

SCHEDULE A: Applications with Recommendation

21/0928

Item No: 06

Date of Committee: 03/12/2021

Appn Ref No:
21/0928

Applicant:
Magnus Homes Ltd

Parish:
Wetheral

Agent:
Harraby Green Associates

Ward:
Wetheral & Corby

Location: Land South and West of Castle Grounds, Wetheral, Carlisle, CA4 8JQ

Proposal: Erection Of 4no. Bungalows And 3no. Two Storey Dwellings

Date of Receipt:
28/09/2021

Statutory Expiry Date
23/11/2021

26 Week Determination
07/12/2021

REPORT

Case Officer: Barbara Percival

1. Recommendation

- 1.1 It is recommended the application is approved subject to completion of a deed of variation to a Section 106 agreement. If the deed of variation is not completed within a reasonable time, then Authority to Issue is requested to Corporate Director of Economic Development to refuse the application. The deed of variation to the Section 106 agreement to consist of the following obligations:

a) reference to this application.

2. Main Issues

- 2.1 Principle of development
- 2.2 Impact on the character of the area
- 2.3 Scale and design of the proposed development
- 2.4 Impact of the proposal on the living conditions of the occupiers of neighbouring properties
- 2.5 Impact of the proposal on highway safety
- 2.6 Proposed method for the disposal of foul and surface water drainage
- 2.7 Impact of the proposal on existing trees and hedgerows
- 2.8 Impact of the proposal on biodiversity
- 2.9 Other matters

3. Application Details

The Site

- 3.1 The application site, equating to approximately 0.7 hectares, is a parcel of land located to the south and west of a property known as Castle Grounds on the western periphery of Wetheral. Castle Grounds, a single storey property, has recently been granted planning permission for a replacement single storey dwelling and is located to the north of the application site. Two other single storey properties, Lisnacree and Stonegarth, are also located to the north of the application site. Mulberry Mews, a development of 6no. houses and 2no. bungalows, is located immediately to the east of the application site. Ashgate Lane runs along its southern boundary with Wetheral Chapel and Wetheral Woodland Cemetery beyond. Public footpath number 138007, located within the adjacent field, runs adjacent to the application site's western boundary.
- 3.2 Vehicular access to the application site would be via an access approved under application reference 21/0670 which also granted planning permission for the erection of 2no. dwellings to the north of the application site. The submitted drawings illustrate the retention of the existing hedgerows and trees along the western, eastern and southern boundaries.

Background

- 3.3 In 2019, outline planning permission was granted subject to the completion of a Section 106 Agreement for the erection of 7no. dwellings (application reference 19/0427). The Section 106 Agreement required a contribution to off-site affordable housing provision.

The Proposal

- 3.4 The application seeks full planning permission for the erection of 4no. bungalows and 3no. two storey dwellings. The submitted drawings illustrate the bungalows (plots 3 to 6) together with a two storey dwelling (plot 7) arranged in a linear form fronting onto the development road. Plots 8 and 9 would be located at the of the head of the cul-de-sac.
- 3.5 The proposed materials for the dwellings would be red/multi facing bricks with sandstone detailing with artificial slate roofs. The submitted details also detail that: *"the developer is committed to reducing running costs and carbon emissions"* with each of the dwellings having solar photovoltaic panels, air source heat pumps and electric vehicle charging cabling.

4. Summary of Representations

- 4.1 This application has been advertised by the direct notification of nineteen neighbouring properties and the posting of a site notice. In response, five

representations of objection have been received.

4.2 The representations identifies the following issues:

1. submitted drawings fail to identify the adjacent development, Mulberry Mews;
2. the two storey dwellings detracts from unified development of single storey dwellings adjacent to Ashgate Lane;
3. introduction of two storey dwellings will create a visual and incongruous intrusion into what is currently a unified cohesive general setting;
4. overlooking would result in an unwelcome intrusion and loss of privacy for those attending the Cemetery;
5. plots 7, 8 and 9 should be single storey as opposed to two storey due to proximity to dwellings within Mulberry Mews;
6. two storey dwelling more likely to be family homes and would have the potential to generate more vehicle movements;
7. existing hedges and trees adjacent to Ashgate Lane should be retained and protected by conditions;
8. potential impact on existing hedgerows;
9. development was secured on the basis of bungalows;
10. layout of development differs from outline application;
11. a development of bungalows would be more suited to the demographics of Wetheral;
12. loss of privacy;
13. ability to achieve the minimum distances within the council's SPD;
14. adequacy of external amenity space;
15. impact on biodiversity;
16. number and/or size of properties inappropriate;
17. impact on highway safety from construction traffic;
18. construction hours should be controlled;
19. security and other lighting should not lead to a light nuisance to surrounding properties.

4.3 In addition Councillor Higgs, as Ward Council, has made the following representation following contacts from residents about the proposed development.

4.4 Councillor Higgs representations identifies the following issues:

1. all comments centre on the inclusion of two storey houses at the end of the development nearest to Wetheral Cemetery;
2. most recent surveys in Wetheral have shown a need for bungalows for those who are becoming less mobile – a good percentage of the villages population;
3. bungalows sell extremely quickly in Wetheral one recently sold within a week for 10% more than the asking price;
4. the upper floors of two storey houses would look directly into the Cemetery, where many people go for private contemplation;
5. the upper floors would also look directly into the windows of the bungalows in Mulberry Mews;
6. the contours of the hillside where this development is proposed lend

- themselves much more readily to single-storey houses, which would cause much less intrusion into the view from all directions;
7. this developer has built bungalows in other locations within my ward and they have sold readily, so he knows that what Wetheral residents are asking for will not cause him any financial loss;
 8. one of the criteria of Policy SP6 of the local plan is that the living conditions of the occupiers of adjacent residential properties are not adversely affected by proposed developments. The local planning authority must ensure that this application complies with Policy SP6 by taking steps to persuade the developer to go back to the original plan and build bungalows instead of two storey houses in this location.

5. Summary of Consultation Responses

Wetheral Parish Council: - Objection. The two storey dwellings, plots 8 & 9, the Council requests that these are amended to single storey dwellings due to the close proximity to the Ashgate Lane Cemetery and neighbouring houses. The previous development at Mulberry Mews included bungalows along the southern elevation. It was assumed that this application would have the same restrictions. The hedge and trees bordering with Ashgate Lane must be retained as a buffer to the new development. Members request that the use of PV cells and electric car charging points are considered for each dwelling;

Cumbria County Council - (Highways & Lead Local Flood Authority): - no objections subject to the imposition of conditions and an informative. The conditions require: the submission of a surface water drainage scheme; details for the construction of the access roads and footways; the provision of the visibility splays and no obstruction thereafter; access and footways to be defined by kerbs and sub base construction prior to commencement; access and footways to be defined by kerbs and sub base construction prior to occupation; details of the proposed crossings; provision of footways that link continuously to existing footways; use of approved vehicular access only; and the submission of a construction phase traffic management plan. The informatives would require the applicant to obtain the relevant permit for works to the highway;

United Utilities: - no objections subject to the imposition of a condition requiring foul and surface water be drained on separate systems.

6. Officer's Report

Assessment

- 6.1 Section 70(2) of the Town and Country Planning Act 1990/ Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application for planning permission is determined in accordance with the provisions of the development plan unless material considerations indicate otherwise.
- 6.2 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF), the Planning Practice Guidance (PPG) and Policies SP2, SP6, HO2, IP3, IP4, IP6, CC4, CC5, CM5, GI1, GI3, GI5 and GI6 of the Carlisle District Local Plan 2015-2030. The council's Supplementary Planning Documents (SPD)

"Achieving Well Design Housing" and "Trees and Development" are also material planning considerations. The proposal raises the following planning issues.

1. Principle Of The Development

- 6.3 Outline planning permission was granted, subject to a Section 106 Agreement, for the erection of 7no. dwellings in October 2019 (application reference 19/0437). Accordingly, the principle of residential development of the application site has been established. This application now seeks full planning permission for the erection of 4no. bungalows and 3no. two storey dwellings.
- 6.4 The application site is well contained within existing landscape features, it is physically connected, and integrates with, the settlement, and would not lead to an unacceptable intrusion into open countryside. The development of 7no. dwellings is of an appropriate scale for the village to accommodate and would not be considered a threat to the delivery of the local plan's spatial strategy. Furthermore, the site relates well to the existing settlement pattern in this part of Wetheral.
- 6.5 There has been no change in planning policy since the determination of the outline application, therefore, the principle of development remains acceptable. The remaining issues raised by this application are discussed in the following paragraphs of this report.

2. Impact Of The Proposal On The Character Of The Area

- 6.6 The Cumbria Landscape Character Guidance and Toolkit (March 2001) identifies that the site falls within the Cumbria Landscape Character Sub-Type 5c 'Rolling Lowland'. The toolkit advises that key characteristics of this landscape are: open undulating and rolling topography; Lowland agricultural landscape dominated by pasture; hedges and hedgerows trees are common on lower ground and sparse on higher ground; and some scrub woodland.
- 6.7 The application site is a parcel of land to the south and west of Castle Grounds the southern, eastern and western boundaries of which is delineated by mature hedgerows with some trees. Beyond the western boundary is open countryside with Public Footpath 138007 running adjacent to the shared boundary.
- 6.8 Existing residential dwellings are located to the north and east with Wetheral Chapel and Wetheral Woodland Cemetery located beyond Ashgate Lane to the south. It is inevitable that the erection of a new dwellings within an undeveloped parcel of land would have some visual impact on the landscape character of the area. In mitigation; however, the site is well related to Wetheral with the proposed dwellings viewed against the backdrop of other residential dwellings within the vicinity. Furthermore, the existing and proposed landscaping together with the topography of the site would help soften any perceived visual impact.

3. Scale And Design Of The Proposed Development

- 6.9 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policies SP6 and HO2 of the local plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. On the edge of settlements the site is well contained within existing landscape features, is physically connected, and integrated with, the settlement and does not lead to an unacceptable intrusion into open countryside.
- 6.10 As highlighted earlier in the report, the application now seeks full planning permission for the erection of 4no. bungalows and 3no. two storey dwellings. The bungalows (plots 3 to 6) would be located in the northern section of the site with the 3no. two storey dwellings (plots 7 to 9) in the southern section of the application site.
- 6.11 The primary objection raised by the parish council, ward councillor and third parties appear to centre on the inclusion of the two storey dwellings within the development. The representations citing loss of privacy, over dominance and visual impact of the two storey dwellings within the landscape.
- 6.12 The southern section of the site slopes from south east to north west resulting in the adjacent Mulberry Mews development being at a higher level than this section of the application site. The existing eastern hedgerow would be retained with the gable elevations of the proposed two storey properties on plots 8 and 9 off-set from the rear elevation of the single storey 7 Mulberry Mews. The cross section of plots 8 and 9 and number 7 Mulberry Mews illustrating that the topography of the land would result in the ridge line of plot 8 being approximately 0.5 metres higher than the ridge line of 7 Mulberry Mews. Furthermore, in all instances, the minimum separation distances as outlined in the council's SPD 'Achieving Well Designed Housing' between primary windows and primary windows and gables would be exceeded. In respect of plots 8 and 9 they would be located in excess of 15 metres from the boundary of Wetheral Woodland Cemetery with the existing boundary retained and reinforced with additional planting.
- 6.13 In overall terms, the development is reflective of the scale and design of other dwellings and development with the locality. The proposal would maximise the use of the site and achieve adequate amenity space and off-street parking. The character and appearance of the development would not be obtrusive within the street scene and accords with the objectives of the development plan.

4. Impact Of The Proposal On The Living Conditions Of The Occupiers Of Neighbouring Properties

- 6.14 Development should be appropriate in terms of quality to that of the surrounding area and do not have an adverse impact on the living conditions of the occupiers of adjacent residential properties. The council's SPD 'Achieving Well Designed Housing' provides guidance as to minimum distances between primary windows in order to respect privacy and avoid overlooking i.e. 12 metres between primary windows and blank gables and 21 metres between primary windows. However, if a site is an infill, and there is a clear building line that the infill should respect, these distances need not strictly apply. While it is important to protect the privacy of existing and future residents, the creation of varied development, including mews style streets, or areas where greater enclosure is desired, may require variations in the application of minimum distances.
- 6.15 The dwellings would be so sited as to be in excess of the minimum distances between primary windows of the existing and proposed dwellings. Furthermore, the existing hedgerow separating the application site from Mulberry Mews would also be retained. It is appreciated that the proposal, when compared to the existing currently vacant use, is likely to lead to an increase in noise and disturbance although the significance of such is not sufficient to merit the refusal of permission. A condition is also recommended which would restrict construction working hours. The increase in traffic is also likely to lead to a greater degree of inconvenience for residents when seeking vehicular access/egress to the county highway but again this is also not sufficient to merit the refusal of permission.
- 6.16 In overall terms, the siting, scale and design of the development would not adversely affect the living conditions of the occupiers of the neighbouring properties by virtue of loss of privacy, loss of light or over-dominance. Accordingly, the proposal is acceptable in terms of any impact on the occupiers of the neighbouring properties.

5. Impact Of The Proposal On Highway Issues

- 6.17 Access onto county highway were subject of application 21/0670 which demonstrated that visibility splays as required in the Cumbria Design Guide could be achieved within a 30mph area. Cumbria County Council, as the Highway Authority, has been consulted on this current application and raise no objections subject to the imposition of conditions and an informative. The conditions require: details for the construction of the access roads and footways; the provision of the visibility splays and no obstruction thereafter; access and footways to be defined by kerbs and sub base construction prior to commencement; access and footways to be defined by kerbs and sub base construction prior to occupation; details of the proposed highway crossings; provision of footways that link continuously to existing footways; use of approved vehicular access only; and the submission of a construction phase traffic management plan. The informatives would require the applicant to obtain the relevant permit for works to the highway.
- 6.18 In light of the views of the Highway Authority and subject to satisfying its recommended conditions the proposed development is acceptable and would

not have a detrimental impact on highway safety.

6. Proposed Methods For The Disposal Of Foul And Surface Water Drainage

- 6.19 There is a clear policy requirement to provide adequate provision for foul and surface water facilities to ensure that sufficient capacity exists prior to commencement of any development. The submitted document illustrate that surface water would be attenuated prior to entering the existing highway surface water drainage. Foul drainage would be via a package treatment pumping station before entering a rising foul drain connection to the mains sewer.
- 6.20 Cumbria County Council, as Lead Local Flood Authority, and United Utilities have been consulted on the proposed methods and subject to the imposition of conditions raise no objections to the proposal. These conditions would require the submission of a surface water drainage scheme and that foul and surface water are drained on separate systems. If the drainage conditions can not be satisfied then the development would stall as a result.

7. Impact Of The Proposal On Existing Trees and Hedgerows

- 6.21 Policy GI6 of the local plan seek to ensure that proposals for new development should provide for the protection and integration of existing trees and hedges. In respect of new development, the City Council will resist proposals which cause unacceptable tree loss, and which do not allow for the successful integration of existing trees. This aim is further reiterated in Policy SP6 of the local plan which requires all developments to take into account important landscape features and ensure the enhancement and retention of existing landscaping.
- 6.22 Furthermore, the City Council's Supplementary Planning Document (SPD) 'Trees and Development' outlines that native large growing species are intrinsic elements in the landscape character of both rural and urban areas alike and acquire increasing environmental value as they mature. Large trees need space in which to grow to maturity without the need for repeated human intervention. Not only should the design of the development seek to retain existing tree and hedgerow features, but sufficient space should be allocated within the schemes to ensure integration of existing features and space for new planting it is important that these issues are considered at the very start of the planning process.
- 6.23 There are no trees within the application site; however, the eastern, western and southern boundaries are delineated by mature hedgerows with several trees located along the eastern and southern boundaries. The submitted drawings illustrate the retention of the existing boundary hedges and trees with further planting proposed along its southern boundary all of which would help to soften and screen the proposed development from public viewpoints. Should Members approve the application, a condition is recommended ensuring that prior to any works tree protection barriers are erected around the retained hedgerows and trees and remain in-situ during construction works. A further condition is also recommended which would require the

submission of a landscaping scheme for the development including works, if any, to the retained hedges and trees.

8. Impact Of The Proposal On Biodiversity

- 6.24 The Council's GIS Layer has identified that there is the potential for several key species to be present within the vicinity. Using the guidance issued by Natural England, the development would not harm protected species or their habitat; however, informatives have been included within the decision notice drawing the applicants attention to their obligations under the Wildlife and Countryside Act etc.

9. Other Matters

- 6.25 A further issue raised by the ward councillor was that the developer should revert back to the original plan and consider the construction of bungalows instead of two storey houses in this location. This he considers would satisfy demand and would better suit the demographics of the population of Wetheral. As Members are aware, each application is dealt with on its own merits and the application before Members is for the erection of 4no. bungalows and 3no. two story dwellings. Furthermore, the submitted details in respect of the previous outline application, with the exception of the access arrangements, were indicative only with appearance, landscaping, layout and scale reserved for subsequent approval. It should also be noted that the applicant for this current application differs from that of the outline planning application.
- 6.26 A further issue raised by a third party is the potential for light nuisance arising from security and other lighting within the development. No details have been provided in respect of lighting; however, should a light nuisance arise this would be dealt with under Environmental Health Legislation.
- 6.27 In 2019, outline planning permission was granted subject to the completion of a Section 106 Agreement for the erection of 7no. dwellings (application reference 19/0427). The Section 106 Agreement required a contribution to off-site affordable housing provision. In order that the affordable contribution relates to this proposal a Deed of Variation is required to the existing permission to refer to this application.

Conclusion

- 6.28 In overall terms, the principal of residential development on the site is acceptable following its establishment through the grant of outline planning permission in 2019.
- 6.29 On the matter of design it is considered that the proposal will provide sufficient connectivity; provide a mix of dwelling types that suit local requirements; has sought to create a distinctive character with well-defined and legible spaces; provides sufficient external amenity space for each of the dwellings and be served by adequate parking provision.

- 6.30 Adequate separation distances between existing and proposed dwellings would be achieved and would not adversely affect the living conditions of the occupiers of neighbouring properties through unacceptable overlooking or over dominance. Planning conditions would ensure that in the short-term period of construction, the residents would be adequately protected from the works, as far as reasonably practicable.
- 6.31 Conditions would also ensure: the implementation of a drainage scheme to serve the development; the protection of the existing hedgerows and trees together with the implementation of a landscaping scheme.
- 6.32 In overall terms, the proposal is considered to be compliant with the objectives of the relevant local plan policies and the NPPF. Accordingly, it is recommended that the application be approved subject to completion of a deed of variation to a Section 106 agreement. If the deed of variation is not completed within a reasonable time, then Authority to Issue is requested to Corporate Director of Economic Development to refuse the application. The deed of variation to the Section 106 agreement to consist of the following obligations:
- a) reference to this application.

7. Planning History

- 7.1 In 2019, outline planning permission was granted subject to a Section 106 Agreement for the erection of 7no. dwellings (application 19/024378).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.
- Reason:** In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprise:
1. the submitted planning application form received 28th September 2021;
 2. the Carbon Emission Details received 12th November 2021;
 3. the Heating Feasibility Report received 12th November 2021;
 4. the drainage Strategy Report received 16th November 2021;
 5. the location plan received 8th October 2021(Drawing No. 2108/02-01);
 6. the block plan as proposed received 15th November 2021 (Drawing No. 2108/02-04 Rev B);
 7. the site plan and site elevation as proposed received 12th November

- 2021 (Drawing No. 2108/02-05);
8. the site section through Plots 8-9 as proposed received 12th November 2021 (Drawing No. 2108/02-08);
9. Plot 3 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-13);
10. Plot 4 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-14);
11. Plot 5 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-15);
12. Plot 6 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-16);
13. Plot 7 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-17);
14. Plot 8 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-18);
15. Plot 9 - Plans & Elevations received 28th September 2021(Drawing No. 2108/02-19);
16. the proposed road and plot levels received 18th October 2021(Drawing No. 20-C-1572/01 C);
17. P3-P9 proposed kerb layout received 18th October 2021 (Drawing No. 20-C-15712/02 B);
18. the proposed drainage sections 18th October 2021 (Drawing No. 20-C-15712/03);
19. the proposed road sections received 18th October 2021 (Drawing No. 20-C-15712/04);
20. the pipe sections received 18th October 2021 (Drawing No. 20-C-15712/05);
21. the location plan received 18th October 2021 (Drawing No. 20-C-15712/06);
22. P3-P9 proposed kerb layout received 18th October 2021 (Drawing No. 20-C-15712/07);
23. P3-P9 manhole details 1 of 2 received 18th October 2021 (Drawing No. 20-C-15712/08);
24. P3-P9 manhole details 2 of 2 received 18th October 2021 (Drawing No. 20-C-15712/09);
25. the Notice of Decision;
26. any such variation as may subsequently be approved in writing by the local planning authority.

Reason: To define the permission.

3. Prior to the commencement of any development , a surface water drainage scheme (incorporating SUDs features as far as practicable), based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions (inclusive of how the scheme shall be managed/maintained after completion and identifying the responsible parties) shall be submitted to and approved in writing by the local planning authority.

The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems

(March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the local planning authority, no surface water shall discharge to the public sewerage system either directly or indirectly.

The development shall be completed, maintained and managed in accordance with the approved details.

None of the dwellings hereby approved shall be first occupied until the approved surface water drainage scheme has been completed and made operational.

Reason: To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution. To ensure the surface water system continues to function as designed and that flood risk is not increased within the site or elsewhere in accordance with Policies SP6, CC4, CC5 and CM5 of the Carlisle District Local Plan 2015-2030.

4. Development shall not be begun until a Construction Phase Traffic Management Plan (CPTMP) has been submitted to and approved in writing by the local planning authority. The CPTMP shall include details of:

- details of proposed crossings of the highway verge
- retained areas for vehicle parking, maneuvering, loading and unloading for their specific purpose during the development
- cleaning of site entrances and the adjacent public highway
- details of proposed wheel washing facilities
- the sheeting of all HGVs taking spoil to/from the site to prevent spillage or deposit of any materials on the highway
- construction vehicle routing
- details of any proposed temporary access points (vehicular / pedestrian)
- surface water management details during the construction phase

Reason: To ensure the undertaking of the development does not adversely impact upon the fabric or operation of the local highway network and in the interests of highway and pedestrian safety in accordance with Policy SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

5. The carriageway, footways, footpaths etc shall be designed, constructed, drained to the satisfaction of the local planning authority in consultation with the local highway authority and in this respect further details, including longitudinal/cross sections, shall be submitted to the local planning authority for approval before work commences on site. No work shall be commenced until a full specification has been approved. Any works so approved shall be constructed before the development is complete.

Reason: To ensure that the matters specified are designed to the satisfaction of the local planning authority in consultation with the local highway authority to support Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

6. Before development is commenced details shall be submitted to and approved by the local planning authority showing the proposed measures for the retention and management of the existing hedgerows and trees along the western, eastern and southern boundaries of the application site specifying the stage in the development by which these measures are to be completed.

Reason: The local planning authority wishes to see existing hedgerows incorporated into the new development where possible in accordance with Policies SP6 and GI6 of the Carlisle District Local Plan 2015-2030.

7. No development shall take place until full details of hard and soft landscape works, including the retention of the majority of the western, eastern and southern boundaries of the site, have been submitted to and approved in writing by the local planning authority and these works shall be carried out as approved in the first planting season prior to the occupation of the dwellings or completion of the development whichever is the sooner. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policies SP6 and GI6 of the Carlisle District Local Plan 2015-2030.

8. Prior to the use on site samples or full details of materials to be used externally on the dwellings have been submitted to and approved in writing by the local planning authority. Such details shall include the type, colour and texture of the materials, thereafter, the development shall be carried out in strict accordance therewith.

Reason: To ensure that materials to be used are acceptable in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

9. Prior to the use on site particulars of the height and materials of any new screen walls and boundary fences to be erected shall be submitted to and approved in writing by the local planning authority and the development thereafter carried out in accordance therewith.

Reason: In the interests of privacy and visual amenity in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

10. The development shall not commence until visibility splays providing clear visibility of 60 metres in both directions measured 2.4 metres down the centre of the access road and the nearside channel line of the carriageway edge have been provided at the junction of the access road with the county highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order

revoking and re-enacting that Order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grow within the visibility splay which obstruct the visibility splays. The visibility splays shall be constructed before general development of the site commences so that construction traffic is safeguarded.

Reason: In the interests of highway safety, to ensure compliance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

11. No dwellings shall be commenced until the access roads, as approved, are defined by kerbs and sub base construction.

Reason: To ensure that the access roads are defined and laid out at an early stage in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

12. No dwellings shall be occupied until the estate road including footways to serve such dwellings has been constructed in all respects to base course level and street lighting where it is to form part of the estate road has been provided and brought into full operational use.

Reason: In the interests of highway safety in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

13. Details of proposed crossings of the highway verge and/or footway shall be submitted to the local planning authority for approval. The development shall not be commenced until the details have been approved and the crossings have been constructed.

Reason: To ensure a suitable standard of crossing for pedestrian safety in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

14. Footways shall be provided that link continuously and conveniently to the nearest existing footway. Pedestrian access within and to/from the site shall be provided that is convenient to use.

Reason: In the interests of highway safety in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

15. There shall be no vehicular access to or egress from the site other than via the approved access, unless otherwise agreed in writing by the local planning authority.

Reason: To avoid vehicle entering or leaving the site by an unsatisfactory access or route, in the interests of road safety in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

16. The vehicular crossing over the footway, including the lowering of kerbs, shall be carried out to the specification of the local highway authority.

Reason: To ensure a suitable standard of crossing for pedestrian safety in accordance with Policies SP6 and IP2 of the Carlisle District Local Plan 2015-2030.

17. Foul and surface water shall be drained on separate systems.

Reason: To secure proper drainage and to manage the risk of flooding and pollution in accordance with Policies IP6, CC4 and CC5 of the Carlisle District Local Plan 2015-2030.

18. Before any development is commenced on the site, including site works of any description, a protective fence shall be erected around any retained trees and hedgerows in accordance with a scheme that has been submitted to and agreed, in writing, by the local planning authority. Within the areas fenced off the existing ground level shall be neither raised nor lowered, except in accordance with the approved scheme, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. If any trenches for services are required in the fenced off area, they shall be excavated or back filled by hand and any roots encountered with a diameter of 25mm or more shall be left unsevered. The fence shall thereafter be retained at all times during construction works on the site.

Reason: In order to ensure that adequate protection is afforded to all hedges to be retained on site in support of Policies SP6 and GI6 of the Carlisle District Local Plan 2015-2030.

19. As part of the development hereby approved, adequate infrastructure shall be installed to enable telephone services, broadband, electricity services and television services to be connected to the premises within the application site and shall be completed prior to the occupation of the dwelling.

Reason: To maintain the visual character of the locality in accord with Policy IP4 of the Carlisle District Local Plan 2015-2030.

20. No work associated with the construction of the residential units hereby approved shall be carried out before 0730 hours on weekdays and Saturdays nor after 1800 hours on weekdays and 1300 hours on Saturdays (nor at any times on Sundays or statutory holidays).

Reason: To prevent disturbance to nearby occupants in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

21. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken and where remediation is necessary a

remediation scheme must be prepared, which is subject to the approval in writing of the local planning authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority.

Reason To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.



WETHERAL

KEY:
— Extent of development site
— Extent of other site ownership



HARRABY GREEN
ASSOCIATES

Revisions

Client Magnus Homes Limited

Project: Land Adjacent to Castle Grounds

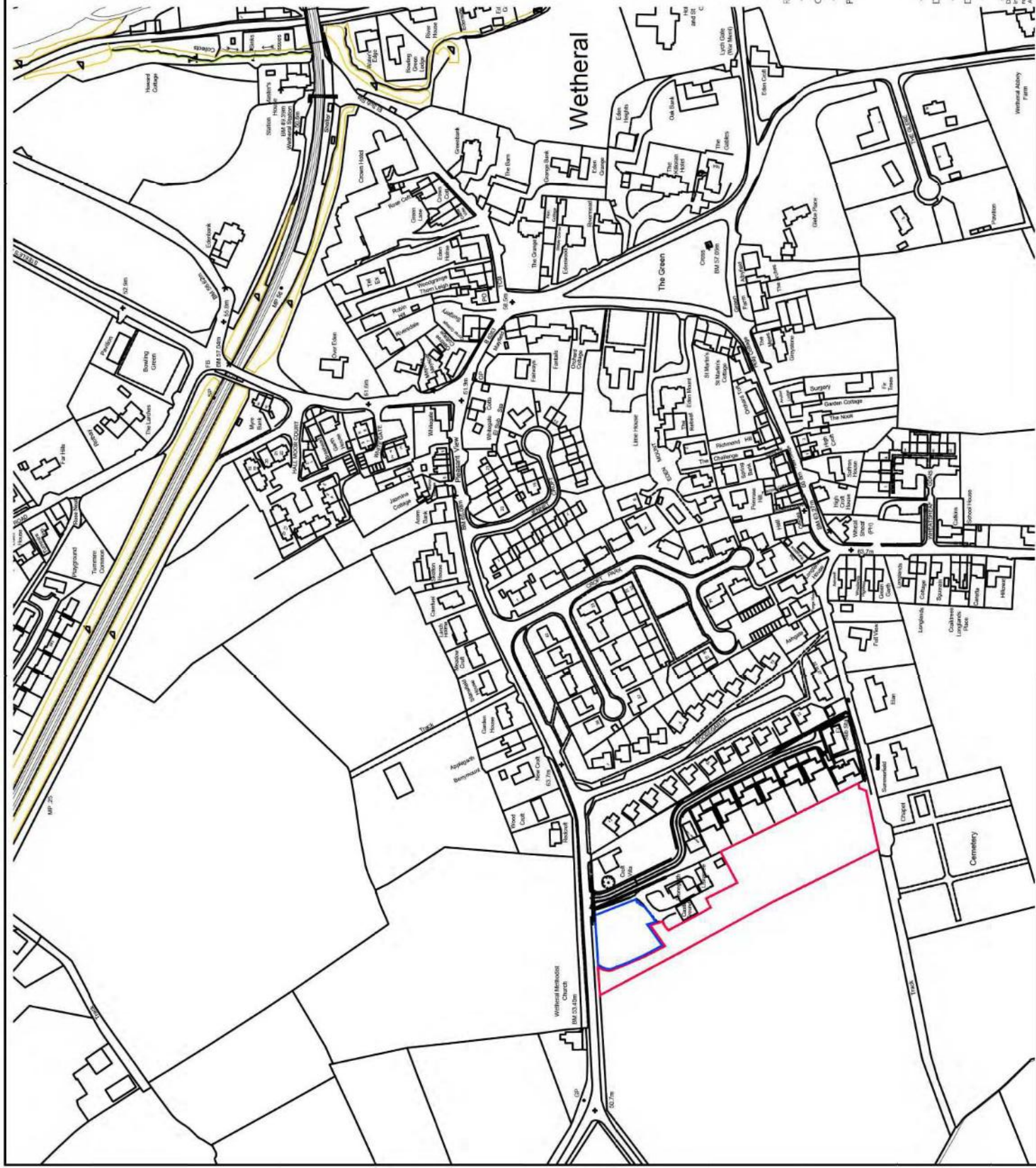
Wethers
Carlisle
Cumbria
CA4 8 1Q

Drawing Location Plan

Drawing No. 2108/02 - 01

Scale	1:2500 @ A3 Drawn	G-C	Date	July 2021
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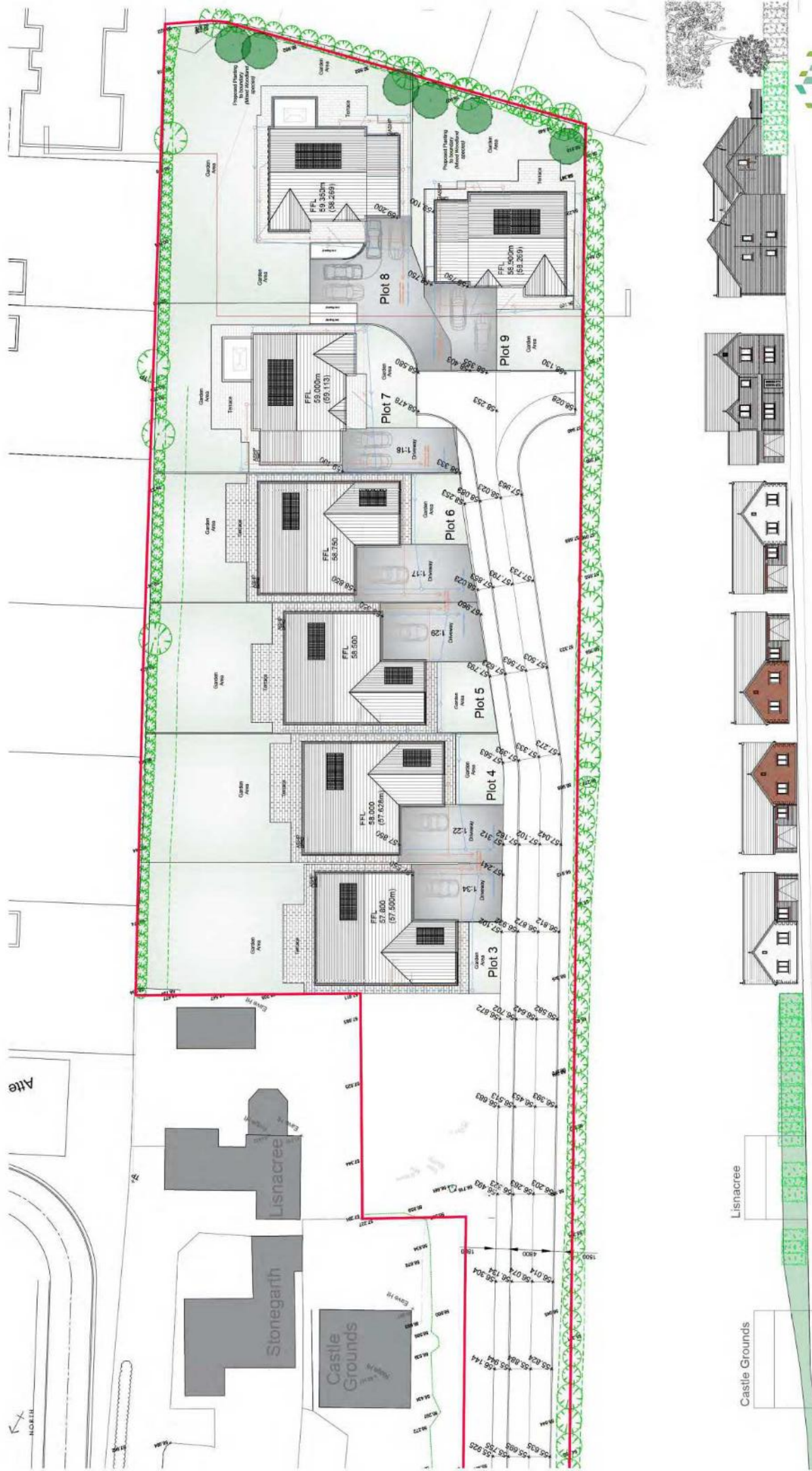
NORTH

KEY:
Extent of development site
Extent of other site ownership



Revisions	B. Super completed. May 21 02 A. Muberry Mews layout developed. Oct 21 02 - Planning Ref. 10
Client	Magnus Homes Limited
Project	Land Adjacent to Castle Grounds Wellhurst Castles Castles Castles Castles
Drawing	Block Plan As Existing
Drawing No.	2108/02 - 02 Rev.B
Scale	1:1000
Date	July 2001

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Project: 21/06/2020
Scale: 1:500 & 1:200
Date: July 2020

Client: Magrus Homes Limited
Project: Land Adjacent to Castle Grounds
Location: Castle Grounds
Drawing: C&A 2.00

Survey: Site Plan and Site Elevation
All Proposed

Boundary Treatments

Eastern boundary Plot 3-8	Existing hedge retained
Southern boundary Plot 8-9	Existing trees & hedge retained Proposed planting to southern boundary: Mixed woodland species.
Western boundary Access Road	Existing hedge retained
Plot 9	Existing hedge retained
Northern boundary Access Road	N/A (refer to application 21/06/20)
Plot 3	Existing hedge retained

Materials Schedule

Site	
Hard Landscaping	
Pavement	Blumen Macadam with PCC road kerb and PCC pit kerb to verge Tarmac paving to crossing
Corridorway	Blumen Macadam with PCC road kerb
Soft Landscaping	
Vegetation	Grass
Planting	Existing trees and hedges retained. Proposed planting to southern boundary: Mixed woodland species.

Castle Grounds

Lisnacree

Key to Landscaping Shown



Proposed Planting
Illustrative of approx 8-10 years growth

Existing Trees & Hedgerow
to Site Boundary

Existing Trees & Hedgerow
beyond Site Boundary



Site Section through Plots 8 & 9
As Proposed
1:200 @ A3



Revisions - Planning Issue: GC

Client Magnus Homes Limited

Project Land Adjacent to Castle Grounds

Weatheral
Carlisle
Cumbria
CA4 8JQ

Drawing Site Section Through Plots 8 - 9

As Proposed

Drawing No. 2108/02 - 08

Scale 1:250 @ A3 Drawn GC Date Nov 2021

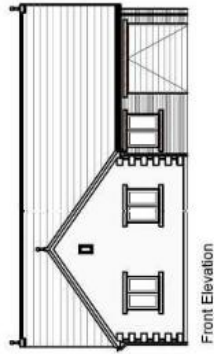
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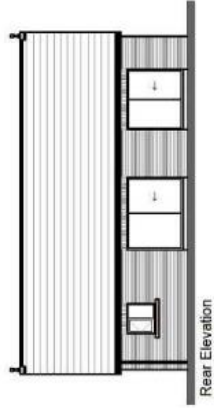
Photograph of Rear Elevation
As Existing
Not to Scale
(from drone footage October 2021)



Side Elevation



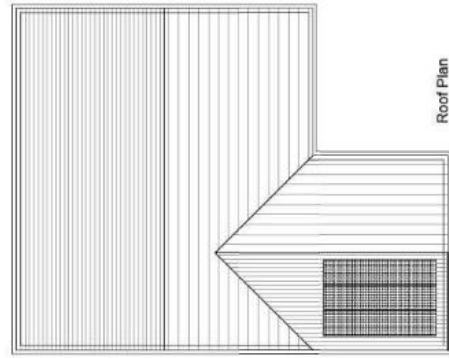
Front Elevation



Rear Elevation



Side Elevation



Roof Plan



Ground Floor Plan

Plot 3

Materials Schedule

Plot 3

Walls	Red / multi facing Brick Render	Final specification TBC. Final specification TBC. Anticipated colour: white grey.
Walls below DPC	Brown / multi facing Brick	Final specification TBC.
Uniters, Sills, Quoins & All Feature Stones	Red sandstone	Final specification TBC.
Main Roof	Slate tile	Sandliff Atlas interlocking slate tile or equivalent
Dormer Window	GRP Roof Dormers	Final specification TBC. Anticipated colour: grey.
Roof Accessories Ridge / Hips / Finials	Dark Grey to match roof coverings.	
Fascias & Soffits	PVCu	Final specification TBC. Anticipated colour: grey.
Rainwater Goods	PVCu	Final specification TBC. Anticipated colour: grey.
Windows	PVCu	Styles as indicated. Anticipated colour: grey.
Glazed Doors	Aluminium	Styles as indicated. Anticipated colour: grey.
Front Doors	Composite	Styles as indicated. Anticipated colour: grey.
Garage Door	Composite	Styles as indicated. Anticipated colour: grey.
External Works		
Paths & Parking	Concrete flag paving	Final specification TBC. Anticipated size: 600 x 600mm units Anticipated colour: grey.
Gravelled Areas to perimeter of properties and other areas.	Gravel	Final specification TBC.
Driveway	Bitumen Macadam	Anticipated colour: grey.
Driveway Edging	Block Pavers	Black Final specification TBC. Anticipated colour: grey.
Boundary Treatments		
Timber fencing (1.2m)	Vertical boarded timber	Anticipated natural finish
Timber fencing (1.8m) including gates	Vertical boarded timber	Anticipated natural finish
Entrance Walls (1.2m)	Red / multi facing Brick with red sandstone copings to walls and piers	Final specification TBC.
Retaining Walls between plots	Red / multi facing Brick to other face with red sandstone coping fencing as noted above	Final specification TBC.



HARRYB GREEN
ASSOCIATES

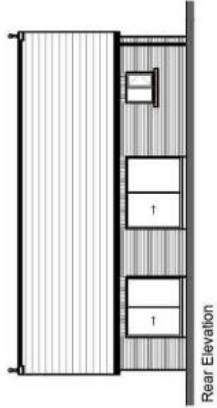
Architect	Harryb Green, GC
Client	Magna Homes Limited
Project	Land Adjacent to Castle Grounds
Location	Castle Grounds, Castle
Planning	Plot 3 - Plans & Elevations
Drawn by	21080001 (1)
Drawn	1208241
Date	14/08/2021
Scale	1:100



Side Elevation



Front Elevation



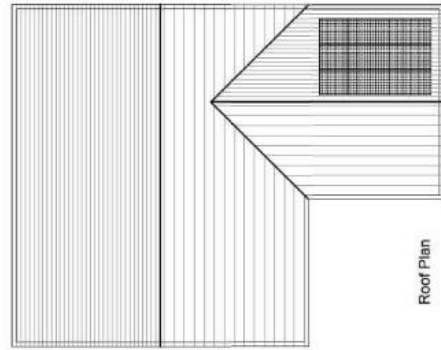
Rear Elevation



Side Elevation

Materials Schedule

Plot 4	
Walls	Red / multi facing Brick Red Sandstone Final specification TBC.
Walls below DPC	Brown / multi facing Brick Final specification TBC.
Lintels, Sills, Quoins & All Feature Stones	Red sandstone Final specification TBC.
Main Roof	Slate tile Sandlight Ribs interlocking slate tile or equivalent
Dormer Window	GFR Roof Dormer Final specification TBC.
Roof Accessories	Dark Grey to match roof coverings. Anticipated colour: grey.
Eridge / Hips / Finials	PVCu
Fascias & soffits	PVCu
Rainwater Goods	PVCu
Windows	PVCu
Glazed Doors	Aluminium
Front Doors	Composite
Garage Door	Composite
External Works	
Paths & Paving	Concrete flag pavers Final specification TBC. Anticipated colour: grey.
Gravelled Areas	Gravel Final specification TBC.
To perimeter of properties and other general areas.	Anticipated colour: grey.
Driveway	Blurren Macadam
Driveway Edging	Block Pavers Final specification TBC. Anticipated colour: grey.
Boundary Treatments	
Timber fencing (1.2m)	Vertical boarded timber Anticipated natural finish
Timber fencing (1.8m) including gates	Vertical boarded timber Anticipated natural finish
Entrance Walls (1.2m)	Red / multi facing Brick with red sandstone copings to walls and piers Final specification TBC.
Retaining Walls between plots	Red / multi facing Brick to outer face with red sandstone coping Fencing as noted above Final specification TBC.



Roof Plan



Ground Floor Plan

Continued to mains via pumping station

To attenuation system

Plot 4

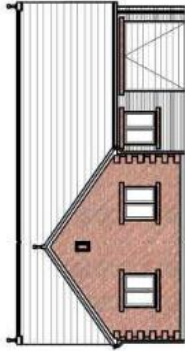


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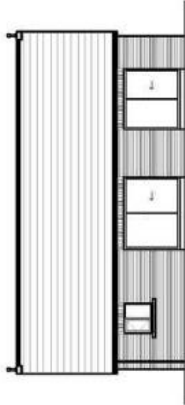
Architect	Harry Green Associates Ltd
Client	Magna Homes Limited
Project	Land Adjacent to Castle Grounds
Location	Castle Grounds, Castle
Planning	Plot 4 - Plans & Elevations
Drawn by	21080001 (1)
Scale	1:100 (A1)
Date	14/01/2021



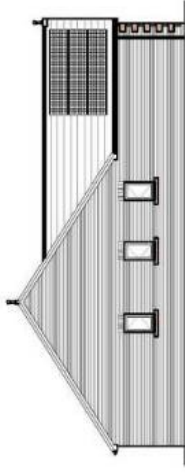
Side Elevation



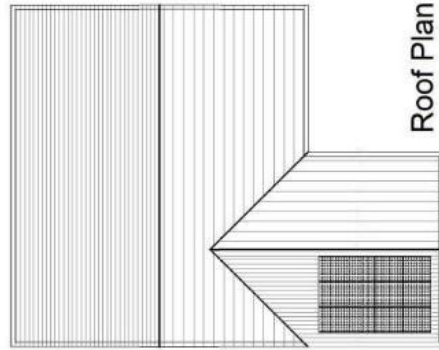
Front Elevation



Rear Elevation



Side Elevation



Roof Plan



Floor Plan

Plot 5

3 Bedroom Detached Bungalow.
Floor Area : 126.1 m²
Garage 21.8 m²

Continued to mains
via pumping station
To attenuation system

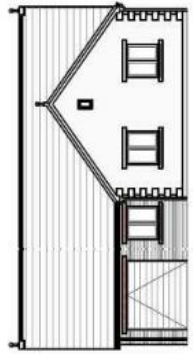
Materials Schedule

Plot 5

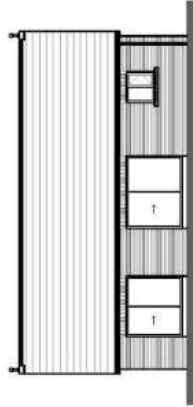
Walls	Red / multi facing Brick Red Sandstone	Final specification TBC. Final specification TBC.
Walls below DPC	Brown / multi facing Brick	Final specification TBC.
Lintels, Sills, Quoins & All Feature Stones	Red sandstone	Final specification TBC.
Main Roof	Slate tile	Sandluff Rickia interlocking slate tile or equivalent
Dormer Window	GRP Roof Dormers	Final specification TBC. Anticipated colour: grey.
Roof Accessories ridge / hips / eaves	Dark Grey to match roof coverings.	
Fascia & soffits	PVCu	Final specification TBC. Anticipated colour: grey.
Rainwater Goods	PVCu	Final specification TBC. Anticipated colour: grey.
Windows	PVCu	Styles as indicated. Anticipated colour: grey.
Glazed Doors	Aluminium	Styles as indicated. Anticipated colour: grey.
Front Doors	Composite	Styles as indicated. Anticipated colour: grey.
Garage Door	Composite	Styles as indicated. Anticipated colour: grey.
External Works		
Paths & Paving	Concrete flag pavers	Final specification TBC. Anticipated size: 600 x 600mm units Anticipated colour: grey.
Gravelled Areas	Gravel	Final specification TBC.
To perimeter of properties and other general areas.		Anticipated colour: grey.
Driveway	Bitumen Macadam	Black
Driveway Edging	Block Pavers	Final specification TBC. Anticipated colour: grey.
Boundary Treatments		
Timber fencing (1.2m)	Vertical boarded timber	Anticipated natural finish
Timber fencing (1.8m) including gates	Vertical boarded timber	Anticipated natural finish
Entrance Walls (1.2m)	Red / multi facing Brick with red sandstone copings to walls and piers	Final specification TBC.
Retaining Walls between plots	Red / multi facing Brick to outer face with red sandstone coping Fencing as noted above	Final specification TBC.



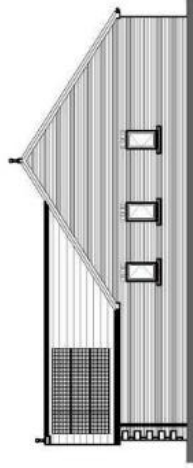
Side Elevation



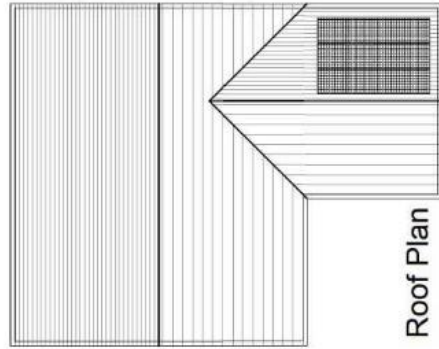
Front Elevation



Rear Elevation



Side Elevation



Roof Plan



Floor Plan

Continued to mains
via pumping station

To attenuation system

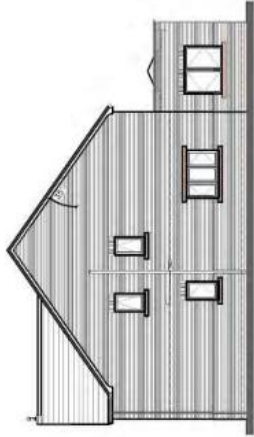
Plot 6

Materials Schedule

Plot 6		
Walls	Red / multi Facing Brick Render	Final specification TBC. Final specification TBC. Anticipated colour: white-grey.
Walls below DPC	Brown / multi Facing Brick	Final specification TBC.
Unitills, Sills, Quoins & All Feature Stones	Red sandstone	Final specification TBC.
Main Roof	Slate tile	Final specification TBC.
Dormer Window	GRP Roof Dummies	Sandholt Rivus interlocking slate tile or equivalent
Roof Accessories Ridge / Hips / Finials	Dark Grey to match roof coverings.	Final specification TBC. Anticipated colour: grey.
Fascias & Soffits	PVCu	Anticipated colour: grey.
Rainwater Goods	PVCu	Anticipated colour: grey.
Windows	PVCu	Styles as indicated. Anticipated colour: grey.
Glazed Doors	Alu/til-um	Styles as indicated. Anticipated colour: grey.
Front Doors	Composite	Styles as indicated. Anticipated colour: grey.
Garage Door	Composite	Styles as indicated. Anticipated colour: grey.
External Works		
Paths & Paving	Concrete flag pavers	Final specification TBC. Anticipated size: 600 x 600mm units. Anticipated colour: grey.
Gravelled Areas	Gravel	Final specification TBC.
Driveway	Blumen Mosaic	Anticipated colour: grey.
Driveway Edging	Block Pavers	Black Final specification TBC. Anticipated colour: grey.

Boundary Treatments

Timber fencing (1.2m)	Vertical boarded timber	Anticipated natural finish
Timber fencing (1.8m) including gates	Vertical boarded timber	Anticipated natural finish
Entrance Walls (1.2m)	Red / multi Facing Brick with red sandstone coping to walls and piers	Final specification TBC.
Retaining Walls between plots	Red / multi Facing Brick to outer face with red sandstone coping / fencing as noted above	Final specification TBC.



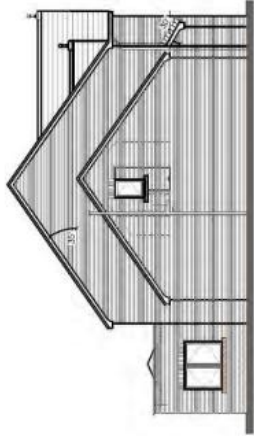
Side Elevation



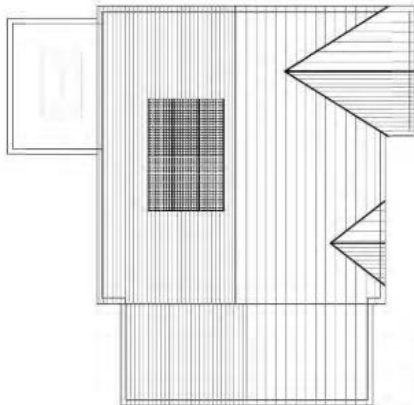
Front Elevation



Rear Elevation



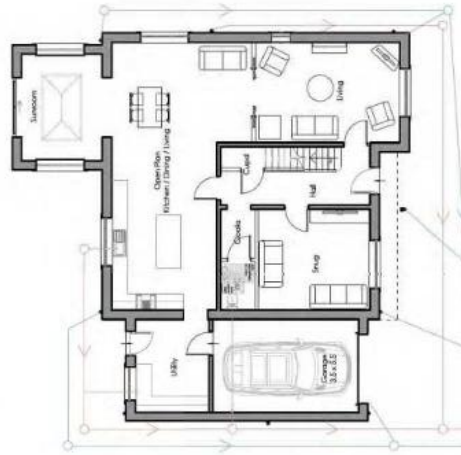
Side Elevation



Roof Plan



First Floor Plan



Ground Floor Plan

Continued to mains
via pumping station
To attenuation system

Materials Schedule

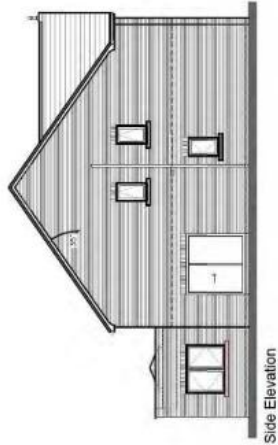
Plot 7

Walls	Red / multi facing brick	Final specification TBC. Anticipated colour: white-grey.
Walls below DPC	Brown / multi facing brick	Final specification TBC.
Upstls, 3th, Quoins & All Feature Stones	Red sandstone	Final specification TBC.
Main Roof	Side tile	Sandoril tiles interlocking slate tile or equivalent
Dormer Window	GFRP Roof Dormers	Final specification TBC. Anticipated colour: grey.
Roof Accessories Ridge / Hipz / Finids Fascias & soffits	Dark Grey to match roof coverings.	
Rainwater Goods	PVCu	Final specification TBC. Anticipated colour: grey.
Windows	PVCu	Final specification TBC. Anticipated colour: grey. Style as indicated.
Glazed Doors	Aluminium	Style as indicated. Anticipated colour: grey.
Front Doors	Composite	Style as indicated. Anticipated colour: grey.
Garage Door	Composite	Style as indicated. Anticipated colour: grey.
External Works		
Paths & Paving	Concrete flag pavers	Final specification TBC. Anticipated size: 600 x 600mm units Anticipated colour: grey.
Gravelled Areas To perimeter of properties and other general areas.	Gravel	Final specification TBC. Anticipated colour: grey.
Driveway	Blumen Macadam	Black
Driveway Edging	Block pavers	Final specification TBC. Anticipated colour: grey.
Boundary Treatments		
Timber fencing (1.2m)	Vertical boarded timber	Anticipated natural finish
Timber fencing (1.8m) including gates	Vertical boarded timber	Anticipated natural finish
Entrance Walls (1.2m)	Red / multi facing brick with red sandstone copings to walls and piers	Final specification TBC.
Retaining Walls between plots	Red / multi facing brick to outer face with red sandstone coping Paving as noted above	Final specification TBC.



HARRY GREEN ASSOCIATES

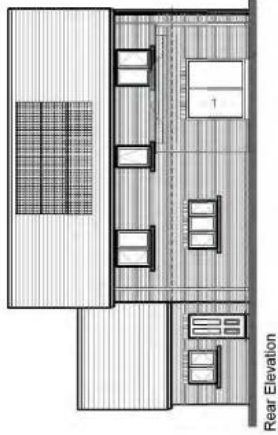
Location	Plot 7 - Flats & Elevations
Client	Magna Homes Limited
Project	Land Adjacent to Castle Grounds
Drawn by	Benjamin Green
Checked by	Benjamin Green
Scale	1:100 (E&A)
Date	21/08/2023
Drawn by	Benjamin Green
Checked by	Benjamin Green
Scale	1:100 (E&A)
Date	21/08/2023



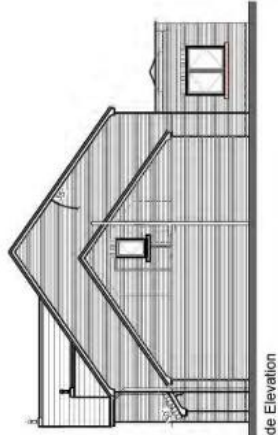
Side Elevation



Front Elevation

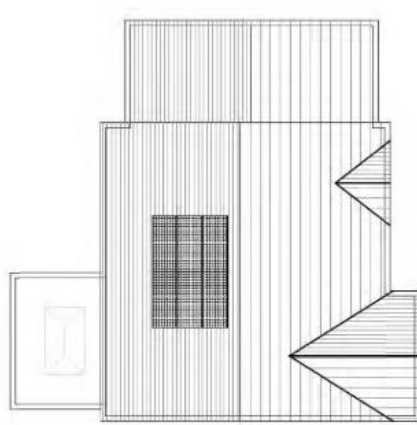


Rear Elevation

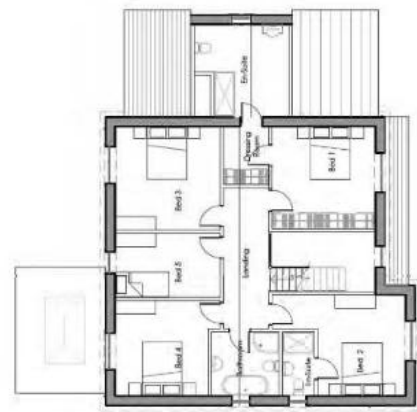


Side Elevation

Roof Plan



First Floor Plan



Ground Floor Plan



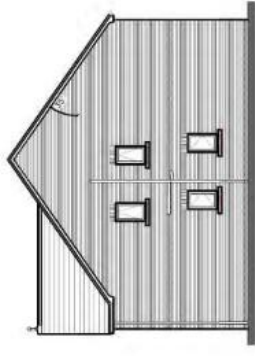
Continued to mains
via pumping station

To attenuation system

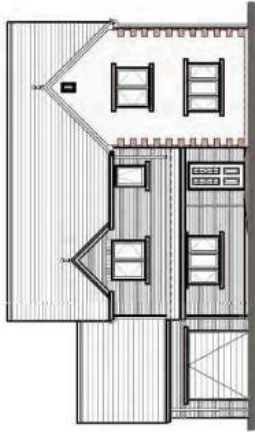
Plot 8

Materials Schedule

Plot 8			
Walls	Red / multi facing brick	Final specification TBC. Anticipated colour: white-grey.	
Walls below DPC	Brown / multi facing brick	Final specification TBC.	
Unruli, Sills, Quoins & All feature Stones	Red sandstone	Final specification TBC.	
Main roof	Slate tile	Sandrift Rivin interlocking slate tile or equivalent	
Dormer Window	Gap Roof Dormers	Final specification TBC. Anticipated colour: grey.	
Roof Accessories Ridge / Hips / Finials	Dark Grey to match roof coverings.		
Fascias & Soffits	PVCu	Final specification TBC. Anticipated colour: grey.	
Rainwater Goods	PVCu	Final specification TBC. Anticipated colour: grey.	
Windows	PVCu	Styles as indicated. Anticipated colour: grey.	
Glazed Doors	Aluminium	Styles as indicated. Anticipated colour: grey.	
Front Doors	Composite	Styles as indicated. Anticipated colour: grey.	
Garage Door	Composite	Styles as indicated. Anticipated colour: grey.	
External Works			
Paths & Paving	Concrete flag pavers	Final specification TBC. Anticipated size: 600 x 600mm units Anticipated colour: grey.	
Gravelled Areas To perimeter of porches and other general areas.	Gravel	Final specification TBC. Anticipated colour: grey.	
Driveway	Blumen Macadam	Black	
Driveway edging	Block Pavers	Final specification TBC. Anticipated colour: grey.	
Boundary Treatments			
Timber fencing (1.2m)	Vertical boarded timber	Anticipated natural finish	
Timber fencing (1.8m) including gates	Vertical boarded timber	Anticipated natural finish	
Entrance Walls (1.2m)	Red / multi facing brick with red sandstone copings to walls and piers	Final specification TBC.	
Retaining Walls between plots	Red / multi facing brick to outer face with red sandstone coping facing as noted above	Final specification TBC.	



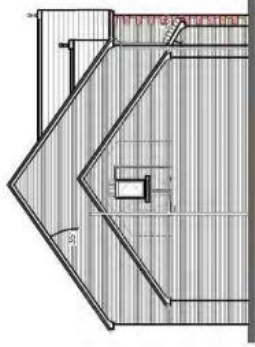
Side Elevation



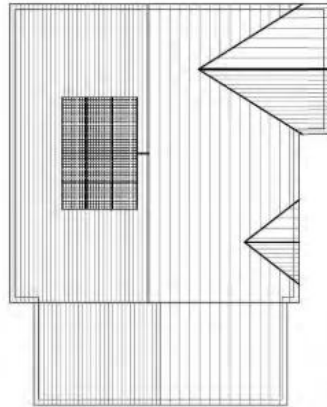
Front Elevation



Rear Elevation



Side Elevation



Roof Plan



First Floor Plan



Ground Floor Plan

Continued to mains
via pumping station
To attenuation system

Materials Schedule

Plot 9	
Walls	Red / multi Facing Brick Render Final specification TBC. Final specification TBC. Anticipated colour: white grey.
Walls below DPC	Brown / multi Facing Brick Final specification TBC.
Inlets, Sills, Quoins & All Feature Stones	Red sandstone Final specification TBC.
Main roof	Slate tile Sandliff slates interlocking slate tile or equivalent
Dormer Window	GRP Roof Dormers Final specification TBC. Anticipated colour: grey.
Roof Accessories Ridge / Hips / Finials	Dark Grey to match roof coverings.
Fascias & Soffits	PVCu Final specification TBC. Anticipated colour: grey.
Rainwater Goods	PVCu Final specification TBC. Anticipated colour: grey.
Windows	PVCu Styles as indicated. Anticipated colour: grey.
Glazed Doors	Aluminium Styles as indicated. Anticipated colour: grey.
Front Doors	Composite Styles as indicated. Anticipated colour: grey.
Garage Door	Composite Styles as indicated. Anticipated colour: grey.
External Works	
Paths & Paving	Concrete flag pavers Final specification TBC. Anticipated size: 600 x 600mm units Anticipated colour: grey.
Gravelled Areas To perimeter of properties and other general areas.	Gravel Final specification TBC. Anticipated colour: grey.
Driveway	Blumen Macadam Black
Driveway Edging	Block Pavers Final specification TBC. Anticipated colour: grey.
Boundary Treatments	
Timber fencing (1.2m)	Vertical boarded timber Anticipated natural finish
Timber fencing (1.8m)	Vertical boarded timber Anticipated natural finish
Entrance Walls (1.2m)	Red / multi Facing Brick with red sandstone copings to walk and pans Final specification TBC.
Retaining Walls between plots	Red / multi Facing Brick to other face with red sandstone coping Fencing as noted above Final specification TBC.