

Please note: -

1. The threshold where the door is to be put in should be a maximum of 10mm
2. Varied heights of the serving counter should be considered
3. Lighting should be adequate and if menu boards are put up on the walls, they should not be hampered by reflections from any windows

Policy CP15 of the Carlisle District Local Plan 2001-2016 should be complied with as well as Approved Document M. Applicants should be aware of their duties within the DDA.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
Robson Don Catering Services	11/11/08	Objection
62 Denton Street	11/11/08	
107 Denton Street	11/11/08	Objection
109 Denton Street	11/11/08	
111 Denton Street	11/11/08	
2 Trafalgar Street	11/11/08	
4 Trafalgar Street	11/11/08	
4 Nelson Street	11/11/08	

3.1 This application has been advertised by means of a site notice as well as notification letters sent to eight neighbouring properties. Two written objections have been received during the consultation period and are summarised below;

1. I do not feel that the area can cope with any more food outlets and feel that with the state of the economy that food outlet's do not help the state of small struggling business's in such a small area;
2. the closure of the post office has affected local traders and it is not felt that the addition of more food outlets will add value to local business'.
3. This change of land use will cause significant noise and disturbance to all the properties surrounding number 60, in particular flats 56a and 58a and to Holme Bistro at 56-58 Denton Street.
4. Extraction systems are very noisy and particularly noticeable. The tenants in the flat above Holme Bistro already notice the noise from our extractor fan, but this is usually switched off at the end of service around 8.30 pm. A takeaway, by its nature, will be open very much later and the noise from the fan will disturb residents, more so if they have young children who are trying to sleep. For no other reason than this alone I would urge the Authority to turn down this application.

SCHEDULE B: Reports Requiring Further Information

08/1128

5. There is a lane between Nelson Street and Trafalgar Street which adjoins No 60 and provides the only external staff access/exit to the Bistro and to the flats at 56A and 58A. Since taking over the Bistro, we have battled constantly with fly-tipping, with takeaway litter, and with youths loitering in the lane. We have to clean up the lane at our own expense to ensure clean access to our business.
6. There are already a considerable number of takeaway premises in Denton Holme , at least seven, not to mention takeaway facilities at the two bakers and the restaurant. This is more than enough. If planners and council members do not take the concerns of businesses into account then we have serious concerns that the small village atmosphere which attracts shoppers and diners alike from a wide outlying area will be dissipated to such an extent that Denton Holme will become another south Botchergate where people will not want to go, especially at night. This would be disastrous for Denton Holme.
7. We are also concerned about the proposal because of the effect it may have on the shared use of the yard. The yard is accessed by numbers 54, 56-58, 56A, and 58A. If the yard is to be used for refuse and waste then that would presumably involve building a new waste store. We already work very hard to ensure the yard is kept in a hygienic condition as befits restaurant premises. It would be detrimental to all the properties to have food refuse not properly controlled.

4. Planning History

- 4.1 In 2006, under application reference 05/1349, planning permission was given for a new shop front.

5. Details of Proposal/Officer Appraisal

- 5.1 This application seeks approval for the change of use of a terraced property located on the western side of Denton Street, between the intersections with Trafalgar Street and Nelson Street. The property is externally constructed from facing brick with a slate roof. The property faces directly on to the pavement with an enclosed yard to the rear which provides shared access to a number of neighbouring properties. A bistro adjoins the property to the north. To the south there is a narrow passage that allows access to the aforementioned yard and also serves a number of other properties. A bakers is located on the other side of the passageway.
- 5.2 The proposal seeks change of use from a bakers to a hot food takeaway. The

SCHEDULE B: Reports Requiring Further Information

08/1128

applicants are seeking permission to operate between the hours of 16.00 to 01.00 Monday to Saturday and between the hours of 16.00 to 0.00 on a Sunday. The only external changes proposed are the erection of a flue to the rear and the relocation of the main front entrance of the shop from its current central location to the side of the shop front.

5.3 The relevant policies against which this application is required to be assessed are policies EC10, H2, CP6 and LE27 of the adopted Carlisle District Local Plan (2001-2016).

5.4 The proposal raises the following planning issues:

1. Whether The Principle Of Change Of Use Is Acceptable In This Location

5.5 The proposal falls within a Primary Residential Area as defined by Policy H2 of the Carlisle District Local Plan. However, this part of Denton Street is characterised by the ground floor of properties having a commercial use with flats above. Nearby properties include a number of takeaways, a public house and other establishments providing food to eat both on and off the premises. Objections have been raised to the proposal on the basis of the potential impact on the viability of neighbouring businesses. It should however be noted that no specific plan policies exist to restrict the type or form of development in this area other than through the protection afforded to residential amenity by Policies H2, CP6 and EC10 of the Local Plan. The impact of competition is not a material planning consideration.

5.6 Policy CP6 of the Local Plan seeks to protect the amenity of residential areas from '*inappropriate development*'. Policy EC10 - which relates to food and drink - states that proposals for hot food takeaways will be allowed providing that a number of criteria are met on site. The most relevant to this application relate to disturbance to occupiers of residential properties and the adequacy of access and parking arrangements. The principle of the proposal is therefore considered acceptable subject to compliance with the aforementioned criteria which are considered below.

2. Impact On The Local Highway

5.7 In relation to access and parking, Cumbria Highways have been consulted on the proposal and raised no objection as they do not feel that it will have a material affect on existing highway conditions. It is therefore not considered appropriate to refuse the application on highway grounds.

3. Impact On The Living Conditions Of Neighbouring Residents

5.8 The City Council's Environmental Quality Section has raised a number of concerns relating to the potential of the proposal to adversely impact on the living conditions of neighbouring properties by virtue of unacceptable noise, odour, vibration and hygiene related issues. These concerns largely relate to the siting of the extraction flue to the rear wall of the property, the proposed extended hours of opening and the storage of rubbish within the yard area.

SCHEDULE B: Reports Requiring Further Information

08/1128

These concerns have been reiterated by an objector, especially in regard to the potential impact on the living conditions of the residents of flats at 56a and 58a Denton Street and the Holme Bistro at 56-58 Denton Street. Concerns have also been raised in regard to the impact on the shared yard to the rear of the property and also the potential for additional litter to be generated by the proposal.

- 5.9 As well as concerns over the impact on neighbouring residents, the Environmental Quality Section has also cast some doubt, given the size of the property, as to whether it is capable of being converted in a manner which would allow acceptable levels of hygiene to be achieved. In response to these concerns, the applicant has submitted further supporting information. However, at the time of preparing the report additional comments are awaited from the Environmental Quality Section and an updated report will be presented to Members at the Committee Meeting.

4. Other Issues

- 5.10 The proposal falls within a Flood Risk Zone. The application is supported by a Flood Risk Assessment and the Environment Agency have confirmed that they have no objection to the development as proposed.
- 5.11 At the time of preparing the report, comments are awaited from the Cumbria Constabulary Architectural Liaison Officer and an update will again be provided to Members at the Development Control Committee Meeting.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered against the above Protocol of the Act but in this instance, it is not considered that there is any conflict. If any conflict was to be alleged it is not felt to be of sufficient weight to refuse planning

SCHEDULE B: Reports Requiring Further Information

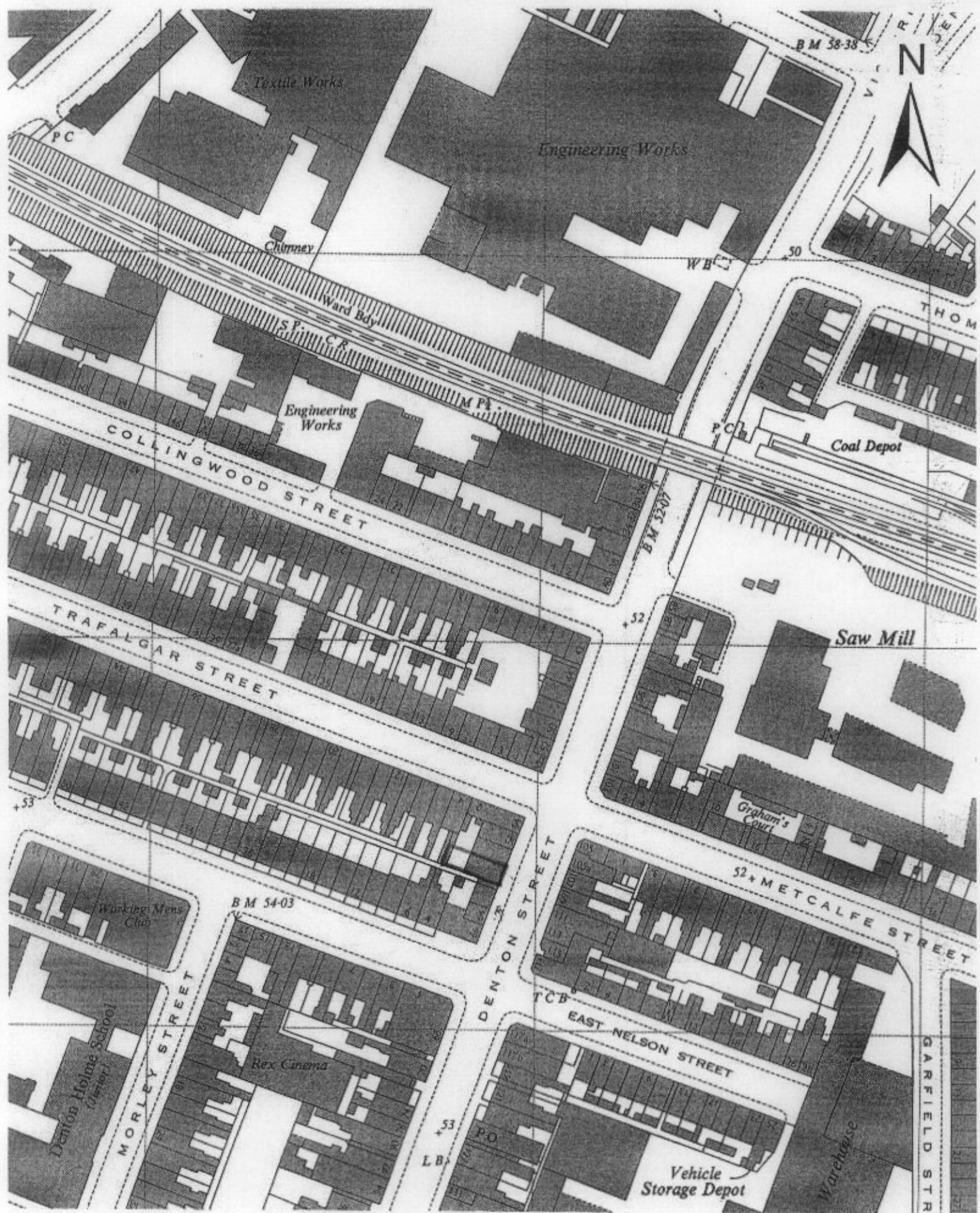
08/1128

permission.

7. Recommendation

Reason For Including Report In Schedule B

At the time of preparing the report further information from the applicant is awaited.



PROPOSED HOT FOOD TAKEAWAY

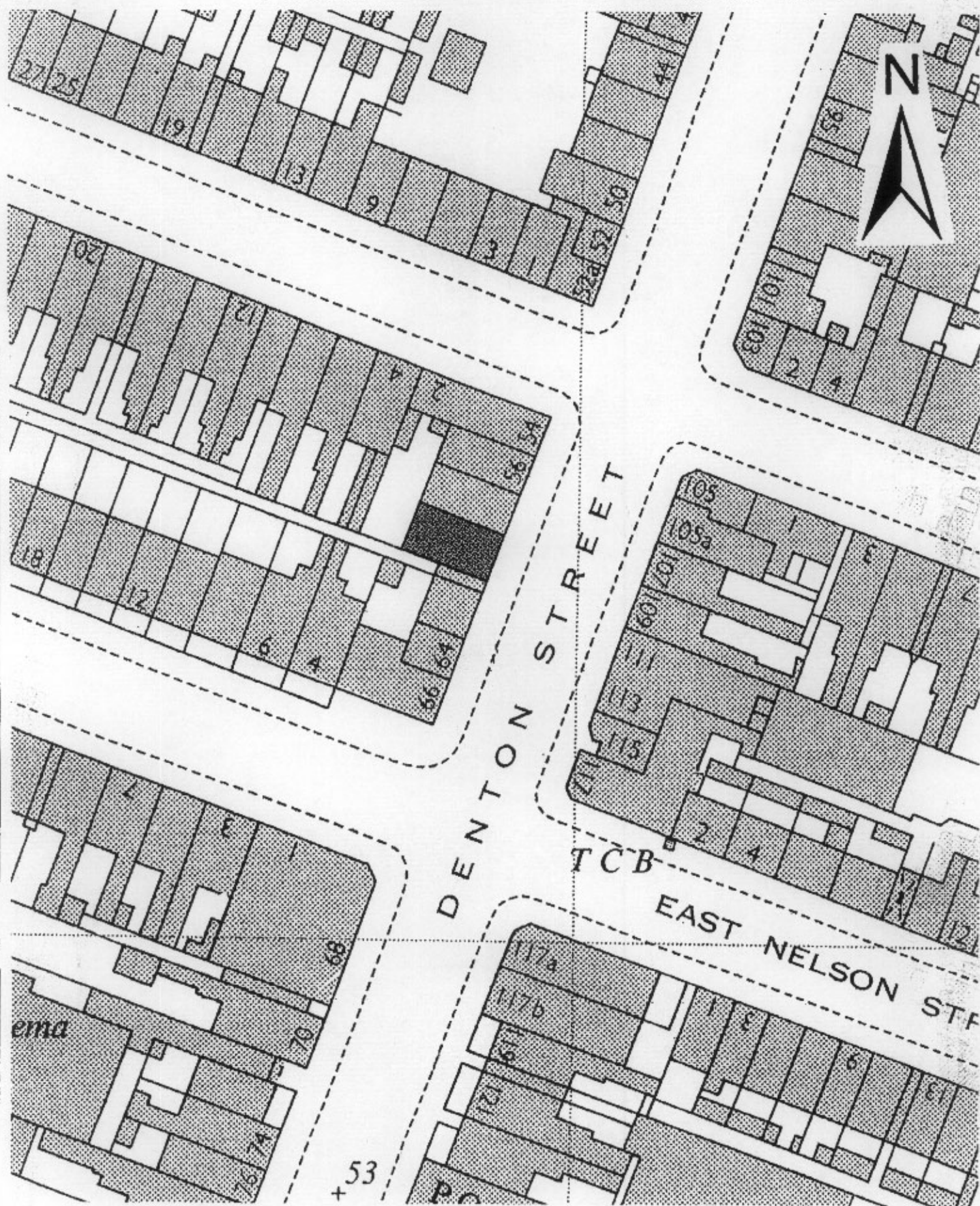
186

60 DENTON STREET - CARLISLE

RECEIVED LOCATION PLAN

10 NOV 2008

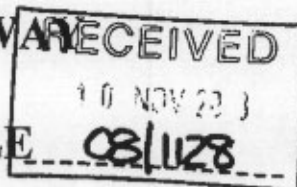
08/11/28 SCALE : 1-1250



PROPOSED HOT FOOD TAKEAWAY

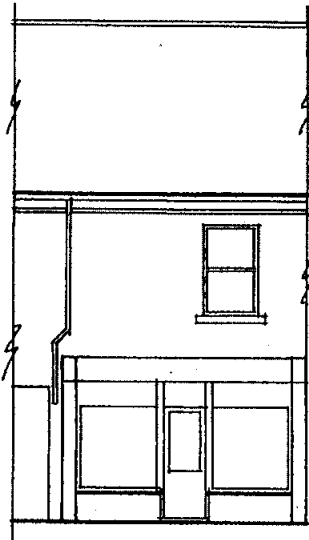
187

60 DENTON STREET - CARLISLE

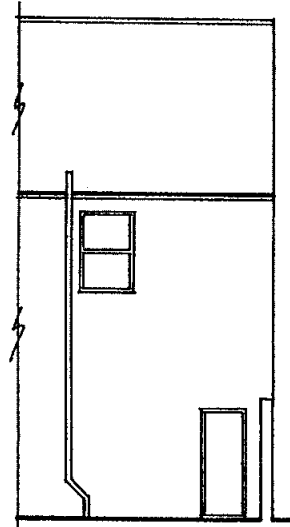


SITE PLAN

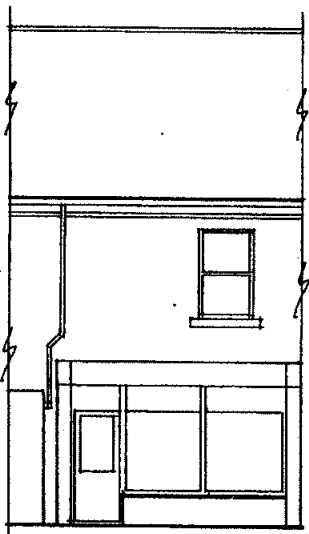
SCALE : 1-500



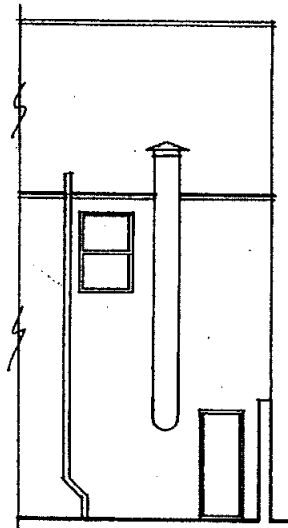
FRONT
AS EXISTING



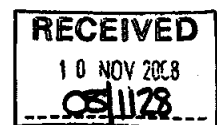
REAR



FRONT
AS PROPOSED



REAR



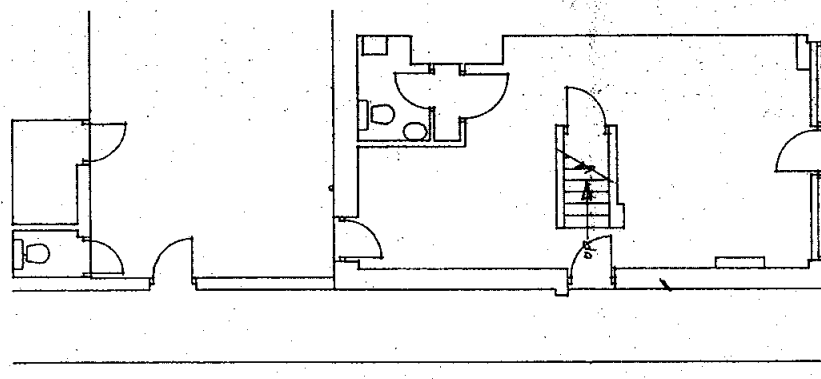
PROPOSED HOT FOOD TAKEAWAY

ELEVATIONS

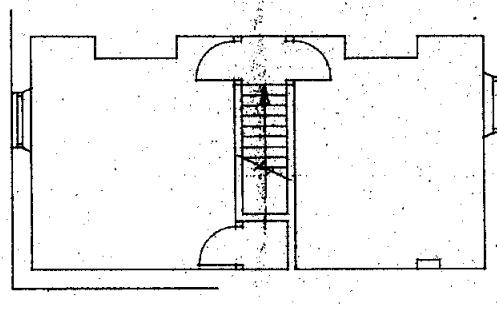
60 DENTON STREET - CARLISLE

DRG.NO. 1867/2

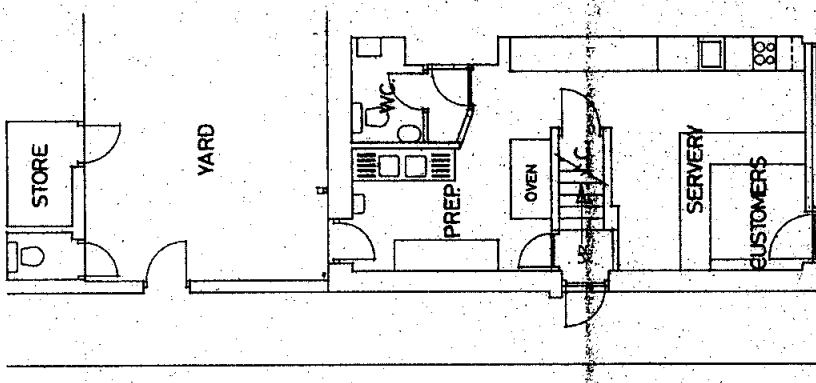
SCALE : 1-100



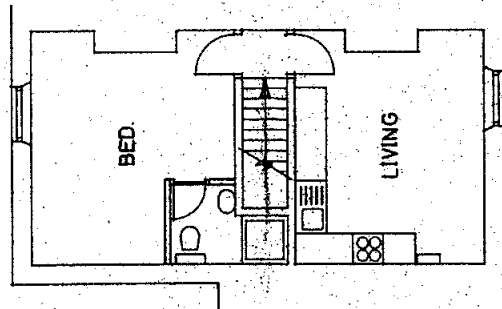
GROUND FLOOR
AS EXISTING



FIRST FLOOR



GROUND FLOOR
AS PROPOSED



FIRST FLOOR

RECEIVED
9-1 OCT 2008
CITY OF CARLSLE

FLOOR PLANS

PROPOSED HOT FOOD TAKEAWAY
60 DENTON STREET - CARLSLE

DATE: 18/07/11
SCALE: 1:50
DATE: OCT 2008

47 SCOTLAND ROAD, CARLISLE, CA3 9HS

2 December 2008

Colin Godfrey
Planning Services
Carlisle City Council
Civic Centre
Carlisle
CA3 8QG

PLANNING & HOUSING SERVICES	
REF	08/1128
- 4 DEC 2008	
RECORDED	AN
SCANNED	
PASSED TO	CG
ACTION	

Dear Sir

60 DENTON STREET, CARLISLE
CHANGE OF USE TO A HOT FOOD TAKEAWAY WITH ASSOCIATED
RESIDENTIAL FLAT ON THE FIRST FLOOR.
APPN. REF. 08/1128

Thank you for your e-mail received today.

I can respond to Environmental Quality Section's comments on the application thus :

1. a) Lidded pest proof bins would be stored in a secure outhouse, adjacent to the outside WC, in the rear yard.
- b) There is adequate space on the rear wall of the premises for the fixing of an extraction flue, as shown on the rear elevation. Noise from the extraction system would be mitigated by fixing the flue on anti-vibration mountings and incorporating an in-line silencer in the system, which has been done in previous similar planning applications I have acted as agent for, and which have been approved.
- c) The extract sytem would be designed to disperse fumes and odours, and would incorporate grease and odour filters.
- d) An internal grease trap would be installed in the premises.
- e) The applicant would require longer trading hours on a weekend up to 01.00.
- f) It is also possible that a further takeaway would not exacerbate the existing situation.

2. a) I will provide amended plans showing an acceptable WC layout.
- b) I have prepared and submitted previous planning applications to the Council, which have been approved, which have had less space than the proposal application, and as the applicant is involved with similar takaways elsewhere, he is aware of the necessary space requirements for a working environment. Any further information Environmental Quality might require would be provided.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Jock Gordon', with a stylized, cursive script.

Jock Gordon (Agent)

SCHEDULE A: Applications with Recommendation

08/1101

Item No: 09

Date of Committee: 19/12/2008

Appn Ref No:
08/1101

Applicant:
Mr B Ackerley

Parish:
Hethersgill

Date of Receipt:
30/10/2008

Agent:
H & H Bowe Ltd

Ward:
Lyne

Location:
Field 8578, Henrys Hill, Kirklington, Cumbria, CA6
6EA

Grid Reference:
345820 567752

Proposal: Proposed Free Range Poultry Shed

Amendment:

REPORT

Case Officer: Stephen Daniel

Reason for Determination by Committee:

The Parish Council has objected to the proposed development.

1. Constraints and Planning Policies

Local Plan Pol LE25 - Agricultural Buildings

Local Plan Pol CP1 - Landscape Character

Local Plan Pol CP5 - Design

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): no objections;

Hethersgill Parish Council: the dimensions of the proposed shed seem to be far beyond that needed for free range poultry and the proposal has more in keeping with a business development, the case for which has not been outlined.

The site is in the same area as the proposed Rigghead development and there are concerns about commercial traffic access via narrow road, particularly if HGVs are used to collect produce from poultry sheds. This issue would have been referred to in a business case;

SCHEDULE A: Applications with Recommendation

08/1101

Development Services Planning & Housing Services - Local Plans (Trees): a detailed specification of the trees and shrubs to be planted must be supplied. This should include details of the sizes of the trees/shrubs at the time of planting and the proportions of each species to be planted.

In terms of the proportions of the species the following would be appropriate: Ash 15%, Oak 15%, Poplar 15%, Hazel 15%, Cherry 15%, Rowan 10%, Birch 5%, Hawthorn 5%, Blackthorn 5%

In terms of size the Ash, Oak, Rowan, Birch, Poplar, and Cherry should be light standard, the Hawthorn, Hazel and Blackthorn should be 60 – 90 cm height field grown shrubs.

3. Summary of Representations

Representations Received

Initial:

Consulted:

Reply Type:

Stanley House

30/10/08

- 3.1 This application has been advertised by means of a site notice and a notification letter sent to one neighbouring property. No verbal or written representations have been made during the consultation period.

4. Planning History

- 4.1 There is an extensive planning history relating to the use of the site as a working farm.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This application is seeking full planning permission for the erection of a free range poultry shed at Field 8578, Henry's Hill, Kirklington. The farm, which consists of a series of farm buildings and a farmhouse, stands alone in the open countryside, approximately 250m from the road which links Boltonfellend to Kirklington.
- 5.2 The proposed building would be located on the opposite side of the farm access track to the existing farm complex and would lie approximately 70m from the nearest farm buildings. The building would measure 53m by 20m and would be 3.6m to the eaves and 6.4m to the ridge. It would be of steel

SCHEDULE A: Applications with Recommendation

08/1101

portal frame construction with concrete panels and green box profile sheeting forming the walls and roof.

- 5.3 The building would accommodate 8,000 hens. In order to comply with Freedom Foods Standards and the requirements of The Lakes Free Range Egg Company for free range hens, the hens would need to have access to a range area of 8 hectares. The range area, which would be enclosed by a 1.1m high post and wire electric fence, would contain 1.6 hectares of trees, comprising two tree belts. One tree belt would be planted to the north of the building (between the building and the road), with a further tree belt being planted to south of the building, adjacent to some existing trees, which mark the field boundary. The types and sizes of trees to be planted have been agreed with the Council's Tree Officer.
- 5.4 Access would be gained via the existing farm access track. A short new section of track would be constructed from the existing farm access to the building. A new hedge would be planted along the northern side of this new access.

Background

- 5.4 The applicants have farmed at Henry's Hill for the past fifteen years. The current farming system at Henry's Hill is beef, sheep and arable, with 70 beef cattle and 350 sheep currently being kept at the farm. The applicant is seeking to diversify his operation, and incorporate free range egg production onto the farm.

Assessment

- 5.5 The relevant planning policies against which the application is required to be assessed include Policies LE25, CP1 and CP5 of the Carlisle District Local Plan 2001-2016.
- 5.6 The proposal raises the following planning issues:
1. The Impact Of The Proposal On The Character Of The Area
- 5.7 The proposed free range poultry shed would be located in close proximity to the existing complex of farm buildings and would be seen against the existing buildings from a number of locations. The land to the rear of the building rises gently uphill, so the building would not sit on the skyline, thus reducing its visual impact and limiting views of the building from the south. A large area of land between the road and the shed would be planted with trees and once established these would further reduce the impact of the building. In light of the above, the proposal would not have an adverse impact on the character of the area.
2. The Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Properties

- 5.8 The proposal would be well related to the existing farm complex, which stands alone in the open countryside. The nearest residential property would be approximately 250m away from the poultry shed. In light of the above, the proposal would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties.

3. Other Matters

- 5.9 The Parish Council has expressed concerns about the size of the proposed shed. The shed is, however, a standard size for a free range poultry unit and the height of the building is commensurate with the height of other free range poultry sheds in the area.
- 5.10 The Parish Council has also expressed concerns about commercial traffic access via narrow roads, especially if HGVs are used to collect eggs. The eggs would actually be collected in vans, twice a week, with larger vehicles only being used once a month to deliver feed. The traffic impact of the poultry unit is, therefore, insignificant, especially when compared to current vehicle movements associated with the existing farm. Indeed, County Highways has raised no objections to the proposal, given the existing use of the site and the likely traffic generation.

Conclusion

- 5.11 In overall terms, the proposed development would not have an adverse impact on the character of the area or the living conditions of the occupiers of any neighbouring properties. In all aspects, the proposal is compliant with the relevant policies contained within the adopted Local Plan.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

SCHEDULE A: Applications with Recommendation

08/1101

- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. **Recommendation** - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The landscaping scheme, indicated on Plan 6 (received on 12 November 2008) shall be implemented in strict accordance with the details contained in the details of the Landscaping Scheme received on 3 December 2008 (Ref JL/MRB/HA127a). Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season, unless otherwise agreed in writing by the Local Planning Authority.

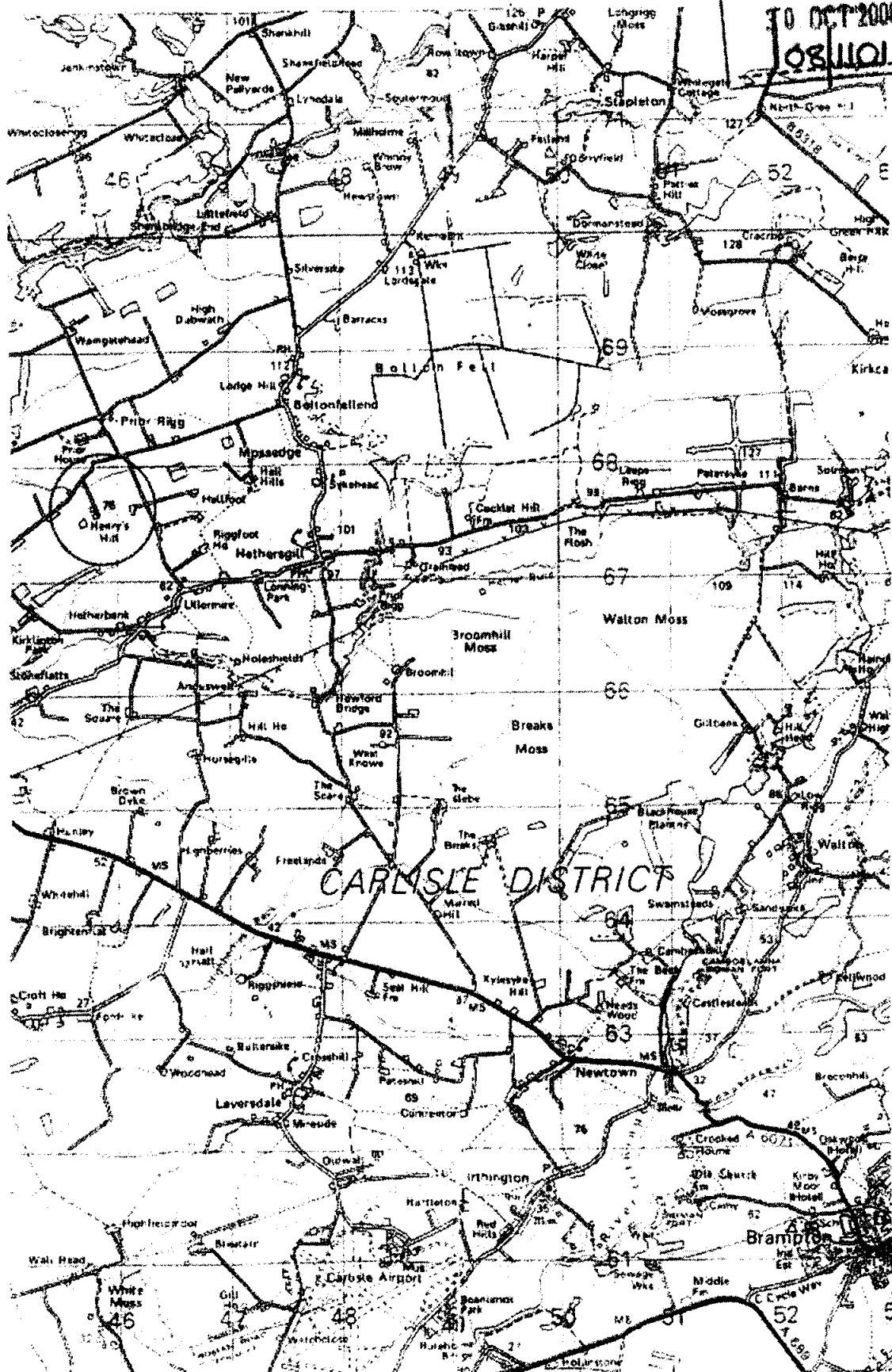
Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

PLAN 1

RECEIVED

10 OCT 2008

081101



HENRY'S HILL FARM,
KIRKLINTON
(Scale 1:50,000)

H & H Bowe Limited

Borderway, Rosehill,
Carlisle, Cumbria. CA1 2RS

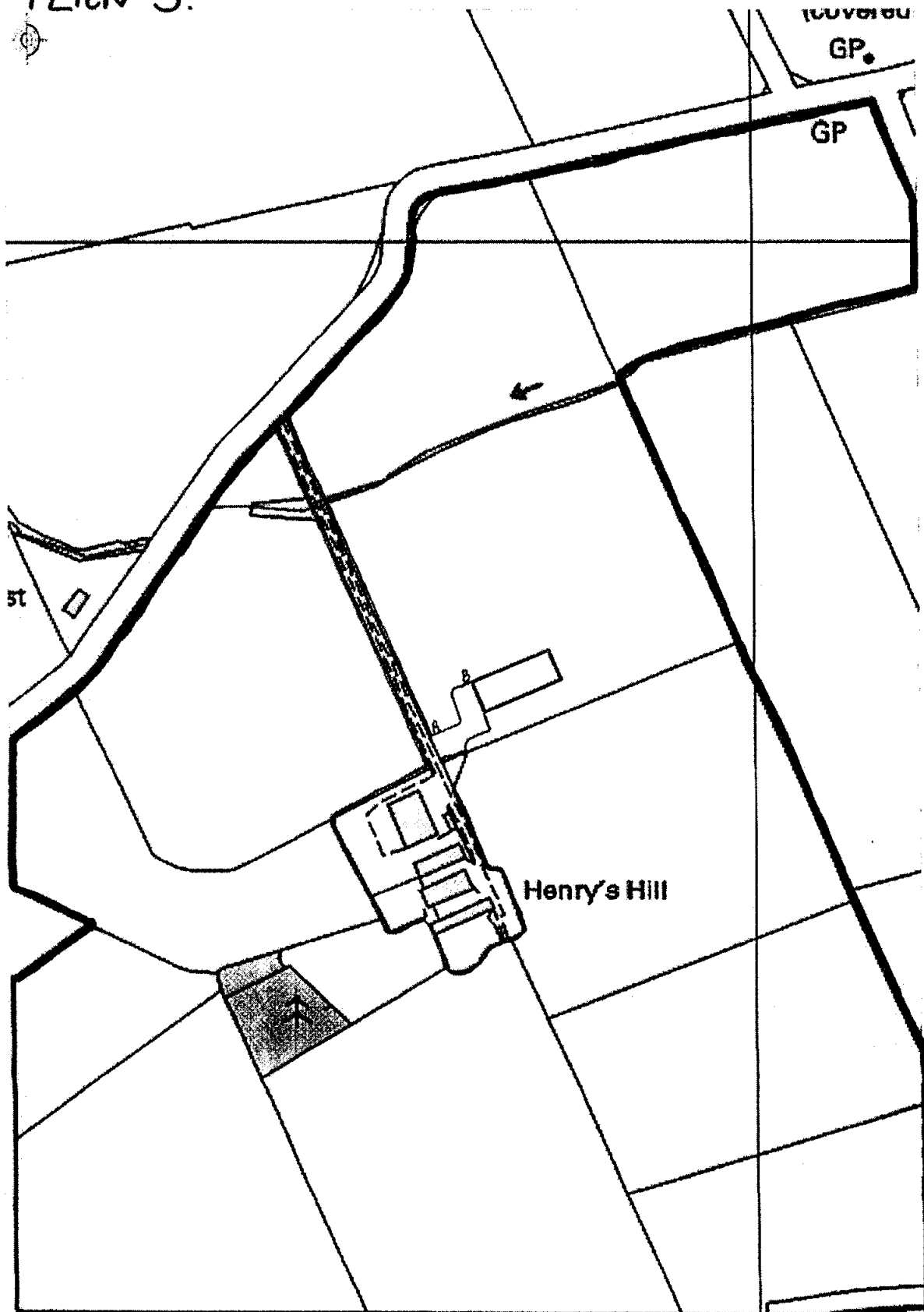
Tel: 01228 640920

Fax: 01228 640938



OS Licence No: ES 004177

PLAN 3.



1:1000

© Crown Copyright 2004. All rights reserved. Licence number 100020499. Printed Scale: 1:1000

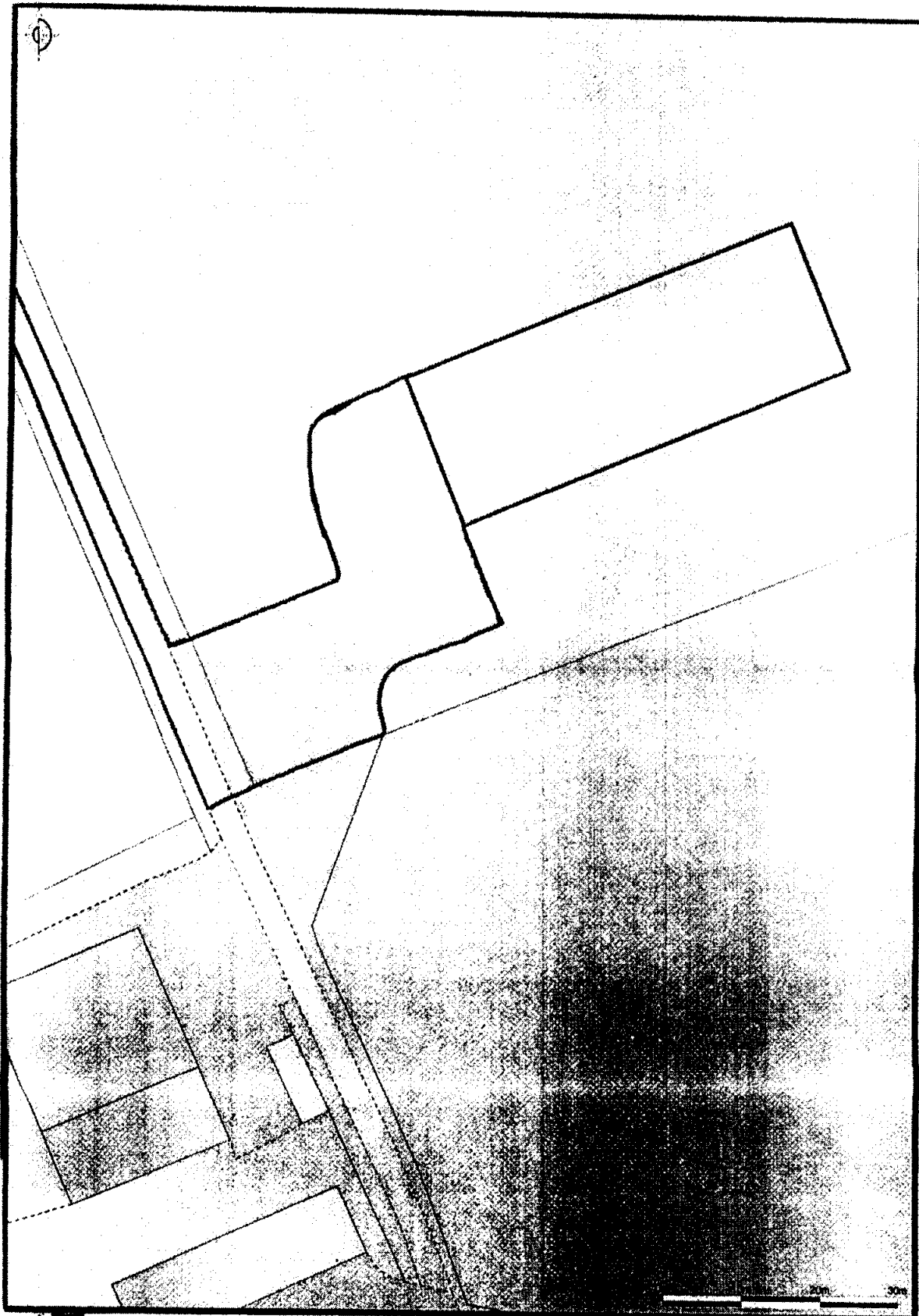
H & H Bowe Limited, Borderway,
Rosedale, Carlisle, CA1 2RS
T: 01228 640920 F: 01228 640938
www.hhbowe.co.uk



REC'D SEC
30 JUL 2008
08/1101

Henrys Hill, Kirkcubright, Carlisle, CA6 6EA

PLAN 2.



1:1000 Scale
Copyright 2008. All rights reserved. Licence number 180820499. Printed Scale 1:1000

H & H Dowe Limited, Dardleyway,
Rosehill, Carlisle, CA1 2RS
T: 01228 640920 F: 01228 640918
www.hhbowe.co.uk

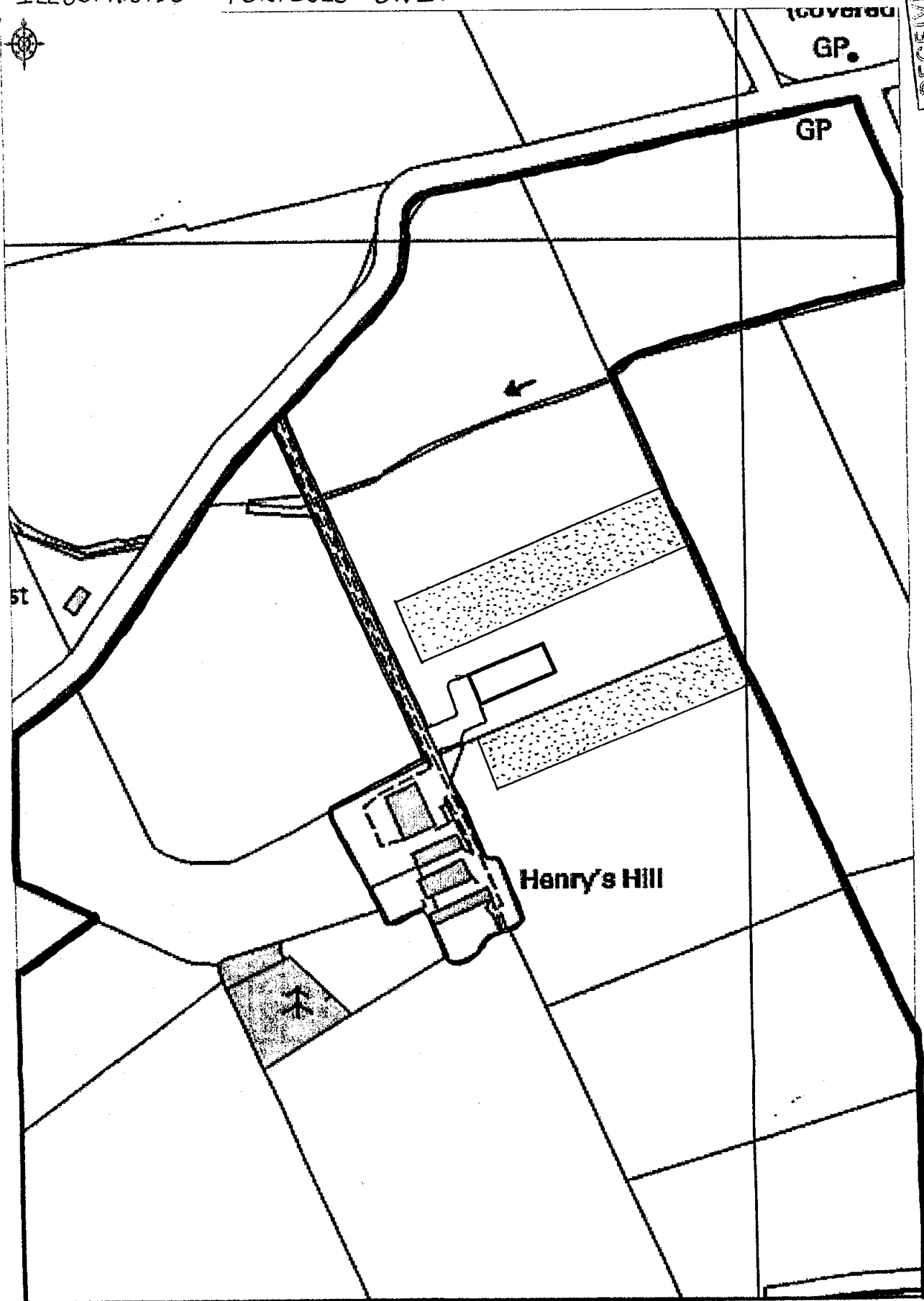


RECEIVED
30 OCT 2008
08/10/08

PLAN 6

Henrys Hill, Kirkclinton, Carlisle, CA6 6EA

ILLUSTRATION PURPOSES ONLY



RECEIVED
12 NOV 2008
101130



Distance
Survey

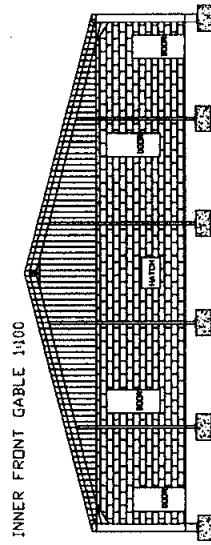
© Crown Copyright 2008. All rights reserved. Licence number 100020449.

H & H Bowe Limited, Borderway,
Rosehill, Carlisle, CA1 2RS
T: 01228 640920 2:00228 640938
www.hhbowe.co.uk

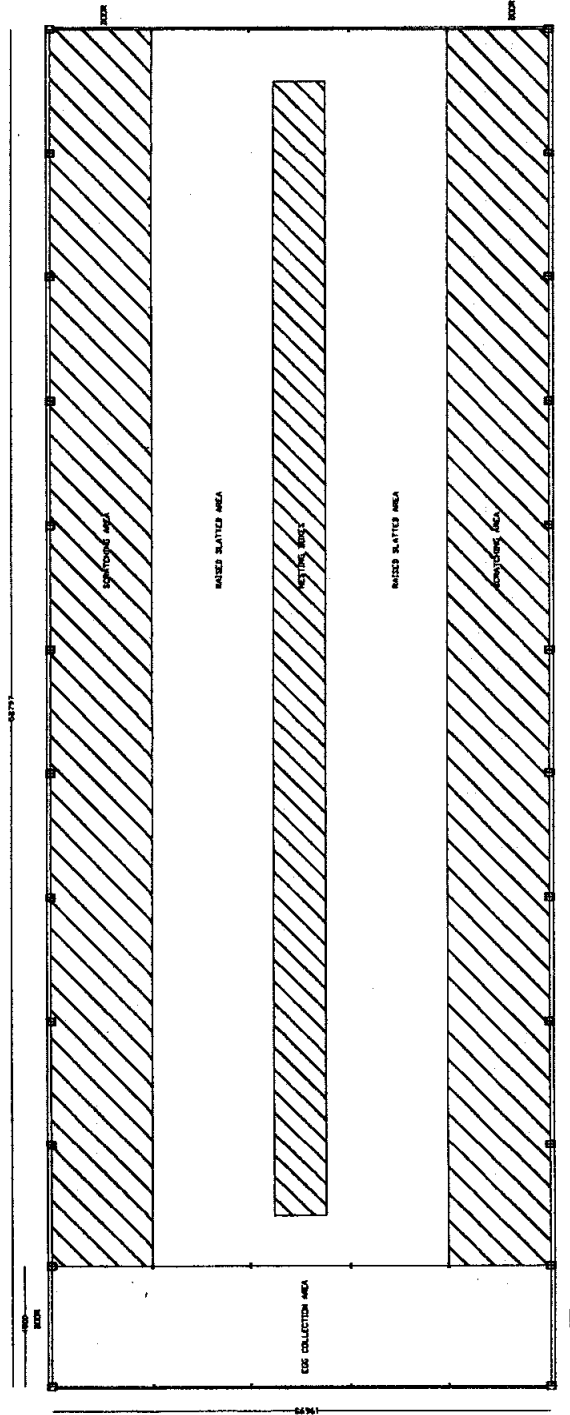


PLAN 5.

PROPOSED FREE RANGE EGG BUILDING
FOR ACKERLEY, HENRYS HILL, KIRKLINTON,
CARLISLE, CUMBRIA, CA6 6EA.

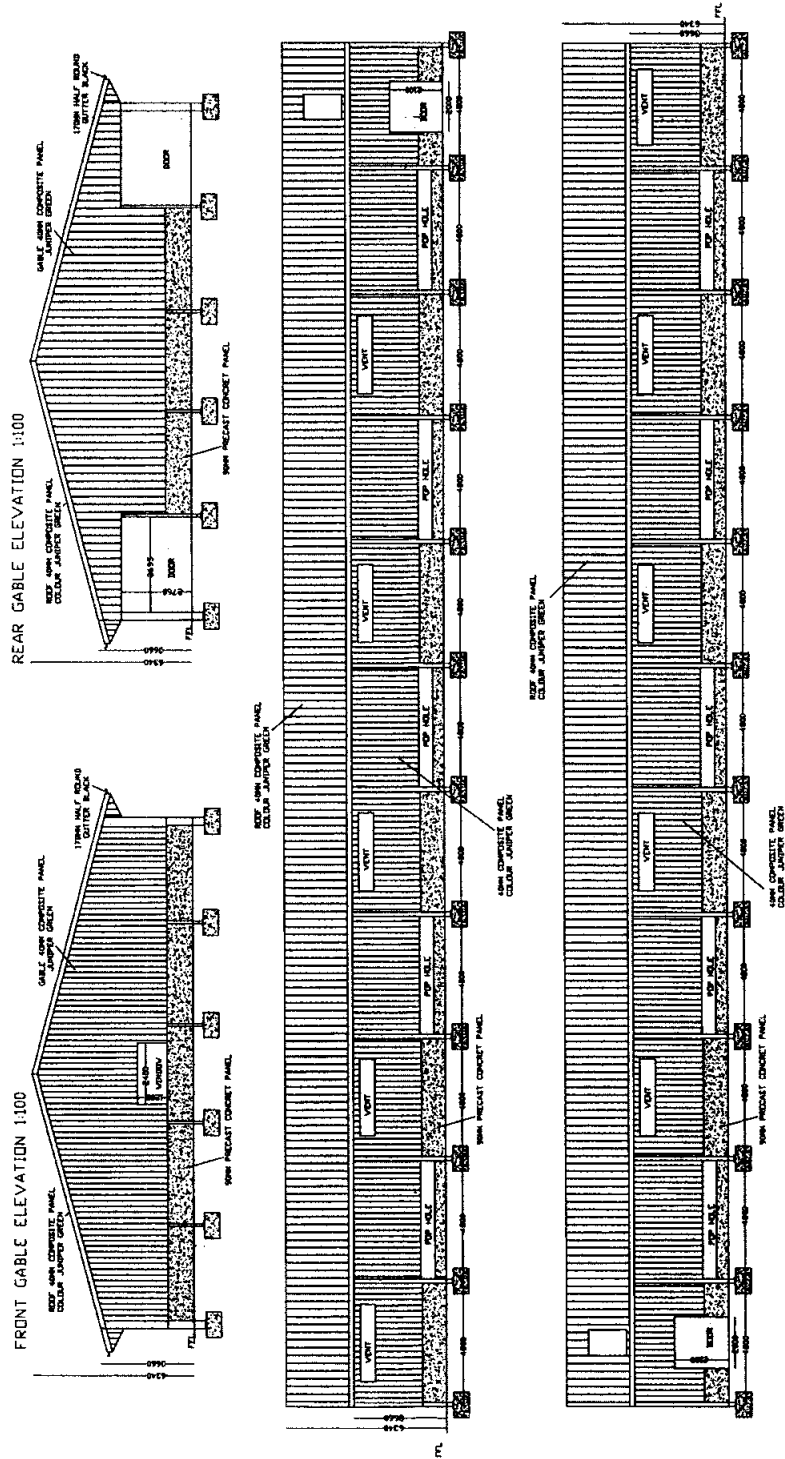


GROUND FLOOR PLAN 1:100



RECEIVED
19 OCT 2008
08/10/08

PLAN 4.



PROPOSED FREE RANGE EGG BUILDING
FOR ACKERLEY, HENRYS HILL, KIRKLINTON,
CARLISLE, CUMBRIA, CA6 6EA.

RECEIVED
19 OCT 2000
05/1001

SCHEDULE A: Applications with Recommendation

08/0722

Item No: 10

Date of Committee: 19/12/2008

Appn Ref No:
08/0722

Applicant:
Mr Derek Schofield

Parish:
Kingmoor

Date of Receipt:
14/07/2008

Agent:
Taylor & Hardy

Ward:
Stanwix Rural

Location:
3 Crindledyke Estate, Kingstown, Carlisle, CA6 4BZ

Grid Reference:
338337 560465

Proposal: Erection Of A Detached Garage

Amendment:

REPORT

Case Officer: Richard Maunsell

Reason for Determination by Committee:

This application is brought for determination before Members of the Development Control Committee due to the deferment of this application at the previous Committee meeting.

1. Constraints and Planning Policies

Local Plan Pol H11 - Extns to Existing Resid. Premises

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): no objection;

Kingmoor Parish Council: comments awaited; and

Local Plans (Tree Preservation), Development Services: no comment.

3. Summary of Representations

Representations Received

SCHEDULE A: Applications with Recommendation

08/0722

Initial:

Consulted:

Reply Type:

2 Crindledyke Estate	15/07/08	
1 Crindledyke Close	15/07/08	
3 Crindledyke Close	15/07/08	Objection
5 Crindledyke Close	15/07/08	
Stanwix Rural		Objection
Stanwix Rural		Support

3.1 This application has been advertised by means of direct notification to the occupiers of four of the neighbouring properties. At the time of writing this report, two letters of objection have been received and the main issues raised are summarised as follows:

1. The development will be very intimidating due to the height and close proximity to the neighbouring property which would give no outlook;
2. The objector alleges that the ground level on the applicant's land have been increased;
3. The height of the wall exceeds that which is permitted and legal action is being taken by the Council to reduce the height of the wall. Planning Inspectors have likened similar walls to that of a prison; and
4. The height and relationship of the garage will exaggerate the existing poor living conditions.

4. Planning History

- 4.1 Planning permission was granted in 1998 for the erection of a dining room and lounge extension.
- 4.2 Earlier this year, an application for the erection of a detached double garage was submitted but withdrawn prior to determination.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 The application seeks approval for the siting of a detached garage at 3 Crindledyke Estate, Crindledyke, Carlisle. The property is a two storey detached dwelling that is finished in smooth painted render under a slate roof.
- 5.2 The curtilage of the property is reasonable in scale. The dwelling is located

centrally within the plot and lies adjacent to residential properties to the north and east. To the west is a telecommunication mast compound and to the south bisected by the road, is Kingmoor Park.

- 5.3 The site is bounded to the north by a block work wall and an existing single garage; to the east, concrete posts and timber panels that measure approximately 1.25 metres in height form the boundary. Immediately adjacent to the north-east corner of the application site is a mature oak tree.
- 5.4 Members may recall that this application was subject to a Committee site visit.

Proposal

- 5.5 It is proposed to construct a large detached garage adjacent to the northern boundary of the site. The garage will measure 10 metres in width by 7 metres in depth. The height to the eaves would measure 2.5 metres with the height to the ridge measuring 4 metres. The building will be immediately adjacent to the eastern boundary and 0.5 metres from the northern boundary.
- 5.6 The garage will be finished from render with concrete roof tiles to the roof. The main openings to the building will face south, towards the applicants dwelling, and will incorporate a roller shutter door, a window and rooflights. A pedestrian access door will be located on the west elevation.
- 5.7 Members will recall that the application was deferred at the previous meeting of this Committee to allow Officers the opportunity to discuss alterations to the scheme with the applicant to address Members' concerns and allow the submission of revised details. As a result, the applicant has concluded that the scheme should be revised which shows the proposed garage being a further 0.5 metres from the rear boundary. Amended drawings have been received to reflect this and are reproduced following this report.
- 5.8 The relevant planning policies against which the application is required to be assessed are Policies H11, CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

Assessment

- 1. Whether The Proposal Is Appropriate To The Dwelling
- 5.9 Planning policies require that extensions are of good design and are of an acceptable scale and protect the amenity of adjacent properties from proposals that are of inappropriate scale, design or result in unreasonable overlooking. In assessing the current proposal, Members should note that the footprint of the garage would be located close to the rear boundary of the site, with the revised scheme leaving a gap of approximately 1 metre, an increase of 0.5 metres from the originally submitted scheme. The eaves height at this point would be 2.5 metres and the ridge, which measures 4

SCHEDULE A: Applications with Recommendation

08/0722

metres in height, would be located approximately 4.7 metres from the rear boundary wall.

- 5.10 Given the length of the curtilage of the property and the fact that the garage is to the rear and partially screened by the applicant's property, only glimpsed views of the building would be apparent from the front of the property. The development would not, therefore, detract from the character or appearance of the site.
- 5.11 The existing single prefabricated garage would be shortened in width to accommodate the proposed building, and a gap of approximately 0.5 metres would exist between the two.
- 5.12 The design and fenestration of the current scheme is appropriate to the style and character of the existing property; furthermore, the extension would be constructed from materials that are appropriate to the existing buildings.

2. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

- 5.13 There are neighbouring residential properties to the north and east of the application site. The site is partially screened along the rear boundary by a block work wall that measures just over 2 metres in height from the applicant's side and approximately 2.54 metres from 3 Crindledyke Close. Due to the boundary wall and the difference in ground levels, views of the application site are very limited and an oblique view of the roof would exist at most.
- 5.14 The nearest property affected by the development is 3 Crindledyke Close, located to the north of the application site. The ground level of the application site is approximately 0.47 metres higher than the neighbouring property; furthermore, the rear elevation of this neighbouring property is positioned at an angle to the application site which at its closest point, is approximately 0.87 metres from the boundary. As a result, the ground floor windows of this property directly face the boundary wall and consequently, the boundary wall has a greater impact on the occupiers of this property than the proposed garage will. The first floor windows have a more open view of the site over the roof of the garage.
- 5.15 The objector raises the issue that the development will be very intimidating due to the height and close proximity to the neighbouring property which would give no outlook and that the height and relationship of the garage will exaggerate the existing poor living conditions. The development would undoubtedly increase the overall bulk and mass of the applicant's property and affect the aspect when viewed from the neighbouring property, particularly when viewed from the first floor bedroom windows. Clearly, the issue as to whether the extension would be overbearing and adversely affect the living conditions of the occupiers of this property through unacceptable loss of daylight or sunlight is subjective and in this instance is finely balanced. Given the physical relationship and orientation of these properties, the

SCHEDULE A: Applications with Recommendation

08/0722

proposal will not affect the living conditions of the neighbouring occupiers to such a degree that the proposal would be contrary to current Local Plan policies.

- 5.16 A further role of planning policies is that they seek to safeguard the living conditions of neighbouring occupiers by ensuring that development does not result in overlooking and loss of privacy. In this respect, the development would increase the level of privacy afforded to occupants of both dwellings. At present, there is a direct view from the first floor bedroom window of 3 Crindledyke Close across the application site. The presence of the garage and associated roof structure would improve the level of privacy provide some screening for the applicant and the occupier of 3 Crindledyke Close.
- 5.17 The proposed garage would be to the south of the neighbouring property, 3 Crindledyke Close. During the winter months, it would be conceivable that there may be some loss of light to the kitchen window, particularly in the late afternoon; however, given the proximity and height of the boundary wall, it is not considered that the presence of the garage would result in an unreasonable loss of daylight or sunlight or give rise to an unacceptable level of overshadowing or over-dominance.

3. Impact Of The Development On The Adjacent Tree

- 5.18 Planning policies ordinarily require that a minimum distance is maintained between the crown spread of existing trees and new development. The root system of the tree has previously been damaged, as has some of the branches. Given its condition, the owner of the tree has signified that it is his intention that the tree will be removed in the near future. The Council's Landscape Officer has raised no objection to the application.

4. Other Matters

- 5.19 The occupier of the neighbouring property also raises the issue of the boundary wall and contends that the applicant's land has been raised and the height of the wall exceeds that which is permitted without the need for planning consent. It is further stated by the neighbour that the ground levels of 3 Crindledyke are 0.55 metres higher than that of the neighbouring property; however, the applicant is equally adamant that the ground levels have not been increased. The height of the boundary wall on the applicant's side measures 2.07 metres above ground level. Although the height is still slightly above the permitted height of 2 metres, this marginal increase does not warrant the Council taking enforcement action. The height of the wall when measured from the ground level of the neighbouring property is 2.35 metres, clearly in excess of 2 metres and therefore the neighbour believes that enforcement action should be taken to reduce the height of the wall accordingly.
- 5.20 Photographic evidence has been produced by both parties but does not categorically confirm either way whether the ground levels have been altered or not and a firm conclusion has still to be reached between the Council's

SCHEDULE A: Applications with Recommendation

08/0722

Enforcement Officer and Principal Solicitor. This issue should not prejudice the current planning application which should be considered against the relevant policies.

Conclusion

- 5.21 In overall terms, the garage will be significant in scale and although revised, will be located relatively close to the boundary of the neighbouring property. The building will not be obtrusive or detrimental within the character of the streetscene. The impact of the development on the occupiers of the neighbouring property is finely balanced. On the one hand, the garage is unquestionably large with a significant roof height, dictated by the span of the building and the height of the door openings required by the applicant. On the other hand, the ground floor windows of the neighbouring properties are already obscured due to the difference in ground levels and the height of the boundary structure. Whilst there would be a view from the first floor bedroom windows of the proposed garage, the view would be across the roof as opposed to the applicant's existing curtilage and property. The current proposal does not affect the living conditions of adjacent properties by poor design and in all aspects the proposals are considered to be compliant with the objectives of the relevant Local Plan policies.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:
- Article 6** bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;
- Article 7** provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;
- Article 8** recognises the "Right To Respect for Private and Family Life";
- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;
- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

SCHEDULE A: Applications with Recommendation

08/0722

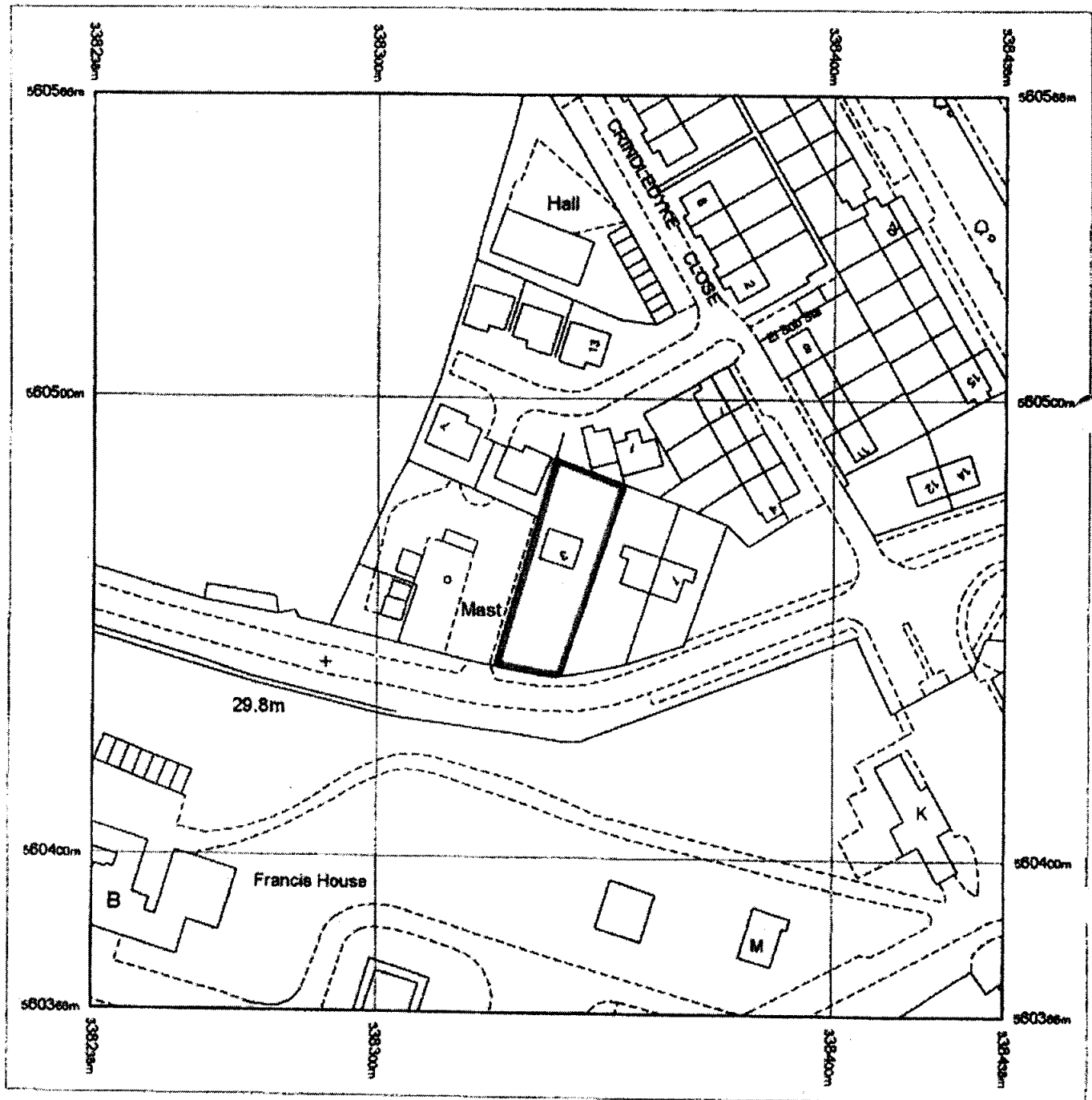
7. **Recommendation** - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The garage hereby permitted shall not be used except for private and domestic purposes and shall at no time be used for any commercial or business purposes whatsoever.

Reason: To preclude the possibility of the use of the premises for purposes inappropriate in the locality and to ensure compliance with Policy CP6 of the Carlisle District Local Plan 2001-2016.



Produced 17.04.2008 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2008.

Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey.

Ordnance Survey and the OS Symbol are registered trademarks and OS Sitemap is a trademark of Ordnance Survey, the national mapping agency of Great Britain.

The representation of a road, track or path is no evidence of a right of way.

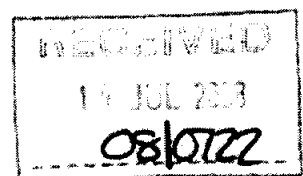
The representation of features as lines is no evidence of a property boundary.



Scale 1:1250

Supplied by: Carlisle Library
Serial number: 00019700
Centre coordinates: 338337.75 560466

Further information can be found on the OS Sitemap information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk

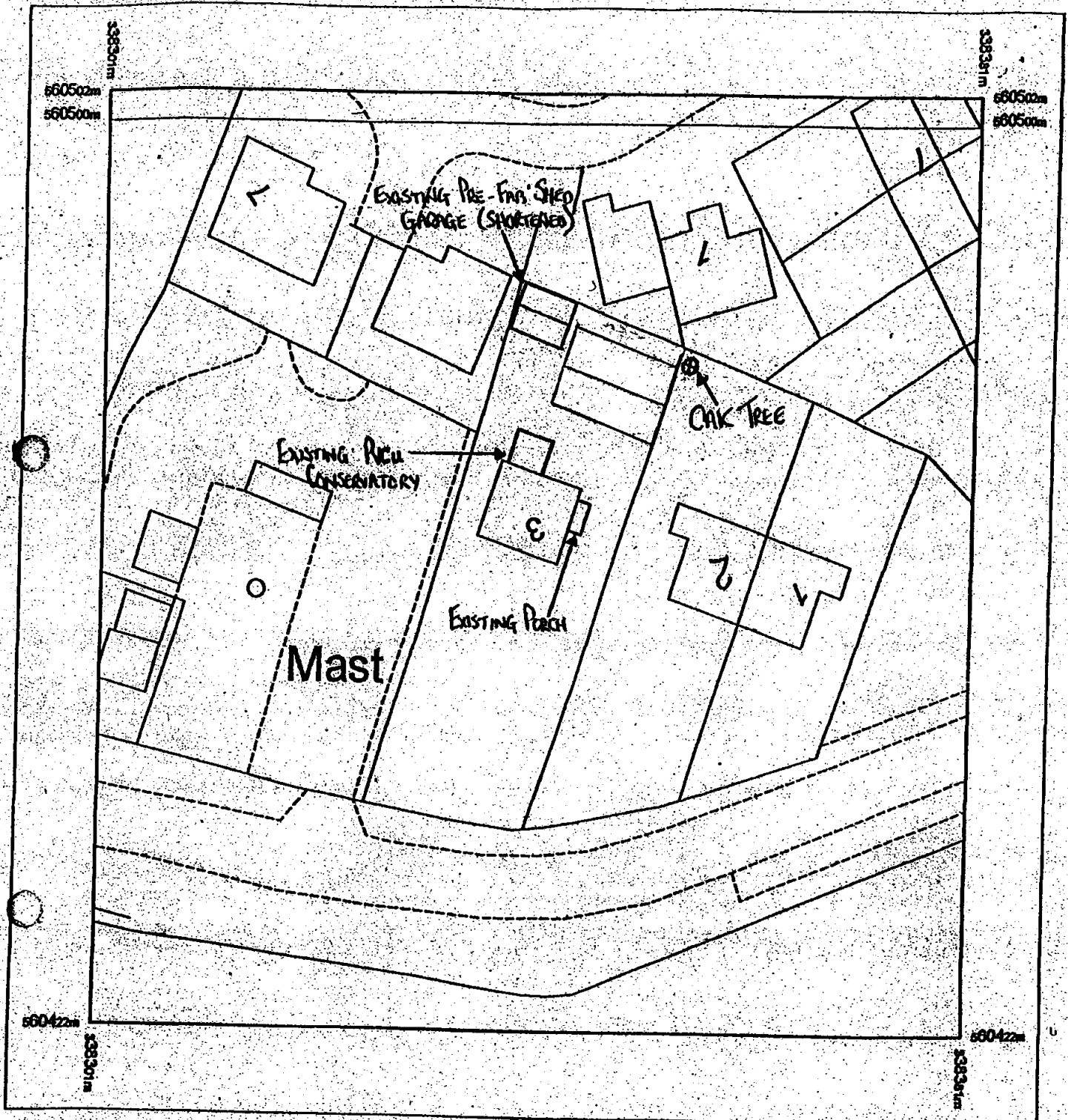




Ordnance
Survey®



OS Sitemap



Produced 17.04.2008 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. © Crown Copyright 2008.

Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey.

Ordnance Survey and the OS Symbol are registered trademarks and OS Sitemap is a trademark of Ordnance Survey, the national mapping agency of Great Britain.

The representation of a road, track or path is no evidence of a right of way.

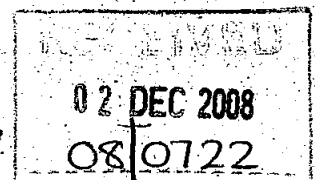
The representation of features as lines is no evidence of a property boundary.



Scale 1:600

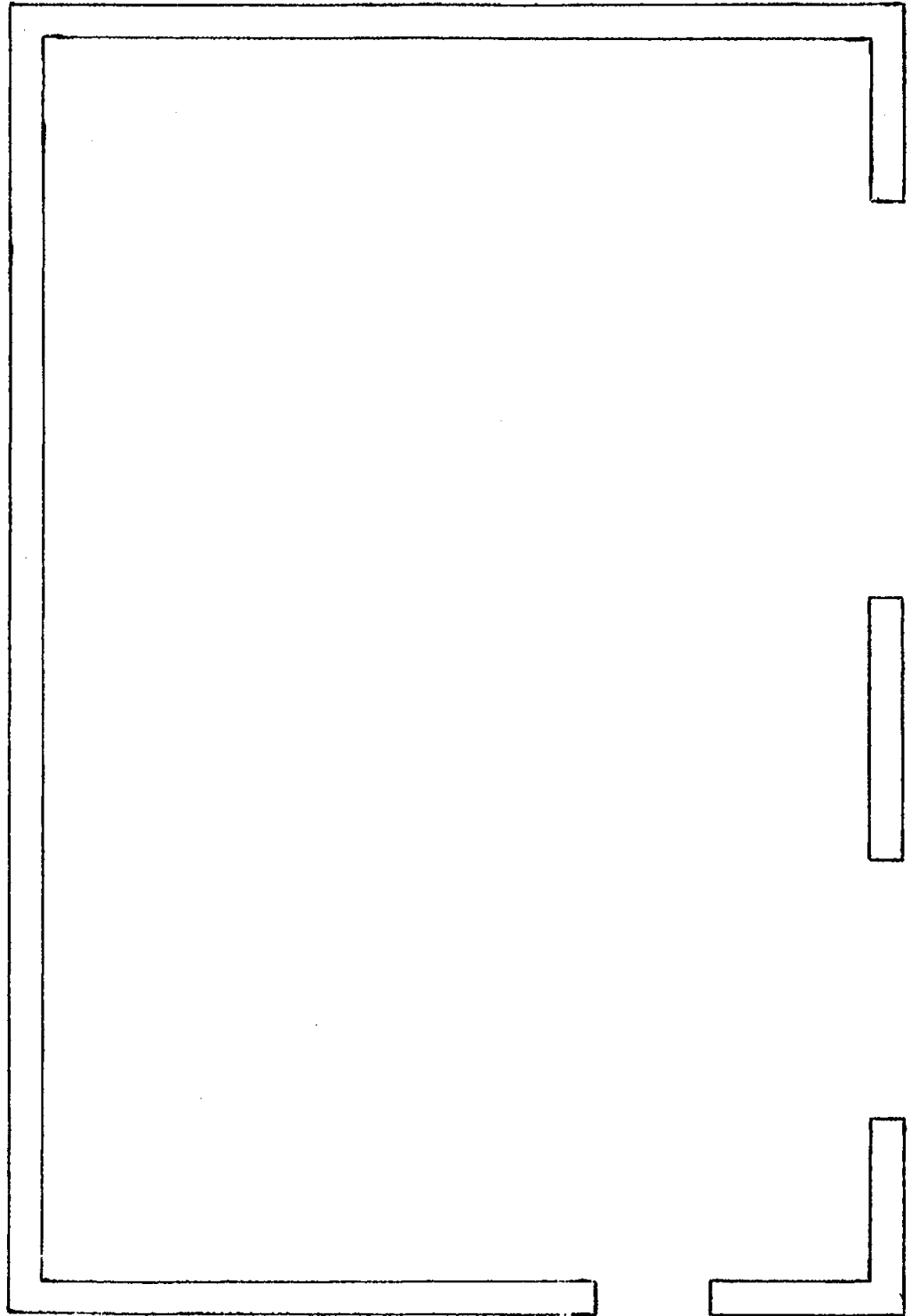
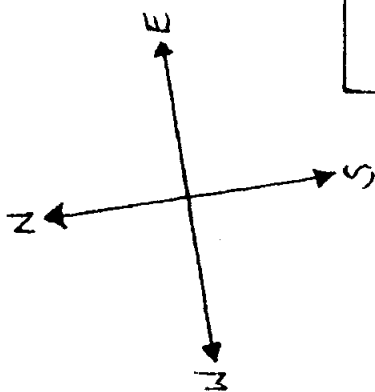
Supplied by: Carlisle Library
Serial number: 00015900
Centre coordinates: 338341 560482.5

Further information can be found on the OS Sitemap information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk

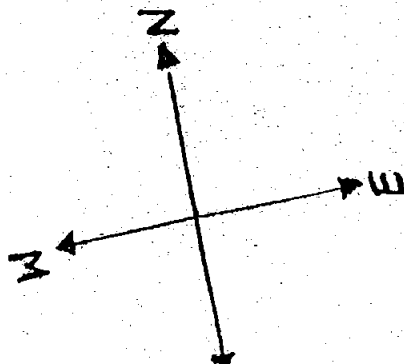


PROPOSED FLOOR PLAN LAYOUT.

08/07/22

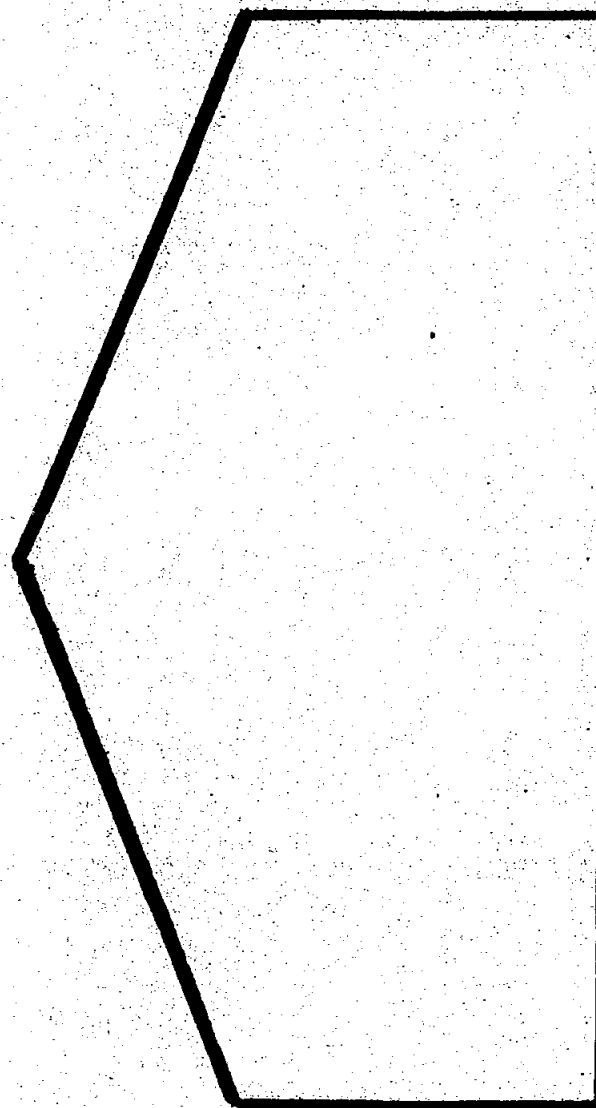


Scale 1:50



END ELEVATION - EAST FACING

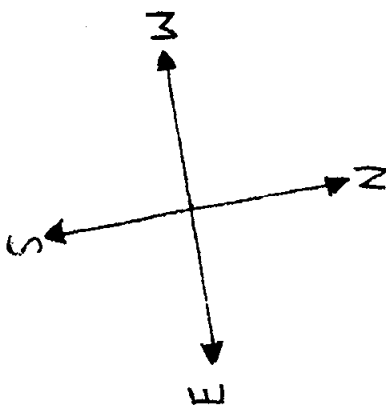
OVERALL WIDTH 7M
WALL PLATE HEIGHT 2.5M
RIDGE HEIGHT 4M
ROOF PITCH 22.5°



BOUNDARY WALL

SCALE 1:50

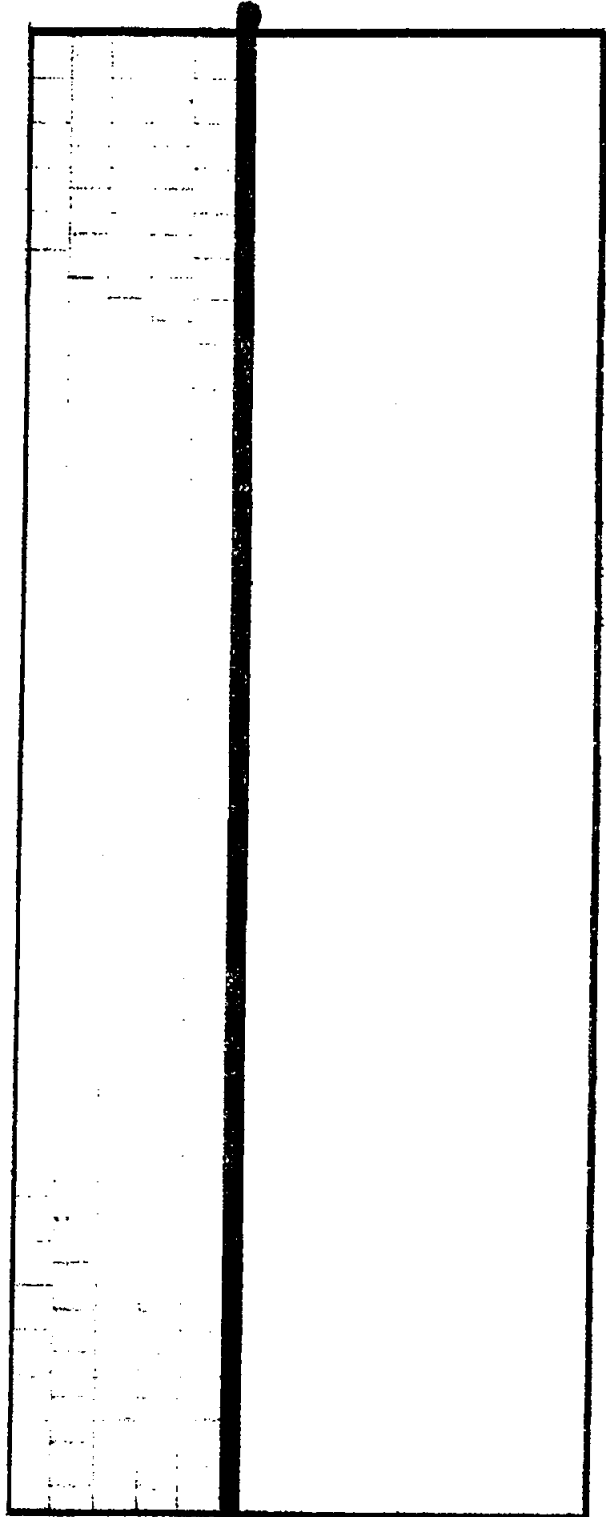
RECEIVED
02 DEC 2008
08/0722



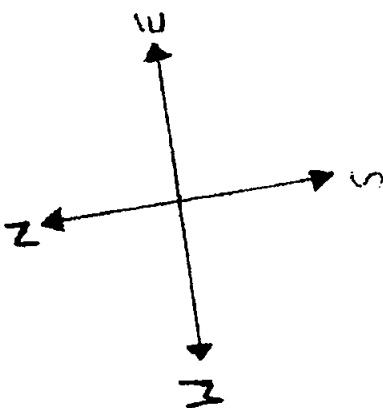
REAR ELEVATION - NORTH FACING

OVERALL LENGTH 10M
WALL PLATE HEIGHT 2.5M
RIDGE HEIGHT 4M

08/07/22



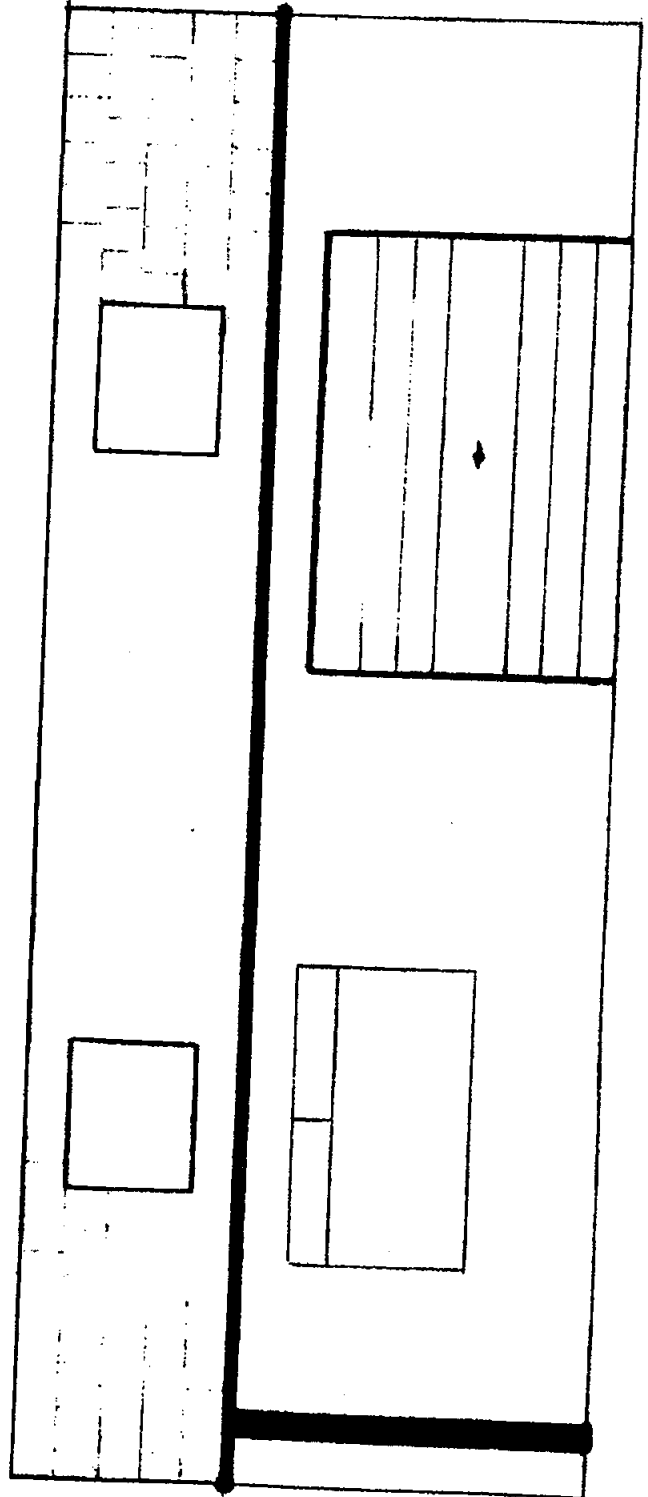
SCALE 1:50



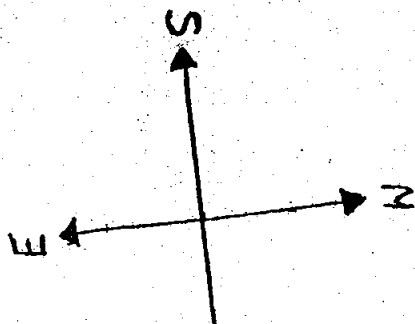
FRONT ELEVATION - SOUTH FACING

OVERALL LENGTH 10M
 RIDGE HEIGHT 4M
 WALL PLATE HEIGHT 2.5M
 DOOR/WINDOW UNTEL 2.1M
 DOOR WIDTH 3.0M

08/07/22

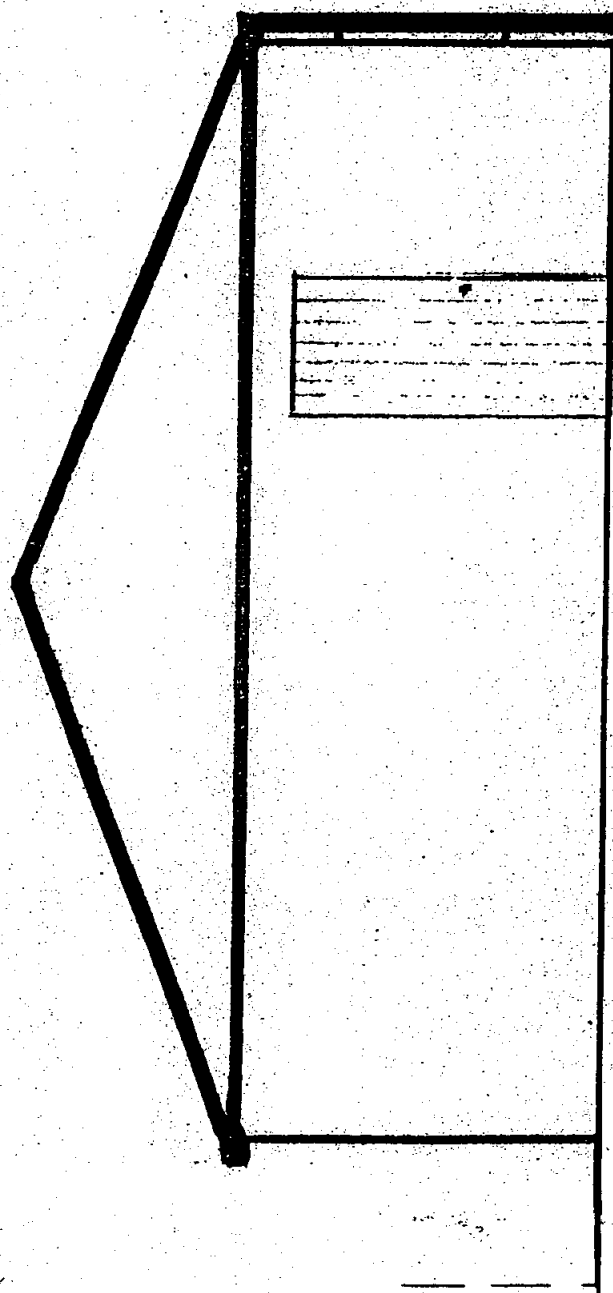


SCALE 1:50



END ELEVATION - WEST FACING

OVERALL WIDTH 7M
 WALL PLATE HEIGHT 2.5M
 LINTEL HEIGHT 2.1M
 RIDGE HEIGHT 4M
 ROOF PITCH 22.5°



BOUNDARY WALL

RECEIVED
 02 DEC 2008
 08/0722

SCALE 1:50

SCHEDULE A: Applications with Recommendation

08/0350

Item No: 11

Date of Committee: 19/12/2008

Appn Ref No:
08/0350

Applicant:
Mr Young

Parish:
Rockcliffe

Date of Receipt:
16/04/2008

Agent:
Heine Planning
Consultancy

Ward:
Longtown & Rockcliffe

Location:
Ghyll Bank Yard, Low Harker, Carlisle, CA6 4DG

Grid Reference:
338443 560750

Proposal: Change Of Use To Caravan Site For Two Caravans, Amenity Block,
Septic Tank/ Cesspool, Stable Barn

Amendment:

1. Revised block plan received 30.07.08 showing the re-siting of the proposed stable barn.

REPORT

Case Officer: Angus Hutchinson

Reason for Determination by Committee:

In the light of the history of the neighbouring site and the on-going efforts of the Council in addressing the current shortfall in provision.

1. Constraints and Planning Policies

Local Plan Pol CP1 - Landscape Character

Local Plan Pol CP3 - Trees and Hedges on Development Sites

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP10 - Sustainable Drainage Systems

Local Plan Pol CP11-Prot.Groundwaters &Surface Waters

Local Plan Pol CP12 - Foul&Surf.Water Sewerage/Sew.Tr.

Local Plan Pol H14 - Gypsies and Travellers

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): the layout details shown on the submitted plan are considered satisfactory from a highway perspective;

United Utilities (former Norweb & NWWA): no objection to the proposal. Our water mains may need extending to serve any development on this site. The applicant, who may be required to pay a capital contribution, will need to sign an Agreement under Sections 41, 42 & 43 of the Water Industry Act 1991.

A separate metered supply to each unit will be required at the applicant's expense and all internal pipework must comply with current water supply (water fittings) regulations 1999. Should this planning application be approved, the applicant should contact our Service Enquiries on 0845 7462200 regarding connection to the water mains/public sewers;

Department for Transport (Highways Agency): it is noted that there are to be no alterations to access from the public highway, either vehicular or pedestrian; and, that the site does not form a boundary with the A74 trunk road.

It should also be emphasised, however, that any drainage system or disposal of effluent ought in no way to connect to the existing or proposed drainage system for the A74 /M6 highway improvement scheme.

Subject to the above therefore, the Agency has no objections to this proposal;

Rockcliffe Parish Council: the Parish Council wish the matter to be left in the hands of the Planners.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
Ghyll Bank Stables	15/05/08	Support
Ghyll Cottage	15/05/08	Undelivered
Ghyll Bank House	23/05/08	
Ghyll Bank Caravan Park	23/05/08	
2 Old Harker		Objection

- 3.1 This application has been advertised in the form of a site notice and the direct notification of the occupiers of two neighbouring properties. At the time of preparing the report verbal concerns have been expressed on behalf of the owners of adjoining land concerning the proposed means of foul drainage.

- 3.2 The occupiers of Cryndlebeck Stables have written to explain that they are in full support of the proposal because it will not cause harm to anyone, and the applicant just wants to bring up his family with the basic amenities most people take for granted such as education and doctors.
- 3.3 In addition an e-mail has been received objecting to the proposal on the following grounds:
- 1) I would like to object to this application on the grounds that it would set a precedent if permanent planning consent was granted. It would allow the other Travelling Family who applied for retrospective planning permission, last year (application no 07/0522) to have their decision overturned. They have identical circumstances and the three year maximum stay was both realistic and acceptable to ourselves as neighbours. Longer than three years the applicants could surely not be considered as travellers.
 - 2) The permanent site at Ghyllbank is nowhere near full, (my last count of caravans was four). Mr Francis has stated that he has no objection to Travellers Gypsies or the General public on his site, the reluctance to go their lies with the families themselves. I do find it strange that the land was sold to them by Mr Francis himself.
 - 3) In the covering letter with this application it is stated that the work that has been carried out (without planning permission) has cost thosands of pounds. As an ordinary citizen if I applied retrospectively and was turneed down then I would have to remove any services or buildings regardless of cost.
 - 4) My other objections to the original application still applies, on the grounds of need there are sufficient places both at Ghyllbank and Hadrians camp 2 miles away to comply with criteria H20 as given in the local plan. The plan has alre dy been the subject of objection by Kingmoor properties who wished to build houses adjacent to this site but were turned down on the basis that any development would seriously undermine the character of the area. There has been much written about the lack of impact of the development on neighbouring property, these two sites are visible and do affect the Visible Amenity of my property being one field away some 3 - 400 yards.
 - 5) I strongly believe that the ratio of Gypsies / Travellers to Local people is wrong especially if the Ghyll bank site were to become fully populated. Finally I would refer you to the decision on the application 07/0522 " But for the special circumstances of the applicant (Namely the temporary closure of the Transit site at Hadrians camp) Permission would not be forthcoming."

4. Planning History

- 4.1 In relation to Ghyll Bank Stables planning permission was given in 2006, under application 06/0561, planning permission was given for the change

of use from waste ground to land for keeping of horses with erection of stable block with midden and hardstanding.

- 4.2 In July 2007, application 07/0522, a temporary permission for 3 years was given for Ghyll Bank Stables to be used by a single Gypsy family.

5. Details of Proposal/Officer Appraisal

Forward

- 5.1 Members will recollect that during the previous Meetings in May, July and November 2008 it was resolved to defer consideration of the proposal in order to allow Officers to clarify the situation regarding land ownership, the possible presence of sewers/drains within the site and to obtain a revised layout plan which re-orientates the proposed stable barn depending on established need.
- 5.2 As a result, the applicant's agent has submitted a completed Certificate B and notified the registered land owner. A revised block plan has been submitted revising the location of the proposed barn.
- 5.3 A copy of a Deed from the owner of the neighbouring property at Ghyll Bank House/Ghyll Cottage has been received under which there appears to be a stipulation for a significant part of the current application site to remain "unbuilt upon" because of the location of the soakaway serving Ghyll Bank House/Ghyll Cottage.
- 5.4 The Case Officer has subsequently written to and discussed the situation with a former owner of Ghyll Bank House who has confirmed that, irrespective of the aforementioned Deed, he understands that there is only a single pipe serving the septic tank which goes down the side of the current application site parallel to the lane. The septic tank and pipe having been installed at the time that the house was constructed.

Introduction

- 5.5 Ghyll Bank Yard is to the immediate south of Ghyll Bank House at Ghyll Bank, Low Harker. The site currently comprises 3 tourers, a portaloo and timber shed. Mr W H and Mrs M Young reside at the premises with their three children aged 6, 8 and 10.
- 5.6 The site is located to the east of the A74 with access achieved via an unclassified lane to the west of Ghyllwood, opposite the Harker electricity sub-station and buildings occupied by FPL and Haulage Express Ltd. There is a mature hedge approximately 3 metres high along the frontage with the access lane. The northern and western boundaries are delineated by a 2 metre high timber panel fence; the southern boundary by palisade fencing. To the immediate north and west there is a caravan storage compound (i.e. "Carlisle Caravan Storage") based from Ghyll Bank House; and, to the south an existing private Gypsy -Traveller site for a single family known as Cryndlebeck Stables (formerly Ghyll Bank Stables). The site is also set within

the general context of Ghyll Bank Caravan Park which is located to the north. The applicant's agent has indicated her understanding that the site was a surfaced yard previously ancillary to the Carlisle Caravan Storage premises.

- 5.7 This application seeks permission for the change of use of to a private Gypsy-Traveller site comprising two caravans, an amenity block and, stable. The caravans would comprise a mobile home and tourer. The amenity block, which is shown to measure 4 metres by 5 metres and constructed externally with brick walling and a tiled roof, would provide the necessary bathroom, laundry and cooking facilities. The proposed amenity block would be served by a septic tank or cess pool depending on ground conditions. The proposed barn is located in the south-western corner and measures 13.7 metres by 7.6 metres with a ridge height of 3.9 metres. The submitted plans indicate the barn to be constructed utilising brickwork and galvanised sheeting.
- 5.8 The application is accompanied by an explanatory letter from the agent, a Design and Access Statement and a letter from the Headteacher of Houghton C of E School copies of which have been attached to this report. The agent has also explained that if permission is granted it is intended to connect to water and electricity supplies jointly with the occupiers of Cryndlebeck Stables.

Background

- 5.9 Prior to May 2007 there was provision for at least 100 caravans for use by the Gypsy community comprising two "private" gypsy sites within the District, namely Hadrians Park and Ghyll Bank (Caravan) Park.
- 5.10 In the case of Hadrians Park there is planning permission for 30 permanent pitches and 30 transit pitches for one caravan each. The relevant site licence conditions allow for a total of 70 caravans on the site. Of these, 16 of the pitches are not restricted to occupation by Gypsies and thus there is capacity for 54 exclusively Gypsy caravans at Hadrians Park.
- 5.11 In relation to Ghyll Bank there is permission for 15 permanent pitches and 15 pitches that allow occupation for up to 28 days. Although having been used by Gypsy families, there are, however, no conditions that restrict occupation of any pitch to Gypsies or Travellers.
- 5.12 In the intervening period there have, however, been a series of changes in the provision for Gypsies and Travellers with regard to both Hadrians Park and Ghyll Bank. In addition, the University of Salford published in May 2008 a final report of the Cumbria Gypsy and Traveller Accommodation Needs Assessment (GTAA).
- 5.13 On the 1st May 2007 the transit site at Hadrians Park was closed and the caravans removed. On the 20th November 2007 during a Special Neighbourhood Forum meeting held at Houghton School, the proprietor allegedly explained that he wanted the freehold of Hadrian's Park; he would be willing to spend his own money to carry out all necessary upgrades; and, he was intending to re-open the transit site. At the time of preparing this

report, the transit site has yet to be upgraded at Hadrian's Park although there is anecdotal evidence of a limited and restrictive re-use.

- 5.14 Following a visit on the 24th October 2007, it became apparent that Ghyll Bank Caravan Park was being referred to as Ghyll Bank Park and marketed on the basis of "creating a relaxed lifestyle for the over 50's" with one park home in situ. On the 15th May 2008, the owner's son verbally confirmed that, apart from members of the family there were no other individuals residing at the premises.
- 5.15 The Report of the Panel into the North West Draft Regional Spatial Strategy (RSS) Examination in Public was concerned that the Strategy is deficient in a number of respects, including the failure to deal with gypsies and travellers. The Panel recommended in paragraph R2.1 that a partial review of the RSS is carried out as soon as possible, with a view to publication of the revised RSS not later than 2009 and that this should include Accommodation for Gypsies and Travellers.
- 5.16 In May 2008 the University of Salford published a final report of the Cumbria GTAA. The aforementioned report of the Cumbria GTAA has concluded that between 2007-2016 there is an additional need within Carlisle District for 35 residential pitches; and 5 transit pitches by 2012.
- 5.17 The "closure" of the transit site at Hadrians Park and the apparent change in circumstances with regard to the use of Ghyll Bank Park, has naturally raised concerns over provision within the District.
- 5.18 In such a context Members will be aware that under application reference numbers 07/0522 and 07/1083 temporary planning permission has been given for private Gypsy-Traveller sites not only at Ghyll Bank Stables but also Parkfield Stables, Newtown. In addition, permission has been granted for operational development (reference number 08/0976) that, if implemented, would lead to the potential reinstatement of use of Ghyll Bank Caravan Park as a Gypsy and Traveller site with 15 pitches but managed either by or on behalf of the City Council.

Assessment

- 5.19 At a general level, government advice is contained in Circular 8/93 "Award of Costs incurred in Planning and other Proceedings" and Circular 11/95. Consideration also needs to be made with regard to the Human Rights Act 1998 and the Race Relations (Amendment) Act 2000.
- 5.20 Specific advice is contained in Circular 01/2006 "Planning for Gypsy and Traveller Caravan Sites". Circular 01/2006 seeks, amongst other things, to create sustainable communities where gypsies have fair access to suitable accommodation, education, health and welfare provision. It advises that Development Plan Documents must allocate sufficient sites for gypsies and travellers, and that sites must be demonstrably suitable, and likely to be made available.

- 5.21 Circular 01/2006 also highlights that material considerations will include the existing and planned provision of, and need for, sites in the area, the accuracy of the data used to assess need, information on pitch availability on public and private sites, personal circumstances and alternative accommodation options. Paragraphs 45 and 46 explain that where there is unmet need but no available gypsy and traveller site provision in an area but there is a reasonable expectation that new sites are likely to become available at the end of that period in the area which will meet that need (as in this case), local planning authorities should give consideration to granting a temporary permission. The fact that temporary permission has been granted on this basis should not be regarded as setting a precedent for the determination of any future applications for full permission for use of the land as a caravan site.
- 5.22 The North West of England Plan Regional Spatial Strategy to 2021 does not contain any policy on Gypsies and Travellers. Policy H14 of the Carlisle District local Plan 2001 –2016 does provide guidance. The aforementioned Policy requires that where there is an identified need the City Council will consider the provision of Gypsy and Traveller sites and that they will be acceptable providing that they meet five criteria. Namely, the proposal will not compromise the objectives of the designation of an Area of Outstanding Natural Beauty or Landscape of County Significance; there would be no adverse impact on the local landscape; appropriate access and parking can be achieved; the proposed site is reasonably accessible to community services; and, the proposal would not adversely affect the amenities of adjacent occupiers by way of noise, vehicular or other activities on site.
- 5.23 On this basis it is considered that the main issues with regard to this application are:
- 1) the effect of the proposal on the character/appearance of the surrounding area;
 - 2) any adverse impact on the upgrading of the A74;
 - 3) the suitability of the site for such purposes adjoining the A74 and with regard to any means of drainage;
 - 4) the impact on the living conditions of neighbouring residents; and,
 - 5) whether there are any other considerations sufficient to clearly outweigh any harm with specific regard to the need for and availability of sites generally, the specific needs of the applicant and his family, and the matter of their Human Rights.
- 5.24 When considering the impact of the proposal on the character and appearance of the area, the site is read as being within an area of scattered development associated with the countryside. It could therefore be argued that the development would have the effect of interrupting the rural character of the area. In mitigation, the site is neighboured by development in the form of Ghyll Bank House and the associated commercial storage of caravans and, Cryndlebeck Stables. The site is also screened by the existing mature hedge along the road frontage.
- 5.25 In regard to the upgrade of the A74, the Highways Agency have not raised

any objections providing that any drainage system or disposal of effluent does not connect to the existing or proposed drainage system for the A74 /M6 highway improvement scheme.

- 5.26 In the absence of noise mitigation measures, it is unclear whether this site represents a longer-term solution. Nevertheless, it is appreciated that a residential dwelling in the form of Ghyll Bank House/Ghyll Cottage neighbours the site. The imposition of a condition requiring the provision of suitable noise attenuation is considered to be an onerous burden should Members consider that the proposal meets a short term need.
- 5.27 When considering the issue of drainage, the former owner of Ghyll Bank House/Ghyll Cottage has confirmed his understanding that a single pipe serving the existing septic tank crosses a strip parallel to the eastern boundary of the application site. The proposed development, apart from the possible siting of a touring caravan, is to be sited away from the pipe.
- 5.28 When considering the living conditions of neighbouring residents, with particular regard to Cryndlebeck Stables and Ghyll Bank House it is evident that the proposed structures are to be located away from the respective boundaries. The proposed stable barn, whilst at a higher level than Ghyll Bank Stables does not run the whole length of the relevant boundary and should be partially screened by the planting on both sides of the site. The principle outlook from the mobile home at Ghyll Bank Stables is south into the yard area.
- 5.29 In regard to the question of need, it is not contested that there is a national, regional and county need for gypsy site provision. In the case of the Carlisle area, the re-opening of the transit site at Hadrians Park and the approved operational development at Ghyll Bank Caravan Park will not address the identified need for permanent pitches.
- 5.30 The applicant and his family also have a current and immediate need for accommodation. The applicant and his wife have 3 children. If planning permission were to be refused and if this led to moves to evict them from the site it would undoubtedly disrupt the education of the children with little hope of any continuity being achieved from an itinerant roadside existence.
- 5.31 Members should also be aware that, if it were considered there is no suitable alternative accommodation, forcing the applicant and his family to leave the site would result in them losing their homes. This would represent an interference with their home and family life, respect for which is incorporated in Article 8 of the European Convention on Human Rights. Furthermore, in the light of the published final report of the Cumbria GTAA, the Council will be expected to make adequate provision for Gypsy accommodation in the area. Consequently any interference with the applicant and his family's human rights resulting from eviction from the site could be considered disproportionate to the harm caused to the public interest by the retention of the site particularly if for a limited time period.

Other Matters

- 5.32 Any issues arising from either ownership or the provisions of a Deed relating to Ghyll Bank House are essentially civil matters separate to the consideration of this application.

6.0 Conclusion

- 6.1 On the basis of the foregoing, but in the context of on-going efforts to address and satisfactorily resolve matters associated with the identified need, the recommendation is to grant a temporary permission.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 Article 8 the Right to respect for private and family life. Article 1 of protocol 1 relates to the Protection of Property and bestows the Right for the Peaceful enjoyment of possessions. If the applicant is given permission for a gypsy site because the Council cannot fulfil its obligation to provide sufficient designated gypsy sites and a neighbouring resident becomes unable either to sell their home/business or to experience the Right for Peaceful enjoyment of possessions then it could be alleged that the Council will have contravened the above Human Rights.

- 6.4 In response, it is considered that noise from any generator and nature of the use of the site can be controlled through the imposition of relevant conditions. In such circumstances any noise and disturbance from the applicant's family and vehicles can also be considered commensurate with that of a family dwelling and therefore not unreasonable.

- 6.5 Conversely, the applicant and his wife have 3 children. If planning permission were to be refused this would inevitably lead to moves to evict them from the site. In the event of this happening, and if considered that

there is no suitable alternative accommodation, eviction would undoubtedly disrupt the education of the school age children with little hope of any continuity being achieved from an itinerant roadside existence. Forcing the applicant and his family to leave the site would also result in them losing their homes. This would represent an interference with their home and family life, respect for which is incorporated in Article 8 of the European Convention on Human Rights. Furthermore, in the light of the recently published draft final report of the Cumbria GTAA the Council, will be expected to make adequate provision for Gypsy accommodation in the area. Consequently any interference with the applicant and his family's human rights resulting from eviction from the site could be considered disproportionate to the harm caused to the public interest by the retention of the site particularly if for a limited time period.

7. Recommendation - Grant Permission

1. The occupation of the site shall be carried on only by the following and their immediate family: Mr William Henry Young, Mrs Margaret Young nee Brough, Ms Nicole Young, Master William Henry Young, and Master Noey Young, and shall be for a limited period being the period of 3 years from the date of this decision, or the period during which the premises are occupied by them, whichever is the shorter.

Reason: But for the special circumstances of the applicants permission would not have normally been forthcoming.

2. When the land ceases to be occupied by all of the following: Mr William Henry Young, Mrs Margaret Young nee Brough, Ms Nicole Young, Master William Henry Young, and Master Noey Young or at the end of 3 years (whichever shall first occur), the use hereby permitted shall cease, all materials and equipment brought onto the land in connection with the use shall be removed, and the land shall be restored to its former condition.

Reason: But for the special circumstances of the applicants permission would not have normally been forthcoming.

3. No more than a total of 2 caravans as defined in the Caravan Sites and Control of Development Act 1968 shall be stationed on the land at any time.

Reason: To safeguard the character of the area.

4. The site shall only be used for residential purposes and the keeping/breeding of horses and no other commercial, industrial and/or retail activity shall take place on any part of it.

Reason: To safeguard the character of the area.

5. No vehicle over 7.5 tonnes shall be stationed, parked, or stored on the land.

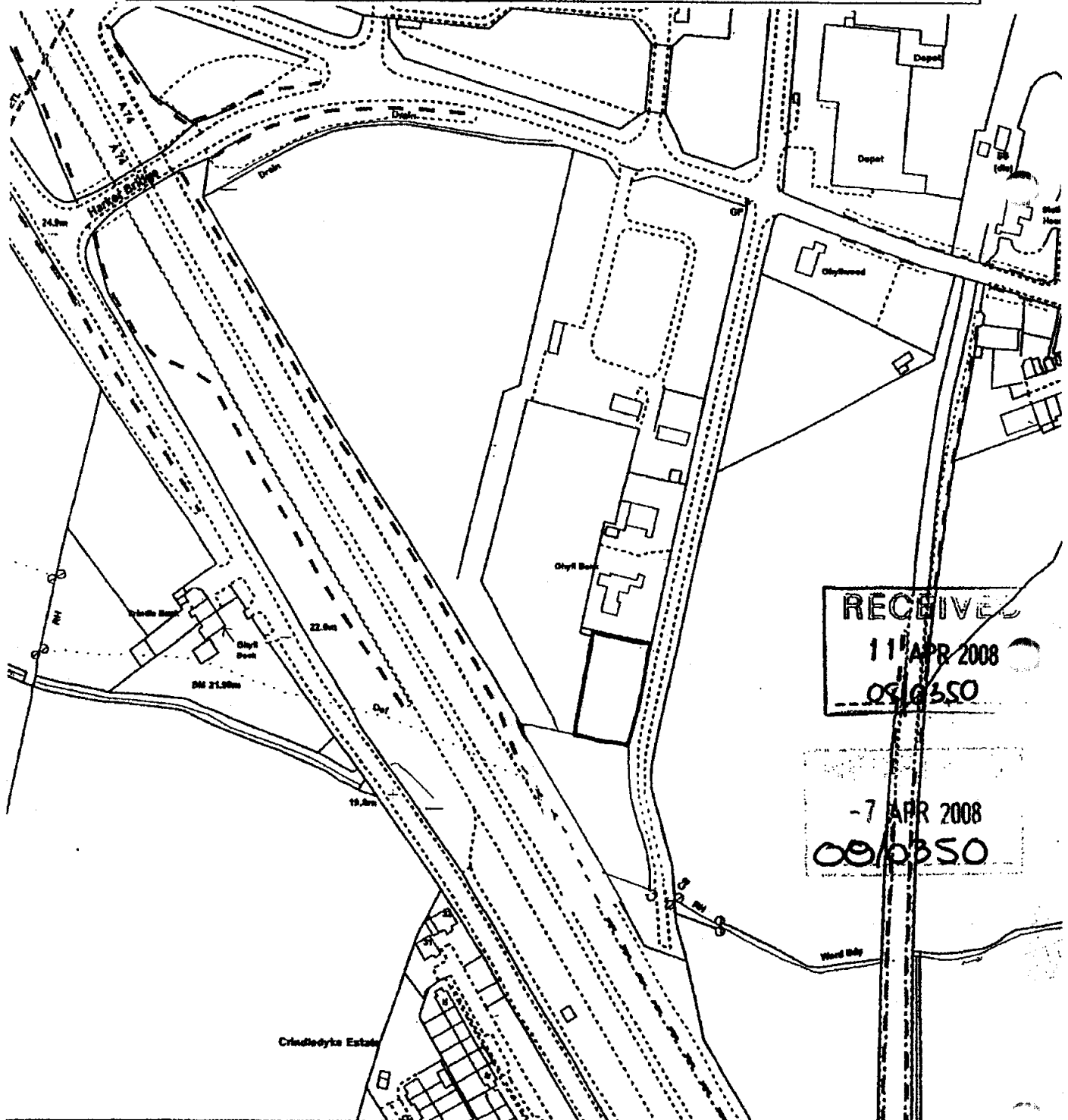
Reason: To safeguard the character of the area.

6. Notwithstanding the provisions of Condition 1 (above), the residential use hereby permitted shall cease and all caravans, structures, equipment and materials brought onto the land for the purposes of such use shall be removed within 28 days if any of the following requirements are not met:
- i) within 3 months of the date of this approval a scheme, including a timetable for implementation and full design details, has been submitted to the Local Planning Authority providing:
 - a) the removal of the existing unauthorised structures (timber shed) chattels (caravan) and any generator and connection of the site to the mains electricity supply;
 - b) samples or full details of materials to be used externally on the hereby permitted amenity block and stable barn; and,
 - d) the removal of the existing portable toilet and the connection of the amenity block to a septic tank/cess pool.

Reason: To safeguard the character of the area, the living conditions of the neighbouring residents and ensure the effective provision of foul and surface drainage.

Location Plan







Scale: 1:1250

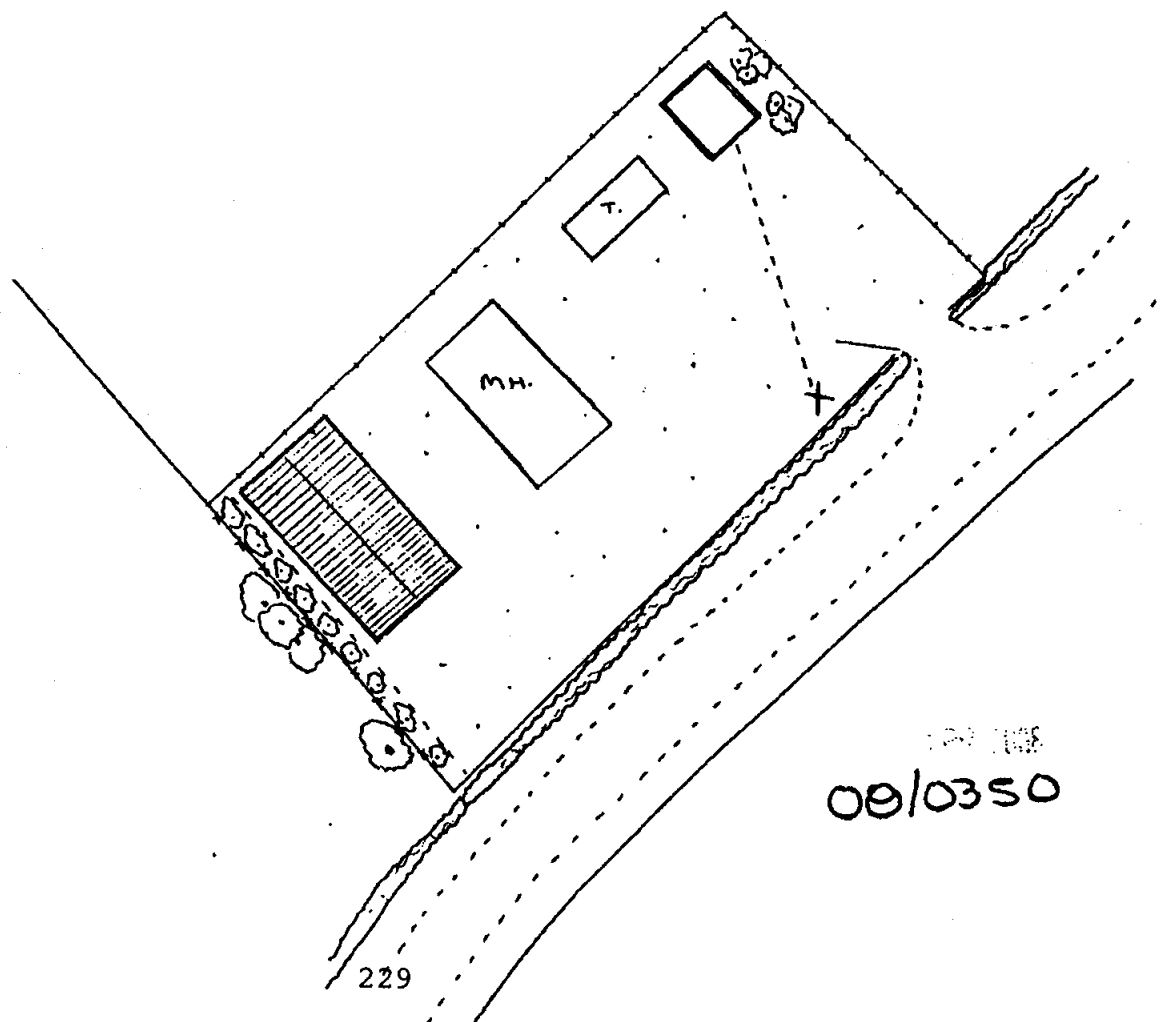


Yard off Ghyll Bank, Low Harker, Carlisle
Mr and Mrs W Young

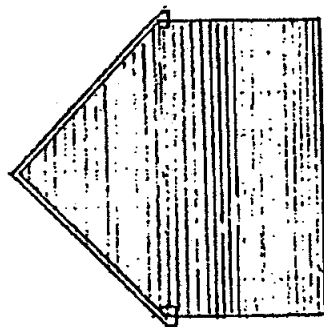
Block Plan

Scale: 1:500

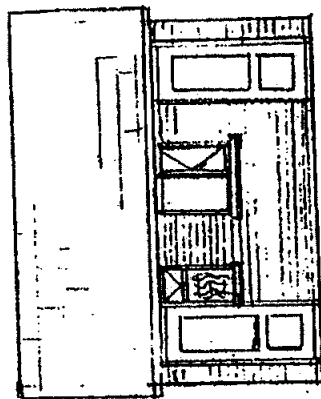
- | | | | |
|---|-------------------------------|---|-----------------------------|
| MH | Plinth for Mobile Home | T | Touring van |
| D | Day Room |  | Stable barn |
|  | Existing timber panel fencing |  | Existing steel fencing |
|  | Existing trees and shrubs |  | Existing hedgerow to retain |
|  | Hardstanding | X | Septic tank |



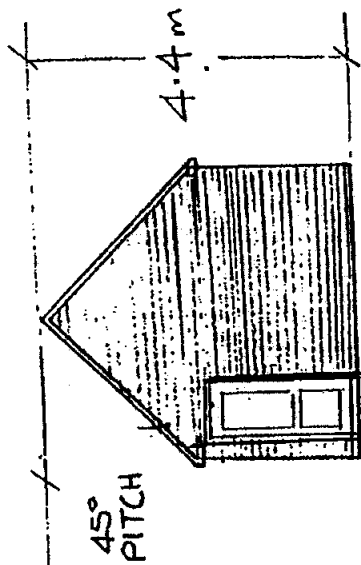
00/0350



END ELV.

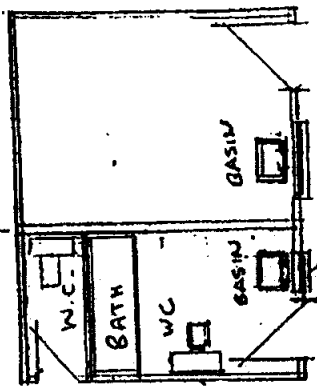


VIEW "A"

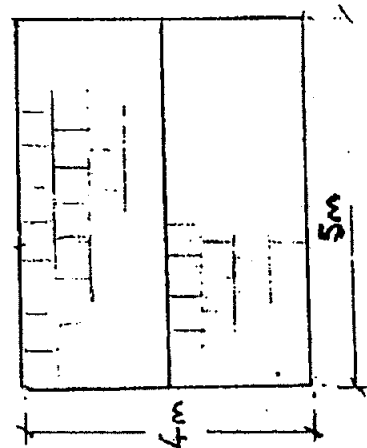
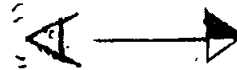


END ELV.

3m



FLOOR PLAN



PLAN VIEW

Proposed Utility/ Bathroom block

Scale 1/100

Face brickwork to suit LPA

Tiles to suit LPA

Foul water to septic tank

Surface water to new soakaway

00/0350

LPA 1000

Yard off Ghyll Bank, Low Harker, Carlisle
Mr and Mrs W Young

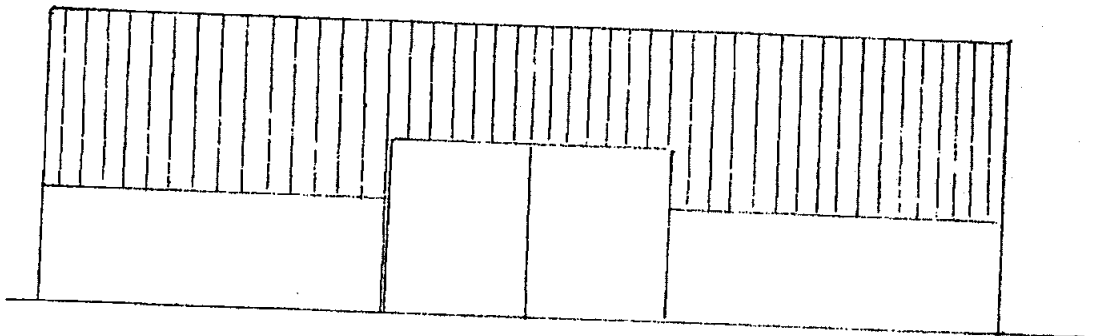
PLAN AND ELEVATION FOR STABLE BARN

Scale: 1:100

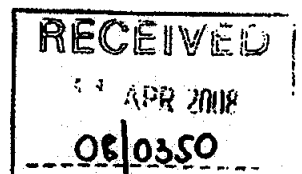
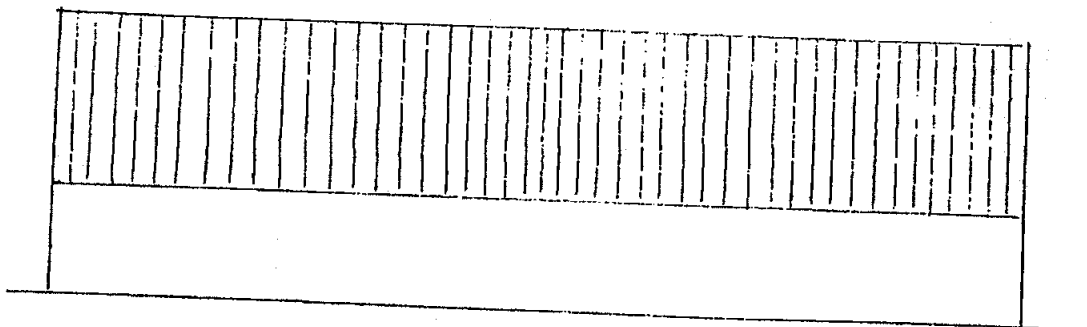
Specification: 7.6m wide, 13.7m long, 3.9m high

Concrete plinth, steel frame, brick base for lower 1.5m, profile galvanised sheets to upper wall and roof

FRONT ELEVATION



REAR ELEVATION



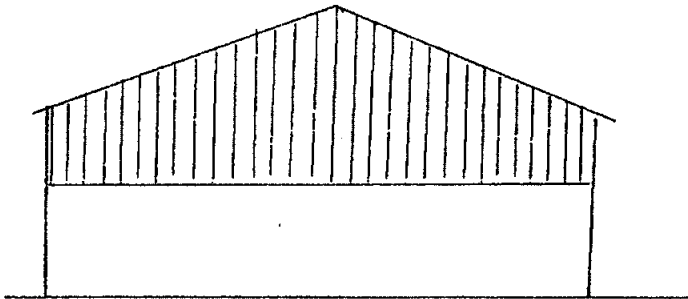
Yard off Ghyll Bank, Low Harker, Carlisle
Mr and Mrs W Young

PLAN AND ELEVATION FOR STABLE BARN

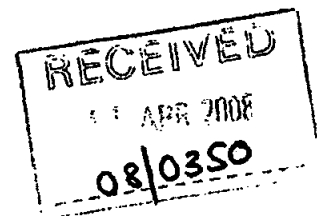
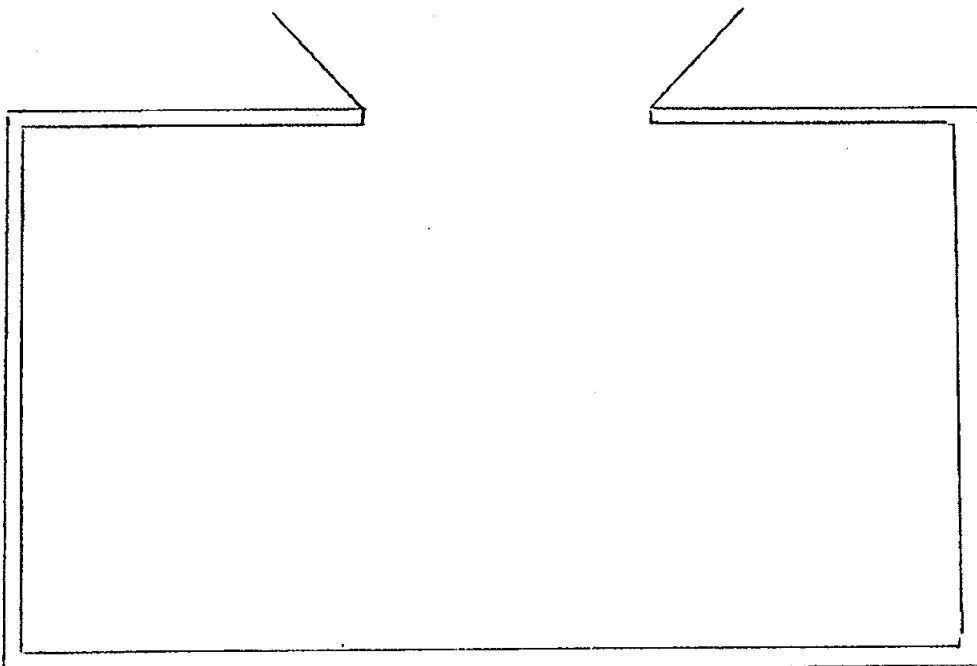
Scale: 1:100

Specification: 7.6m wide, 13.7m long, 3.9m high
Concrete plinth, steel frame, brick base for lower 1.5m, profile galvanised sheets to upper wall and roof

SIDE ELEVATION



FLOOR PLAN



SCHEDULE A: Applications with Recommendation

08/0906

Item No: 12

Date of Committee: 19/12/2008

Appn Ref No:
08/0906

Applicant:
Mr John Waters

Parish:
Nicholforest

Date of Receipt:
05/09/2008

Agent:
Mr Bruce Armstrong-Payne

Ward:
Lyne

Location:
Field 8443 Spruce Grove, Penton, Carlisle, CA6
5QR

Grid Reference:
345853 576400

Proposal: Revised Layout Of Caravan Site For The Provision Of 30no. Static Caravans

Amendment:

REPORT

Case Officer: Richard Maunsell

Reason for Determination by Committee:

This application is brought for determination by Members of the Development Control Committee due to objections received from Nicholforest Parish Council and a Ward Councillor wishing to exercise his right to speak.

1. Constraints and Planning Policies

Local Plan Pol DP1 - Sustainable Development Location

Local Plan Pol CP1 - Landscape Character

Local Plan Pol CP3 - Trees and Hedges on Development Sites

Local Plan Pol CP5 - Design

Local Plan Pol CP6 - Residential Amenity

Local Plan Pol CP12 - Foul&Surf.Water Sewerage/Sew.Tr.

Local Plan Pol EC15 - Tourism Caravan Sites

Local Plan Pol T1- Parking Guidelines for Development

Local Plan Pol LC8 - Rights of Way

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): considering the previous application reference 07/1093, there is no objection to the application shown on drawing SG.010808.

The applicant will need to contact CAPITA for a Section 184 licence in order to constructed the lay-by. The lay-by will have to be at least 15m in length with 15m tapers. The carriageway should be at least 6m in width (inclusive of the lay-by width) for the length of the lay-by;

Community Services - Drainage Engineer: comments awaited;

Local Plans (Tree Preservation), Development Services: the site of the proposal is a small woodland the most interesting feature of which is the overgrown Beech Hedge that is evolving into individual trees atop a kest along the south western boundary.

Whilst there is no objection to the proposal in general the applicant has not supplied sufficient information to enable the application to be determined. The applicant must supply a tree survey in accordance with British Standard BS 5837: 2005 Trees in relation to construction â Recommendations as required by virtue of their answer at section 16 of the Planning Application form.

This will help with providing sufficient information to determine the location of the pitches and infrastructure.

The Applicant will also need to supply a landscaping scheme that should pay particular attention to the boundary screening.

Details of the location of the service runs to the pitches and to the proposed sewage treatment plant must also be supplied.

Further comments received on 24th November 2008 read as follows:

Whilst the proposed species choice and size is acceptable the landscaping scheme needs to be detailed and not indicative. The areas to be planted up should be shown on the plans so as to avoid any doubt as to where those areas are;

Nicholforest Parish Council: the Parish Council raise a number of concerns regarding the application including:

- there are Section 106 agreements relating to the site;
- has the licensing officer visited this area before considering the application as quite a number of issues within the Acts governing the requirements for the system of licensing of caravans seem not to have been adequately considered and these will be discussed below;
- the Parish Council also realise that as long as planning permission or a

SCHEDULE A: Applications with Recommendation

08/0906

Lawful Development Certificate has been issued, a site licence must be issued, however we have some concerns about the validity of the planning permission already given as our documented minutes states that permission was sought in September 1983 and no evidence exist that a second application was ever presented and the issue was left dormant for seven years. The application states that work started on the site on 14th March 1990 and since then, the site has never been utilised as a caravan site;

- both planning permission and site licence are subject to conditions to preserve the safety and living standards of the occupants, the amenity of the area and the environment. To start implementing a project for which Planning Permission was granted in the 1980's almost thirty years later, the conditions referred to have changed considerable and therefore what was considered in the 80's aren't valid and no longer apply;
- there is a relationship between the Caravan Sites and Control of Development Act 1960 and the Health and Safety at Work etc. Act 1974. Under Section 3 of the Act it is the duty of site operators to conduct their undertaking in such a way as to ensure, so far as is reasonably practicable, that both residents and the public at large are not exposed to risks to their health and safety. There are many risks that can be linked to a caravan site with 12 month residence which cannot be reasonably controlled in an area that lacks adequate health/fire service as again is discussed below.

The Parish Council would like these matters further looked into because of the following concerns, all related to the above issues and Legislations:

- allowing 30 static caravans on a 12 month residence licence would change the whole characteristic of the area and quadruple the population;
- a 12 month residency licence is uncommon for a caravan site and is therefore likely to attract people who intend to dwell in their caravan all year round. As well as the increase in population being likely to cause massive changes to this environment we are concerned for the safety and living standards of the occupants;
- caravan sites for residence 12 months of the year are usually only granted in specific circumstances i.e. where the land is designated for residential use and there is a good infrastructure such as bus service, shops, health services, schools etc. nearby;
- there are no facilities on the site and there is no infrastructure locally to support such a large development. For instance there is no school (nearest ones are now twenty miles away), no health service (nearest ten miles away) no public bus services, no shops (nearest ten miles away) and no post office. When planning permission was granted, there was a minimal infrastructure in place such as one shop/ post office nearby and schools ten miles away but we don't even have these any more now;
- by law, Holiday Caravans need only be sited five metres from adjoining caravans whilst residential caravans must be six metres apart for better environmental and fire protection. Those who are apt to use the site all year round will not be benefiting from laws that would otherwise protect, had this actually been a site to be officially used for residential purposes;
- the original application (1983) was to promote tourism in the area. These holiday caravans aren't designed for all year round use. The insulation

SCHEDULE A: Applications with Recommendation

08/0906

standards are likely to be inadequate leading to condensation and more rapid deterioration of the unit. As well as this occupants using the caravans in the winter may be tempted to block ventilation grills leading to carbon monoxide poisoning. Seemingly several cases of this have occurred within caravans over the past few years;

- this area is damp and extremely cold in the winter. Local inhabitants find it difficult to keep their houses warm and free from damp. It is totally impractical (and a huge health and safety risk) to consider anyone being able to inhabit a caravan in Nicholforest over the winter months;
- caravans are likely to be inadequate in size for 12 month residency whereas purpose designed residential caravans is usually more spacious;
- should a disaster such as flooding or fire occur, those occupants who have opted to make use of the 12 month residence licence by occupying the site all year round would not be re-housed as they would be classed as being 'on holiday'. Also, cover provided by holiday caravan insurance is not as comprehensive as that issued for 'residential' use;
- even if the 12 month residence licence has stipulations such as caravans should only be used by holiday makers, it is highly likely the licence will be abused by those who intend to reside at the site all year round;
- the gradual appearance of 'residents' 'on holiday' will undermine the character of the site and the area. It will convey to other holiday makers that the site is more of a residential one and will attract those who are more likely to want to stay at the site all year round;
- those 'holiday makers' setting up residence at the site are likely to undermine the general appearance of this beautiful area with such as car repairs etc being carried out at the site or collections of building materials, tools etc. outside the caravans as there is insufficient space inside to house these;
- once people start using the site for all year residence, this will be difficult to control. A shorter residency licence and fewer caravans would keep the site neater and more manageable;
- the site is in a prominent position and the scrub spruce around the perimeter will not screen the caravans. Has a risk assessment been carried out with regards to the suitability of the "over mature" spruce;
- the Parish Council are concerned about the noise nuisance, the increased traffic on very narrow roads, the safety hazards to residents and public and the lack of nearby health services or fire services should anything untoward occur;
- the Parish Council would like to see evidence that the original application was in 1983 as dates quoted are subject to some confusion. What conditions apply to the original planning permission that was issued? Normally planning permission is valid for five years. It was over seven years before any work was allegedly done to this site and even longer for its change to a caravan site has been executed. Conditions relating to area, environment and public amenities relating original planning permission no longer apply;
- the site, with 30 caravans will be so densely populated that overspill onto open farm land will occur; and
- has the Environment Agency been consulted with regards to the overflow from the sewage treatment plant and the nearby small water course?

Further comments received on 18th November 2008 are summarised as follows:

SCHEDULE A: Applications with Recommendation

08/0906

- despite valid arguments there seems to be little to support the objections other than that the location of this site would not be supported under current policy guidelines;
- it would seem that there was a gross oversight when planning permission was granted in 1984 without restrictions on the occupancy of the static caravans;
- it would not be unreasonable to impose occupancy conditions which would be compliant with the advice in Circular 11/95; and
- it cannot be unreasonable to impose occupancy restrictions if when the whole site is occupied, the local population may be doubled or even quadrupled;

Ramblers Association: comments awaited; and

East Cumbria Countryside Project: comments awaited.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
Beyond The Moss	09/09/08	Support
Bridge Inn	09/09/08	
Pleaknowes	09/09/08	
Ashybank	09/09/08	Support
Moss Hill		Support

- 3.1 This application has been advertised by means of site notice, a press notice and direct notification to the occupiers of four of the neighbouring properties. At the time of writing this report, three letters of support have been received.

4. Planning History

- 4.1 Planning permission was granted in 1984 for the change of use to a caravan site.
- 4.2 In 2007, an application for a Certificate of Lawfulness for the formation of a caravan park was approved.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This application seeks Full Planning permission for the formation of a caravan park at Spruce Grove, Penton Carlisle. The site is located approximately

SCHEDULE A: Applications with Recommendation

08/0906

10.5 kilometres north-east of Longtown and approximately 0.5 kilometres south of Catlowdy and is within open countryside.

- 5.2 The site comprises a wooded area that measures approximately 2.86 acres (1.1 hectares) and is an angular piece of land immediately adjacent to the Catlowdy to Haggbeck Road. The topography of the land is relatively level is well screened on all sides by the existing trees and vegetation.

Background

- 5.3 Planning permission was granted in 1984 for the formation of a caravan site comprising of twenty static units, including one for occupation by the site warden, provision for ten touring caravan pitches, a toilet block and recreational area.
- 5.4 A subsequent application for a Certificate of Lawfulness was submitted in 2007 for an existing use as a caravan park. The applicant submitted evidence, including a sworn affidavit and the City Council accepted that the development had been commenced within the prescribed time period and the planning permission dating back to 1984 had been commenced lawfully.

Proposal

- 5.5 The current proposal seeks planning consent to vary the layout of the development approved in 1984 and to substitute the twenty static caravans and ten touring caravan pitches to provide a total of thirty static caravans. The vehicular access would be taken from the Haggbeck road, approximately eighty metres from the junction with the Catlowdy Road with a layby provided half way between the two points.
- 5.6 The static caravans would be sited around the perimeter of the site, separated from the boundaries by retained landscaping. The application details also illustrate an extensive landscaping scheme that seeks to retain much of the existing landscaping and proposes to replace existing gaps in hedgerows and provide additional planting within the site. The development will also include the formation of parking places including visitor parking provision and the installation of a treatment plant.
- 5.7 The relevant planning policies against which the application is required to be assessed are Policies DP1, CP1, CP3, CP5, CP6, CP12, EC15, T1 and LC8 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues.

Assessment

1. The Principle Of Development And Sustainability Of Location
- 5.8 A key principle of operative planning policies is that development of all kinds should be sustainable. That principle is equally pertinent to developments of caravan sites as it is to forms of built development. In this regard, the

guidance in Planning Policy Statement 7 - Sustainable Development in Rural Areas (paragraph 3) is helpful in advising that:

"Away from larger urban areas, planning authorities should focus most new development in or near to local service centres where employment, housing (including affordable housing), services and other facilities can be provided close together. This should help to ensure these facilities are served by public transport and provide improved opportunities for access by walking and cycling. These centres (which might be a country town, a single large village or a group of villages) should be identified in the development plan as the preferred location for such development."

- 5.9 Planning Policy Guidance 21 (Tourism) has been replaced by a document issued by the Department for Communities and Local Government entitled "Good Practice Guide on Planning for Tourism". It is unusual for a PPG to be withdrawn and not be replaced directly but nevertheless, the Good Practice Guide is a material consideration that should be taken into account when considering this application.

- 5.10 Paragraph 22 states that:

"New sites that are close to existing settlements and other services will generally be more sustainable as some local services may be accessed by means other than by car."

- 5.11 The objectives of national planning policy are reflected in Policy DP1 of the Carlisle District Local Plan. They require that the overall quality of life within Cumbria should be enhanced through the promotion of sustainable development that seeks to protect the environment, ensure prudent use of resources and maintains social progress and economic growth.

- 5.12 Although sustainability is an important underlying principle of planning policy and applies to tourism, it should be recognised that tourism in Cumbria is closely linked to the important landscape designations of the Lake District, North Pennines, the Solway Coast, and Hadrian's Wall, as well as Carlisle. It is therefore inevitable that not all these locations are easily accessible by public transport and, therefore, there will be a high dependency on private transport.

- 5.13 Policies are, thus, in place to ensure a continued but strategic economic growth within the District but at the same time, have to be balanced against the issue of sustainability. The proposed development is in an unsuitable location which is not supported by national or local planning policy; however, Members reminded of the historical context of development on this site. Planning permission was granted in 1984 for the use of the land as a caravan site. In 2007, a Certificate of Lawfulness was applied for where it was argued that the foundations for the toilet block had been laid within the required timescale. Such applications are not determined on planning merit but on the strength of the evidence submitted and in this instance, the City Council accepted that the development was lawful. Consequently, if no previous

SCHEDULE A: Applications with Recommendation

08/0906

planning history existed for the site, it would be appropriate to determine the application against adopted Local Plan policies and for the aforementioned reasons, the development would be contrary to these policies; however, given the background of the site and the fact that a previous consent has been implemented and is lawful, there can be no debate over whether the principle of the development on the site is acceptable or not.

- 5.14 The application site area is unaltered and the issue relating to this current proposal relates to visual impact of the ten static caravans as opposed to ten touring caravans.

2. Landscape Impact

- 5.15 In relation to the site's rural location, Policy CP1 of the Local Plan states that development proposals in the rural area must seek to conserve and enhance the special features and diversity of the different landscape character areas. There is no particular landscape designation but nonetheless, the supporting text of the policy states that the development should not unacceptably damage local character and where possible enhances the distinctive character of the local area.
- 5.16 Development proposals will be acceptable subject to consideration against 4 criteria and the policy adds that permission will not be granted for development in the undeveloped open countryside unless it is required to meet local infrastructure needs, or for dwellings supported by a proven agricultural or forestry need. In effect, proposals should be compatible with the distinctive characteristics and features of Cumbria's landscape types and sub types and proposals need to be assessed in relation visual intrusion or impact; their scale in relation to the landscape and features; and the openness, remoteness and tranquillity of the location.
- 5.17 In considering these proposals, Members should note that, the site is located within a densely wooded area. The principle of development on the site has already been discussed in the preceding paragraphs and has been established through the extant consent; therefore, the issue in relation to this matter is the difference between the scheme that benefits from planning permission and the current proposal. The vehicular access into the site remains in approximately the same position. The layout that is subject to the this application is somewhat simplified from the approved scheme insofar as the road extends into the site and then branches left and right to provide two spinal roads whereas the approved scheme has far more branches extending from the main access road. The static caravans will extend further south into the site allowing more circulation space around the development.
- 5.18 Fundamentally, the development is well contained within the site and although the caravans will extend over a greater area, they will be screened by the existing trees and vegetation. Coupled with the proposed landscaping scheme, the visual appearance of the development within the context of the character of the area will be minimal and will not conflict with policy objectives.

3. The Effect On The Living Conditions Of Occupiers Of Nearby Properties

5.19 Policy CP6 of the Local Plan requires that development proposals do not adversely affect the amenity of residential areas by virtue of inappropriate development, scale or being visually intrusive. In relation to these objectives, which are actually intended to protect the living conditions of residential neighbourhoods from inappropriate land uses or developments, Members should note that the nearest property is known as Moss Hill and is located approximately 80 metres to the south of the application site. The curtilage of this property is approximately 65 metres from the proposed caravan site and is separated by the applicant's property and curtilage. It should be noted that the nearest caravan would be approximately 160 metres to the north of the neighbouring property.

5.20 In respect of these issues, there will undoubtedly be an increase in use of the surrounding highway network but it is not considered that the proposal that is being presented for consideration would be either obtrusive or adversely affect the living conditions of the occupier of this property.

4. Impact On Trees

5.21 The site supporting landscape statement identifies that the woodland within the site is typical of the area being a small spruce plantation which now over mature and has suffered from windblow over a number of years with the blown trees still lying on the ground. Where gaps in the canopy have occurred, some different species have become established, many of which are semi-mature.

5.22 The trees on the site form a vital role in providing established screening for the development; furthermore, it is proposed to incorporate a landscaping scheme. The Council's Tree Officer initially raised concerns about the proposal given the absence of a Tree Survey. This was duly submitted but further comments received requested further information from the applicant and requires the landscaping scheme to be detailed and not indicative. The areas to be planted up should be shown on the plans so as to avoid any doubt as to where those areas are. This issue has been relayed to the applicant and a further response is presently awaited; however, it can be regulated through an appropriate condition should Members be minded to approve the application.

5. Other matters

5.23 One of the issues raised in the consideration of this application and one expressed by the Parish Council is that of occupancy of the caravans. With planning consents that are granted under the current policy climate, a raft of conditions are imposed restricting the occupancy of the caravans and requiring a register of guests to be kept by the manager, to avoid permanent occupancy.

SCHEDULE A: Applications with Recommendation

08/0906

- 5.24 When planning consent was originally granted in 1984, which is the permission that has been implemented on the site and remains valid in perpetuity, no occupancy restrictions were imposed. Circular 11/95 provides advice with regard to the use of conditions attached to planning consents and in particular, paragraph 14 states that conditions should not be imposed unless they are both necessary and effective, and do not place unjustifiable burdens on applicants and provides six tests that a planning condition should meet, namely:
- i. necessary;
 - ii. relevant to planning;
 - iii. relevant to the development to be permitted;
 - iv. enforceable;
 - v. precise; and
 - vi. reasonable in all other respects.
- 5.25 With regard to this proposal, the issue of 'reasonableness' is key. The Planning Officer has considered this matter and taken advice from the Council's Head of Legal Services . The previous consent from 1984, which is extant, did not impose any occupancy restriction. The applicant is at liberty to continue to develop the site in accordance with this consent and it would, therefore, be more than likely viewed as unreasonable to impose a restrictive occupancy condition on any revised planning permission on the basis that the existing permission does not have such a restriction and the current application is, in essence, a variation in layout albeit with a move from ten touring caravans to ten static, the total number of caravans remaining constant at thirty.
- 5.26 The applicant proposes to deal with foul sewage from the site by way of the installation of a treatment plant with associated soakaway. Policy CP12 of the Local Plan requires that new development will only be permitted if foul sewers and sewage treatment works of adequate capacity and design are available or will be provided in time to serve the development. The Environment Agency has raised no objection to the proposal subject to the imposition of appropriate conditions.
- 5.27 There is a right of way to the north of the application site but the proposed development will not interfere with the public's use of this footpath.

Conclusion

- 5.28 In summary, although not a sustainable location, the principle of caravan development on the site has been established. The issues relate to the revised layout and the occupancy of the caravans. The topography of the land together with the existing trees and proposed landscape means that the development will not adversely affect the character or appearance of the area. It would be more than likely viewed as unreasonable to impose occupancy restrictions on the caravans in view of the fact that the site benefits from an extant planning permission where no such occupancy restrictions exist.

- 5.29 There are no residential properties immediately adjacent to the application site. Whilst the development of the site will increase the overall population in the area, the living conditions of residents in the locality will not directly be adversely affected by the development.
- 5.30 On balance, it is considered that the proposal is considered acceptable subject to the attached planning conditions.

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the completion of the development and maintained thereafter; and

SCHEDULE A: Applications with Recommendation

08/0906

any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policy CP1 of the Carlisle District Local Plan 2001-2016.

3. Prior to the commencement of development hereby approved, full details of the colour scheme for each caravan, and any subsequent replacement caravan to be sited shall be submitted and agreed in writing by the Local Planning Authority prior to the caravan being placed on the site.

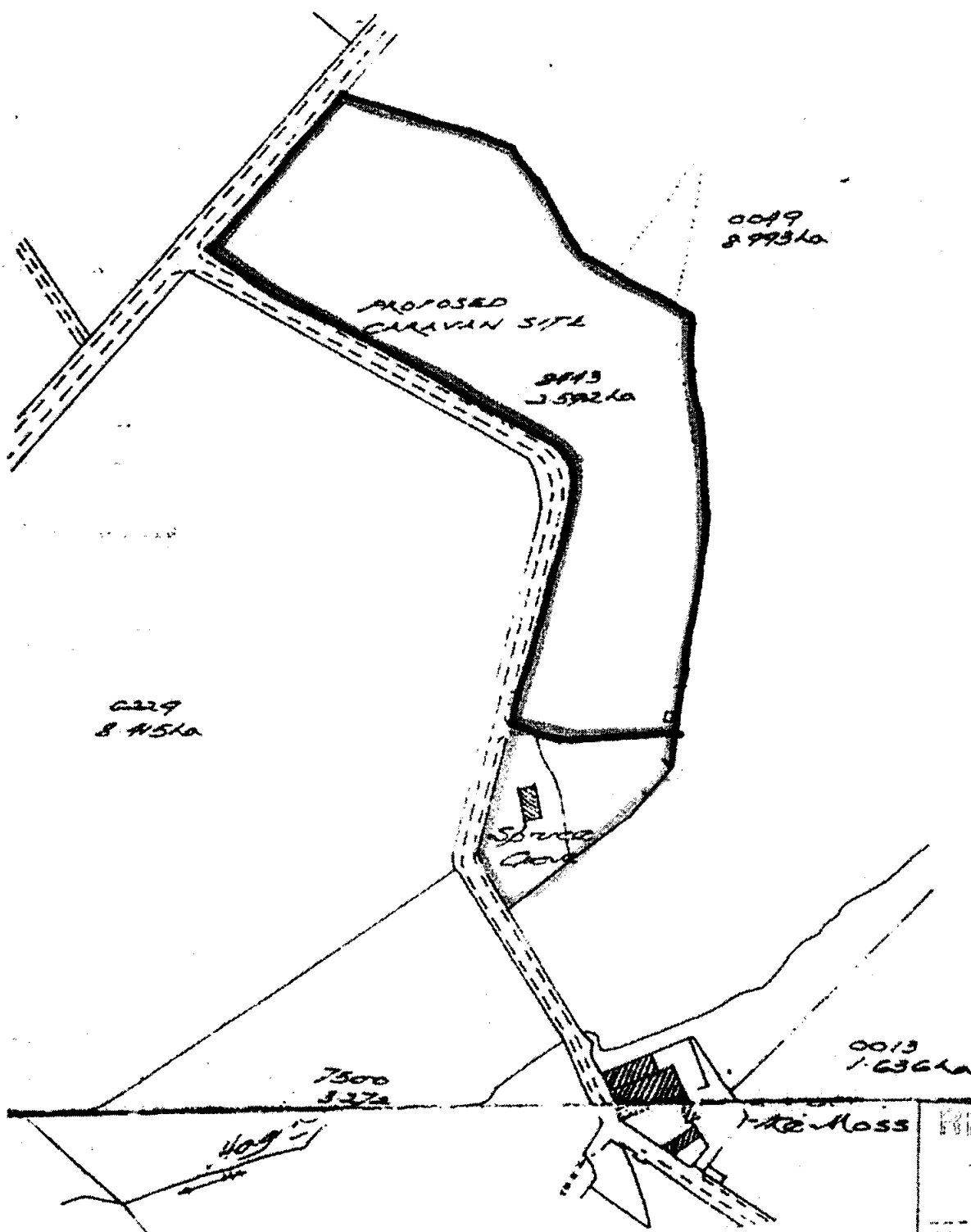
Reason: In order to ensure a satisfactory for of development in accordance with the objectives of Policy CP1 of the Carlisle District Local Plan 2001-2016.

4. No development approved by this permission shall be commenced until a scheme for the conveyance of foul drainage to a private treatment plant has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of foul drainage disposal in accordance with the objectives of Policy CP12 of the Carlisle District Local Plan 2001-2016.

5. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of foul drainage disposal in accordance with the objectives of Policy CP12 of the Carlisle District Local Plan 2001-2016.



**B. Armstrong-Payne Dip TP MRTPI
Planning Consultant**

**Revised layout
Spruce Grove Caravan Site Penton**

Location Plan

Scale 1:2500

PLANTS, PLANTING & MAINTENANCE

- All new plant material to comply with BS 3936 & be planted in accordance with BS 5428
- All new plant material shall be of local provenance where possible
- All new plants to have a 1m diameter once maintained specimen for a period of at least 3 years
- Any plants which fall in the first 5 years after planting will be replaced with those of a similar size & species unless agreed otherwise with the LPA

EXISTING WOODLAND

Originally a small spruce plantation typical of the area, now over-mature, with some larch, beech, ash, alder, birch, sycamore, holly & ash. Many self-seeded & now mature spruce have been removed or been uprooted. Many of these blown / uprooted trees are still lying & have put up new growth. The ground is now covered in a dense carpet of ferns & there will be a lot of autumn seed damage in this location if conventional thinning is carried out.

The aim is to retain as many healthy, self-seeding trees as possible, removing any dead, dying or dangerous trees and underplanting (as above) to reinforce the boundary screening as well as introducing a shrub layer which will help diversify the canopy. The ground will be cleared of any debris. Where the site, all dead, dying, leaning, dangerous trees will be removed & the stags and positioned in the gaps created by this management. Healthy, stable trees, particularly the broadleaves, will be retained. It is recommended that a suitably-qualified Tree Surgeon is employed to advise on the stability of the trees & the management of the woodland.

PROPOSED NEW PLANTING

Indicative only - to reinforce boundary screening, in any open areas or gaps in the canopy after removal of trees for the development

All to be 100% local provenance, where appropriate, planting at necessary to encourage bushy growth. All to be protected against damage by stock, vermin, etc. with individual tree/shrub guards (to be erected immediately & maintained until the plants are established, usually 3-4 years after planting)

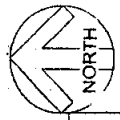
30%	Cornus alba	Hazel
30%	Cornus monspeliensis	hawthorn
10%	Red ash	holly
10%	Later europaeus	gorse
10%	Prunus spinosa	Sedum
10%	Prunus laurocerasus	Red cherry

CONSERVATION MEASURES

- to convert the woodland to a mixed wood, retaining woodland conditions as far as possible
- maintain woodland conditions until new broadleaved planting is established
- to manage the spruce wood, selectively thinning out dead, dying & suppressed trees, to encourage growth in broadleaves & convert the woodland to mixed wood
- new planting of native broadleaved trees & shrubs (of local provenance if available) to improve & enhance the visual & wildlife value of the woodland
- fallen & rotten trees left at habitats away from paths
- protect young trees & woodland vegetation from damage by deer, grey squirrel, rabbit, etc.
- protect badgers, red squirrels, bats & any other special wildlife which are characteristic of the woodland
- install feeding/nesting boxes for squirrels, provide a conservation & interpretation notice board
- local contractors, suppliers & products to be used
- water run-off maintained by use of unbound surfaces for the road, parking spaces & bases
- no chemical fertiliser or herbicide to be used

EXISTING TREES TO BE RETAINED

Indicative only, not surveyed - see woodland management notes



RECEIVED
5 SEP 2008
08/0946

SPRUCE GROVE PENTON CARLISE

for Mr & Mrs Waters

job

SITE FOR 30 STATIC UNITS

drawing

scale

1:500

1/1/150

date

25.01.0808

1/1/150

date

August 2008

9C

GILLIAN CARSTICK Dip LA, NLI
Chartered Landscape Architect

Timberland
Landscape Architects
11
Telford
Shropshire
TF11 8JL
Tel: 01827 82423
e-mail: gcarstick@telford.co.uk

SCHEDULE A: Applications with Recommendation

08/0961

Item No: 13

Date of Committee: 19/12/2008

Appn Ref No:
08/0961

Applicant:
Mr R Liddell & Mrs P E
Sarratt

Parish:
Burgh-by-Sands

Date of Receipt:
18/09/2008

Agent:
Architects Plus (UK) Ltd

Ward:
Burgh

Location:
Land adjacent to Windrush, Burgh by Sands

Grid Reference:
332759 559361

Proposal: Erection Of 1No Detached 3 Bedroom House

Amendment:

1. Amended plans have been received which reduce the ridge height of the dwelling from 7.7m to 6.2m; set the section of the dwelling with a lower ridge height back 0.2m; and move the parking area from the south of the proposed dwelling to the north.

REPORT

Case Officer: Stephen Daniel

Reason for Determination by Committee:

This application is brought before the Development Control Committee for determination due to the receipt of five letters of objection from local residents in response to the original plans submitted.

1. Constraints and Planning Policies

Ancient Monument

Area Of Outstanding Natural Beauty

Gas Pipeline Safeguarding Area

The proposal relates to land or premises situated within or adjacent to the Gas Pipeline Safeguarding Area.

Conservation Area

The proposal relates to land or premises situated within the Burgh-By-Sands Conservation Area.

SCHEDULE A: Applications with Recommendation

08/0961

Local Plan Pol DP1 - Sustainable Development Location

Local Plan Pol H1 - Location of New Housing Develop.

Local Plan Pol CP5 - Design

Local Plan Pol CP12 - Foul&Surf.Water Sewerage/Sew.Tr.

Local Plan Pol LE7-Buffer Zone Hadrians Wall W.Herit.Site

Local Plan Pol LE8 - Archaeology on Other Sites

Local Plan Pol DP9 - Areas of Outstanding Natural Beauty

Local Plan Pol LE19 - Conservation Areas

Local Plan Pol T1- Parking Guidelines for Development

2. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): no objections, subject to conditions;

Community Services - Drainage Engineer: the applicant indicates disposal of foul sewage to the mains (public) sewer, which is acceptable as long as United Utilities can confirm that there is sufficient capacity in the sewer.

The applicant indicates disposal of surface water to a soakaway, which is an acceptable method of disposal.

I have no knowledge of flooding issues at this site;

United Utilities (former Norweb & NWWA): no objections provided that the proposed dwelling is at least 3 metres away from the public sewer that runs along the road close to the site boundary;

Conservation Area Advisory Committee: the Committee was able to examine both the earlier proposal and the revised version. It considered the revised proposal to be a much better attempt at finding a solution for this site;

English Heritage (Hadrians Wall) - NE Region: no comments;

Development Services Planning & Housing Services - Conservation Section: no objections to revised scheme;

Burgh-by-Sands Parish Council: objected to the original plans submitted for the following reasons:

SCHEDULE A: Applications with Recommendation

08/0961

1. concerned that this application will put pressure on an already overloaded drainage system and cause further problems;
2. the style of the building is not appropriate for the site i.e. not vernacular and not in accordance with the Burgh by Sands Design Statement;
3. additional entrances along a very narrow section of road will cause problems.

Following receipt of the revised plans, the Parish Council is now only objecting to the proposal on drainage grounds (matter 1. above);

Northern Gas Networks: no objections;

Solway Coast AONB Unit: comments awaited;

Hadrians Wall Heritage Limited: comments awaited;

Cumbria County Council - (Archaeological Services): no objections, subject to conditions.

3. Summary of Representations

Representations Received

Initial:	Consulted:	Reply Type:
6 Milton Lane	24/09/08	
7 Milton Lane	24/09/08	
8 Milton Lane	24/09/08	
Beech House	24/09/08	Comment Only
Meadow View	24/09/08	Objection
Edna's Cottage	24/09/08	
Yew Tree Cottage	24/09/08	
Milton Cottage		Objection
The Warren		Comment Only
North End		Comment Only

3.1 This application has been advertised by means of site and press notices as well as notification letters sent to seven neighbouring properties. Five letters of objection were received in response to the original plans submitted. The grounds of objection are summarised below:

- The proposal is not in keeping with the surrounding properties or the Conservation Area - the pitch of the roof is very high and unnecessary - a single-storey building would be more suitable;
- A new building so near to the road, in this sensitive location, should be of very low profile, if allowed at all;

SCHEDULE A: Applications with Recommendation

08/0961

- Windrush, the existing bungalow, will look very high up in comparison to the new dwelling - there is no mention of a retaining wall between the 2 properties;
 - The proposal would clearly & significantly obstruct the views from Meadow View;
 - The land appears to be an old orchard & a number of trees would be removed during the construction work;
 - The proposed construction would not blend in with the present surroundings in relation to its design & proximity;
 - The road is very narrow for vehicle access and parked cars already make access for large vehicles difficult;
 - Any proposed dwelling should have parking for 2/3 cars and room to turn before re-entering the road;
 - The proposed visibility splay encroaches onto land in the ownership of Milton Cottage;
 - The new road line allow vehicles to come within 0.9m of Milton Cottage (current distance is 2.6m);
 - The boundary between Milton Cottage and the garden of Windrush is shown as being just under 1m from Milton Cottage - the hedge is actually 1.7m from the house;
 - The south elevation shows french windows and side windows - since the house will be 2.5m higher than Milton Cottage this will lead to loss of privacy;
 - The proposed dwelling will block morning sun light to The Warren;
 - There is no surface water drain and the loss of green space to hard surfaces will exacerbate existing problem.
- 3.2 At the time of writing this report, no letters of objection have been received in response to the amended plans submitted. Members should, however, be aware that the consultation period expired on 19 November 2008.

4. Planning History

- 4.1 There is no planning history relating to this site.

5. Details of Proposal/Officer Appraisal

Introduction

- 5.1 This application seeks Full Planning Permission for the erection of one dwelling on land adjacent to Windrush, Burgh-by-Sands. Windrush is a brick bungalow, which adjoins the application site to the north. The site, which forms part of the garden to Windrush, currently contains a large area of lawn and a number of fruit trees. The site slopes downhill away from Windrush, with the majority of the site being approximately 1m higher than the adjacent road. The application site, which is surrounded by a hedge, has a frontage to the road of approximately 36m, with the width varying from 15m at its northern end to 5m at its southern end.
- 5.2 A road lies directly to the east of the site, beyond which lie the residential properties of Ednas Cottage, Meadow View and Beech Bank. Milton Cottage adjoins the site directly to the south, whilst residential development (a two-storey dwelling and a bungalow) adjoins the application site to the west.

Background

- 5.3 The application was submitted on 18 September 2008. There were five objections from local residents to the original plans, with the Parish Council also objecting and County Highways expressing concerns about the proposed access.
- 5.4 Following discussions with the Conservation Officer and County Highways the scheme has been amended as follows:
- The ridge height of the dwelling has been reduced from 7.7m to 6.2m
 - The part of the dwelling which has a lower ridge height has been set back by 0.2m and quoins have been added
 - The parking area has been relocated from the south of the proposed dwelling (adjacent to Milton Cottage) to the north (adjacent to Windrush).
- 5.5 No objections have been received from local residents to the amended plans. The Parish Council has objected to the amended plans but there is now only one reason for objecting and this relates to drainage issues.

The Proposal

- 5.6 The proposed dwelling would measure 19.3m in length, with the main part of the dwelling measuring 6.6m in width, 6.2m to the ridge and 3.2m to the eaves. Part of the dwelling would be stepped back and this would have a width of 6.4m and lower ridge and eaves heights of 5.6m and 2.6m respectively. A small porch would be added to the front elevation. The dwelling would be constructed of painted render, with stained timber windows and doors, under a slate roof.
- 5.7 The ground floor would contain a living room, dining room, kitchen, two

SCHEDULE A: Applications with Recommendation

08/0961

bedrooms and two bathrooms, with the upper floor containing a bedroom, a bathroom and a study. The dwelling would be positioned in the centre of the plot, with a garden area being located to the south, east and west of the dwelling and a parking area being located to the north. The level of the site would be reduced to that of the adjacent road.

- 5.8 It is proposed to discharge foul sewage to the main sewers, with surface water being disposed of via soakaways.

Assessment

- 5.9 The relevant planning policies against which the application is required to be assessed include Policies DP1, H1, CP5, CP12, LE7, DP9, LE19 and T1 of the Carlisle District Local Plan 2001-2016.
- 5.10 The proposal raises the following planning issues:
1. The Principle Of Residential Development
- 5.11 Policy H1 of the Carlisle District Local Plan 2001-2016 deals with the location of new housing development. Burgh-by-Sands is identified as a Local Service Centre within the Policy and the application site lies within the defined settlement boundary. Small-scale residential development on the site is, therefore, acceptable in principle.
2. The Impact Of The Proposal On The Burgh-by-Sands Conservation Area, The Solway Coast AONB And The Hadrian's Wall World Heritage Site
- 5.12 The site is located within the Burgh-By-Sands Conservation Area, an Area Of Outstanding Natural Beauty (AONB) and the Buffer Zone of the Hadrian's Wall World Heritage Site. The proposed dwelling would be sympathetically designed and constructed of traditional materials. Both the Conservation Officer and the Conservation Area Advisory Committee have raised no objections to the revised proposal. Indeed, the Conservation Officer has had an input into the design of the dwelling. In light of the above, the proposed development would make a positive contribution to the Conservation Area, the AONB and the World Heritage Site.
3. The Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Properties
- 5.13 Meadow View, which would be located directly across the road from the proposed dwelling, would have a bedroom window approximately 19.5m from a bedroom window on the new dwelling and 20.5m from a kitchen window. Given that Meadow View would be located at a higher level than the proposed dwelling and given the orientation of the proposed dwelling, this distance is sufficient to ensure that there would be no loss of amenity to the occupiers of this dwelling.

- 5.14 Ednas Cottage would have the parking area for the proposed dwelling located across the road from its southern end. Given that Ednas Cottage is located immediately adjacent to the highway, this would not adversely affect the occupiers of this dwelling.
- 5.15 Milton Cottage adjoins the southern end of the application site and would have a blank gable wall facing the south elevation of the proposed dwelling, which would be almost entirely glazed. Given that the proposed dwelling would be 18.5m from the blank gable wall at Milton Cottage, the difference in levels and the presence of a fence/landscaping on the boundary, the proposed dwelling would not have an adverse impact on the occupiers of Milton Cottage through loss of privacy.
- 5.16 A two-storey dwelling and a bungalow are located to the west of the application site. Given the height of the proposed dwelling, the orientation of these properties in relation to the proposed dwelling and the presence of a hedge on the boundary, the living conditions of the occupiers of these dwellings would not be adversely affected by the proposed development.
- 5.17 The host dwelling, Windrush, would have two windows facing the north elevation of the proposed dwelling. This elevation would, however, be a blank gable wall and would be 12m away. Whilst there could be some overlooking of the garden of the new dwelling from the garden of Windrush, this would be eradicated by allowing the existing hedge to grow higher or by the erection of a fence. In light of the above, the proposal would not adversely affect the living conditions of the occupiers of Windrush.

4. Whether The Design Of The Proposed Dwelling Is Appropriate

- 5.18 The dwelling would be constructed of painted render under a slate roof and would incorporate quoins and window surrounds, together with timber windows and doors. The height of the building has been kept reasonably low and this, together with the reduction in the height of the site, would ensure that the dwelling is not over dominant in the street scene. In light of the above, the design of the proposed dwelling is acceptable.

5. Other Matters

- 5.19 Both Windrush and the new dwelling would have sufficient amenity space.

Conclusion

- 5.20 In overall terms, the proposed dwelling would not have an adverse impact on the character of the Conservation Area, the Solway Coast AONB or the Hadrian's Wall World Heritage Site or on the living conditions of the occupiers of neighbouring properties due to loss of light, loss of privacy or over dominance. The design of the proposed dwelling is acceptable. In all aspects, the proposal is compliant with the relevant policies contained within the adopted Local Plan.

SCHEDULE A: Applications with Recommendation

08/0961

6. Human Rights Act 1998

- 6.1 Several provisions of the above Act can have implications in relation to the consideration of planning proposals, the most notable being:

Article 6 bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

Article 7 provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

Article 8 recognises the "Right To Respect for Private and Family Life";

- 6.2 **Article 1 of Protocol 1** relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary;

- 6.3 The proposal has been considered against the above but in this instance it is not considered that there is any conflict. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

7. Recommendation - Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policy CP5 of the Carlisle District Local 2001-2016.

3. No development shall take place until full details of hard and soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the

SCHEDULE A: Applications with Recommendation

08/0961

development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of surface water disposal and in accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

5. Details of the relative heights of the existing and proposed ground levels and the height of the proposed finished floor levels of the dwelling and the associated garage shall be submitted to and approved in writing by the Local Planning Authority before any site works commence.

Reason: In order that the approved development safeguards the living conditions of neighbouring residents in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. An archaeological watching brief shall be undertaken by a qualified archaeologist during the course of the ground works of the proposed development, in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Local Planning Authority. Following the completion, 3 copies of the report shall be furnished to the Local Planning Authority.

Reason: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the examination and recording of such remains and to accord with Policy LE8 of the Carlisle District Local Plan 2001-2016.

7. The development shall not commence until visibility splays providing clear visibility of 2.4 metres by 43 metres measured down the centre of the access road and the nearside channel line of the major road have been provided at the junction of the access road with the county highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grown within the visibility splay which obstruct the visibility splays. The visibility splays shall be constructed

SCHEDULE A: Applications with Recommendation

08/0961

before general development of the site commences so that construction traffic is safeguarded.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

8. The access drive shall be surfaced in bituminous or cement bound materials, or otherwise bound and shall be constructed and completed before the development is occupied/brought into use.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

9. Details of all measures to be taken by the applicant/developer to prevent surface water discharging onto or off the highway shall be submitted to the Local Planning Authority for approval prior to development being commenced. Any approved works shall be implemented prior to the development being completed and shall be maintained operational thereafter.

Reason: In the interests of highway safety and environmental management and to support Local Transport Plan Policies LD7 and LD8.

10. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained to the specification of the Local Planning Authority in consultation with the Highway Authority.

Reason: In the interests of road safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

11. The access and parking/turning requirements shall be substantially met before any building work commences on site so that constructional traffic can park and turn clear of the highway.

Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

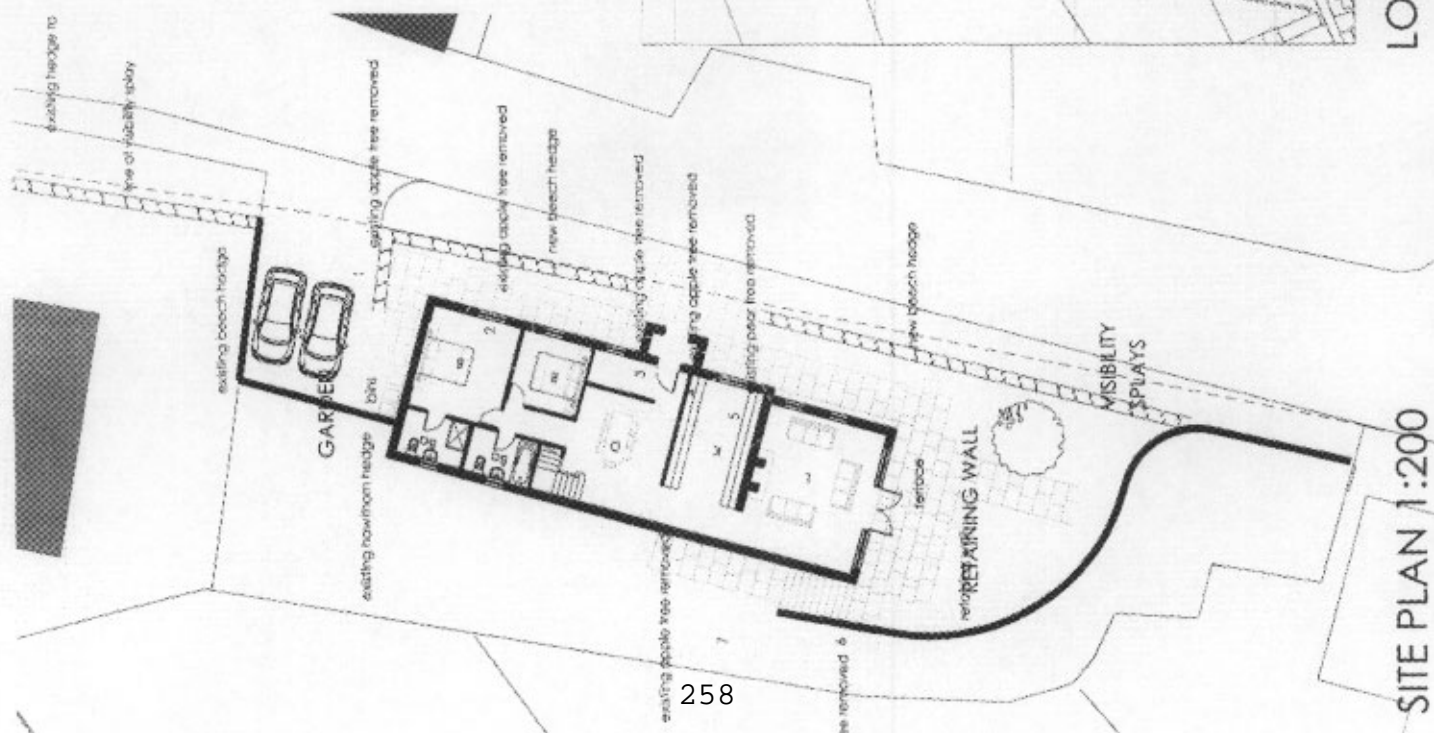
12. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the dwelling to be erected in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the Local Planning Authority.

Reason: To ensure that the character and attractive appearance of the buildings is not harmed by inappropriate alterations and/or

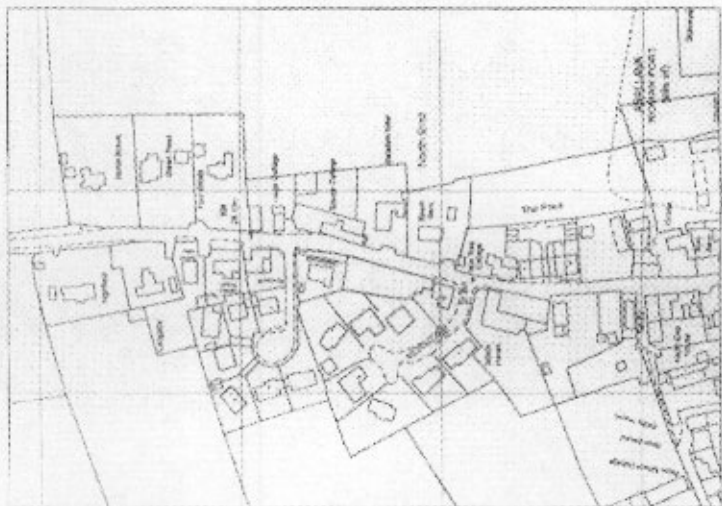
SCHEDULE A: Applications with Recommendation

08/0961

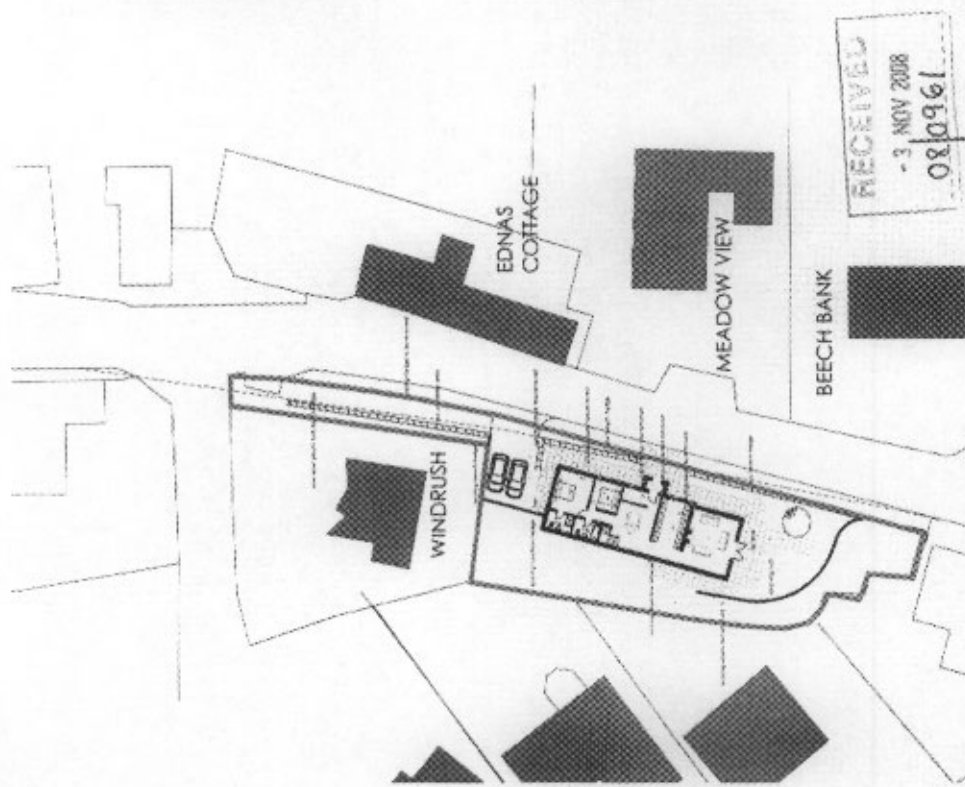
extensions and that any additions which may subsequently be proposed satisfy the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.



SITE PLAN 1:200



LOCATION PLAN 1:1250



BLOCK PLAN 1:500

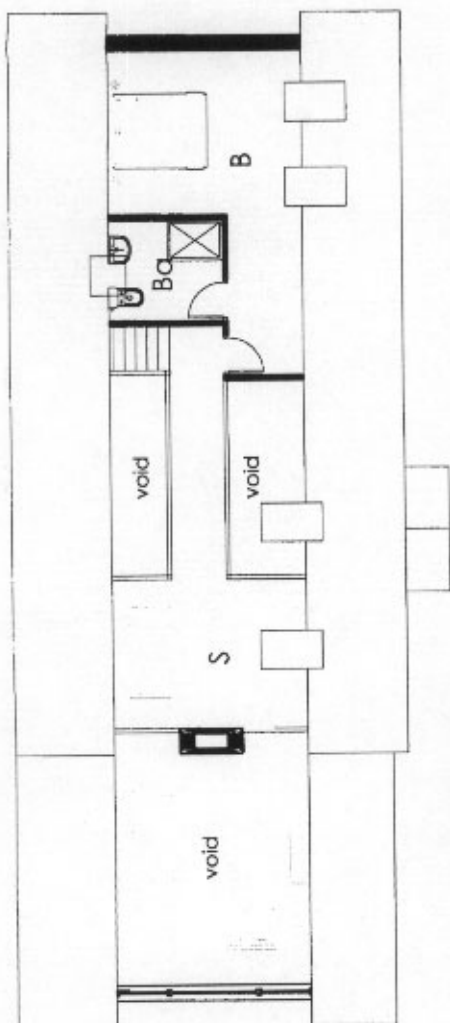
ARCHITECTS
PLUS

Land adjacent to Windrush
 Burgh by Sands
 Site Plan

Scale	Date	Drawn	Checked	Number
1:2000 A3	12/07	1	P02	07086-01C
1:500				

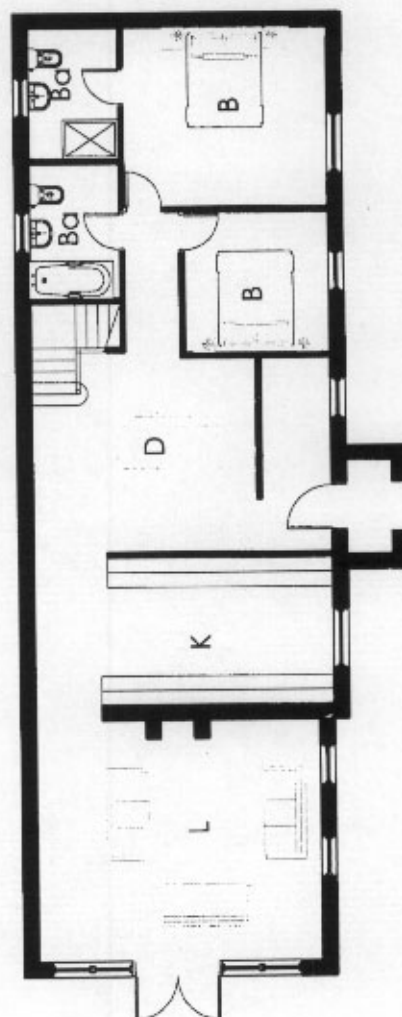
Architects Plus (P) Limited
 Victoria Gardens, Woodstock House, Victoria Woodstock, Cumbria, LA3 5AN
 Tel: 01228 515144 Fax: 01228 515035 e-mail: ap@architectsplus.co.uk

RECEIVED
 - 3 NOV 2008
 08/09/08

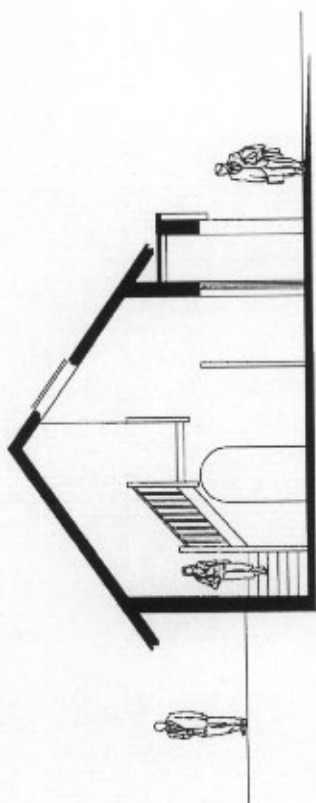


FIRST FLOOR PLAN

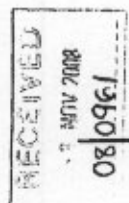
259



GROUND FLOOR PLAN



SECTION THROUGH DINING HALL

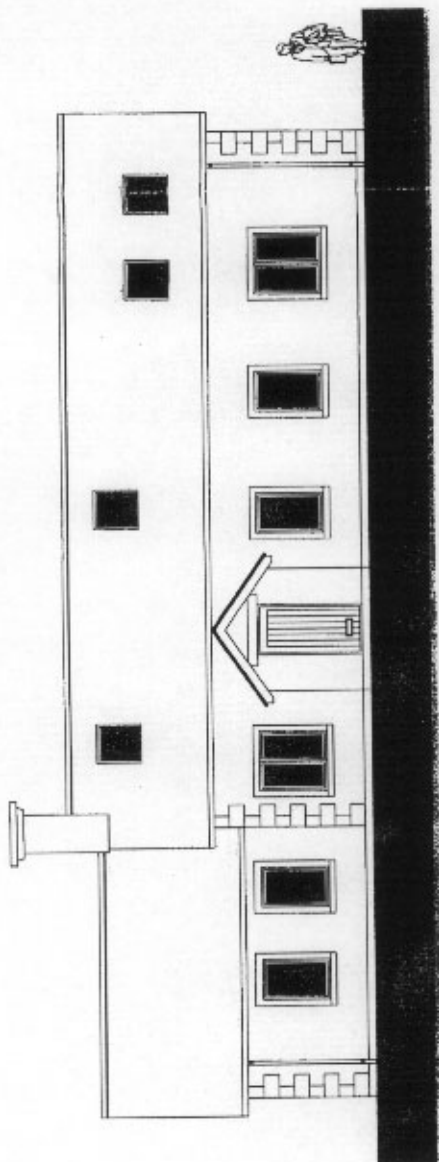


ARCHITECTS **at**
P L U S

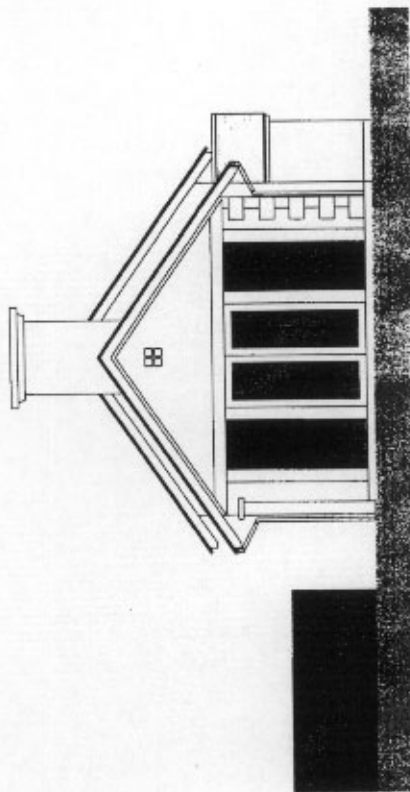
Project
Land adjacent to Windrush
Burgh by Sands
Drawing
Plans/Section

Scale 1:1000 A3 Date 12.07.08 Drawn by FJZ Checked by FJZ Number 07086-02C

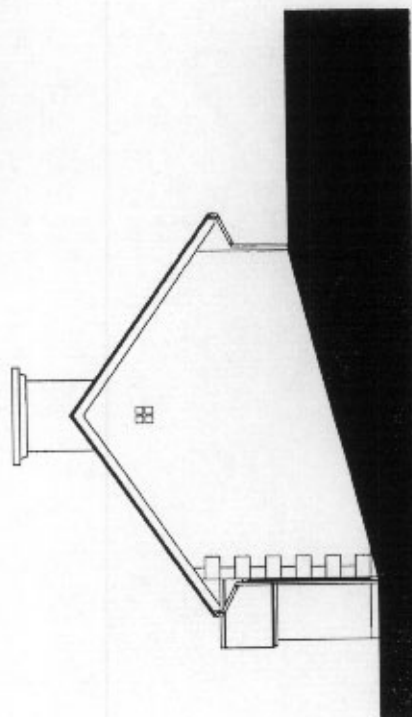
ARCHITECTS PLUS (UK) LIMITED
Victoria Gardens, Woodcroft House, Victoria Road, Colchester, Essex, CO1 2BN
Tel: 01206 33114 Fax: 01206 319033 e-mail: info@architectsplus.co.uk



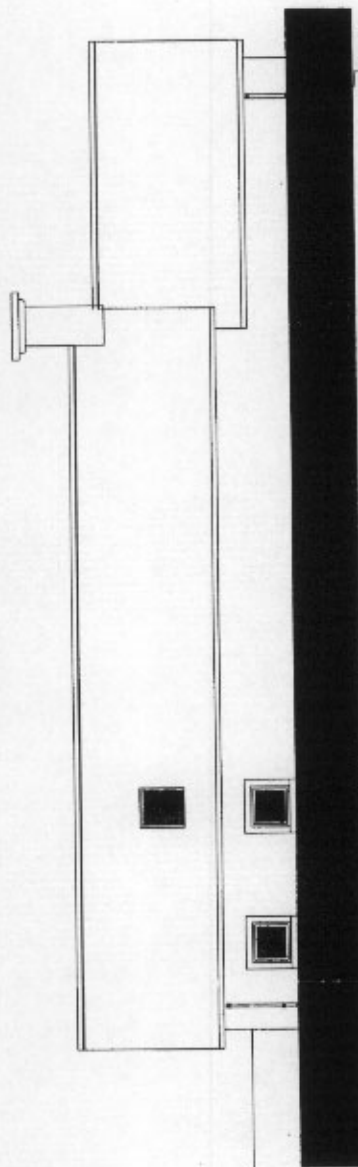
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



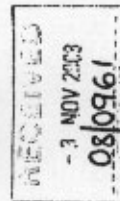
WEST ELEVATION

MATERIALS
ROOFS
 SLATE ROOFS WITH ANGLED BLUE/GRY RIDGES, VELUX ROOFLIGHTS WITH LOW
 PROFILE FLASHINGS, TIMBER BARGE BOARDS AND FASCIAS.
 WALLS, COLOURED RENDER WITH SCRAPPED FINISH, OAK FRAMES TO LOUNGE AND
 PORCH
 WINDOWS/DOORS, TIMBER WITH STAINED FINISH, STONE SILLS AND SURROUNDS,
 RAINWATER GOODS, HALF ROUND GUTTERS, CIRCULAR DOWNPIPES BLACK UPVC

ARCHITECTS **a+**
P L U S

Project
 Land adjacent to Windrush
 Burgh by Sands
 Drawing
 Elevations

Scale
 1:100@A3 12.07
 Date
 08/09/06
 Drawn
 PJ2
 Checked
 07086-03C



Architects Plus (UK) Limited,
 Victoria Galleries, Voador House, Victoria Road, Cambridge, Cambridgeshire,
 CB2 3RQ. Tel: 01228 513144 Fax: 01228 513033 e-mail: info@architectsplus.co.uk

SCHEDULE B

SCHEDULE B

SCHEDULE B

SCHEDULE B

SCHEDULE B

SCHEDULE B

SCHEDULE C

SCHEDULE C

SCHEDULE C

SCHEDULE C

SCHEDULE C

SCHEDULE C

SCHEDULE C: Applications Determined by Other Authorities

08/0241

Item No: 14

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0241

Applicant:
Mr Robin Treasurer

Parish:
Carlisle

Date of Receipt:
17/03/2008

Agent:

Ward:
Botcherby

Location:
89 Walkmill Crescent, Carlisle, CA1 2WF

Grid Reference:
341818 555719

Proposal: Erection Of A Detached Garage And Store

Amendment:

REPORT

Case Officer: Stephen Daniel

Decision on Appeals:

Appeal Against: Appeal against refusal of planning perm.

Type of Appeal: Written Representations

Report: The Inspector considered that the main issue was the effect of the proposal on the character and appearance of the surrounding residential area.

The Inspector considered that the proposal would detract from the attractive open setting of 87 Walkmill Crescent and the open aspect of the host property and the surroundings. It would be very prominent, would look incongruous in relation to neighbouring properties and would interrupt views along the road, across the open gardens.

The Inspector concluded that the proposal would harm the character and appearance of the area, and would be contrary to Policy H14 of the CDLP and Policy H11 of the CDLP (Revised Redeposit Draft).

Appeal Decision: Appeal Dismissed

Date: 04/11/2008

SCHEDULE C: Applications Determined by Other Authorities

08/0392

Item No: 15

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0392

Applicant:
Mr W Bimson

Parish:
Burgh-by-Sands

Date of Receipt:
24/04/2008

Agent:
Mr M Dennett

Ward:
Burgh

Location:
Land Adjoining Monkhill Farm, Monkhill, Carlisle,
CA5 6DB

Grid Reference:
334422 558602

Proposal: Erection Of Two Storey Dwelling With Integral Garage

Amendment:

REPORT

Case Officer: Barbara Percival

Decision on Appeals:

Appeal Against: Appeal against refusal of planning perm.

Type of Appeal: Written Representations

Report: This appeal refers to an application that sought permission for the erection of a two storey dwelling with integral garage on land adjacent to Monkhill Farm, Monkhill.

The application was determined by the Head of Planning and Housing Services under the Council's delegated powers procedure on 12th June 2008, when it was resolved to refuse permission for the following reasons:

- i. *"The application site is not located within either a Key Service Centre or Local Service Centre as identified under Policies DP1 and H1 of the Local Plan 2001-2016 Revised Redeposit Draft (as amended by the Inspector). The proposal would therefore result in an additional dwelling in a less sustainable location, for which no local housing need has been satisfactorily demonstrated and if permitted, would restrict development in more sustainable locations. On this basis the proposal is considered to be contrary to the provisions of Policy UR7 of RPG 13, Policy H17 of the Cumbria and Lake District Joint Structure Plan, and, Policies DP1, H1 and H6 of the Carlisle District Local Plan 2001-2016 Revised Redeposit Draft (as amended by the Inspector)".*
- ii. *"The proposed services for the proposal involves development that*

SCHEDULE C: Applications Determined by Other Authorities

08/0392

lies within the Hadrian's Wall World Heritage Site and within a Scheduled Monument, where high archaeological potential exists and important archaeological remains may be present. In the absence of a statement detailing the depth and extent of all disturbance to the north of the boundary of the site, the proposal is likely to have a detrimental impact on any archaeological remains contrary to the underlying objectives of Policies E25, E28 and E30 of the Carlisle District Local Plan, Policies LE6 and LE8 of the Carlisle District Local Plan 2001-2016 Revised Redeposit Draft (as amended by the Inspector), and, Ministerial advice contained in PPG16".

This main issues being: whether the proposal would accord with national and local policy aims to develop new housing in sustainable locations; and the effect of the proposal on the archaeological interest of the site.

Following receipt of additional information supplied by the appellant's agent and subsequent discussion with English Heritage the second reason for refusal i.e. the effects of the proposal on archaeological interest of the site was not contested. This was because English Heritage had recommend that the works could be the subject of a "watching brief". The aforementioned brief could thus be the subject of a condition should permission be granted.

This left the main issue of whether the proposal would accord with national and local policy aims to develop new housing in sustainable locations and whether the appellant had demonstrated "local need". The Inspectorate outlined that although little guidance is provided by Policy H1 as to how to evidence local need, nor is local need defined. The additional guidance notes given to the agent in pre-application discussions provided a reasonable basis for interpreting the policy. The guidance notes setting out that local need is normally taken to include people with close family associations with the area, people who are employed or about to be employed in the area or who live in the locality.

The Inspector accepted that the appellant has local ties to the area; however, was unconvinced that his residential need is specific to Monkhill. The Inspector therefore concurred with the Council in that the proposal would not accord with local and national policy aims to develop new housing in sustainable locations.

The Inspector subsequently dismissed the appeal.

Appeal Decision: Appeal Dismissed

Date: 14/11/2008

SCHEDULE D

SCHEDULE D

SCHEDULE D

SCHEDULE D

SCHEDULE D

SCHEDULE D

SCHEDULE D: Reports on Previously Deferred Decisions

Item No: 16

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/1094

Applicant:

Mrs Jennifer Thomlinson

Parish:

Date of Receipt:

28/10/2008

Agent:

Ward:

Stanwix Urban

Location:

20 Waverley Road, Stanwix, CARLISLE CA3 9JU

Grid Reference:

339762 557824

Proposal: Two Storey Side Extension And Single Storey Rear Extension To Provide Garage, W.C, Enlarged Kitchen/Dining & Conservatory With Bathroom And Enlarged Bedroom Above (Revised Application)

Amendment:

REPORT

Case Officer: Barbara Percival

Details of Deferral:

Members will recall at Committee meeting held on 14th November 2008 that authority was given to the Head of Planning and Housing Services to issue approval subject to the expiration of the consultation/notification period on the 20th November.

Decision: Grant Permission

Date: 24/11/2008

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no additional windows shall be inserted above the ground floor on the gable elevation without the prior consent of the local planning authority.

Reason: In order to protect the privacy and amenities of residents in close proximity to the site and to ensure compliance with Policy H11 of the Carlisle District Local Plan.

SCHEDULE D: Reports on Previously Deferred Decisions

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), the ground floor window to the w.c. in the gable elevation of the building shall be obscure glazed, to a minimum of Factor 3, and thereafter retained as such to the satisfaction of the Local Planning Authority.

Reason: In order to protect the privacy and amenities of residents in close proximity to the site in accordance with Policies H11 of the Carlisle District Local Plan 2000-2016.

Item No: 17

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0972

Applicant:
Cumbria Police Authority

Parish:
Carlisle

Date of Receipt:
17/10/2008

Agent:
Taylor Young

Ward:
Harraby

Location:
Cumbria Constabulary, Police Custody Suite, Brunel
Way, Durranhill Industrial Estate, Carlisle, CA1 3NQ

Grid Reference:
341815 554709

Proposal: Construction Of Police Divisional Headquarters Including Operational Police Station And Associated Storage, Parking And Landscaping Etc. Minor Alteration To Existing Custody Unit To Move An Access Door From The South To The North Side And An External Access Stair To The Roofspace (Revised Application)

Amendment:

REPORT

Case Officer: Richard Maunsell

Details of Deferral:

Members will recall at Committee meeting held on 14th November 2008 that authority was given to the Head of Planning and Housing Services to issue approval subject to the expiry of the consultation period.

The consultation period has expired and the approval was issued on 26th November 2008.

SCHEDULE D: Reports on Previously Deferred Decisions

Decision: Grant Permission

Date: 26/11/2008

1. Any access and or parking provision shall be retained and be capable of use when the development is completed and shall not be removed or altered without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies LD5, LD7, LD8.

2. Within 6 months of the Police Divisional Headquarters (or any part thereof) opening for business, the developer shall prepare and submit to the Local Planning Authority for their approval a Travel Plan which shall identify the measures that will be undertaken by the developer to encourage the achievement of a modal shift away from the use of private cars to visit the development to sustainable transport modes. The measures identified in the Travel Plan shall be implemented by the developer within 12 months of the development (or any part thereof) opening for business.

Reason: To aid in the delivery of sustainable transport objectives and to support Local Transport Plan Policies: WS1, LD4.

3. Within three months from the date of this permission, details of a landscaping scheme that shall indicate the proposed types, species planting heights and planting densities of all trees and shrubs to be planted shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that a satisfactory landscaping scheme is prepared in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. All works comprised in the approved details of landscaping shall be carried out in the first planting and seeding season following occupation of the building.

Reason: To ensure that a satisfactory landscaping scheme is implemented in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

SCHEDULE E

SCHEDULE E

SCHEDULE E

SCHEDULE E

SCHEDULE E

SCHEDULE E

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 01/11/2008 and 05/12/2008

Appn Ref No:
07/1269

Applicant:
Mr W Mason

Parish:
Rockcliffe

Date of Receipt:
19/11/2007

Agent:
Jock Gordon

Ward:
Longtown & Rockcliffe

Location:
Windynook, Todhills, Carlisle, CA6 4HB

Grid Reference:
336842 563074

Proposal: Demolition Of Existing Dwelling & Garage & Erection Of 2no. Dwellings
& Garages

Amendment:

Decision: Finally Disposed of Application
04/12/2008

Date:

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0310

Applicant:
Gibbon, Manson and
McBride

Parish:
Arthuret

Date of Receipt:
02/04/2008

Agent:
Rodney Jeremiah

Ward:
Longtown & Rockcliffe

Location:
Land adjacent 21 Old Road/Bellsfield, Longtown,
CA6 5TH

Grid Reference:
338622 568573

Proposal: Construction Of 6no. Two Storey Houses (Outline Application)

Amendment:

Decision: Granted Subject to Legal Agreement
Date: 03/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0544

Applicant:
Scot Group Ltd t/a Thrifty
Car and Van Rental

Parish:
Carlisle

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
23/05/2008 11:34:42

Agent:
Build Consultants Ltd

Ward:
Belah

Location:
Thrifty Car and Van Rental, 18 Millbrook Road,
Kingstown Industrial Estate, CA3 0EY

Grid Reference:
339340 559258

Proposal: Erection of wash bays/storage building and office building for existing car hire company (retrospective)

Amendment:

Decision: Grant Permission

Date: 11/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0671

Applicant:
Lovell Partnerships
Limited

Parish:
Carlisle

Date of Receipt:
15/07/2008

Agent:

Ward:
Belle Vue

Location:
Thomlinson Avenue, Raffles, Carlisle

Grid Reference:
337780 555460

Proposal: Erection of 1no. Non-Illuminated 'V' Board and 4no. Flags

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0732

Applicant:
Mr James Palmer

Parish:
Dalston

Date of Receipt:
30/07/2008

Agent:

Ward:
Dalston

Location:
Flanders, Buckabank, Dalston, Carlisle, CA5 7AF

Grid Reference:
338088 550157

Proposal: Demolition Of Porch And Erection Of New Entrance Hall

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0752

Applicant:
Messrs JR Lyall

Parish:
Carlatton

Date of Receipt:
30/07/2008

Agent:
Hopes Auction Co Ltd

Ward:
Great Corby & Geltsdale

Location:
North Scales, Heads Nook, CA8 9BT

Grid Reference:
351872 554202

Proposal: Proposed Agricultural Building To Cover Existing Collecting Yard

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0785

Applicant:
Mr Johnston

Parish:
Kirklington Middle

Date of Receipt:
08/09/2008

Agent:

Ward:
Lyne

Location:
Becklands, Blackford, CA6 4EW

Grid Reference:
341030 564620

Proposal: Residential Use Of Caravan And Buildings

Amendment:

Decision: Grant Permission

Date: 05/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0810

Applicant:
Mr Russell Murray

Parish:
Stanwix Rural

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
14/08/2008

Agent:

Ward:
Stanwix Rural

Location:
17 Drumburgh Avenue, Carlisle, Cumbria, CA3 0PD

Grid Reference:
339939 558540

Proposal: Two Storey Side And Rear Extension To Provide Garage, Kitchen/diner
And Cloakroom On Ground Floor And 2no. Bedrooms Above

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0813

Applicant:
Mr D Shankland

Parish:
Wetheral

Date of Receipt:
12/08/2008

Agent:
Shanks Design & Build Ltd

Ward:
Wetheral

Location:
Land to rear of Brundene, Plains Road, Wetheral,
CA4 8LA

Grid Reference:
346336 555020

Proposal: Erection Of 1no. Dwelling (Revised Application)

Amendment:

Decision: Grant Permission

Date: 27/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0817

Applicant:
Mr Pluckrose

Parish:
Carlisle

Date of Receipt:
09/09/2008

Agent:
Phoenix Architecture &
Planning

Ward:
St Aidans

Location:
23 Brook Street, Carlisle

Grid Reference:
340923 555187

Proposal: Redevelopment Of Former Housing Site Currently Used As Automotive
Parts Sales To Form 8 No. 3 Bedroom Terraced Town Houses

SCHEDULE E: Decisions Issued Under Delegated Powers

(Including Wind Turbine And Solar Panels)

Amendment:

Decision: Refuse Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0818

Applicant:
Halliwell Farms Ltd

Parish:
Westlinton

Date of Receipt:
11/08/2008

Agent:
Jock Gordon

Ward:
Longtown & Rockcliffe

Location:
Keysmount Farm, Blackford, Carlisle, Cumbria, CA6
4ER

Grid Reference:
340477 562461

Proposal: Erection Of Replacement Animal Housing Building

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0828

Applicant:
Treadfast Tyres Limited

Parish:
Carlisle

Date of Receipt:
18/08/2008

Agent:
Bingham Yates

Ward:
Belah

Location:
Kingmoor Road, Carlisle, Cumbria

Grid Reference:
338773 557767

Proposal: Erection Of 7no. Light Industrial Units And Associated Parking/
Circulation Areas. Extension Of Existing Storage Facility Together With
Recladding Of Walls And Roofs Of Existing Industrial Units

Amendment:

Decision: Grant Permission

Date: 13/11/2008

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0829

Applicant:
Woolworths

Parish:
Carlisle

Date of Receipt:
19/09/2008

Agent:
Gee Tee Signs

Ward:
Currock

Location:
98-104 English Street, Carlisle, CA3 8ND

Grid Reference:
340141 555665

Proposal: Erection Of 6No. Internally Illuminated Fascia Signs

Amendment:

Decision: Grant Permission

Date: 13/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0834

Applicant:
Miss E S Mackintosh

Parish:
Carlisle

Date of Receipt:
14/08/2008

Agent:

Ward:
Harraby

Location:
Glen Tarras, Harraby Grove, Carlisle, CA1 2QN

Grid Reference:
341704 554410

Proposal: Discharge Of Condition 2 (Boundary Fences) Of Application 05/1056

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0840

Applicant:
Mr Robert Tweddle

Parish:
Arthuret

Date of Receipt:
15/08/2008

Agent:
Vehicle & Operator
Services Agency

Ward:
Longtown & Rockcliffe

Location:
29 Whitesike, Brampton Road, Longtown,

Grid Reference:
340178 567247

SCHEDULE E: Decisions Issued Under Delegated Powers

CARLISLE

Proposal: New Extension to Existing Commercial Unit For Vehicle Testing Station
(Retrospective)

Amendment:

Decision: Grant Permission

Date: 04/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0863

Applicant:
Mrs J Boak

Parish:
Carlisle

Date of Receipt:
20/08/2008

Agent:

Ward:
Morton

Location:
5 Woodend Drive, Morton Park, Carlisle, Cumbria,
CA2 6HF

Grid Reference:
338745 554565

Proposal: Erection Of Single Storey Extension To Rear Elevation To Provide New
Kitchen

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0867

Applicant:
Mrs Robena F Stamper

Parish:
Burgh-by-Sands

Date of Receipt:
21/08/2008

Agent:

Ward:
Burgh

Location:
Land at Croft House, Thurstonfield, Carlisle, CA5
6HE

Grid Reference:
331458 556683

Proposal: Erection Of Detached Dwelling (outline application)

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0872

Applicant:
Messrs JR Lyall

Parish:
Carlton

Date of Receipt:
21/08/2008 17:31:00

Agent:
Hopes Auction Co Ltd

Ward:
Great Corby & Geltsdale

Location:
North Scales, Heads Nook, Brampton, CA8 9BT

Grid Reference:
351872 554202

Proposal: Proposed Livestock Loose House

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0874

Applicant:
Mr Mobey

Parish:
Dalston

Date of Receipt:
18/09/2008

Agent:
Green Design Group

Ward:
Dalston

Location:
Windy Fell, Raughton Head, Dalston, Cumbria, CA5 7DG

Grid Reference:
337629 544076

Proposal: Demolition Of Existing Garage. Erection Of Detached Garage With Playroom In Roof Space

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0891

Applicant:
Carlisle Housing
Association Ltd

Parish:
Carlisle

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
17/09/2008

Agent:
Day Cummins Limited

Ward:
Upperby

Location:
Land at Harris Crescent, Semple Road, Carlisle

Grid Reference:
342068 553568

Proposal: Erection of Affordable Housing Development of 8 Dwellings (Outline)

Amendment:

Decision: Grant Permission

Date: 12/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0900

Applicant:
Mr Douglas Lake

Parish:
Hethersgill

Date of Receipt:
09/09/2008

Agent:

Ward:
Lyne

Location:
Field No 6244, Moss Edge, Hethersgill, Carlisle,
Cumbria, CA6 6HJ

Grid Reference:
347632 568451

Proposal: Discharge Of Condition 2 (Dispersal Of Surface Water) Of Application
08/0603

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0908

Applicant:
Mrs Linda Ruddick

Parish:
Carlisle

Date of Receipt:
18/09/2008

Agent:
Mr Paul Douglas Lovell
BSC (Hons)

Ward:
Botcherby

Location:
Botcherby Post Office, 1A Wood Street, Carlisle,
Cumbria, CA1 2SF

Grid Reference:
342195 555638

Proposal: Erection Of Stockroom And Creation Of External Stair To Flat Above

SCHEDULE E: Decisions Issued Under Delegated Powers

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0909

Applicant:
Mr P Barker

Parish:
Beaumont

Date of Receipt:
23/09/2008

Agent:
Architectural Design &
Planning Ltd

Ward:
Burgh

Location:
Eden View, Grinsdale Bridge, Carlisle, Cumbria,
CA5 6DP

Grid Reference:
336206 557536

Proposal: Erection of Canine Hydrotherapy Centre and Attached Double Garage;
Change of Use of Agricultural Land to Provide Parking, New Access
Road, Garden and Paddock

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0910

Applicant:
Mr P Barker

Parish:
Beaumont

Date of Receipt:
23/09/2008

Agent:
Architectural Design &
Planning Ltd

Ward:
Burgh

Location:
Eden View, Grinsdale Bridge, Burgh by Sands,
Carlisle, CA5 6DP

Grid Reference:
336206 557536

Proposal: Two Storey Side Extension To Existing House To Provide Hall, Family
Room, Dining Room, Kitchen, Shower Room and Study on Ground
Floor, with 2no. Bedrooms (1no. En-Suite) and 1no. Bathroom Above;
Change Of Use Of Agricultural Land To Domestic Garden

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0911

Applicant:
Mr Julian Hardy

Parish:
Cumwhitton

Date of Receipt:
24/09/2008

Agent:

Ward:
Great Corby & Geltsdale

Location:
Oak Cottage, Moorthwaite, Cumwhitton, Carlisle,
Cumbria, CA8 9HB

Grid Reference:
350640 550487

Proposal: Temporary Siting Of Residential Caravan During Building Works

Amendment:

Decision: Grant Permission

Date: 12/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0913

Applicant:
Electricity North West Ltd

Parish:
Kirkandrews

Date of Receipt:
09/09/2008

Agent:

Ward:
Longtown & Rockcliffe

Location:
Land from Rhodds School, Daffiestonerigg to
Glinger Bank via Glinger Cottage, Longtown

Grid Reference:
337281 572071

Proposal: High Voltage Overhead Line Rebuild

Amendment:

Decision: City Council Observation - Observations

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

Applicant:

Parish:

SCHEDULE E: Decisions Issued Under Delegated Powers

08/0917

Carlisle Diocesan Board of Stapleton
Finance

Date of Receipt:
11/09/2008

Agent:
Rol Design Limited

Ward:
Lyne

Location:
Stapleton Rectory, Roweltown, Carlisle, CA6 6LD

Grid Reference:
350459 571382

Proposal: Conversion Of Outbuilding Currently Used As Garage/Storage to
Ancillary Residential Accommodation; Erection of Detached Garage and
Fuel Store

Amendment:

Decision: Grant Permission

Date: 06/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0918

Applicant:
Messers RJ Telford &
Sons

Parish:
Stanwix Rural

Date of Receipt:
10/09/2008

Agent:
Co-ordinate (Cumbria)
Limited

Ward:
Stanwix Rural

Location:
Linstock Road End, Linstock, Carlisle, Cumbria,
CA6 4QD

Grid Reference:
342735 559022

Proposal: Discharge Of Conditions 2 (Details Of Protection Barrier); 3 (Proposed
Access); 4 (External Materials); 6 (Landscaping) Of Application 06/1433

Amendment:

Decision: Grant Permission

Date: 06/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0921

Applicant:
Mr A Jackson

Parish:
Dalston

Date of Receipt:
26/09/2008

Agent:

Ward:
Dalston

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

Haythwaite House, Raughtonhead, Carlisle,
Cumbria, CA5 7DE

Grid Reference:

337560 545381

Proposal: Proposed Timber Double Garage

Amendment:

Decision: Grant Permission

Date: 14/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/0922

Applicant:

Mr A Jackson

Parish:

Dalston

Date of Receipt:

26/09/2008

Agent:

Ward:

Dalston

Location:

Haythwaite House, Raughtonhead, Carlisle,
Cumbria, CA5 7DE

Grid Reference:

337560 545381

Proposal: Proposed Timber Double Garage (LBC)

Amendment:

Decision: Grant Permission

Date: 14/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/0925

Applicant:

Mr Rudd

Parish:

Carlisle

Date of Receipt:

17/09/2008

Agent:

Edenholme Building &
Architectural Surveyors

Ward:

Harraby

Location:

47 Edgehill Road, Carlisle, CA1 3PG

Grid Reference:

342288 554210

Proposal: Demolition Of Existing Outbuildings And Erection Of A 2 Storey Side
Extension To Provide A Kitchen And Utility On The Ground Floor With
1no.ensuite Bedroom Above.

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0927

Applicant:
Mrs McCleary

Parish:
Arthuret

Date of Receipt:
10/09/2008 12:31:22

Agent:
Jeremiah

Ward:
Longtown & Rockcliffe

Location:
14 Moor Crescent, Longtown, CA6 5UQ

Grid Reference:
338350 568985

Proposal: Porch And First Floor Bedroom Extension

Amendment:

Decision: Grant Permission

Date: 05/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0928

Applicant:
Religious Of The Sacred
Heart Of Mary

Parish:
Carlisle

Date of Receipt:
22/09/2008

Agent:
Williams Surveyors Ltd

Ward:
Castle

Location:
St Gabriels Convent, 54 Victoria Place, Carlisle,
Cumbria, CA1 1HP

Grid Reference:
340668 556105

Proposal: Create A Blacktop Hardstanding Parking Area Sufficient For 5No
Vehicles - At The Front Of 54 Victoria Place

Amendment:

Decision: Grant Permission

Date: 12/11/2008

Between 01/11/2008 and 05/12/2008

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:
08/0930

Applicant:
Mr Boertien

Parish:
Carlisle

Date of Receipt:
10/09/2008 14:31:23

Agent:
Tsada Building Design
Services

Ward:
Belah

Location:
23 California Road, Carlisle, CA3 0BT

Grid Reference:
339677 559210

Proposal: Discharge Of Conditions 4 (Landscaping); 6 (Wheelchair Access); And 8 (Surface Water Drainage) Of Application 08/0558.

Amendment:

Decision: Grant Permission

Date: 06/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0931

Applicant:
Mr J Bailey

Parish:
Carlisle

Date of Receipt:
16/09/2008

Agent:

Ward:
Currock

Location:
7a Millholme Avenue, Carlisle, CA2 4DP

Grid Reference:
340586 554161

Proposal: Storage Shed For Mobility Scooter.

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0934

Applicant:
Mr R Leather

Parish:
Carlisle

Date of Receipt:
19/09/2008

Agent:

Ward:
Belah

Location:
54 Newfield Park, Kingstown, Carlisle, CA3 0AH

Grid Reference:
339774 558639

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Erection Of Two Storey Rear Extension To Provide Kitchen Extension And En-Suite To Bedroom Above, With Re-Positioned Rear Boundary Fence (Revised Application)

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0936

Applicant:
Mr P Dollard

Parish:
Brampton

Date of Receipt:
19/09/2008

Agent:

Ward:
Brampton

Location:
66 Oulton House, Carlisle Road, Brampton,
Cumbria, CA8 1SR

Grid Reference:
352595 561043

Proposal: Single Storey Extension To Rear Of Property To Provide A Conservatory (LBC)

Amendment:

Decision: Grant Permission

Date: 12/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0939

Applicant:
Town & Country Estate
Agents

Parish:
Carlisle

Date of Receipt:
12/09/2008 13:30:15

Agent:
Gray Associates Limited

Ward:
Castle

Location:
Bell Park and Kerridge Solicitors, 27 Portland
Square, Carlisle, CA1 1PE

Grid Reference:
340469 555720

Proposal: Discharge Of Condition 3 Of Application 08/0674

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 11/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0940

Applicant:
Town & Country Estate
Agents

Parish:
Carlisle

Date of Receipt:
16/09/2008

Agent:
Gray Associates Limited

Ward:
Castle

Location:
Bell Park and Kerridge Solicitors, 27 Portland
Square, Carlisle, CA1 1PE

Grid Reference:
340469 555720

Proposal: Erection Of Railings To Front Elevation
Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0944

Applicant:
Nestle UK Limited
Beverage Division

Parish:
Dalston

Date of Receipt:
18/09/2008

Agent:
Harrogate Design Group

Ward:
Dalston

Location:
Nestle UK Limited, Dalston, Carlisle, CA5 7NH

Grid Reference:
337375 550840

Proposal: Extension To The Existing Production Facility To Form New 'dry Mix
Tower' And New External Sugar Silo With A Plantroom Kiosk Building At
Front (Revised Application)

Amendment:

Decision: Grant Permission

Date: 06/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

Applicant:

Parish:

SCHEDULE E: Decisions Issued Under Delegated Powers

08/0946

JJB Sports

Carlisle

Date of Receipt:
15/09/2008

Agent:
Frodshams Signs

Ward:
Currock

Location:
JJB Sports and Fitness Club, Currock Road,
Carlisle

Grid Reference:
340242 554841

Proposal: Erection Of 9 No Internally Illuminated Fascia Signs

Amendment:

Decision: Refuse Permission

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0947

Applicant:
Mr David Mason

Parish:
Carlisle

Date of Receipt:
15/09/2008

Agent:
Mr Valdis Stakle

Ward:
Morton

Location:
16 Wansfell Avenue, Carlisle, CA2 6HD

Grid Reference:
338846 554591

Proposal: Two Storey Side Extention To Provide Garage With 1No En-Suite
Bedroom Above; Single Storey Rear Extension To Provide Kitchen And
Living Room Extention

Amendment:

Decision: Grant Permission

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0948

Applicant:
Ms Kirk

Parish:
Beaumont

Date of Receipt:
15/09/2008 17:30:10

Agent:
Gray Associates Limited

Ward:
Burgh

Location:
Hollow Creek Farm, Kirkandrews-on-Eden, Burgh
by Sands, Carlisle, CA5 6DJ

Grid Reference:
335528 558311

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Change Of Use And Subdivision Of Property Together With Internal And External Alterations To Provide One Residential Unit And One Holiday Let.

Amendment:

Decision: Grant Permission

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0949

Applicant:
Mr Teasdale

Parish:
Hethersgill

Date of Receipt:
15/09/2008 13:30:09

Agent:
Black Box Architects
Limited

Ward:
Lyne

Location:
Quaker Meeting House, Kirklington, CA6 6DR

Grid Reference:
344620 566508

Proposal: Proposed Siting Of Velux Rooflight On Bathroom Extension Roof (LBC)

Amendment:

Decision: Grant Permission

Date: 04/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0951

Applicant:
Messrs Gardhouse

Parish:
Dalston

Date of Receipt:
23/09/2008

Agent:
Hopes Auction Co Ltd

Ward:
Dalston

Location:
Cumdivock House, Cumdivock, CA5 7JJ

Grid Reference:
334584 548712

Proposal: Proposed Covered Silage Pit - Phase 1

Amendment:

Decision: Grant Permission

Date: 10/11/2008

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0952

Applicant:
Messrs Gardhouse

Parish:
Dalston

Date of Receipt:
23/09/2008

Agent:
Hopes Auction Co Ltd

Ward:
Dalston

Location:
Cumdivock House, Cumdivock, CA5 7JJ

Grid Reference:
334584 548712

Proposal: Proposed Covered Silage Pit - Phase 2

Amendment:

Decision: Grant Permission

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0957

Applicant:
Argos Distribution Ltd

Parish:
Carlisle

Date of Receipt:
19/09/2008

Agent:
Sign Specialists Ltd

Ward:
Belah

Location:
Allied Carpets, Parkhouse Road, CARLISLE, CA3
0JR

Grid Reference:
339365 559595

Proposal: Display Of 4no. Internally Illuminated Fascia Signs; 6no. Vinyly Print
Signs And 10no. A1 Size Stainless Steel Click Frames

Amendment:

Decision: Grant Permission

Date: 14/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0959

Applicant:
Mrs Lisa Alexander

Parish:
Brampton

Date of Receipt:
23/09/2008

Agent:

Ward:
Brampton

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

16 High Cross Street, Brampton, Cumbria, CA8
1RP

Grid Reference:

353053 561120

Proposal: Display of 1no. non-illuminated fascia sign and 1no. perspex wall
mounted sign (retrospective application) (LBC)

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/0963

Applicant:

Mr George Forster

Parish:

Kingwater

Date of Receipt:

05/11/2008

Agent:

G M Pickering

Ward:

Irthing

Location:

Desoglin Farm, West Hall, Brampton, CA8 2BP

Grid Reference:

357725 567775

Proposal: Discharge Of Conditions 3 (Conservation Roof Lights) And 6
(Programme Of Archaeological Work) For Application 05/1243

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/0965

Applicant:

Mr S Butcher

Parish:

Orton

Date of Receipt:

18/09/2008

Agent:

Ward:

Burgh

Location:

Kimberdale, Baldwinholme, Carlisle, CA5 6LJ

Grid Reference:

333737 551952

Proposal: Change Of Use Of Ancillary Residential Accommodation To Holiday Let

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 13/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0967

Applicant:
Mr R Forlow

Parish:
St Cuthberts Without

Date of Receipt:
03/10/2008

Agent:
J Westgarth

Ward:
Dalston

Location:
4 High Burnthwaite Cottages, Durdar, Carlisle, CA5
7AR

Grid Reference:
340500 548340

Proposal: Erection Of Contractors Storage Building

Amendment:

Decision: Refuse Permission

Date: 27/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0969

Applicant:
Mr George Forster

Parish:
Kingwater

Date of Receipt:
05/11/2008

Agent:
G M Pickering

Ward:
Irthing

Location:
Desoglin Farm, West Hall, Brampton, CA8 2BP

Grid Reference:
357725 567775

Proposal: Discharge Of Conditions 3 (Conservation Roof Lights) And 6
(Programme Of Archaeological Work) For Application 05/1244

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0971

Applicant:
Mr & Mrs Crawford

Parish:
Stapleton

Date of Receipt:

Agent:

Ward:

SCHEDULE E: Decisions Issued Under Delegated Powers

22/09/2008

Mr B F Child

Lyne

Location:

Cullen Lea, Hethersgill, Cumbria, CA6 6HT

Grid Reference:

347958 569362

Proposal: Creation Of 1st Floor To Provide 2 No. Bedrooms With 1 No. Ensuite;
1st Floor Level Extends Beyond Ground Floor To Create An Undercroft.
(Re-submission).

Amendment:

Decision: Grant Permission

Date: 17/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0977

Applicant:
CJ City Properties

Parish:
Carlisle

Date of Receipt:
03/10/2008

Agent:
Black Box Architects
Limited

Ward:
St Aidans

Location:
6 Garden Street, Botchergate, Carlisle, CA1 2JQ

Grid Reference:
340818 555215

Proposal: Conversion Of House Into 3no Flats

Amendment:

Decision: Grant Permission

Date: 25/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0978

Applicant:
Burgh by Sands Sports &
Recreation Association

Parish:
Burgh-by-Sands

Date of Receipt:
24/09/2008

Agent:

Ward:
Burgh

Location:
Land adjacent to Greyhound Inn, Burgh by Sands,
Carlisle, CA5 6AN

Grid Reference:
332355 558964

Proposal: Creation Of Pond In The Wildlife Area, Including Reed Bed For Water

SCHEDULE E: Decisions Issued Under Delegated Powers

Cleansing And Sluice For Water Level Control (Discharge Of Conditions
2, 3, 4, 5 & 6 Imposed Under Appn 08/0253)

Amendment:

Decision: Partial Discharge of Conditions
18/11/2008

Date:

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0981

Applicant:
Mrs Alison Livingston

Parish:
Brampton

Date of Receipt:
24/09/2008

Agent:
Edengarth

Ward:
Brampton

Location:
10 Capon Tree Road, Brampton, Carlisle, Cumbria,
CA3 8XB

Grid Reference:
353100 560227

Proposal: Demolition Of Existing Garage To Be Replaced By An Attached Garage
To South West Elevation, Single Storey Conservatory To Rear, First
Floor Rear Extension To Provide Bedroom And Shower Room,
Formation Of Pitched Roof Over Existing Dormer (Revised Application)

Amendment:

Decision: Grant Permission

Date: 07/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0983

Applicant:
Mr Scales

Parish:
Hayton

Date of Receipt:
25/09/2008

Agent:
Paramount Windows &
Conservatories

Ward:
Hayton

Location:
Curlew Cottage, Hayton, Brampton, CA8 9HN

Grid Reference:
350651 557796

Proposal: Erection Of A Conservatory

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 14/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0984

Applicant:
Tynedale Agrishop

Parish:
Kirkandrews

Date of Receipt:
25/09/2008

Agent:
Green Design Group

Ward:
Longtown & Rockcliffe

Location:
Tynedale Farm Services, Townfoot, Longtown,
Carlisle, CA6 5LY

Grid Reference:
337556 568976

Proposal: Discharge Of Conditions 2 (Exterior Materials); 3 (Hard Surface Finishes); 5 (Foul Drainage); 6 (Window And Door Openings); 10 (Sustainable Drainage System); 13 (Landfill Gas Ingress) Of Application 08/0477

Amendment:

Decision: Grant Permission

Date: 21/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0986

Applicant:
Mr Peter Lloyd

Parish:
Farlam

Date of Receipt:
03/10/2008

Agent:
Mr Roderick Ogilvy RIBA

Ward:
Irthing

Location:
The Old School House, Hallbankgate, Brampton,
CA8 2NW

Grid Reference:
357916 559582

Proposal: Erection of 2 Storey Fully Glazed Extension To Rear Elevation, 2no. En-Suite Bathrooms and Extended Utility Room on Ground Floor, Glazed Entrance Lobby to front Elevation on Ground Floor, Provision of Solar Water Heating, Velux Roof Windows To Both Front And Rear Of Main Roof

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0987

Applicant:
Very Revd. Mark Boyling

Parish:
Carlisle

Date of Receipt:
25/09/2008

Agent:

Ward:
Castle

Location:
Carlisle Cathedral, The Abbey, Carlisle, Cumbria,
CA3 8TZ

Grid Reference:
339904 555959

Proposal: Erection Of 5.No Interpretation Panels And Erection Of 1:16th Scale
Model Of Cathedral On Stone Base

Amendment:

Decision: Grant Permission

Date: 20/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0988

Applicant:
Mr D Culley

Parish:
Carlisle

Date of Receipt:
26/09/2008

Agent:
Mr G Tyler

Ward:
Stanwix Urban

Location:
18 Maple Grove, Stanwix, Carlisle, CA3 9FE

Grid Reference:
340311 557732

Proposal: Proposed Two Storey Extension To The Side Elevation To Provide New
Lounge & WC To The Ground Floor - Bathroom & En-Suite Bedroom To
The First Floor

Amendment:

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0992

Applicant:
Messrs T Hutton

Parish:
Hayton

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
26/09/2008

Agent:
Alpha Design

Ward:
Hayton

Location:
L/a field 7214 How Street, How Mill, Brampton

Grid Reference:
350691 557060

Proposal: Discharge Of Conditions 3 (Screen Walls And Boundary Fences); 4 (Exterior Materials); 5 (Hard Surface Finishes); 6 (Floor Levels); 7 (Landscaping Works); 8 (Foul Drainage); 9 (Garaging And Car Parking); 12 (Means Of Access) Of Application 06/0241

Amendment:

Decision: Grant Permission

Date: 21/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0993

Applicant:
Ms Esther Nicholson

Parish:
Wetheral

Date of Receipt:
01/10/2008

Agent:

Ward:
Wetheral

Location:
The Croft, Aglionby, Carlisle, CA4 8AQ

Grid Reference:
344798 556706

Proposal: Replacement Porch/Cloakroom Extension To East Elevation; Erection Of Conservatory To West Elevation Combined With Overcladding (Revised Application)

Amendment:

Decision: Grant Permission

Date: 11/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0995

Applicant:
Mr Stanley

Parish:
Dalston

Date of Receipt:
29/09/2008 07:36:44

Agent:
Brian Child

Ward:
Dalston

Location:
3 Buebank Road, Dalston, Carlisle, CA5 7RE

Grid Reference:
336590 549980

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Erection Of Single Storey Side And Rear Extension To Provide Sun Room, Study, Utility & Dining Room. Erection Of Porch To Front Elevation

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/0996

Applicant:
Mr & Mrs Robinson

Parish:
Hayton

Date of Receipt:
29/09/2008

Agent:
Jock Gordon

Ward:
Hayton

Location:
9 Acre Close, Hayton, Brampton, CA8 9HW

Grid Reference:
350519 558045

Proposal: Erection Of Single Storey Rear Extension To Provide A Sunroom

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1003

Applicant:
Mr C Graham

Parish:
Wetheral

Date of Receipt:
30/09/2008

Agent:
Hogg & Robinson Design
Services

Ward:
Wetheral

Location:
Whitcroft, Plains Road, Wetheral, Carlisle, CA4
8LA

Grid Reference:
346343 555217

Proposal: Demolition Of Existing Conservatory And Erection Of Extended Dining And Living Area. Erection Of Additional Garage To Existing.

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 17/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1004

Applicant:
Mr & Mrs Peter Roze

Parish:
Wetheral

Date of Receipt:
07/10/2008

Agent:
Crellin Surveying Services
Limited

Ward:
Wetheral

Location:
Green Close Farm, Cotehill, Carlisle, Cumbria, CA4
0EH

Grid Reference:
347064 550312

Proposal: Demolition Of Conservatory & Porch, Relocation Of Kitchen & Lounge.
Rear Extension To Form Living Area, Cloaks, Utility & Entrance

Amendment:

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1005

Applicant:
Mrs Elizabeth kay

Parish:
Stanwix Rural

Date of Receipt:
01/10/2008

Agent:
Hogg & Robinson Design
Services

Ward:
Stanwix Rural

Location:
East View, Rickerby, Carlisle, CA3 9AA

Grid Reference:
341500 556922

Proposal: Internal Alterations To Make Larger Second Bedroom And Enlarged
Bathroom By The Relocation Of Staircase Within The Living Room.
Insertion Of A Conservation Type Velux (LBC)

Amendment:

Decision: Grant Permission

Date: 26/11/2008

Between 01/11/2008 and 05/12/2008

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:

08/1007

Applicant:

John H Wright

Parish:

Dalston

Date of Receipt:

01/10/2008

Agent:**Ward:**

Dalston

Location:

Fountain Head, Dalston, Carlisle, CA5 7BP

Grid Reference:

336178 548305

Proposal: Change of use of agricultural land to domestic garden**Amendment:****Decision:** Grant Permission**Date:** 26/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/1013

Applicant:

Mr T Potts

Parish:

Arthuret

Date of Receipt:

03/10/2008

Agent:**Ward:**

Longtown & Rockcliffe

Location:Scaurbank, Netherby Road, Longtown, Carlisle,
CA6 5NA**Grid Reference:**

338044 569315

Proposal: Discharge Of Conditions 3 (Hard Surface Finishes); 4 (Highway Verge);
5 (Highway Boundary Wall); 9 (Archaeological Work); 10 (Gas Migration)
Of Application 04/0128**Amendment:****Decision:** Partial Discharge of Conditions

28/11/2008

Date:

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/1014

Applicant:

Mrs Rebecca Higgins

Parish:

Wetheral

Date of Receipt:

10/10/2008

Agent:**Ward:**

Wetheral

Location:**Grid Reference:**

SCHEDULE E: Decisions Issued Under Delegated Powers

North East Barn, Croft House Farm, Cotehill,
Carlisle

346860 550450

Proposal: Discharge Of Condition 4 (hard surface finishes) of application 05/0546

Amendment:

Decision: Grant Permission

Date: 05/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1015

Applicant:
Mrs Mary Higgins

Parish:
Wetheral

Date of Receipt:
10/10/2008

Agent:

Ward:
Wetheral

Location:
North Barn, Croft House Farm, Cotehill, Carlisle

Grid Reference:
346680 550450

Proposal: Discharge Of Condition 3 (hard surface finishes) of application 05/0547

Amendment:

Decision: Grant Permission

Date: 05/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1016

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
15/10/2008

Agent:

Ward:
Castle

Location:
John Street Hostel Annexe, 11-15 John Street,
Carlisle, CA2 5TR

Grid Reference:
339444 555945

Proposal: Replace Existing 3m High Wooden Gates With Iron, Vertical Railing
Gate

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 11/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1020

Applicant:
Mr Cullen

Parish:
Stanwix Rural

Date of Receipt:
14/10/2008

Agent:
C & D Property Services

Ward:
Stanwix Rural

Location:
Crosshill Farm, Harker, CA6 4DU

Grid Reference:
339987 561307

Proposal: Erection Of A General Purpose Agricultural Building

Amendment:

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1022

Applicant:
Mr Sweetman

Parish:
Wetheral

Date of Receipt:
07/10/2008 07:30:13

Agent:
Brian Child

Ward:
Wetheral

Location:
Red Croft, Wetheral, Carlisle, CA4 8JG

Grid Reference:
346234 554482

Proposal: Single Storey Extension To Side Elevation To Provide Additional Room
And Double Garage (Revised Application)

Amendment:

Decision: Grant Permission

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1026

Applicant:
Mr Gordon Crawford

Parish:
Carlisle

Date of Receipt:
08/10/2008

Agent:

Ward:
Stanwix Urban

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:
45 Larch Drive, Stanwix, Carlisle, CA3 9FJ

Grid Reference:
340432 557677

Proposal: Erection Of Boundary Wall

Amendment:

Decision: Grant Permission

Date: 03/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1028

Applicant:
Mr Alan Park

Parish:
Carlisle

Date of Receipt:
13/10/2008

Agent:
L W Rook

Ward:
Botcherby

Location:
487 Warwick Road, Carlisle, CA1 2SB

Grid Reference:
342481 556030

Proposal: Two Storey Side Extension To Provide Garage And Extended Kitchen
On Ground Floor With 2no. Bedrooms Above (Revised Application)

Amendment:

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1032

Applicant:
Mr Craig Marshall

Parish:
Carlisle

Date of Receipt:
10/10/2008

Agent:

Ward:
Harraby

Location:
7 Dalegarth Avenue, Harraby, Carlisle, Cumbria,
CA1 3LT

Grid Reference:
341960 554226

Proposal: Two Storey Side Extension To Provide Garage On Ground Floor With
En-Suite Bedroom Above

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 12/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/1038

Applicant:

Environment Agency

Parish:

Carlisle

Date of Receipt:

13/10/2008 17:30:19

Agent:

AXIS P.E.D. Ltd

Ward:

Denton Holme

Location:

Land adjacent to the River Caldew (right bank) near Viaduct Estate Road & Land adjacent to the River Caldew (left bank) near University Library, Carlisle

Grid Reference:

339838 554548

Proposal: Construction Of Flood Alleviation Scheme Along Right Bank Of River Caldew Adjacent To Viaduct Estate Road & Left Bank Adjacent To University Library Milbourne Street (Amendments To Scheme Approved Under Ref 06/1473)

Amendment:

1. Drawing No. IMNW525/PLA/003 Rev A received 18/11/08 re. design of CR09 flood wall.

Decision: Grant Permission

Date: 28/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:

08/1042

Applicant:

Mr J Dalgliesh

Parish:

Wetheral

Date of Receipt:

13/10/2008

Agent:

TSF Developments Ltd

Ward:

Wetheral

Location:

Outbuildings At L/A Aglionby Grange, Aglionby, Nr Carlisle, Cumbria, CA4 8AD

Grid Reference:

343879 556468

Proposal: To Maintain The Present Buildings By Providing Small Office/Commercial Facilities, Upgrading The Site & Landscaping

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 05/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1045

Applicant:
Mr & Mrs M Murray

Parish:
Hayton

Date of Receipt:
14/10/2008

Agent:
Taylor & Hardy

Ward:
Hayton

Location:
Heads Nook Hall, Heads Nook, Carlisle, CA8 9AA

Grid Reference:
349994 554852

Proposal: Single Storey Rear And Side Extension To Provide Granny Annexe
(Revised Application)

Amendment:

1. Revised floor plan.

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1049

Applicant:
Ms Foster

Parish:
Wetheral

Date of Receipt:
14/10/2008 11:30:09

Agent:
GR Architects

Ward:
Wetheral

Location:
Froddle Crook, Armathwaite, CA4 9SY

Grid Reference:
349988 549022

Proposal: Side Extension To Provide Garden Room, Internal Alterations To
Provide Utility, Shower Room And 1no. Bedroom; First Extension To
Provide En-Suite To Existing Bedroom (Revised Application)(LBC)

Amendment:

Decision: Grant Permission

Date: 27/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1050

Applicant:
Ms Foster

Parish:
Wetheral

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
14/10/2008 11:30:09

Agent:
GR Architects

Ward:
Wetheral

Location:
Froddle Crook, Armathwaite, CA4 9SY

Grid Reference:
349988 549022

Proposal: Side Extension To Provide Garden Room, Internal Alterations To Provide Utility, Shower Room And 1no. Bedroom; First Extension To Provide En-Suite To Existing Bedroom (Revised Application)

Amendment:

1. Revised Window And Door Detail

Decision: Grant Permission

Date: 27/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1055

Applicant:
IT & EM Carlyle

Parish:
Arthuret

Date of Receipt:
16/10/2008

Agent:

Ward:
Longtown & Rockcliffe

Location:
Bleaberryrigg Farm, Longtown, Cumbria, CA6 5TT

Grid Reference:
343308 569594

Proposal: Erection Of Dry Animal Feed Store

Amendment:

Decision: Grant Permission

Date: 18/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/1068

Applicant:
Mr Duckworth

Parish:

Date of Receipt:
24/10/2008

Agent:
Gray Associates Limited

Ward:

Location:
1 Furze Street & 7a Greystone Road, Carlisle, CA1 2DL

Grid Reference:
341094 555432

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Refurbishment Of Ground Floor Including Extension And External Alterations (Retrospective); And Insertion Of Velux Rooflights To Form A Maisonette On The First And Second Floor

Amendment:

Decision: Grant Permission

Date: 04/12/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/9026

Applicant:
Mr Nick Long

Parish:
Carlisle

Date of Receipt:
21/10/2008

Agent:
Capita Symonds Limited

Ward:
Harraby

Location:
Richard Rose Academy (Former North Cumbria Technology College), Edgehill Road, Carlisle, CA1 3SL

Grid Reference:
342799 554345

Proposal: Erection Of External Canopy

Amendment:

Decision: City Council Observation - Raise No Objection

Date: 10/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/9027

Applicant:
United Utilities

Parish:
Carlisle

Date of Receipt:
29/10/2008

Agent:
Cumbria County Council

Ward:
Castle

Location:
Land Off Catholic Lane, Carlisle, Cumbria, CA1 1NB

Grid Reference:
340684 556255

Proposal: A New Combined Sewer Overflow (CSO) And Permanent Vehicular Access

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: City Council Observation - Raise No Objection
Date: 14/11/2008

Between 01/11/2008 and 05/12/2008

Appn Ref No:
08/9030

Applicant:
Cummersdale Primary
School

Parish:
Cummersdale

Date of Receipt:
05/11/2008

Agent:
Cumbria County Council

Ward:
Dalston

Location:
Cummersdale School, Cummersdale, Carlisle CA2
6BD

Grid Reference:
338938 553323

Proposal: Variation Of Condition 5 Of Application 04/9015 To Allow Floodlights To
Be Illuminated Until 20:00hrs

Amendment:

Decision: City Council Observation - Raise No Objection
Date: 02/12/2008
