

SCHEDULE A: Applications with Recommendation

19/0503

Item No: 09

Date of Committee: 22/11/2019

Appn Ref No:
19/0503

Applicant:
HACW Ltd

Parish:
Stanwix Rural

Agent:
Haydon Environmental
Consultants

Ward:
Stanwix & Houghton

Location: Houghton Hall Garden Centre, Houghton, Carlisle, CA6 4JB

Proposal: Siting Of Hand Car Wash And Valet Facility Including Canopy And Portable Office Store Building (Revised Application)

Date of Receipt:
24/06/2019 13:00:47

Statutory Expiry Date
19/08/2019 13:00:47

26 Week Determination
30/11/2019

REPORT

Case Officer: Barbara Percival

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Principle of development
- 2.2 Proposed method of drainage
- 2.3 Design and impact of the proposal on the character and appearance of the area
- 2.4 Impact of the proposal on the character and setting of the Grade II Listed Building
- 2.5 Impact of the proposal on the Buffer Zone of Hadrian's Wall World Heritage Site
- 2.6 Impact of the proposal on biodiversity
- 2.7 Impact of the proposal on the living conditions of the occupiers of neighbouring properties
- 2.8 Impact of the proposal on highway safety
- 2.9 Other matters

3. Application Details

The Site

- 3.1 Houghton Hall Garden Centre is an established garden centre located adjacent to the A689 county highway north east of St John's Church, Houghton. Spread over three levels, the main level is home to gardening products, external plant areas, aquatic shop, gift shop, clothing, coffee shop, food hall/butchers and fruit and vegetable store. A mezzanine floor displays garden furniture and outdoor living products whilst a basement level houses 'The World in Miniature Museum'.

The Proposal

- 3.2 The proposal seeks full planning permission for the siting of a hand car wash and valet facility including a canopy and portable office/store located in the northern section of the car park. A 1.8 metre wooden fence would be erected along the northern and part of the eastern boundaries of the application.

4. Summary of Representations

- 4.1 This application has been advertised by the direct notification of the occupiers of two neighbouring properties and the posting of site and press notices. No verbal or written representations have been made during the consultation period.

5. Summary of Consultation Responses

Cumbria County Council - (Highways & Lead Local Flood Authority): - the applicant outlines that the average usage of the site will be 376 vehicles per week. This equates to 54 vehicles per day or approximately 7 vehicles per hour. A large proportion of these users would already be intending to visit the garden centre, therefore, can be considered "pass by" traffic. Accordingly, the "new" traffic generation of this proposal would be minimal. Cumbria County Council, as Lead Local Flood Authority, also notes the proposed drainage system. In overall terms, raise no objections to the proposed development;

Stanwix Rural Parish Council: - raise objections to the originally submitted documents. In summary, the objections centre on:

- a car wash is a wholly inappropriate activity on this site
- use of water soluble detergents to be discharged by the package wastewater recycling system.
- the documents state that the units is capable of recycling up to 95% of used water. The destination of the remaining 5% of used is not specified and may discharge directly to surface water drainage
- potential impact on groundwater
- would a maintenance programme be implemented
- questions if an environmental permit would be required
- storage of chemicals within the site

- potential impact on landscaping and boundary wall

At the time of preparing the report, no further comments have been received in respect of the additional information received;

Environment Agency: - if there is no discharge to the surface water drains or to the package treatment plant that serves Houghton Hall Garden Centre then there are no objections to the proposal. An Environmental Permit would not be required;

United Utilities: - no objections subject to the imposition of conditions requiring: that the works shall be undertaken in accordance with the submitted Supporting Drainage Statement; and foul and surface water are drained on separate systems;

Historic England - North West Office: - do not wish to offer any comments.

6. Officer's Report

Assessment

- 6.1 Section 70(2) of the Town and Country Planning Act 1990/ Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application for planning permission is determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise.
- 6.2 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF), the Planning Practice Guidance (PPG) and Policies of SP2, SP6, EC11, IP2, IP3, IP6, CC5, CM5, HE1, HE3 and GI3 of the Carlisle District Local Plan 2015-2030. Section 66 of The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 is also a material planning consideration. A further material consideration is Historic England's document entitled 'The Setting of Heritage Assets -Historic Environment Good Practice Advice in Planning: 3 (Second Edition).
- 6.3 The proposal raises the following planning issues.

1. Principle Of Development

- 6.4 Within the NPPF there is a presumption in favour of sustainable development. Paragraph 7 requires that:

“The purpose of the planning system is to contribute to the achievement of sustainable development. At a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.”

- 6.5 Paragraph 8 continues and identifies that to achieve sustainable development there are three overarching objectives: economic, social and environmental. Paragraph 10 states *“so that sustainable development is pursued in a positive*

way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11)."

- 6.6 To support a prosperous rural economy, paragraph 83 of the NPPF states that:

"Planning policies and decisions should enable:

- a) the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;*
- b) the development and diversification of agricultural and other land-based rural businesses;*
- c) sustainable rural tourism and leisure developments which respect the character of the countryside; and*
- d) the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship."*

- 6.7 The Framework expands in paragraph 84 by outlining that:

"Planning policies and decisions should recognise that sites to meet local business and community needs in rural areas may have to be found adjacent to or beyond existing settlements, and in locations that are not well served by public transport. In these circumstances it will be important to ensure that development is sensitive to its surroundings, does not have an unacceptable impact on local roads and exploits any opportunities to make a location more sustainable (for example by improving the scope for access on foot, by cycling or by public transport). The use of previously developed land, and sites that are physically well-related to existing settlements, should be encouraged where suitable opportunities exist".

- 6.8 A such, there is clear guidance that the needs of businesses may extend beyond settlement boundaries provided that the development is sensitive to its surroundings, does not impact on the local road network and encourages the use of previously developed land.

- 6.9 The location of this type of operation in the rural area must also be justified. Policy SP2 of the local plan requires that development proposals will be assessed against their ability to promote sustainable development. Outside of the specified settlements, development proposals will be assessed against the need to be in the location specified.

- 6.10 This proposal requires the development of part of the car park to form a hand car wash facility. Policy EC11 of the local plan states that any new buildings within the rural area should be well related to an existing group of buildings to minimise their impact and ensure they blend satisfactorily into the landscape through suitable materials, design and siting and these matters are considered in the following paragraphs of this report.

- 6.11 The parish council contends in its original response that: *"a car wash is a wholly inappropriate activity on the site"*. The car wash would be small in

scale compared to the existing use and would complement the garden centre use where visitors spend a reasonable amount of time thus allowing the vehicles to be left and cleaned. Furthermore, the inclusion of car washes within the curtilage of garden centres is commonplace. Members will also be aware that in 2016 they granted permission for another complementary facility within the site for the retail of fruit and vegetables (application 16/0485). As such, it has been proven that complementary facilities encourages linked trips to the site, thereby, improving the economic benefits of the site.

- 6.12 The proposal is a commercial enterprise, located in a rural location. The proposal would offer limited social benefits by virtue of a service which is utilised by the local community, whilst job creation would also occur, an economic benefit. The stated number of jobs that would be created is two full time and six part time roles. In this regard, the proposal is considered to be of benefit to the rural economy and can be supported in principle in respect of the NPPF and Policy EC11 of the local plan.

2. Proposed Method of Drainage

- 6.13 Paragraph 170(e) of the NPPF states that:

“Planning policies and decisions should contribute to and enhance the natural and local environment by:

- e) preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. Development should, wherever possible, help to improve local environmental conditions such as air and water quality, taking into account relevant information such as river basin management plans;”*

- 6.14 In Paragraph: 016 Reference ID: 34-016-20140306 of the Waste Supply, Wastewater And Water Quality section of the PPG, it advises on assessing impacts on water quality and states:

“Where water quality has the potential to be a significant planning concern an applicant should be able to explain how the proposed development would affect a relevant water body in a river basin management plan or designated sites of importance for biodiversity, and how they propose to mitigate the impacts.

Where it is likely a proposal would have a significant adverse impact on water quality then a more detailed assessment will be required. The assessment should form part of the environmental statement, if one is required because of a likely significant effect on water.

When a detailed assessment is needed, the components are likely to include:

- the likely impacts of the proposed development (including physical modifications) on water quantity and flow, river continuity and groundwater connectivity, and biological elements (flora and fauna).*

- *how the proposed development will affect measures in the river basin management plan to achieve good status in water bodies to ensure local authorities discharge their duty to have regard to river basin management plans when exercising their duties, including making planning decisions*
- *how it is intended the development will comply with other relevant regulatory requirements relating to the water environment (such as those relating to bathing waters, shellfish waters, freshwater fish and drinking water, internationally and nationally designated sites of importance for biodiversity) bearing in mind compliance will be secured through the Environment Agency's permitting responsibilities."*

- 6.15 Policies IP6 and CC5 of the local plan also requires that appropriate foul and surface drainage measures are incorporated within any development. As such, information has been requested in respect of the operating procedures and drainage system to serve the proposed car wash.
- 6.16 The Supporting Drainage Statement outlines that: "*... the it is intended to treat and recycle the wash water from the proposed hand wash by installing a 'Bywater Oasis T2' package re-cycling system, thereby, considerably reducing the water requirement and negating the need to discharge wash water to the surface water system*". Further information supplied by the manufacturer outlines that their system works "*on a figure of 95% recycling ... in theory the system will recycle 100% but there will be some losses from evaporation, overspray and whatever leaves the system on the cars. The system will recycle 100% of the water that in collected in the interceptor. Any losses are replenished from the mains water supply*".
- 6.17 The submitted drawings illustrate that cars would enter the car wash area and be parked in the 'wash pad' area enclosed by below ground 600mm diameter 'Aco Drainlock Gratings' which due to the natural fall of the site would channel excess water from the car wash into a silt trap prior to entering the 'Bywater T2' water reclamation vehicle wash system. The Supporting Drainage Statement and manufacturer's email outlines that Aluminium Sulphate, at a low dosage rate, would be added to the waste water to help coagulate the dirt which would generally settle in the interceptor with the sludge. The manufacturer highlighting that Aluminium Sulphate is used as a coagulant in water companies sewage treatment plants which eventually enters watercourses. The treated water from the water reclamation vehicle wash system would be re-used in the car wash.
- 6.18 The 'Bywater T2' car wash system would be housed within the glass-reinforced plastic (GRP) housing unit located to the east of the car wash area. The Methods of Working Statement further expands by highlighting the proposed working practices to be operated within the site. These details include the use of a dilution meter, storage of chemicals and procedures to follow in case of accidental spillage. A condition is recommended that would ensure strict compliance with the methods of working statement unless otherwise agreed in writing by the local planning authority.
- 6.19 Surface water run-off from the remainder of the site would again enter a

separate 'Aco Drainlock Grating' located to the north of the wash pad and be directed into the existing surface water drainage system.

- 6.20 The parish council in its original consultation response objects to the application which in respect of drainage issues appear to centre on: proposed method for the disposal of surface water; use of chemicals in the car wash; method for the storage of chemicals; and requirement for maintenance programme. At the time of preparing the report, no further response has been received from the parish council.
- 6.21 The majority of the concerns raised by the parish council have been addressed in the preceding paragraphs. Members should also be aware that the Environment Agency does not raise any objections and advise that an environmental permit would not be required as there would be no discharge from the car wash to either the surface water drains or to the package treatment plant.
- 6.22 In respect of a maintenance programme for the car wash system this issue has been raised with the Agent. The Agent has advised that this is a contractual issue dependent upon the granting of planning permission and a lease entered into with the sites' owners.
- 6.23 In overall terms, the proposed car wash would not be connected to the existing surface water drainage system nor enter the package treatment plant serving the garden centre. Accordingly, the proposal would not have a detrimental impact on grounds waters and would not require a permit under Environment Agency legislation. Furthermore, the proposed method of washing the cars through its reduction in water usage and recycling method will make a contribution towards adapting to climate change.

3. Design And Impact Of The Proposal On The Character And Appearance Of The Area

- 6.24 Adopted policies require that development is appropriate, in terms of quality, to that of the surrounding area. Proposals should, therefore, incorporate high standards of design including care in relation to siting, scale, use of materials and landscaping that respects and, where possible, enhances the distinctive character of townscape and landscape. This is reflected in Policy SP6 of the local plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and making use of appropriate materials and detailing.
- 6.25 The development would be within the context of the site and the structures would be well-related to the existing buildings. The scale, design and use of materials of the proposals are considered to be appropriate in the context of the site, its surroundings and overall character of the area and is acceptable in this regard.

4. Impact Of The Development On The Character And Setting Of The Grade II Listed Building

- 6.26 Section 66 (1) of the Planning (Listed Building and Conservation Areas) Act 1990 highlights the statutory duties of local planning authorities whilst exercising of their powers in respect of listed buildings. The aforementioned section states that:

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

- 6.27 Members, therefore, must give considerable importance and weight to the desirability of preserving the adjacent listed buildings and its setting when assessing this application. If the harm is found to be less than substantial, then any assessment should not ignore the overarching statutory duty imposed by section 66(1).
- 6.28 Paragraph 195 of the NPPF states that local planning authorities should refuse consent for any development which would lead to substantial harm to or total loss of significance of designated heritage assets. However, in paragraph 196, the NPPF goes on to say that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.
- 6.29 Policy HE3 of the local plan also indicates that new development which adversely affects a listed building or its setting will not be permitted. Any harm to the significance of a listed building will only be justified where the public benefits of the proposal clearly outweighs the significance.
- i) the significance of the heritage asset and the contribution made by its setting
- 6.30 Houghton Hall, located approximately 130 metres to the west of the application site, was listed as a Grade II Listed Building by Historic England in 1983. The listing details for Houghton Hall is as follows:
- "House. Early C19. Stucco walls, stone dressings, slate roof with lead hips, stucco chimney stacks. 2 storeys, 5 bays. Entrance portico has square and cylindrical fluted Greek Doric columns with triglyphs and moulded cornice, moulded entrance surround, 6-panel door with glazed fanlight. Windows have moulded surround, 2-pane sashes, wooden shaped pelmets over cases. Scrolled double modillions to projecting eaves. Out-buildings excluded".*
- 6.31 Houghton Hall is a substantial dwelling, the setting of which has evolved over the years with the construction of a garden centre to the west.
- ii) the effect of the proposed development on the setting of the Grade II listed building

- 6.32 Historic England has produced a document entitled 'The Setting of Heritage Assets - Historic Environment Good Practice Advice in Planning: 3 (Second Edition)' (TSHA). The document sets out guidance, against the background of the NPPF and the related guidance given in the PPG, on managing change within the settings of heritage assets, including archaeological remains and historic buildings, sites, areas, and landscapes.
- 6.33 The TSHA document details the definition of the setting of a heritage asset as that contained within Annex 2: Glossary of the NPPF as: *"the surroundings in which heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive and negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral"*. The document acknowledging that conserving or enhancing heritage assets by taking their settings into account need not prevent change and recommends a staged approach to proportionate decision taking.
- 6.34 When considering potential impacts of a proposed developments on the significance of a designated heritage asset, great weight should be given to the assets conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance (paragraph 193 of NPPF). Paragraph 194 of the NPPF outlining that *"any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification ..."*. Where a proposed development would lead to substantial harm or less than substantial harm to the significance of the heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use (paragraphs 195 and 196 of the NPPF).
- 6.35 Section 66 (1) requires that development proposals consider not only the potential impact of any proposal on a listed building but also on its setting. Considerable importance and weight needs to be given to the desirability of preserving the adjoining listed buildings and settings when assessing this application. If the harm is found to be less than substantial, then any assessment should not ignore the overarching statutory duty imposed by section 66(1).
- 6.36 The application site would be separated from the heritage asset by distance and the intervening garden centre. As such, it is considered that the proposal (in terms of its location, scale, materials and overall design) would not be detrimental to the immediate context or outlook of the aforementioned adjacent heritage asset.

5. Impact Of The Proposal On the Buffer Zone Of Hadrian's Wall World Heritage Site

- 6.37 Although not part of the Hadrian's Wall Vallum, the site is within the buffer zone of Hadrian's Wall Military Zone World Heritage Site where policies require that proposals for development which would have an unacceptable

impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted, where it is consistent with other policies of this plan, providing that the proposal reflects the scale and character of the existing group of buildings and there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.

- 6.38 On the basis of the details submitted, neither Historic England or the Historic Environment Officer at Cumbria County Council have raised any objections.

6. Impact Of The Proposal On Biodiversity

- 6.39 Planning Authorities in exercising their planning and other functions must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended). Such due regard means that Planning Authorities must determine whether the proposed development meets the requirements of Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm the favourable conservation of the protected species and their habitat.

- 6.40 The Councils GIS Layer has identified that the site has the potential for protected species to be present on or in the vicinity of the site. As the proposed development would be located adjacent to existing buildings, situated over an area of hardstanding, it is not considered that the development would harm a protected species or their habitat. An Informative would be included within the decision notice ensuring that if a protected species is found all work must cease immediately and the local planning authority informed.

7. Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Property

- 6.41 Planning policies require that development proposals should not adversely affect the living conditions of occupiers of residential properties by virtue of inappropriate development, scale or visually intrusive.
- 6.42 Two Hands lies approximately 80 metres to the south of the application site, with the curtilage boundary adjoining the site. The hours of use proposed are listed as 0900 hours to 1800 Mondays to Saturdays, and 1030 hours to 1630 Sundays and Bank Holidays and these hours would be conditioned as part of any approval granted.
- 6.43 Given the existing use of the site, the physical relationship of the neighbouring properties together with the proximity to the A689 and the buffer created by the proposed erection of a 1.8 metre high fence, the occupiers of the neighbouring property would not suffer from an unreasonable loss of

daylight or sunlight and due to the siting, scale and design of the property the development would not be over-dominant. Moreover, the operation of the site would not result in significant levels of noise or disturbance.

8. Impact Of The Proposal On Highway Safety

- 6.44 Planning policies generally require that development proposals do not lead to an increase in traffic levels beyond the capacity of the surrounding local highway and provide adequate parking facilities.
- 6.45 Cumbria County Council as the Highway Authority has assessed the application and confirmed that the use of the existing access and relationship with the car park is acceptable and therefore raise no objection. On this basis the proposal does not raise any highway issues and is acceptable.

9. Other Matters

- 6.46 The parish council makes reference to the proposed loss of landscaping and a stone wall. The loss of such a small area of soft landscaping is not considered significant in the context of the garden centre as a whole with the semi-mature tree located to the east of the car wash unaffected. In respect of the stone wall which forms the boundary of the access yard this would remain unaffected by the proposal.

Conclusion

- 6.47 It is considered that the principle of development is acceptable in this location and would provide limited social benefits by virtue of a service which is utilised by the local community, as well as wider job creation, an economic benefit. The proposal would not have a detrimental impact on the character or appearance of the area or the nearby listed building.
- 6.48 The site is detached from the nearby residential property and through its use and subject to the imposition of conditions, the development would not result in a nuisance to the occupiers of this property.
- 6.49 The proposal would not raise any biodiversity or highway issues and in all aspects, the proposal is acceptable in terms of the NPPF, PPG, Section 66 of The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 and relevant local plan policies.
- 6.50 The application is, therefore, recommended for approval.

7. Planning History

- 7.1 Prior to the submission of the original application for the Garden Centre in 2003, there had been no previous comparable application in relation to the application site as a whole. However, in March 2003 Outline Planning Consent was refused for the erection of a single dwelling within the walled

garden associated with Houghton Hall for the following reason:

"The proposed site lies in a location outside the established and defined limits of any settlement or focus of significant residential development and, if permitted, would detract from planning policies aimed at concentrating new residential development in the rural area within those settlements that fulfil a rural service role. Approval of the proposed development would thus conflict with the provisions of Policy H5 of the Carlisle District Local Plan and the associated Interim Housing Policy Statement (2002)."

- 7.2 In 2003, full planning permission was granted for the garden centre with related visitor attraction, car parking etc (application reference 03/1024).
- 7.3 In 2005, full planning permission was granted for a revised application for the above garden centre (application reference 05/0477).
- 7.4 In 2006, full planning permission was granted for the extension of retail floor space by the installation of 650 square metres mezzanine floor (application reference 06/0247).
- 7.5 Also in 2006, advertisement consent was granted for the display of illuminated and non-illuminated signage (application reference 06/0782).
- 7.6 Again in 2006, an application for the variation of planning condition no.12, ref no 05/0477 to allow the display of garden buildings, greenhouses, gazebos, summer houses together with sales office outwith the areas identified within the planning permission was withdrawn (application reference 06/1193).
- 7.7 This application was subsequently re-submitted and refused under planning reference 07/0231.
- 7.8 Also in 2007, full planning permission was granted for the temporary siting of a marquee over external seating area (application reference 07/0925).
- 7.9 In 2011, advertisement consent was granted for replacement of existing signage at the entrance to garden centre (application reference 11/0777).
- 7.10 In 2016, full planning permission was granted for erection of timber building adjacent to entrance of garden centre for the sale of fruit and vegetables (application reference 16/0485).
- 7.11 Also 2016, an application for the creation of a hand car wash with package recycling system was withdrawn (application reference 16/0486).
- 7.12 Again in 2016, an application to discharge condition 3 (materials) attached to planning approval 16/0485 was granted (application reference 16/0896).
- 7.13 In 2018, an application for siting of hand car wash and valet facility including canopy and portable office store building was withdrawn (application reference 18/0363).

- 7.14 A further application for the display of 1no. non illuminated menu board sign and 1no. free standing direction sign was also withdrawn (application 18/0364).
- 7.15 Again in 2018, an application for siting of hand car wash and valet facility including canopy and portable office store building (revised application) was refused (application reference 18/0891).
- 7.16 A further application for the display of 1no. non illuminated menu board sign and 1no. free standing direction sign (revised application) was withdrawn (application reference 18/0892).
- 7.17 There is an associated application for advertisement consent for the display of non-illuminated menu board and 1no. free standing directional sign (revised application) (application reference 19/0504) pending a decision.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprise:
 1. the submitted planning application form received 23rd October 2019;
 2. the location plan received 24th June 2019 (Drawing No. 400);
 3. the block plan received 1st October 2019 (Drawing No. 100);
 4. the Background Planning Statement received 24th June 2019;
 5. the Supporting Drainage Statement received 24th June 2019;
 6. the Methods of Working received 1st October 2019;
 7. the email from Bywater Services dated 5th August 2019;
 8. the manufacturers specification for Bywater Oasis T2 vehicle & equipment facilities received 24th June 2019;
 9. the nw and se elevations for the GRP housing received 1st October 2019;
 10. the ne and sw elevations for the GRP housing received 1st October 2019;
 11. the T2 - GRP1 layout received 1st October 2019 (Drawing No. BY2329 Issue No. 3);
 12. the elevations for office/store building received 24th June 2019;
 13. the floor plans for office/store building received 24th June 2019;
 14. the manufacturers specifications for Aco Drainage system received 1st October 2019;
 15. the cantilever canopy received 24th June 2019 (Drawing No. GA1012);
 16. the Notice of Decision; and
 17. any such variation as may subsequently be approved in writing by the

Local Planning Authority.

Reason: To define the permission.

3. The operation of the car wash hereby permitted shall not commence before 0900 hours or remain in operation after 1800 hours on Mondays to Saturdays and 1030 hours to 1630 hours Sundays and statutory holidays.

Reason: To prevent disturbance to the occupiers of neighbouring residential properties in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

4. No construction work associated with the development hereby approved shall be carried out before 0900 hours or after 1800 hours Monday to Saturdays and 1030 hours and 1630 hours on Sundays.

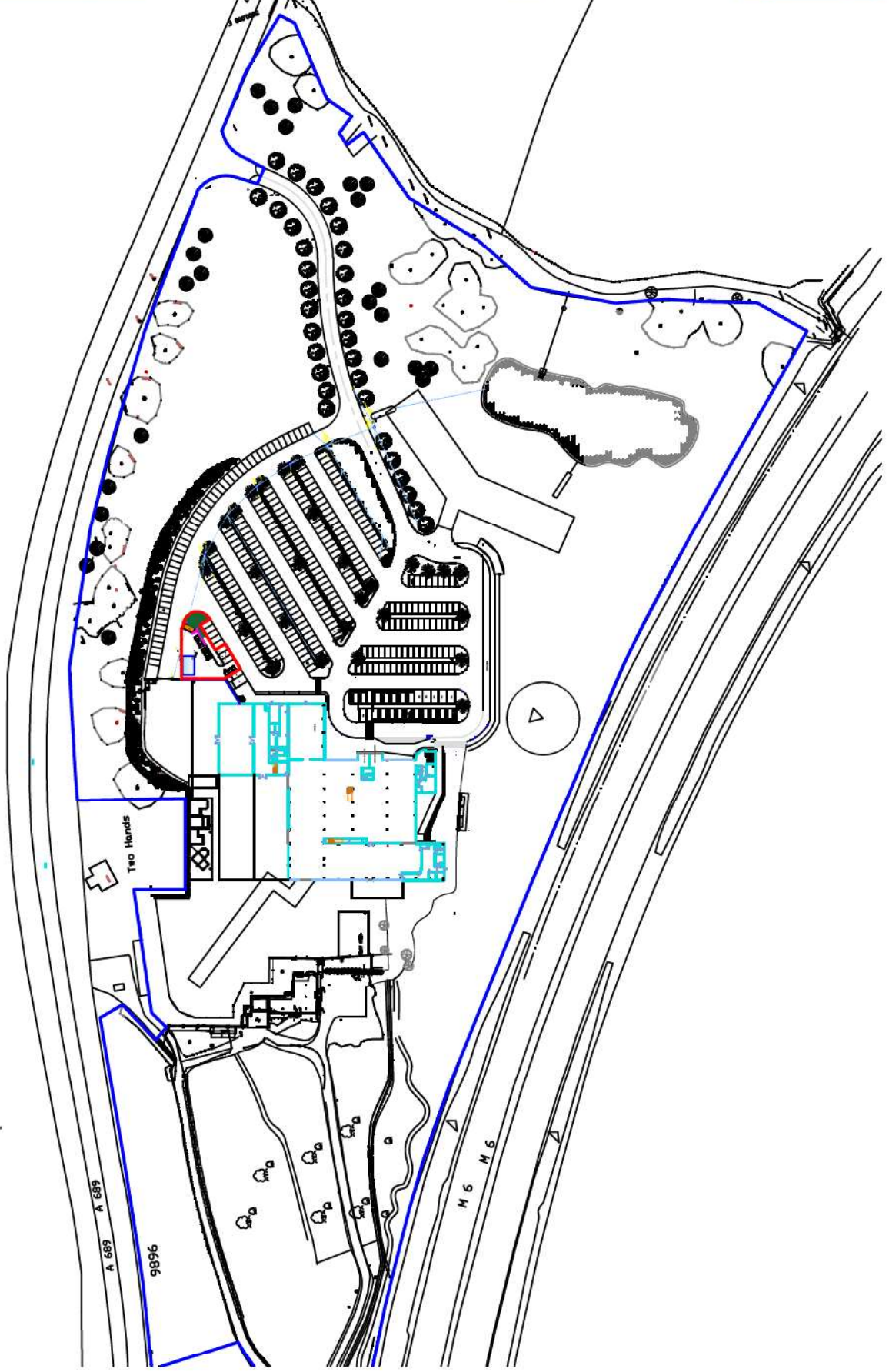
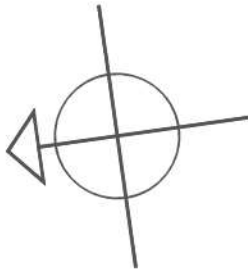
Reason: To prevent disturbance to nearby occupants in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.


5. No music or other amplified sound generated on the premises shall be audible at the boundary of any adjacent residential building such as to constitute a statutory nuisance.

Reason: To ensure that noise which may emanate from the development is compatible with the existing noise levels in the area and does not lead to undue disturbance to adjoining occupiers in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.

6. The car wash shall operate in strict compliance with the submitted Handy Andy Methods of Working statement received 1st October 2019 unless otherwise agreed in writing by the local planning authority.

Reason: To ensure a satisfactory form of development and to protect nearby water courses in accordance with the National Planning Policy Framework, National Planning Practice Guidance and Policy IP6 of the Carlisle District Local Plan 2015-2030.



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<p>M&L/C2M Page: All products are intended to be used and installed in accordance with the manufacturer's instructions and in accordance with good health and safety practice and in accordance with the relevant standards and regulations. All dimensions and levels are to be checked on site and discrepancies resolved before work commences. All dimensions are in millimetres unless otherwise stated.</p> <p>The M&L/C2M is a preliminary drawing and is not intended to be used for construction purposes. It is the responsibility of the contractor to locate any services separately in the vicinity of the works. The Client will accept no claims whatsoever in respect of any loss or damage sustained in respect of any services located or damaged.</p>			
			
Notes			
Revisions		Date	
PLANNING			
CARLISLE			
LOCATION PLAN			
Title: 12/03/16		Scale: 1:2500	
Client: Klondyke Group Ltd		Drawing No: 400	
Revision: 0		Revision: 0	

Proposed Site Plan (Rev a.) 1:100 September 2019

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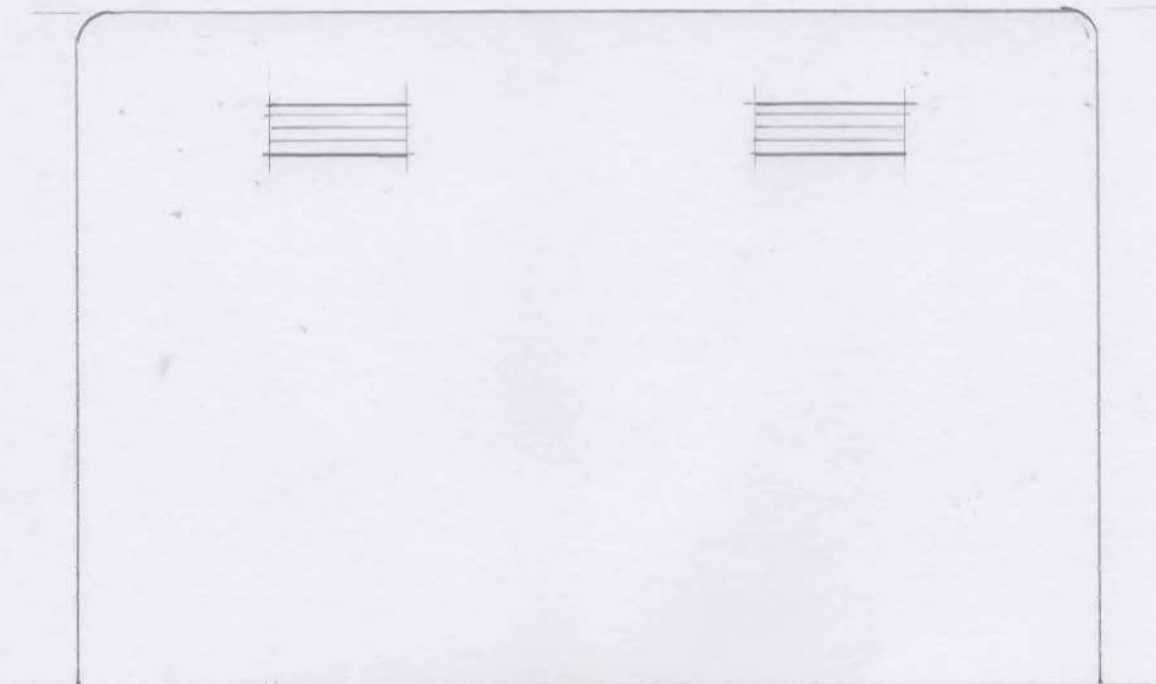
Proposed Car Wash Houghton Hall Garden Centre Carlisle

Proposed GRP Housing for Waste water recycling unit

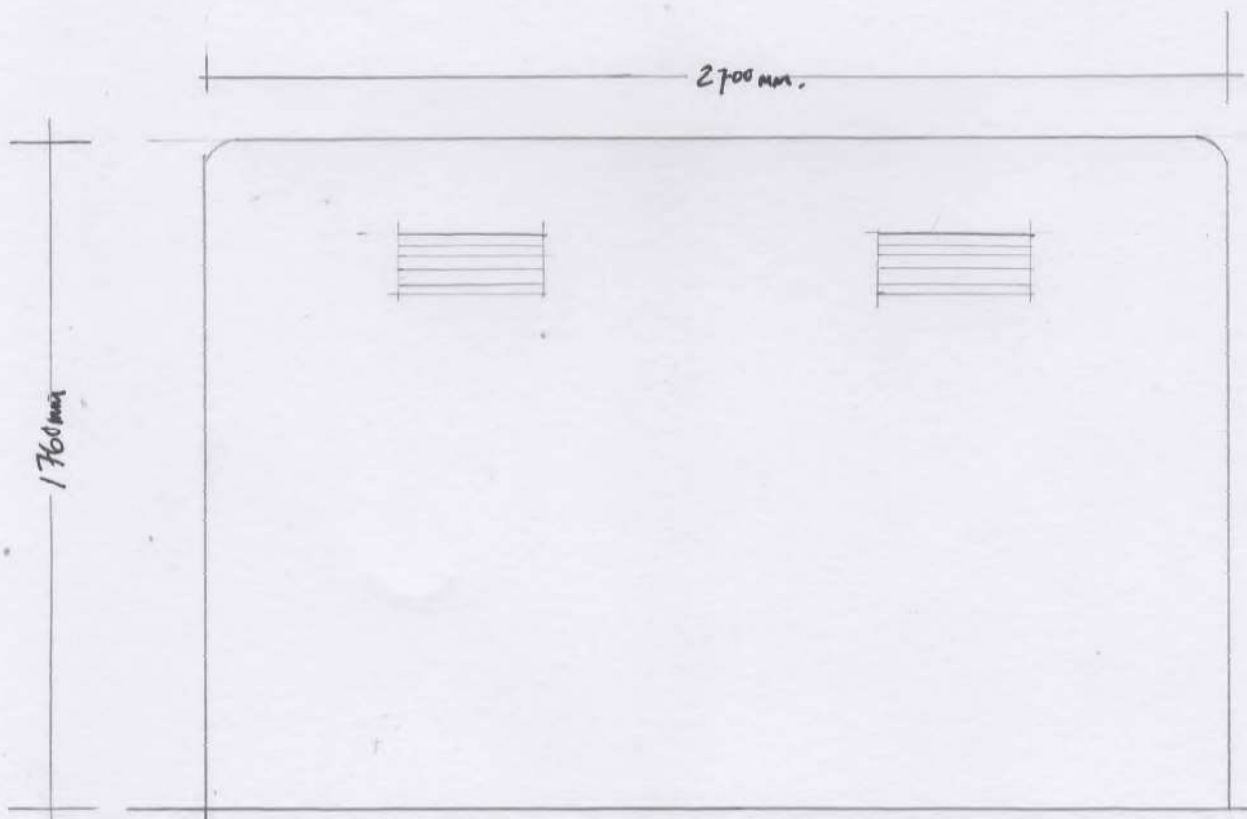
Elevations

Scale 1:20

September 2019.



North West Elevation



South East Elevation

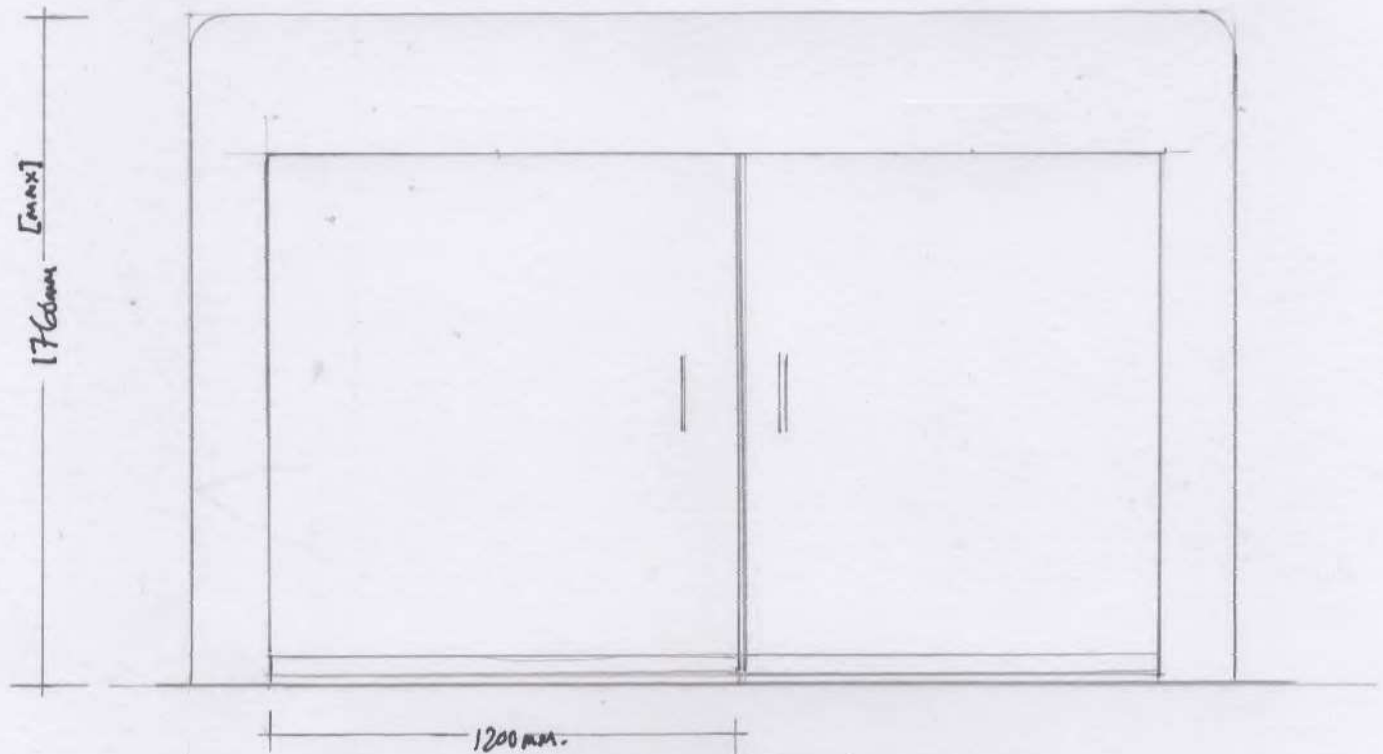
Proposed Car Wash Houghton Hall Garden Centre Carlisle

Proposed GRP Housing for Waste water recycling unit

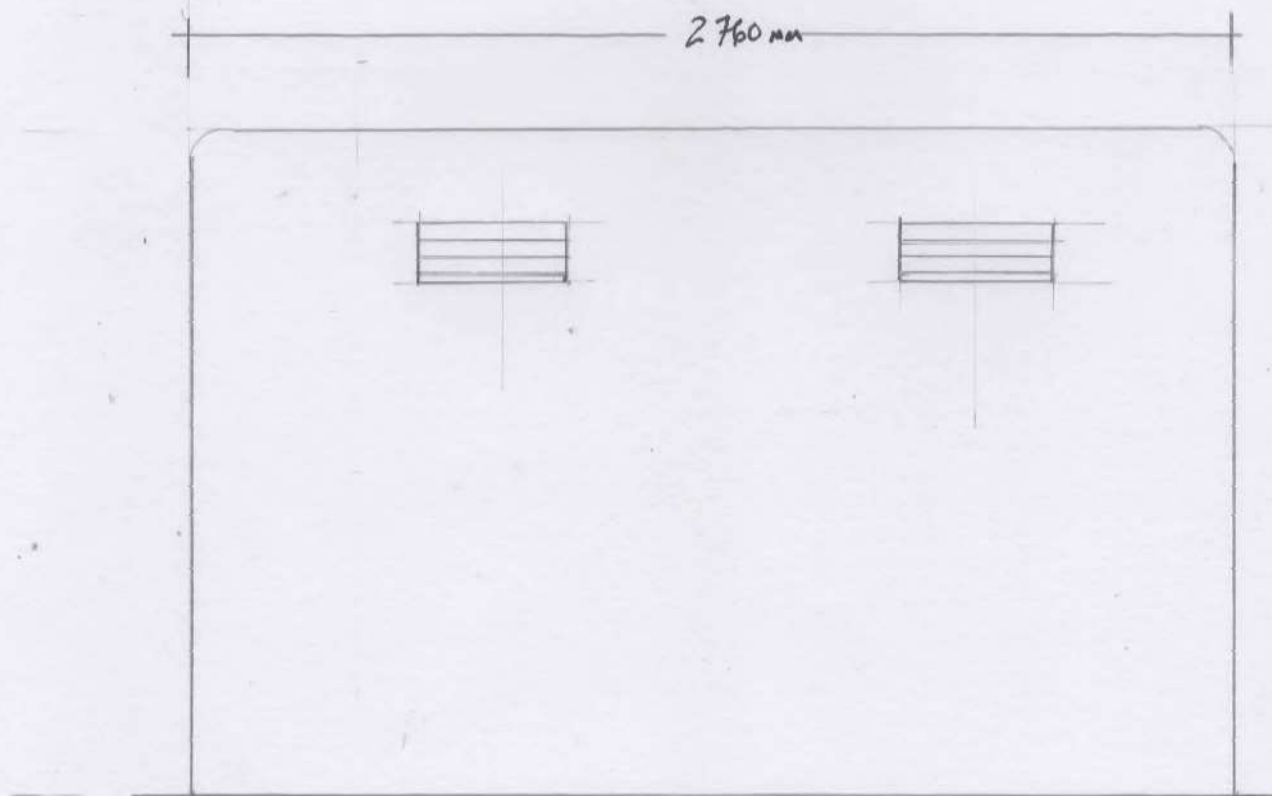
Elevations

Scale 1:20

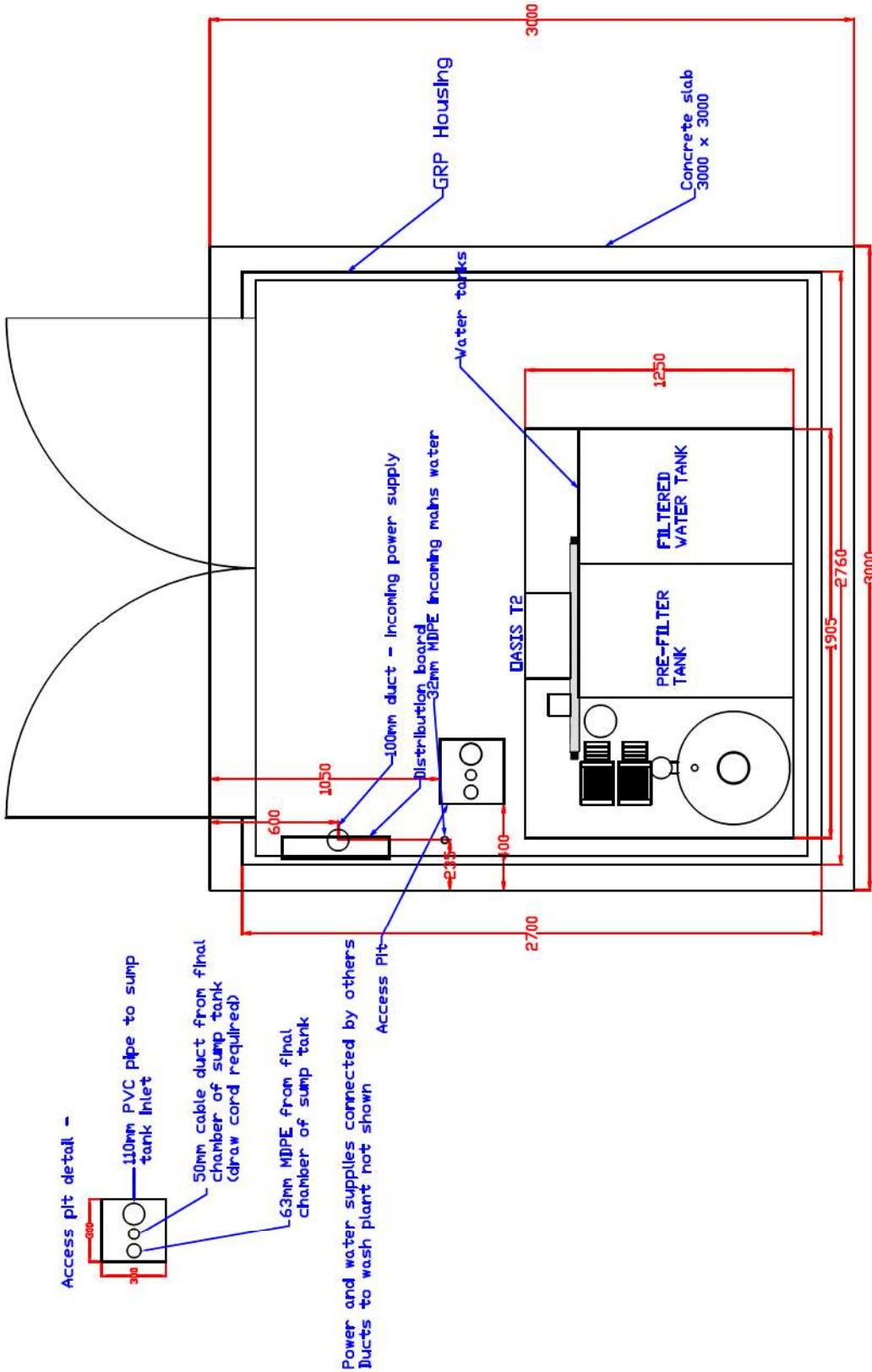
September 2019.



North East Elevation



South West Elevation



ByWater Services Ltd
Unit 7 Telford Way
Stephenson Ind Est
Coalville, Leics LE67 3HE
t: 01530 833469
f: 01530 810795
e: sales@bywaterservices.co.uk

Title: T2 - GRP1 layout
Key:
Dimensions in: Millimetres
NOT TO SCALE

Drawing No: BY2329
Drawn by: NB
Original Date: 12/12/08
Revised by: NB
Date: 23/09/09
Approved: NB Date: 23/09/09

Issue No: 3

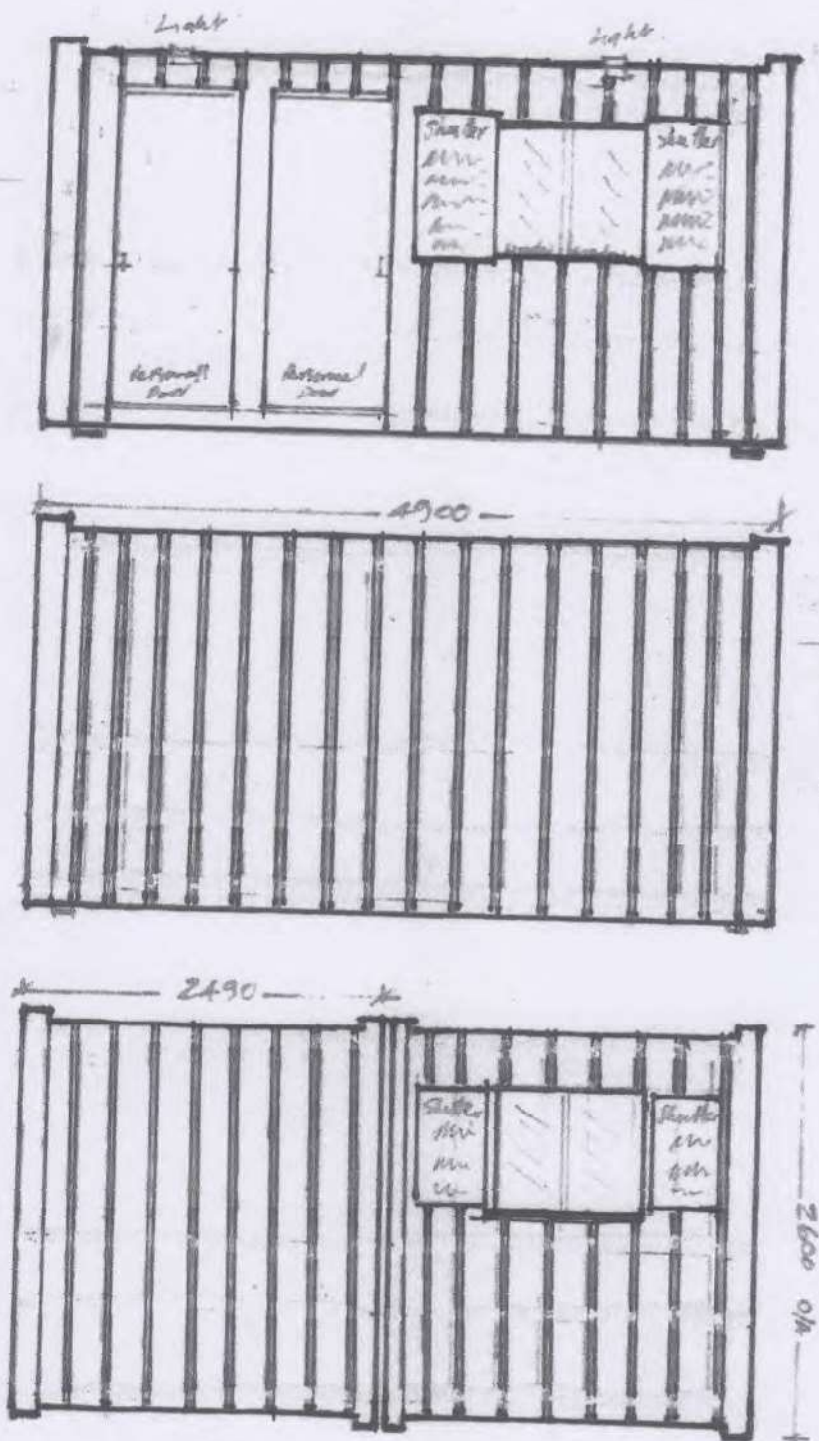
REVISIONS	
1	Drawn & initial shown
2	Reviewed & initial shown
3	Reviewed & initial shown
4	Reviewed & initial shown
5	Reviewed & initial shown
6	Reviewed & initial shown
7	Reviewed & initial shown
8	Reviewed & initial shown
9	Reviewed & initial shown
10	Reviewed & initial shown

ByWater Services Ltd reserve the right to change specification without notice

Proposed Handy Andy Car Wash

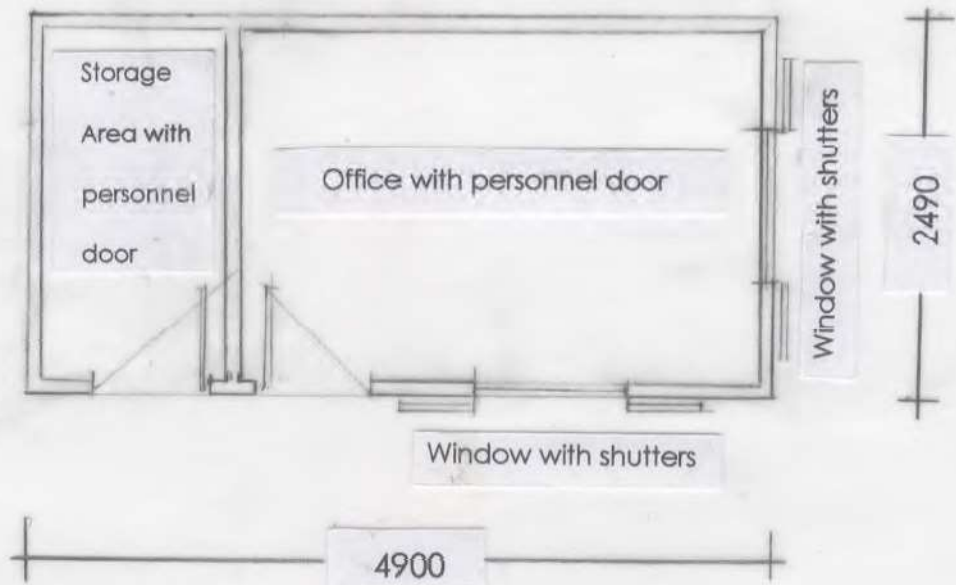
Office/Store Building

Elevations. Scale 1:50



Scale 1:50

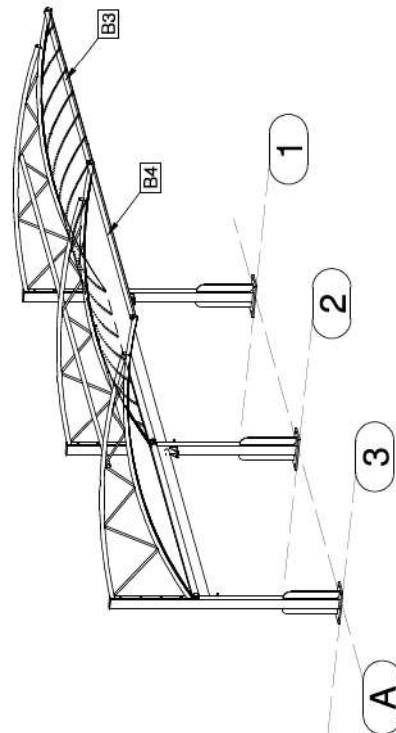
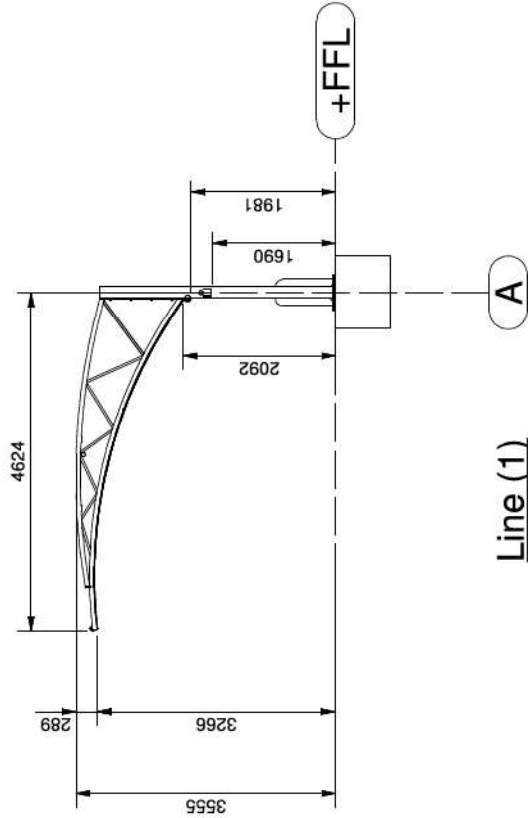
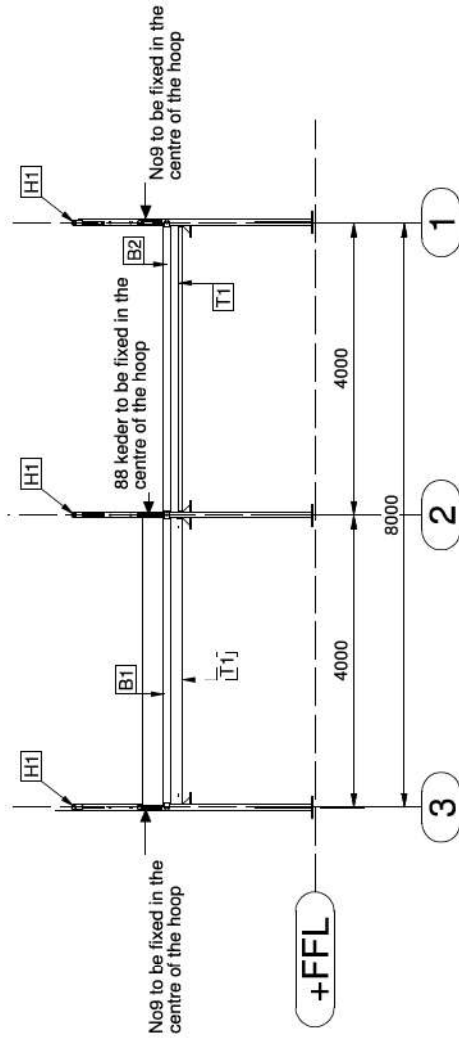
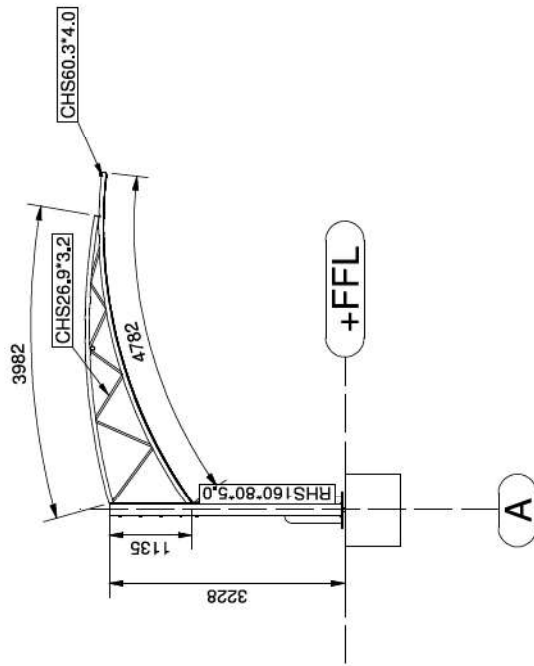
Handy Andy Car wash




Floor Plan for Office/Store

Scale 1:50

01.04.2013 v 2.



REV	MARK	REVISION DESCRIPTION	REVISION DATE
<div>  <p>NATIONAL STRUCTURES</p> </div>			
<div> <p>Client: Handy Andy Car Wash</p> <p>Project: Cantilever Canopy</p> <p>Title: General Arrangement</p> <p>Scale: 1:75</p> <p>Drawn: WS Date Drawn: 16.07.2013 Checked: Date Checked: </p> <p>Job No: 5240 Revision: DRG. No: GA1012</p> </div>			
<div> <p>NATIONAL STRUCTURES</p> <p>4 CABLE COURT</p> <p>PITTMAN WAY</p> <p>PRESTON</p> <p>PR2 9YJ</p> <p>TEL: 01772 799200</p> <p>FAX: 01772 799250</p> </div>			

total wash water recycling systems



Oasis T2

total water reclamation for vehicle & equipment washing facilities



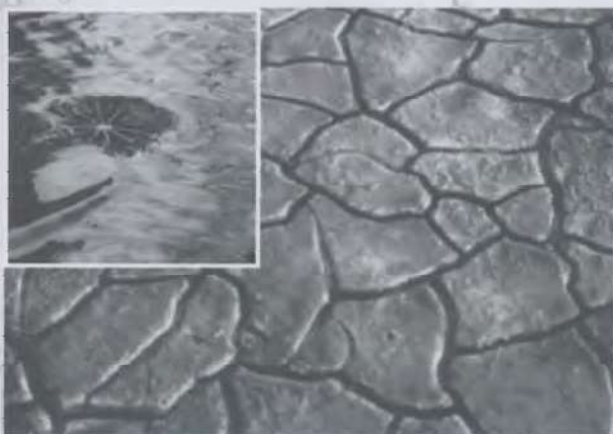
Designed and built in the UK



Commercial vehicle wash water recycling



Train wash water recycling



Washing throughout drought conditions

The Oasis T2 range qualifies for enhanced capital allowance through the Defra ECA scheme. This entitles purchasers to 100% tax relief on the cost of the recycling project in the year of purchase.



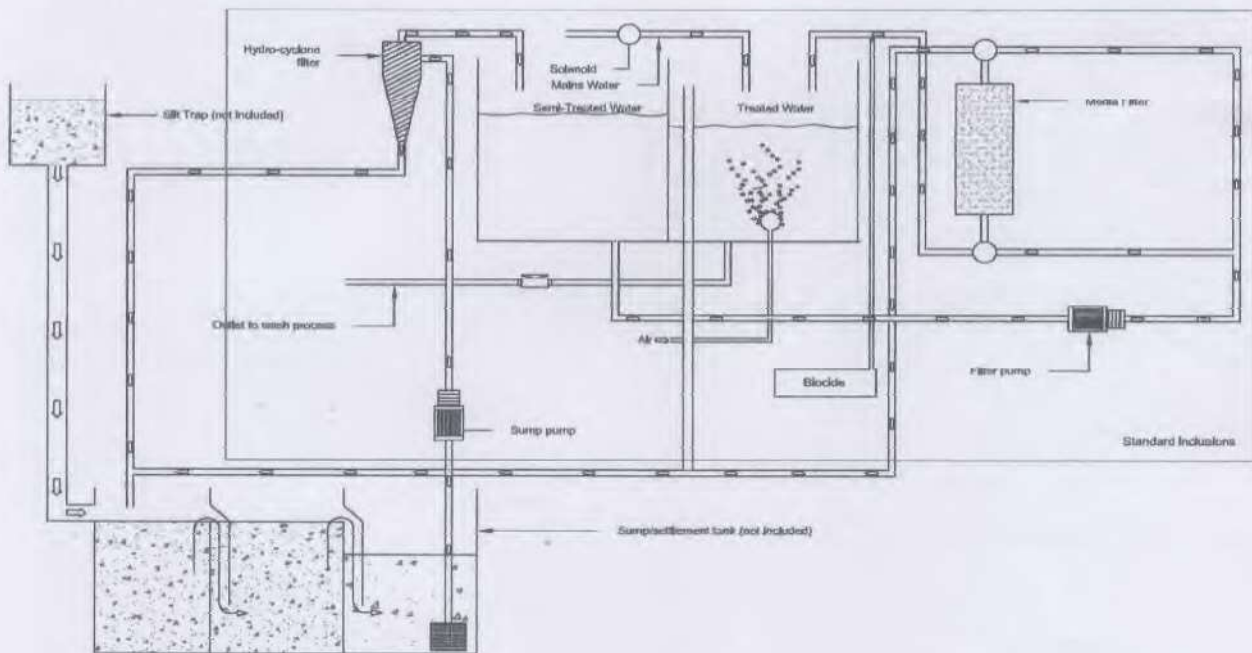
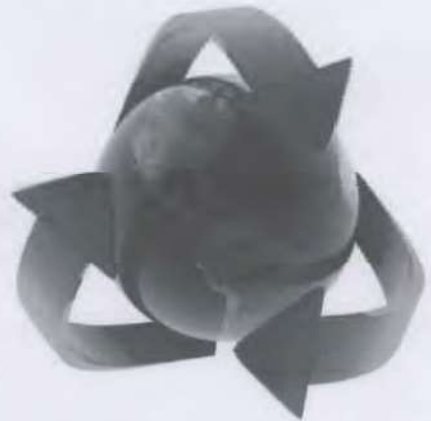
Oasis T2

The washing of commercial vehicles, plant and machinery requires the use of large quantities of water. This usually results in substantial costs to business in the way of water and effluent charges. In addition to this, the environmental impact of the water usage and effluent discharge are also of concern to most modern day businesses.

The Oasis T2 is designed to negate the need for excessive amounts of mains water to be used in the process of commercial washing. This leads to significant savings in water and effluent costs.

The features & benefits:

- Up to 95% of used water recycled
- Includes storage tanks
- Electronically controlled mains water intake
- Small foot print
- Automatic refilling after gulping
- Automatic biocide dosing
- Fully skid mounted
- Backed by out Nationwide service team



Model	ltr/min	LxWxHt (mtrs)	wash tank capacity	Delivery weight
T2-100	150	1.25 x 1.9 x 1.5	600ltr	250kg
T2-200	230	1.25 x 1.9 x 1.5	600ltr	275kg
T2-300	350	1.25 x 1.9 x 1.5	600ltr	300kg

contact our friendly sales team for more information
 tel: 01530 833469 e: sales@bywaterservices.co.uk
 web: www.bywaterservices.co.uk



ByWater Services Limited, Unit 7 Telford Way, Stephenson Ind Est, Leics LE67 3HE

The UK's leaders in environmental washing solutions



ByWater Services Ltd
Unit 7 Telford Way
Stephenson Industrial Estate
Coalville
Leics LE67 3HE

Tel: 01530 833469
Fax: 01530 810795
e-mail: service@bywaterservices.co.uk
sales@bywaterservices.co.uk
web: www.bywaterservices.co.uk

OFFICIAL QUOTATION

Our Ref: B10919Q

Dated: 5th April 2019

ITEM	DESCRIPTION	QTY	PRICE
	To supply a wash water recycling system to include the following items	1	
1.	To supply an Oasis T2-100 total reclaim system c/w Skid size 1250mm x 1900mm 650 litre Polypropylene storage tanks Stainless steel 600mm activated carbon filter with intelligent back washing Skid mounted pumps and controls Aluminium Sulphate dosing Turbidity filter 1" Filter backwash valve Biocide dosing system 10 litres reclaim odour control Adjustable aeration system c/w air pump Automatic sump tank refill (after sludge handling) Water circulation facility Electronically controlled mains water top up 50lpm booster pump to feed taps for filling buckets 100lpm booster pump to feed the jet wash header tanks and turbidity filter backwash 20", 20 micron BB cartridge filter	1	
2a.	To supply an Oasis 6KS 3 stage interceptor (4.53m x 1.44m dia. x 1.9m high) Reinforced full retention baffles 6000litre capacity Three stage sludge settlement Dip pipes - PVC Inlet and outlet manifold 110mm outlet Sump tank conversion kit	1	
2b.	To supply an Oasis 6KSAG 3 stage interceptor Above ground configuration Collection chamber c/w submersible transfer pump	1	
3.	Delivery to site	1	
4.	Installation to a prepared site	1	

All prices shown are exclusive of VAT which will be charged at the applicable rate



Methods of Working

All Chemicals used at the car wash can only be supplied by AutoSmart. No other chemicals are authorised or allowed on site.

All Chemicals are delivered in 5 litre or 25 litre containers. All containers are stored in the metal storage container.

The chemicals are diluted using an official AutoSmart Dilution Meter. AutoSmart install and configure the units. Please see attached picture. The dilution meter is setup to dilute the chemicals to the correct mixtures. The dilution mixer adds water to the chemicals. All your workers have to do is place the hose into the spray bottle and push the button on the mixer unit until the spray bottle is full.



If the chemical container is accidentally knocked over, the spillage kit within the cabin must be used immediately to prevent the chemicals from entering the water recycling system.



1. Preparing the Car

The car must be parked on the designated wash pad before starting.

Take the "Tango 7" (see picture) which is filled and labelled as "Prestige TFR". Pump the unit up and down several times to pressurise the container.



Starting at the bottom of the car and keeping the spray nozzle approximately 80mm off the vehicle spray the vehicle in a back and forth motion until you reach half way up the door.

Move around to the back of the vehicle and apply it to the back of the vehicle from the bottom to the same height as on the doors.

Move around to the other side of the vehicle and apply the TFR as on the previous side.

Move to the front of the car and apply the TFR from the bottom of the bumper to the top of the bumper.

Leave the chemical to dwell on the vehicle for 5 minutes.

Take the hose. At a distance of no closer than 200mm, in a downward direction spray the vehicle to remove the TFR off the vehicle on all 4 sides.

Once the TFR is removed, high pressure the rest of the vehicle that is still dry, again no closer than 200mm off the vehicle.

2. Preparing the Wheels

Take the "Tango 7" (see picture) which is filled and labelled as "Smart Wheels". Pump the unit up and down several times to pressurise the container.

Starting at the bottom of the wheel and keeping the spray nozzle approximately 80mm off the vehicle spray the wheel in a back and forth motion until you reach the top of the wheel.

Repeat the same step until all 4 wheels have been sprayed.

Leave the chemical to dwell on the vehicle for 5 minutes.

Take the hose. At a distance of no closer than 200mm, in a downward direction spray the wheels to remove the wheel cleaner chemical off the vehicle on all 4 sides.

Roll the car forward and re-apply chemicals on any parts of the wheels that are still dirty.

3. Washing Vehicle

Soap mixture within the water trough should be replaced a minimum of 6 times a day. On emptying the mixture ensure the grit guard is cleaned out before refilling it with soap.

Select a wash mitt from the wash trough. Start at the top of the car on the roof. Followed by the windows. Drop the mitt into the wash trough and select a fresh mitt to clean the bonnet followed by the back of the car. Select a new mitt from the trough to clean both sides of the car.

4. Rinse the Vehicle

Take a bucket of water and throw it over the roof of the car. This will remove the excess soap suds. Take the hose. At a distance of no closer than 200mm, in a downward direction spray the vehicle from the bottom of the car working up to the top of the vehicle.

5. Drying the Vehicle

Take a clean micro fibre from the box and start drying the vehicle from the roof. Move down the vehicle from top to bottom. Place the dirty microfibre into the dirty basket. Take a second clean microfibre to go around the vehicle to remove any water remaining. Put the microfibre into the dirty basket.

6. Hoover and Valets

Move the vehicle from the wash pad to under the canopy.

Take the glass spray and green microfibre cloth to clean each glass panel inside and out. Put the microfibre in the dirty basket.

Take the interior cleaner spray and a clean microfibre. Spray the cleaner onto the cloth and wipe the dashboard down. Apply more spray to the cloth and wipe down the central gear selector section.

Move onto the door cards and respray the microfibre before wiping down each door card. Put the microfibre into the dirty basket.

Remove the floor mats from the car and start hoovering the seats and carpets. Ensure the front seats are pushed forward and back so nothing is missed. Move around to the boot and hoover the boot.

Fit an air freshener around the rear-view mirror.

Apply tyre shine to all 4 tyres using the paint brush to minimise waste.

7. Final Stage

Walk around the outside of the car to check for anything that might have been missed.

Open each door and the boot to check to ensure nothing has been missed.

Check to ensure that the air freshener has been applied to the rear-view mirror.

Move the car into the car park and secure the car keys into the key box within the office.

