

Carlisle City Council

Report to Council

Report details

Meeting Date: 26th April 2022
Portfolio: Culture, Leisure and Heritage
Key Decision: No
Policy and Budget Framework: Yes/No
Public / Private: Public

Title: DEPUTATION FROM FRIENDS OF CARLISLE VICTORIA AND TURKISH BATHS
Report of: DEPUTY CHIEF EXECUTIVE
Report Number: CS 19/22

Purpose / Summary:

The purpose of this report is to provide members of the City Council with relevant background information concerning the operation and future development of the Turkish Baths at James Street, Carlisle.

Recommendations:

That members of the City Council receive this information and consider relevant content in the debate following the Deputation from the Friends of Carlisle Victoria and Turkish Baths.

Tracking

| | |
|------------|-----------------------------|
| Executive: | |
| Scrutiny: | |
| Council: | 26 th April 2022 |

1. Background

1.1. The Pools – Victorian and Turkish Baths facilities overview

The current Pools facility (James Street) comprises of two distinct elements: a 1970's building containing the 25m pool and the historic James Street Baths building, which includes the 20m and 10m pools (1884) and the Edwardian Turkish Baths (1928). The Turkish Baths are of special historic interest and are Grade II listed as the original internal decorative tiling is of high quality and complete, rendering the building a rare example, with only around 20 remaining in England. These facilities have served the city well over the last four decades since the Pools facility opened.

In 2013 the Council's Sport Facilities Strategy confirmed the need to replace the James Street Pools as a priority and identified The Sands Centre as the most appropriate location for strategic, operational and financial reasons. At this point in the project (and during the planning application period) other potential sites were considered for viability.

Since 2013 the re-development of the Sands Centre has gone through a comprehensive project development and delivery process. The City Council approved the re-development project, 25th June 2019 and agreed a contract for construction with Wates Construction Limited, 13th October 2020.

Construction of the new Sands facilities is now entering the final phases of development. The sectional completion (hand over to GLL for their fit out and preparation for opening) is targeted for the end of July 2022. The final completion of the whole Sands project is targeted for October 2022.

GLL are currently preparing for the successful transition of swimming activities to the Sands Centre. The end of swimming activity at The Pools (James Street) will occur end of August / early September 2022. Final arrangements are under development via our established project programme meetings.

This departure will see the end of GLL operation of The Pools site, including the operation of the Turkish Baths.

1.2. Operation of the facilities – GLL contract position

GLL (and previously Carlisle Leisure) have been a long-term partner of the City Council. GLL are the largest leisure charitable social enterprise in the UK operating over 400 leisure facilities, including national facilities.

Following a full procurement exercise during 2016 the City Council approved GLL as our leisure provider (20th November 2017).

The current leisure contract commenced December 2017 and will run until end of November 2032.

The leisure contract has made provision for the transfer of services from The Pools site to the Sands Centre and this will remove the obligation on GLL to operate The Pools site once the new Sands facilities are opened. This leaves the Victorian and Turkish Baths without an operator from this point (targeted for September 2022).

1.3. Friends of the Victorian and Turkish Baths

The Friends of Carlisle Victorian And Turkish Baths are a group of volunteers that have been campaigning to protect and develop the Victorian And Turkish Baths as a health and wellbeing centre.

The Friends would like the Council to keep these facilities open after the Sands Centre decant has taken place and have been working with Council officers on their short- and longer-term plans for the site. These will be explained in the deputation presentation and have been well documented at the Health and Wellbeing Scrutiny Panel (17th February 2022).

The Friends have been provided with feasibility information (the Mott MacDonald report) and further site drawings and information to assist them in their plans. GLL have also worked closely with the Friends during this last period to deliver a repairs programme and promote the facilities via social and more traditional media.

At the Health and Wellbeing Scrutiny Panel (17th February 2022) the Friends put forward three recommendations for this panel to consider. These are documented in the minutes of the panel attached to this report at Appendix A.

The most immediate of these recommendations concerns the request from the Friends that the Victorian and Turkish Health Suite remains open after GLL depart for the Sands. This proposal raises several issues concerning safe operation of the facilities, procurement and also the required works for the Station Gateway demolition programme. These issues are outlined below.

1.4. Station Gateway Project & timeline / arrangements for demolition of The Pools

As members will recall the Station Gateway Project is a key part (£23.8M) of the Borderlands Inclusive Growth Deal and has now been through a series of public consultations and funding assessment exercises.

Cumbria County Council are the lead authority for this project, working with a range of key partners including the City Council.

The Station Gateway Project focuses on four key areas for improvement:

- Court Square - Partial pedestrianisation of Court Square and improved pedestrian connections to and from the station.
- Station Interior - Enhancements to the Court Square access, improved facilities for customers and an upgraded and welcoming entrance from George Square.
- George Square (Southern Gateway entrance) from James Street) - Public car parking being relocated to the Southern Gateway to reduce the vehicular traffic at Court Square together with drop-off and bus replacement services.
- Sustainable Transport and Junction Improvements - A focus on improving pedestrian and cycle connectivity

It is the George Square aspect of this project that is material to the debate relating to the Victorian and Turkish Baths.

At present the County Council is still to finalise arrangements for the George Square element of this major project, however the following represents an indication of the likely activity and timeline.

The first phase of demolition will be removal of the former Staples unit on the station retail park. This is due to commence in June 2022 and be completed by the autumn. The demolition of The Pools is currently scheduled to commence in January 2023. The procurement for this by the County Council is due to go out shortly. Once the timeline for the GLL decant to the Sands is confirmed there may be a potential to bring this forward if it aids the Station Gateway programme delivery.

It is not yet clear how long the demolition work and the work to make the Victorian and Turkish Baths a standalone facility will take; this timeline will be settled via the procurement process.

Likewise, there are still other unknowns relating to the impact of the wider Station Gateway project on the ability to access the Victorian and Turkish Baths building whilst other major public realm and highway works are taking place.

The period from the GLL decant will be used for intrusive pre-demolition surveys of demolition site and surveys of the Victorian and Turkish Baths side to establish it as a standalone building, include mechanical and electrical building services. This work will be carried out in the period between GLL decant and demolition and will require the whole property to be vacant.

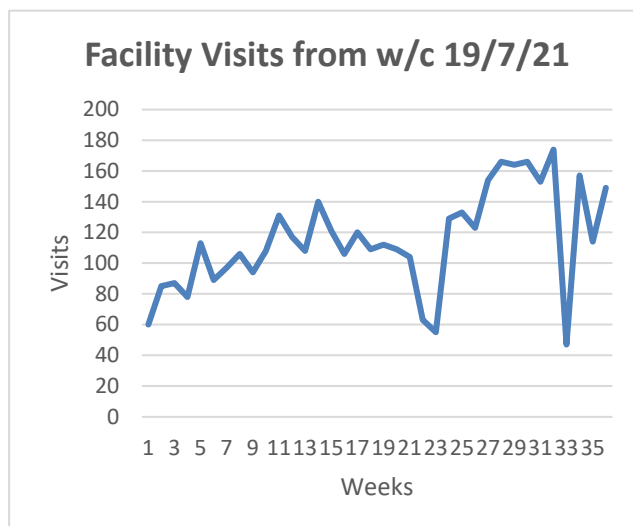
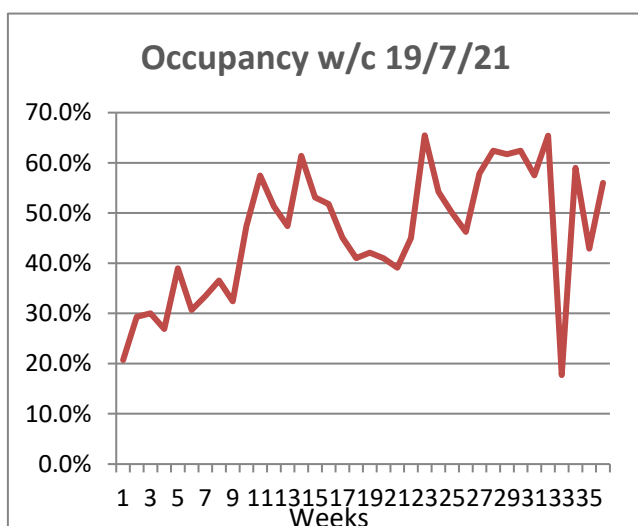
Therefore, the operation of the Victorian and Turkish Baths will have to cease once GLL vacate the building. Attempting to run the Turkish Baths and carry out pre-demolition surveys and intrusive surveys of the remaining property could lead to delays in the demolition project and consequently delay the Station Gateway project. Any delay could lead to additional expense on the Station Gateway project.

The current demolition plans are also looking to establish how the future access and egress will be managed from the standalone Victorian and Turkish Baths.

These preparatory, procurement and demolition / standalone works will all be undertaken in consultation with the Friends group and other relevant and interested parties.

1.5. Current usage and costs related to operation of the Victorian and Turkish Baths

The tables below outline the usage of the Victorian and Turkish baths since re-opening after Covid Restrictions in July 2021 in terms of percentage of maximum occupancy and total individual visits



GLL have carried out a cost analysis for the operation of the Victorian and Turkish baths from the re-opening during w/c 19 July 2021 through to the end of January 2022 (latest available expenditure figures)

Operating Costs Turkish Baths w/c 19th July to end January 2022

| | |
|---|-----------------|
| Income (customer receipts) | £12,694 |
| Expenditure (Utilities, Staffing and Overheads) | £79,179 |
| Surplus/Loss | -£66,485 |

2. Risks

2.1 There are no specific risks associated with this report as it is designed to give background information for the deputation. Any future reports on the future use of the Victorian and Turkish baths will provide detailed risk analysis.

3. Consultation

3.1 Not applicable in the context of a deputation background report

4. Conclusion and reasons for recommendations

4.1 That members of the City Council receive this information and consider relevant content in the debate following the Deputation from the Friends of Carlisle Victoria and Turkish Baths.

5. Contribution to the Carlisle Plan Priorities

5.1 The sustainable future use for the James Street Baths will support the successful implementation of the Borderlands-funded Station improvement project. This wider project will support the delivery of vision set out in the Carlisle Plan, which is to enable Carlisle to grow and prosper as the capital of the Borderlands region.

5.2 The James Street Baths has the potential to contribute to the growth of the tourist and visitor economy of the city. Therefore, identifying a sustainable future use for the building will contribute to the priority of delivering inclusive and sustainable economic growth, by increasing visitor spend and making Carlisle a more attractive place for investment.

Contact details:

Contact Officer: Darren Crossley Ext: 7004

Appendices attached to report:

- Appendix A - Health and Wellbeing Scrutiny Panel (17th February 2022)

Note: in compliance with section 100d of the Local Government Act 1972 the report has been prepared in part from the following papers:

- None

Corporate Implications:

Legal - There are no legal implications arising from the report which is submitted to facilitate Members discussions following the deputation received earlier in the meeting, pursuant to Council Procedure Rule 10.11(c).

Property Services – The original business case for the new Sands swimming facilities envisaged that the original site would be disposed of once the new facilities were operational. Any commitment to retain the Victorian & Turkish health suite would need to consider how all property costs associated with the facility would be covered going forward.

Finance - As stated in the report, the operation of the Victorian and Turkish Baths is currently undertaken as part of the wider Leisure operation contract with GLL that was procured in 2017. The contract only provides for operation of swimming provision at James St up to the point the new swimming facilities at the Sands become operational.

Any requirement to maintain the provision of the Turkish Baths would require a procurement exercise to be carried out to award a service concession contract (in a similar way to the existing GLL contract).

The Council achieved significant savings in re-tendering the leisure operation contract in 2017 due to the fact that all indoor leisure activities were to be located on a single, fit for purpose site which allowed the leisure operator to reduce costs. Procuring a contract for the operation of the Turkish Baths would potentially require the Council to provide a subsidy to any successful bidder. As this would be a new contract, this would be a budgetary pressure on the Council that is not currently provided for.

As well as operational budgetary requirements, maintaining the building would also require financial support.

Equality –

Information Governance-

Carlisle City Council

Report to Health and Wellbeing Scrutiny Panel

Report details

| | |
|-----------------------------|---|
| Meeting Date: | 17 February 2022 |
| Portfolio: | Leaders |
| Key Decision: | No |
| Policy and Budget Framework | No |
| Public / Private | Public |
| Title: | James Street Baths and Turkish Health Suite Feasibility Study |
| Report of: | Deputy Chief Executive / Corporate Director of Economic Development |
| Report Number: | ED.01/22 |

Purpose / Summary:

The purpose of this report to give an overview of the key findings of the Feasibility Study for the James Street Baths and adjoining Grade II listed Turkish Health Suite that was commissioned for Carlisle City Council by Cumbria County Council. The study forms part of the ongoing project development work for the Borderland-funded Carlisle Station Improvements project, which is being led by Cumbria County Council.

This report identifies a number of potentially feasible uses for the building and from this, sets out four indicative / potential development schemes for the building, with incrementally greater levels of intervention and cost.

Recommendations:

- That Members of the Health and Wellbeing Scrutiny Panel review the reports provided and discuss the content and agree any recommendations to be made to the Executive.

Tracking

| | |
|------------|------------------------------|
| Executive: | |
| Scrutiny: | HWSP 17 February 2022 |
| Council: | |

1. BACKGROUND / SITUATION UPDATE

- 1.1 Carlisle City Council (“the Council”) are currently delivering the £27M Sands Centre redevelopment project. This project will combine the existing entertainment, and leisure facilities at the Sands Centre and existing swimming facility at The Pools sites, to provide an modern contemporary entertainment, leisure and swimming facility at a single location.
- 1.2 The current Pools facility (James Street) comprises of two distinct elements: a 1970’s building containing the 25m pool and the historic James Street Baths building (“the Building”), which includes the 20m and 10m pools and the Edwardian Turkish Baths. The Turkish Baths are of special historic interest and are Grade II listed as the original internal decorative tiling is of high quality and complete, rendering the building a rare example, with only around 20 remaining in England.
- 1.3 The new swimming facilities at The Sands are scheduled to open from late summer 2022. The decant from The Pools will take place around this time and will require a closedown of the pool plant and securing of the site.
- 1.4 Concurrently, with the construction of the Sands Centre, Cumbria County Council, in partnership with the Council, Network Rail and Avanti West Coast have secured £20M of funding through the Borderlands Inclusive Growth Deal for improvements to Carlisle Railway Station. Relevant to the Building is the proposed development of a southern station entrance. As part of this, it is planned that the 1970s building will be demolished to assist with the creation of a new public space. See (fig 1.) below.

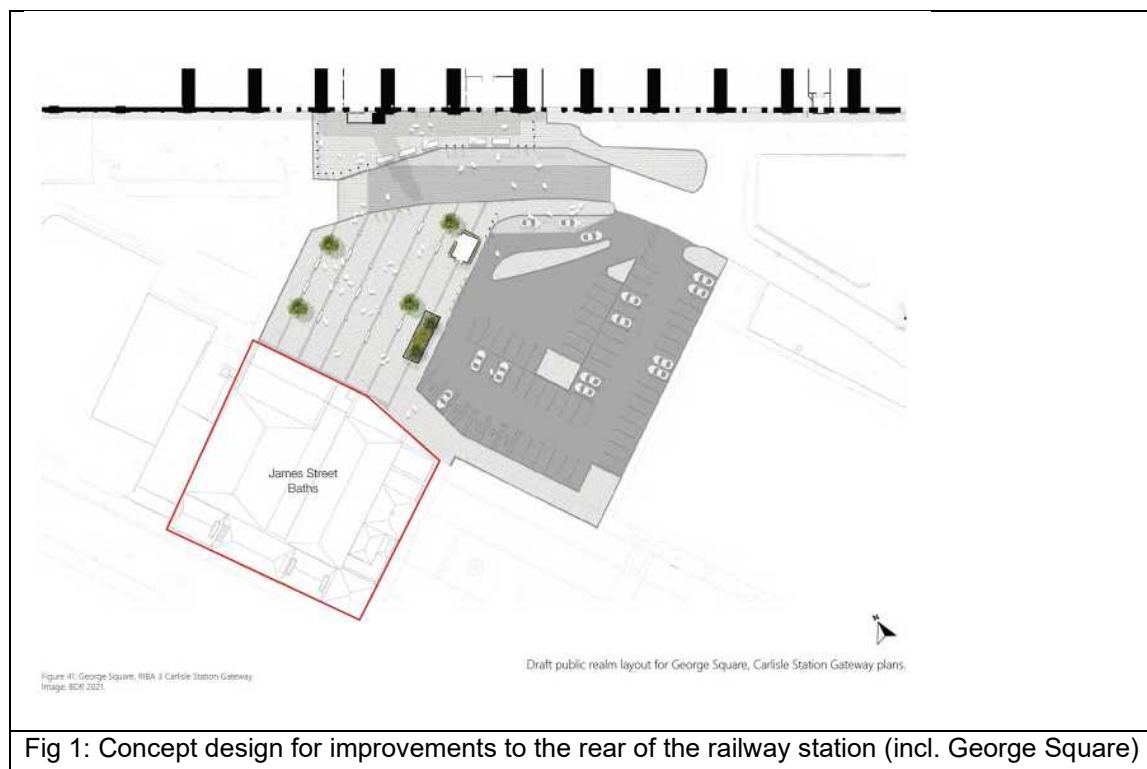


Fig 1: Concept design for improvements to the rear of the railway station (incl. George Square)

- 1.5 The future use of the Building falls outside the scope of the Borderlands project, however there is provision within budget for the demolition of the modern 1970's section of The Pools facility, making good the external elevations that will be revealed and ensuring that the building can be operated independently once it has been separated.
- 1.6 As part of the development of the Station project Cumbria County Council, in partnership with the Council, have started to prepare for the demolition. Specialist support is being sought for design, procurement and project management services. It is expected that the demolition will commence in early 2023.
- 1.7 At present the arrangements following GLL's vacation are still being discussed but will be governed by existing budget arrangements. Interim security arrangements will be implemented including regular inspections in line with insurers requirements.
- 1.8 During this time, it is anticipated that further intrusive pre-demolition surveys will be undertaken to prepare the site for demolition with the intention to handover the site to the demolition contractor at the earliest opportunity.
- 1.9 The demolition process will also include separation of the services to allow the Building to function as a standalone entity.

2. OVERVIEW OF FEASIBILITY STUDY

- 2.1 As part of the development of the Station project a feasibility study ("the Study") has been commissioned by Cumbria County Council, on behalf of Carlisle City Council, to explore the future potential of the Building.
- 2.2 Undertaken by Mott MacDonald and BDP, the Study is not intended to provide a definitive solution to the future of the Building. It investigates and evaluates the feasibility of potential uses of the site and proposes possible schemes for the Building of varying levels of intervention and cost. The Study should also be read in tandem with the Statement of Significance of the listed asset that was also commissioned to support the work.
- 2.3 To inform the potential uses, the Study has explored precedent projects across the country that have reinvigorated a Victorian and/or Edwardian Public Baths typology into a mixture of end uses, ranging from traditional swimming and leisure, to arts and gallery venues, cafes and public libraries. Each of these precedent studies have helped to test and demonstrate the appropriate scale and potential for the Building.
- 2.4 Following the review of these case studies, the Study identifies a number of potential feasible uses:

1. Private spa facility

A potential use could be for the Building to be used as a day spa, in keeping with the original use, to provide a health and wellbeing offer to residents and visitors. However, the potential for a spa development would need to be carefully considered within the context of a visitor economy offer which is growing in a different area of the city centre. Market assessments would need to be undertaken by any end user of such a facility to determine investment and potential returns.

2. Civic and public sector functions

Another potential use could be for the Building to be used to house small-scale civic and public sector functions, given its location near the railway station. However, this option would need to form part of a wider rationalisation of civic/public sector use in the city centre, possibly in the context of Local Government Reorganisation and take account of other developments such as the Citadel project.

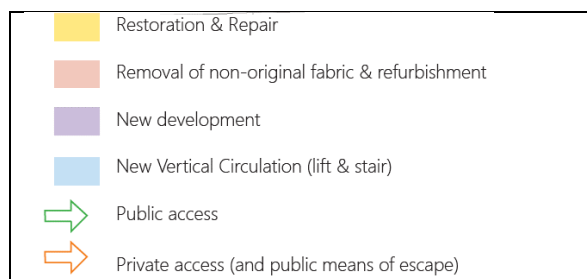
3. Events and conferencing space

An alternative potential use could be for the Building to be used for conferencing and events. This option would require a more detailed assessment of the potential demand for events space in this location, including other developments such as the Citadel project.

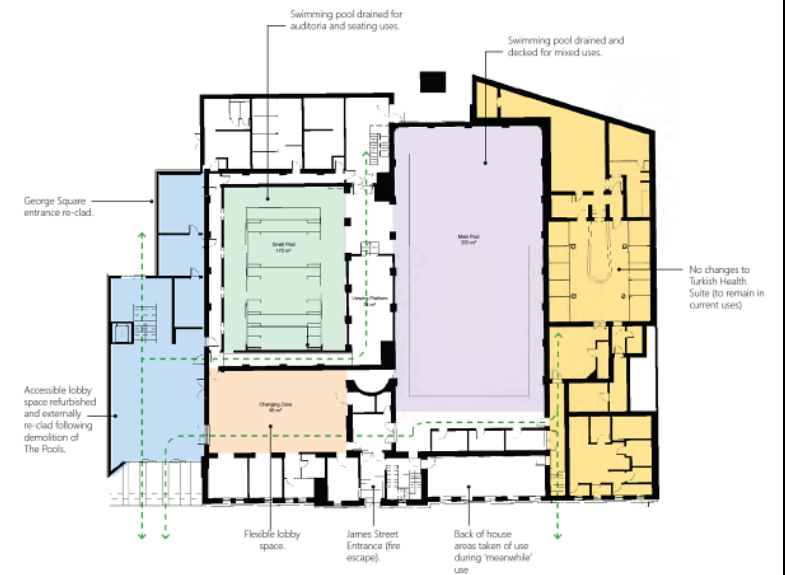
4. Community Asset Transfer (CAT) / Retention as a heritage asset

A further potential use could be for the Building to be used as a local heritage visitor attraction, with the Council transferring the management of the building to a registered charity through a CAT. The charity could in principle continue to operate the facility as a Turkish Baths with additional ancillary / complementary uses.

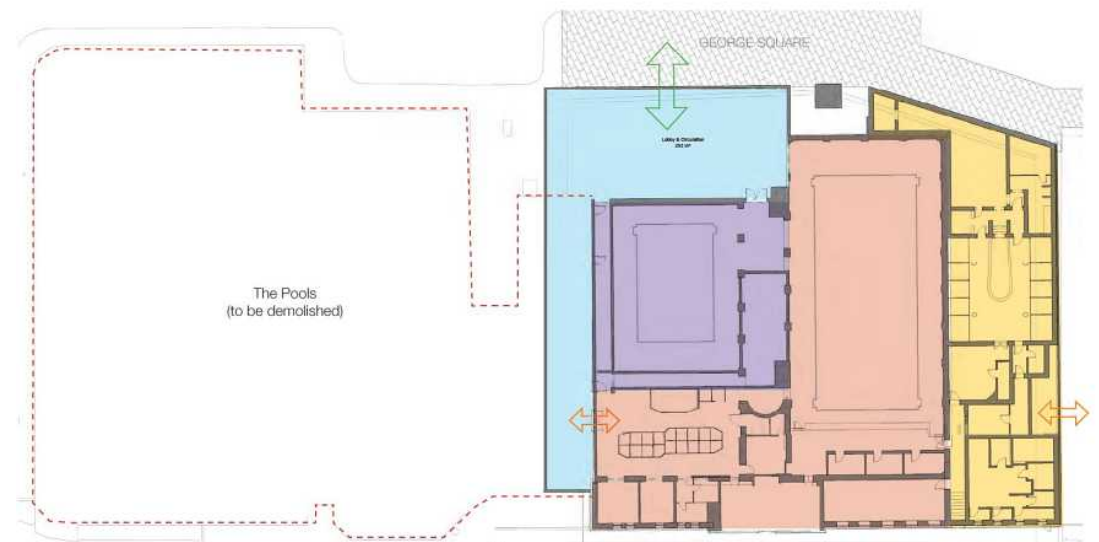
- 2.5 Mott MacDonald / BDP have developed four potential schemes for the building, with incrementally greater levels of intervention and cost. These are set out in Figure 2 below, which should be read in conjunction with the key below



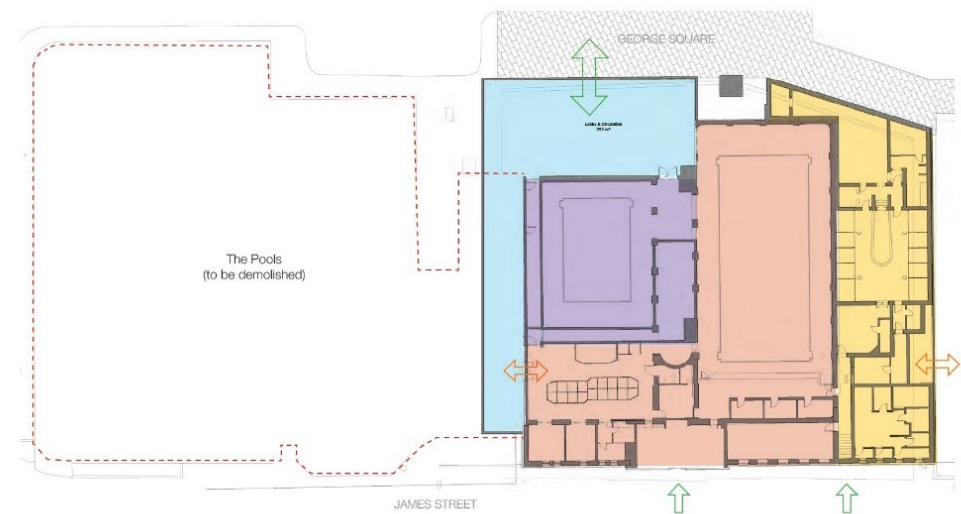
Do Something
'Scheme



Low Intervention
Scheme



Medium Intervention Scheme



High Intervention Scheme

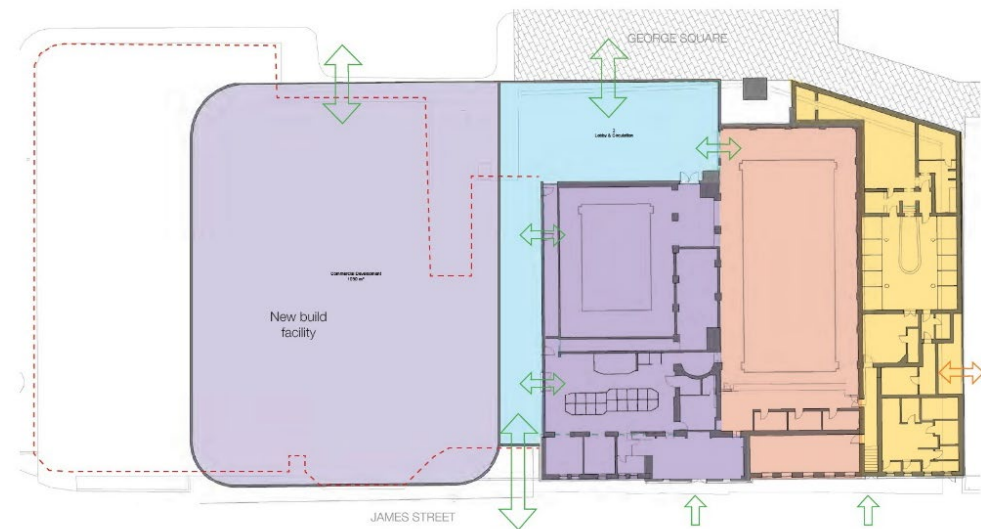


Figure 2: Mott MacDonald / BDP Proposed Scheme Layouts

2.6 Mott MacDonald / BDP have undertaken an appraisal has been undertaken on the three options, setting out the pros and cons of each

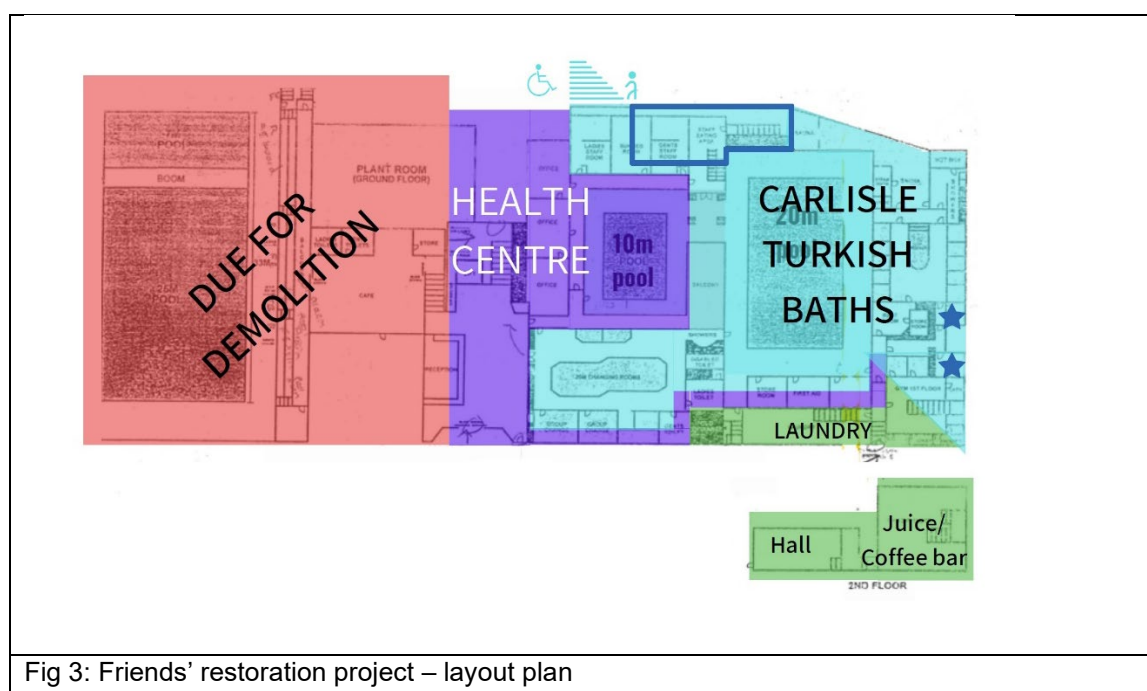
| Option | Rough Order of Magnitude (ROM) | Pros | Cons |
|--|--------------------------------|---|--|
| ‘Do Something’ Scheme <ul style="list-style-type: none"> • Drain the water from the swimming pools and deck over. • Clad the existing tiled surfaces and remove the suspended ceiling in the swimming hall. • Refurbishment of existing entrance lobby | Circa £2.94m | <ul style="list-style-type: none"> • A lower cost solution that is more deliverable. • Allows the space to be used flexibly but also enable the interventions to be reversed at a later date if required. | <ul style="list-style-type: none"> • This proposal would not address the wider station masterplan or the surrounding development areas. • The retained entrance lobby will require significant refurbishment and re-cladding in high quality materials to appropriately uplift the space. |
| Low intervention Scheme <ul style="list-style-type: none"> • Retain part of the 1970’s extension (the entrance lobby) whilst refurbishing and restoring the original finishes throughout the Baths. • Creation of new circulation core within the existing walls and voids of the existing building. • Retains James Street as the primary entrance but reorganise access within the stair core space. • The rear of the Baths facing George Square (Station Gateway) remains as service access only. | Circa £7.40m | <ul style="list-style-type: none"> • Access to the main James Street Baths staircase and secondary entrance to James Street is available via the double doors to the south elevation of the building, complete with decorative tiled surround. • A new lobby within the existing stair core / entrance is proposed to give level access (via a lift) to all levels of the building from James Street. • The existing entrance lobby (addressing the west elevation) can be retained and re-clad to overcome the sites issues with changing levels. | <ul style="list-style-type: none"> • Facing primarily onto James Street, this proposal would not address the wider station masterplan or the surrounding development areas. • The retained entrance lobby will require significant refurbishment and re-cladding in high quality materials to appropriately uplift the space. • The ROM for this option requires substantial funding / investment which would take time to secure with delivery likely to be in phases. |

| | | | |
|--|--------------------------|---|--|
| <p>Medium Intervention Scheme</p> <ul style="list-style-type: none"> Remove non-original structures (walls) and finishes from the existing swimming pool halls to fit out for proposed uses and functions. Repair and restoration of the historic features of the Turkish Health Suite. Demolition of a small proportion of non-original existing structures to construct a new entrance extension. The extension would address the level change to the West elevation. | <p>Circa £10.81m</p> | <ul style="list-style-type: none"> A new build extension building within the existing footprint would give level access (via a lift) to all levels of the building from George Square. Opportunity to tie in to proposed George Square landscaping, extending the paving alongside the new extension. | <ul style="list-style-type: none"> This medium-level of intervention removes a portion of the existing building (although this is arguably one of the less important areas). The existing functional layout and working practices of James Street Baths are reorganised and rationalised The ROM for this option requires substantial funding / investment which would take time to secure with delivery likely to be in phases. |
| <p>High Intervention Scheme</p> <ul style="list-style-type: none"> Remove non-original structures and finishes from the existing swimming pool halls. Retain the large pool hall to a new use related to the Turkish Baths whilst converting the smaller pool hall to a function relating to the new use on the adjacent site. Repair and restoration the historic features of the Turkish Health Suite maintaining their future viability as a health and wellbeing suite. Demolition of a small proportion of non-original existing structures to construct a new entrance extension. | <p>Circa £31.05m</p> | <ul style="list-style-type: none"> A new lobby within a new extension structure would give level access to all levels of the building from George Square. Large extension improves the future viability, development costs and overall usability of the existing building. Heritage positive - this option would not require any signification building fabric alterations within the existing building, with all new vertical circulation (lifts and stairs) proposed in new-build areas. | <ul style="list-style-type: none"> Limitations will be placed on the scale, form and design of the new build facility due to its proximity to the listed building and conservation area setting. Design quality is crucial to achieving positive development that does not overshadow the significance and speciality of the existing building. Could preclude future proposals for the reuse of the footprint of the cleared Pools site, related to the enhancement of the Station (e.g., transport interchange) |

| | | | |
|--|--|--|--|
| This extension would connect to the older structure via an atrium space. | | | <ul style="list-style-type: none"> • The ROM for this option requires significant funding / investment which would take time to secure (over several years) with delivery likely to be in several phases. |
| Table 1: Scheme assessment | | | |

3. FRIENDS OF CARLISLE VICTORIAN AND TURKISH BATHS PROPOSALS

- 3.1 The Friends of Carlisle Victorian And Turkish Baths are a group of volunteers that have been campaigning to protect and develop the Building as a health and well-being centre. The Friends have set out a vision; this proposes to create a new, fully accessible facility with its main entrance facing the improved the rear entrance to the station.
- 3.2 In order to realise the full potential of the Building, the Friends have proposed a restoration project with three elements. The first is to increase the capacity of the Turkish Baths by making the 20m pool and its changing rooms part of the offer and by creating a cafe bar and treatment rooms. The second is a new health centre that would include the existing 10m pool, which would be refurbished as a hydrotherapy pool. The third element is the creation of community hub and laundry service, that would operate as a charity or Community Interest Organisation. A proposed layout is indicated in Figure 3 below.



- 3.3 Full costs and funding for the delivery of the project have yet to be identified but the Friend have indicated that Heritage Lottery Fund funding would be sought to fund the restoration project.

4. NEXT STEPS

- 4.1 Once GLL have decanted preparation for demolition will commence with the intention of handing over possession of the building to the demolition contractor ASAP.

However, there will inevitably be a time delay between GLL vacating and demolition commencing with the associated costs, however at this stage they are unknown.

- 4.2 At present the arrangements following the GLL decant from The Pools are still being discussed but will be governed by existing budget arrangements. There is no budget assigned to the operation of the Turkish Baths when the new Sands Leisure centre starts operating.
- 4.3 There will be need for intrusive pre-demolition surveys to be undertaken to prepare the site for demolition and these would have an impact the ability to keep the Turkish Baths operational.
- 4.4 The next steps for the Council are to begin to work through the available options for the Building. These are:
- Market Testing
One option is to undertake some market testing in order to ascertain whether there is any market interest in the Building for the building to be managed and operated by the private sector. The feasibility study could be used inform and support this exercise.
 - Community Asset Transfer (CAT)
Another option would be for transfer of the management and/or ownership of the Building to a community organisation at less than best consideration. As well as taking over the day to day running of the Building any group entering in to a CAT would also be responsible for its ongoing repairs, maintenance and management.
 - Close down
If the market testing or CAT options are not fruitful and no new operator for the Building is identified, then the option to close down the facility may need to be considered.

5. CONCLUSION AND REASONS FOR RECOMMENDATIONS [ALL]

- 5.1 The Council are currently nearing completion on the £27M Sands Centre redevelopment that will combine the existing facilities at the Sands Centre and The Pools sites at a single location.
- 5.2 The Borderlands Inclusive Growth Deal is funding improvements to Carlisle Railway Station, including the development of a southern station entrance. As part of this, it is planned that the 1970s building of The Pools will be demolished to enable the creation of a new public space. Preparations for the demolition have begun and it is expected to commence in early 2023. The historic James Street Baths building, which includes the 20m and 10m pools and the Edwardian Turkish Baths are to be retained.

- 5.3 A feasibility study has been commissioned, which identifies a number of potential feasible uses for the James Street Baths building and from this, sets out a four indicative / potential development solution. The level of intervention and cost increases incrementally for each option, ranging from low intervention with an estimated cost of £2.9m rising to high intervention with a cost of £31m. All these require funding to be secured in order to be deliverable. An additional consideration is that more costly schemes of larger scale would require funding / phasing over a number of years.
- 5.4 The Friends of Carlisle Victorian And Turkish Baths are a group of volunteers that have been campaigning to protect and develop the Building as a health and well-being centre. The Friends have set out a vision that proposes to create a new facility that would include an expanded Turkish Baths offer, a new health centre and community hub and laundry service. that would operate as a charity or Community Interest Organisation. Funding has yet to be identified but the Friends have indicated that Heritage Lottery Fund funding would be sought.
- 5.5 The next steps for the Council are to begin to work through the available options for the Building. These are to progress a market testing exercise in order to ascertain whether there is any market interest in the Building for the building to be managed and operated by the private sector. Another option to explore is the potential to transfer of the management and/or ownership of the Building to a community organisation. If neither of these options provide a solution then the option to close down the facility may need to be considered.
- 5.6 On this basis, Members of the Health and Wellbeing Scrutiny Panel are asked to
- Note the latest updates set out in the report regarding the completion of the Sand Centre and the decanting of The Pools Facility.
 - Consider the Feasibility Report and Statement of Significance appended to this report and provide feedback on the potential solutions for the James Street Baths and adjoining Turkish Health Suite that have been prepared by Mott MacDonald and BDP.
 - Note the vision and proposals for the James Street Baths and adjoining Turkish Health Suite set out in the report that have been articulated by the Friends of Carlisle Victorian And Turkish Baths.
 - Note the next steps set out in the report and provide feedback on the options that have been proposed to be progressed.

6. Contribution to the Carlisle Plan Priorities

- 6.1 Identifying a sustainable future use for the James Street Baths will support the successful implementation of the Borderlands-funded Station improvement project.

This wider project will support the delivery of vision set out in the Carlisle Plan, which is to enable Carlisle to grow and prosper as the capital of the Borderlands region.

- 6.2 The James Street Baths has the potential to contribute to the growth of the tourist and visitor economy of the city. Therefore, identifying a sustainable future use for the building will contribute to the priority of delivering inclusive and sustainable economic growth, by increasing visitor spend and making Carlisle a more attractive place for investment.

Contact details:

Contact Officer: Steven Robinson

Ext: 7535

Appendices attached to report:

- Appendix 1: James Street Baths and Turkish Health Suite Feasibility Study
- Appendix 2: James Street Baths Statement of Significance

Note: in compliance with section 100d of the Local Government Act 1972 the report has been prepared in part from the following papers:

- None

Corporate Implications:

| | |
|-------------------|--|
| Legal | (1) Section 2 of the Local Authorities (Land) Act 1963 gives the Council powers to develop land, combined with Section 111 of the Local Government Act 1972 which gives the Council power to do anything which is calculated to facilitate or is conducive or incidental to the discharge of any of its functions. These powers in combination should be sufficient to enable the Council to carry out the development and apply for any planning permissions which may be required. (2) The Turkish Baths is an Asset of Community Value and is registered on the Council's Community Asset Register. This registration means that statutory procedures are to be adhered to when dealing with this land in relation to a future disposal. |
| Property Services | Carlisle City Council's Asset Management Plan identifies three key principles for holding property; those required for operational service delivery, investment and economic development purposes. The James Street Baths and Turkish Health Suite were originally held as an operational asset. The Council decided to replace the facilities at James Street with a new purpose-built facility at The Sands Centre. As part of the business |

| | |
|------------------------|--|
| | <p>case for the development, valuation advice was obtained and at the time it was envisaged that the James Street assets would be disposed of.</p> <p>If the Council now wishes to retain the asset and repurpose it to support its Economic Development aspirations budget will need to be identified to cover not only the redevelopment costs and ongoing maintenance and potential running costs but also the immediate holding costs whilst proposals for future use are developed. Given the age and nature of the asset these could be significant as vacant buildings can rapidly deteriorate and become a magnet for vandalism and antisocial behaviour.</p> <p>Long term, unless a financially viable use can be found for the building it will remain a significant financial burden for the authority.</p> |
| Finance | <p>This report highlights various options from a feasibility study into solutions for the Turkish baths building once swimming provision is moved to the new Sands Centre. The report identifies various options that would require financial cost. These range from £2.9m to £31m for the highest intervention works.</p> <p>No provision is made in the Council's budget (both revenue and capital) for any ongoing financial requirement for the operation or investment in the building. Any proposed intervention would therefore have to be funded; capital works from borrowing and any ongoing revenue support from revenue reserves. The report does not make any indication of the ongoing revenue implications associated with the various options.</p> |
| Equality | <p>The James Street Baths was listed as an Asset of Community Value on 25 November 2021, under the Localism Act 2011.</p> |
| Information Governance | |

APPENDIX 1

James Street Baths and Turkish Health Suite

Feasibility Study

November 2021

Prepared by:
BDP
with Mott MacDonald
and BB Heritage Studio

On behalf of:
Cumbria County Council
Carlisle City Council

Document Number: JSB-BDP-20-REP-A-000001
Revision: P06
Date: 21/01/2022
Suitability Code: S2

BDP.

**MOTT
MACDONALD**

**M
M**



Report Verification

| Rev | Date Purpose | Created | Checked | Approved | Client Authorised | Client Signature |
|-----|--|----------------------------|-------------------------------------|-------------------------------------|-------------------|------------------|
| P01 | 21/07/2021 Draft Issue for Internal Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |
| P02 | 05/08/2021 Draft update for Internal Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |
| P03 | 24/09/2021 Draft update for Internal Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |
| P04 | 25/10/2021 Draft update for Client Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |
| P05 | 05/11/2021 Draft update for Client Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |
| P06 | 21/01/2022 Final draft for Client Review | Louise Taylor Architect | Peter Jenkins Architect Director | Peter Jenkins Architect Director | N/A - | N/A - |

This document is issued for the party which commissioned it and for specific purposes connected with the captioned project only. It should not be relied upon by any other party or used for any other purpose. Diagrams and drawings are approximate only and not based on any recent building survey information. BDP accept no responsibility for the consequences of this document being relied upon by any other party, or being used for any other purpose, or containing any error or omission which is due to an error or omission in data supplied to us by other parties.

This document contains confidential information and proprietary intellectual property. It should not be shown to other parties without consent from BDP and from the party which commissioned it.

Contents

| | | | | | |
|---|----|--|----|---|----|
| Report Verification | 2 | 6.0 Facilities & Uses Comparison | 40 | 10.0 Appendices | 60 |
| Contents | 3 | 6.1 Newcastle City Baths | 40 | A Commercial Assessment (Mott MacDonald) | 61 |
| 1.0 Overview | 4 | Option 1 inspired by Newcastle City Baths | 41 | B Indicative Cost Estimate (Mott MacDonald) | 72 |
| 2.0 Project Context & Objectives | 6 | 6.2 Victoria Baths | 42 | | |
| 2.1 Historic Context | 6 | Option 2 inspired by Victoria Baths | 43 | | |
| 2.2 Physical Context - Setting | 8 | 6.3 Harrogate Turkish Baths | 44 | | |
| 2.3 Physical Context - Exterior | 10 | Option 3 inspired by Harrogate Turkish Baths | 45 | | |
| 2.3.2 Heritage Assets | 12 | 7.0 Commercial Assessment | 46 | | |
| 2.4 Building Layout - As existing | 14 | 7.1 Commercial Viability | 46 | | |
| 2.4.1 Spatial Qualities of the Site | 14 | 7.2 Indicative Cost Estimate | 46 | | |
| 2.4.2 Key Interior Features | 15 | 8.0 Next Steps | 47 | | |
| 3.0 Precedent Studies | 22 | 8.1 Refining the Design | 47 | | |
| 3.1 Newcastle City Baths, Newcastle | 22 | 8.2 Statutory Consents | 47 | | |
| 3.2 Ironmongers Row Baths, Islington | 24 | 8.3 Operator Liaison | 47 | | |
| 3.3 Victoria Baths, Manchester | 26 | 8.4 Procurement | 47 | | |
| 3.4 Turkish Baths, Harrogate | 28 | 9.0 Short Term Interventions | 48 | | |
| 3.5 Alloa Speirs Centre, Scotland | 30 | 9.1 Assessment of Existing Building | 48 | | |
| 4.0 Conceptual Approach | 32 | 9.2 Swimming Pool Change of Use | 49 | | |
| 4.1.1 Option 1 | 33 | 9.3 Suspended Ceiling Removal | 50 | | |
| 4.2.1 Option 2 | 34 | 9.4 Finishes | 52 | | |
| 4.3.1 Option 3 | 35 | 9.5 Capacity and Facilities | 55 | | |
| 5.0 Materials and Finishes | 36 | 9.6 Fire | 56 | | |
| 5.1 Materials & Finishes | 36 | 9.7 Entrance Lobby Remodelling | 57 | | |
| 5.2 Artwork & Installations | 37 | 9.8 Building Services Assumptions | 59 | | |
| 5.3 Signage & Wayfinding | 38 | | | | |
| 5.4 Lighting | 39 | | | | |

1.0 Overview

The project brief from Carlisle City Council sets out the proposition to explore the future potential of the James Street Baths and adjoining Grade II listed Turkish Health Suite, whilst ensuring the significance, heritage and community value of the listed asset is protected.

Carlisle City Council are currently nearing completion on the ~£25 million Sands Centre redevelopment. The project will combine ‘The Sands Centre’ and ‘The Pools’ (currently on James Street) sites to provide first-class entertainment, leisure and swimming facilities at a single location for the City.

As a result, ‘The Pools’ on James Street will close to the public, and it is planned that the 1970s swimming block will be carefully removed from the site thereafter. James Street Baths sits in the shadow of the Grade II listed curtiledge wall of Carlisle Railway Station (the station is Grade II*), with both assets within the Carlisle City Centre Conservation Area.

Cumbria County Council, in partnership with Carlisle City Council, Network Rail and Avanti West Coast have secured ~£20 million of funding through the Borderlands Inclusive Growth Deal for improvements to Carlisle Railway Station. Relevant to James Street Baths is the proposed development of a southern station entrance, improving on the current condition of the rear station access.

A new entrance facing James Street will positively reactivate the areas to the south of the railway line, and bring with it the opportunities for regeneration and growth. It is intended that the James Street Baths will remain at the centre of the redevelopment of the area.

The James Street Baths is currently owned and operated by Carlisle City Council and the scope of the study is to demonstrate a number of strategic approaches to reinvigorating and preserving the Baths for the future, along with testing the constraints and opportunities offered by the historic building context.

BDP have previous experience in developing similar scale historic buildings into award winning contemporary commercial, residential and culture destinations. Through this study we have also explored precedent projects that

have reinvigorated a Victorian and/or Edwardian Public Baths typology into a mixture of end uses, ranging from traditional swimming and leisure, to arts and gallery venues, cafes and public libraries.

Each of these precedent studies have helped to test and demonstrate the appropriate scale, and the strong potential, for the Grade II listed James Street Baths and Turkish Health Suite, in the hope that in the future the site can emulate the success already achieved by these other relevant projects.

In addition to illustrating the potential possibilities for activating the existing buildings, the output from this study is intended to allow an outline order of cost to be developed by a Quantity Surveyor, following on from the indicative cost estimate provided in the appendices of this report, thereafter facilitating decision making by Carlisle City Council to progress with developing, funding and implementing their preferred scheme.

It is not intended that this report will provide a complete solution to the development of the James Street Baths, however it will begin to investigate and evaluate the feasibility of a development project, and the potential of a the site and existing building, whilst proposing a way forward for the building.

This report should also be read in tandem with recent visual survey reports relating to the Building Services and Structural Engineering (completed by Mott MacDonald) of the existing building and the Statement of Significance of the listed asset (prepared by BB Heritage Studio), procured to support this study.

Currently, a proposed Project Timeline (subject to change):

- | | |
|-----------|---|
| Stage 1 - | Statement of Significance; |
| Stage 2 - | Feasibility Study (this report); |
| Stage 3 - | Community Consultation, Order of Costs and Economic Appraisal/ Outline Business Case; |
| Stage 4 - | Operator Engagement; |
| Stage 5 - | Project launch (RIBA Workstages 2-4); |
| Stage 6 - | Construction (RIBA Workstage 5). |



Figure 1: The Turkish Health Suite, James Street Baths, Carlisle.
Image: <https://www.discovercarlisle.co.uk/See-Do/turkish-baths-and-victorian-health-suite>



Figure 2: Cornerstone of the Carlisle public baths, c.1883.
Image: BDP, site visit, August 2021



Figure 3: Rear of the Carlisle public baths.
Image: BDP, site visit, August 2021

2.0 Project Context & Objectives

2.1 Historic Context

The key point of this feasibility study is to identify an appropriate approach to the continued use of the James Street Baths and Turkish Health Suite, to align with the proposals to reinvigorate the surrounding 'Southern Gateway' areas to the south of the railway station.

England's first genuinely *public* baths were built as a result of the 1846 Baths and Wash-houses Act. The Industrial Revolution was at its height; workers were swarming into towns from the impoverished countryside to work in the nearby factories and railways, and living-conditions were poor. It was the spread of typhus and cholera that first prompted concern about public cleanliness on a regional scale. The poor were the most deprived of water; they lived in hastily-built and overcrowded houses, without proper plumbing, ventilation or drainage. Workers were given a helping hand when the 1846 Baths and Wash-houses Act was passed. This legislation was a response to the successful experiments in providing public baths in Liverpool and the Glasshouse Baths near London Docks.

The Baths and Wash-houses Act 1846 fixed the maximum fees bathers could be charged for entry. For a small price, users received clean water and the use of a towel. Higher fees were charged for the more superior facilities, which in a first-class private booth might include a carpet, chair, mirror, brush and comb.

The private baths were enclosed in a compartment and they were usually of the 'slipper' type. In many cases, there were no taps inside so the attendant controlled the temperature of the water from outside. In other baths, particularly first and second class ones, the bathers had taps inside the rooms. For those who could afford it, the ultimate in luxury was the Turkish Bath which were available in most large cities.

Prior to the construction of Carlisle Citadel Station the area to the south of the city was already dominated by a large number of mills and industrial complexes. The construction of the station in 1847 led to the formation of a new road layout to this area. The alignment of James Street was well established by this time, terminating in Mill Street which

then crossed the river. A parcel of land was formed at the junction of James Street and Wood Street which in 1868 remained unbuilt. This was to become the location for the public baths. The first phase of the James Street Baths, which contained the public swimming pools, was constructed circa 1883 (opened 1884) and therefore falls into the late Victorian period.

The baths consisted of a 1st class plunge pool, a 2nd class plunge pool both, with associated dressing boxes, 1st and 2nd class private baths. There were separate ladies facilities which consisted of a ladies waiting room, 1st and 2nd class private baths and a ladies plunge pool. At the rear was a laundry area with a workshop below and a storeroom above and a space reserved on the site for a Turkish Baths. On the James Street frontage the building contained a residence for the attendant which had a kitchen at basement level, office and lounge at ground floor, and bedrooms at first floor. The second phase of the James Street Baths which contained the Turkish Baths was opened in 1909 and therefore falls into the Edwardian period.¹

The Turkish baths were constructed set back from James Street leaving a parcel of land to the James street frontage. This was reserved for an extension to the public baths to provide more slipper baths. By the 1928 this extension had been completed and the James Street frontage infilled.

In recent times there are numerous examples of finding modern uses for these historic facilities. In addition to becoming hugely popular attractions in their own right, anecdotal evidence also suggests that these redevelopments can provide a significant catalyst for wider growth of local daytime and evening economies.



Figure 4: 'Teaching schoolboys to swim', Kensington, London - 1901.

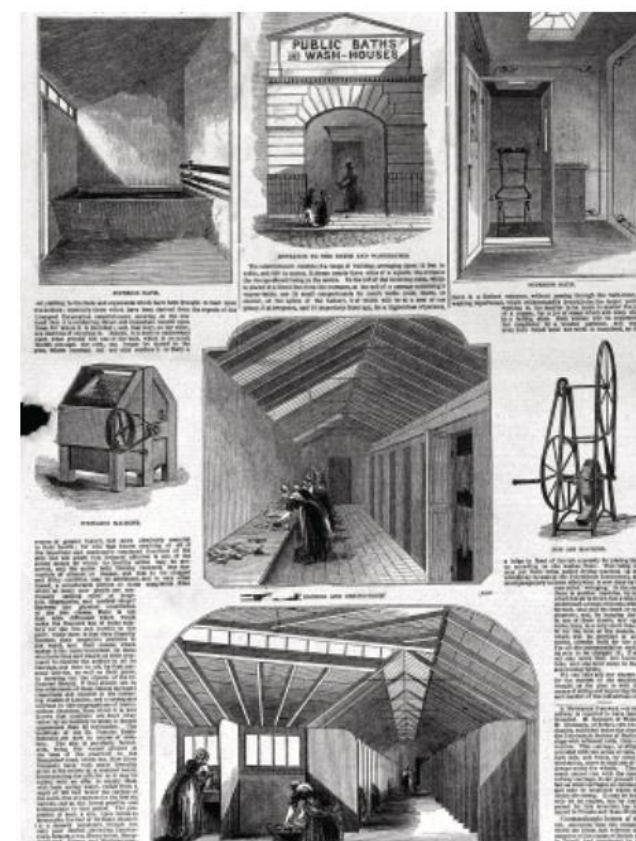


Figure 5: Details of St. Pancras Baths and wash houses, gazetteer references, 1846. Source: <https://wellcomecollection.org/works/qbdhqt3k>



Figure 6: Upper Frederick Street Wash House, Liverpool, 1914
Source: <https://thereaderwiki.com/en/Bathing>

¹ James Street Baths, Statement of Significance, BB Heritage Studio (2021).



Figure 7: West elevation visible and foundations of the new Carlisle public baths, c.1974.
Source: Cumbria Image Bank. ref: ct09040



Figure 8: Foundations of the new Carlisle public baths, c.1974.
Source: Cumbria Image Bank. ref: ct08301



Figure 9: The Turkish Health Suite at James Street Baths, 1928. Official photograph for pageant. Source: Cumbria Image Bank. ref: ct15534



Figure 10: James Street Baths, c.1974. Foundations of new baths in foreground.
Cumbria Image Bank. ref: ct08095



Figure 11: Corner of James Street / Wood Street c.1957, prior to construction of 1974 Pools building. Cumbria Image Bank. ref: ct48097



Figure 12: James Street Baths swimming pool, undated, Cumbria Image Bank. ref: ct40660

2.2 Physical Context - Setting

The set of Edwardian Turkish Baths constructed in 1909 are designated as a Grade II listed historic building. However, objects, structures and buildings affixed to a listed building or within its curtilage are often also protected by listing. This gives protection and due consideration to the 1848 Swimming Pools adjacent to the Turkish Baths. As in general, any pre-1948 structure that formed part of the land and was in the curtilage of the principal listed building at the date of listing and is ancillary to the principal building is considered to be part of the listing.

(A) James Street Baths Phase 1

The building, built in phases from 1884 onwards, was designed to accommodate publicly funded swimming facilities. The Turkish Health suite was added as a later addition in 1901. The site of the baths remained principally unchanged through to the 1960's. The building was then redeveloped in the 1970's as part of a regeneration process which would reservice the building and provide a large gala sized pool and fitness suite (gym) on the adjacent site.

(B) Turkish Health Suite Phase 2

The Turkish Baths, featuring floor to ceiling fine tiling, glazed faience work tiles and double-height vaults is a rare example of the British Turkish Baths typology and is praised for its completeness. This building is an increasingly rare example of a once common building form, of which only around 20 remain in England; it compares very favourably with the eight existing listed Turkish Baths.

(C) Circulation Phase 3

A final addition to the complex was constructed in phase 3, including an additional staircase with glazed roof vent light.

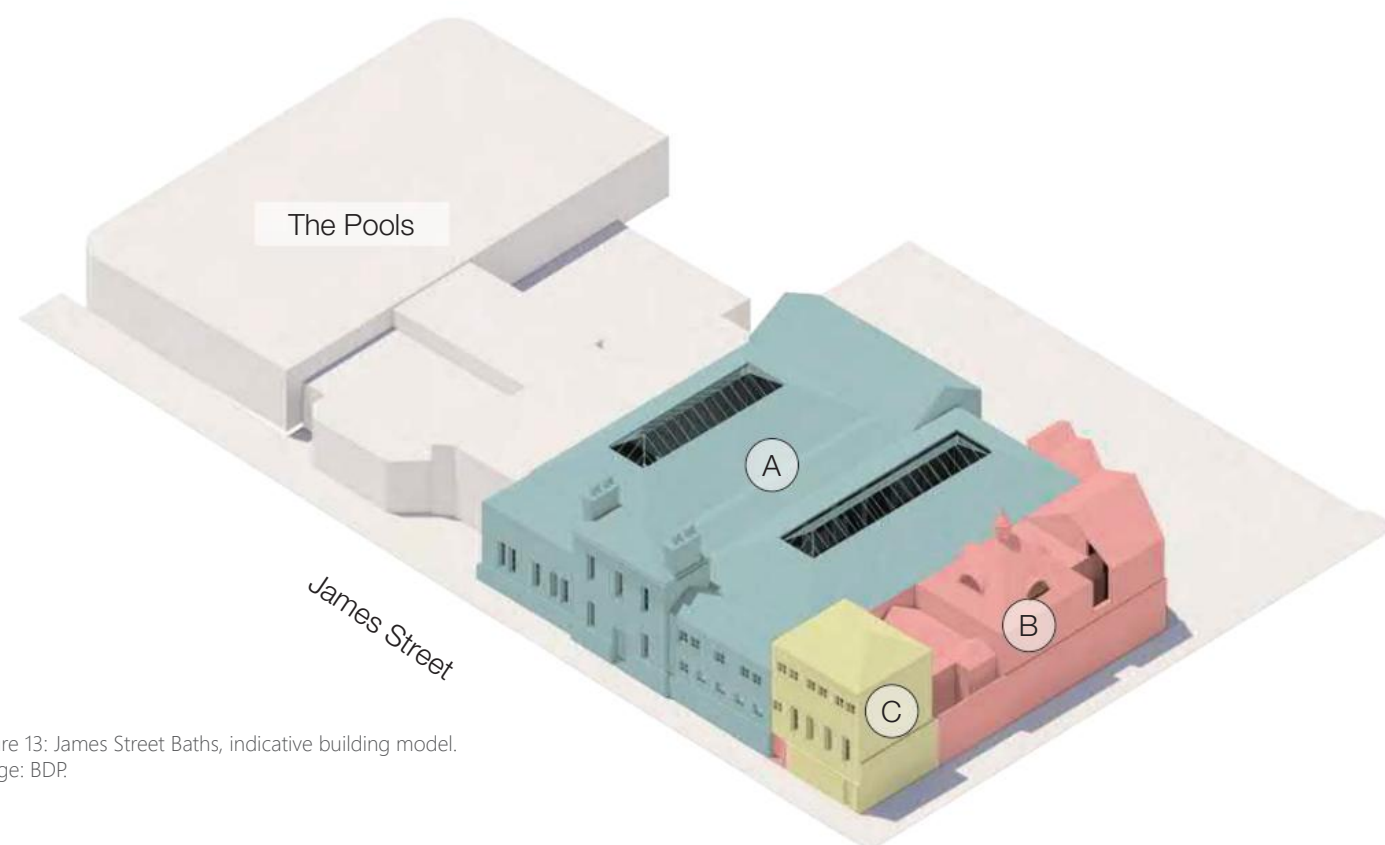


Figure 13: James Street Baths, indicative building model.
Image: BDP.



Figure 14: James Street Baths, photographed from James Street, 2021.
Image: BDP.



Figure 15: Turkish Baths Health Suite, inside James Street Baths, 2021.
Image: BDP.

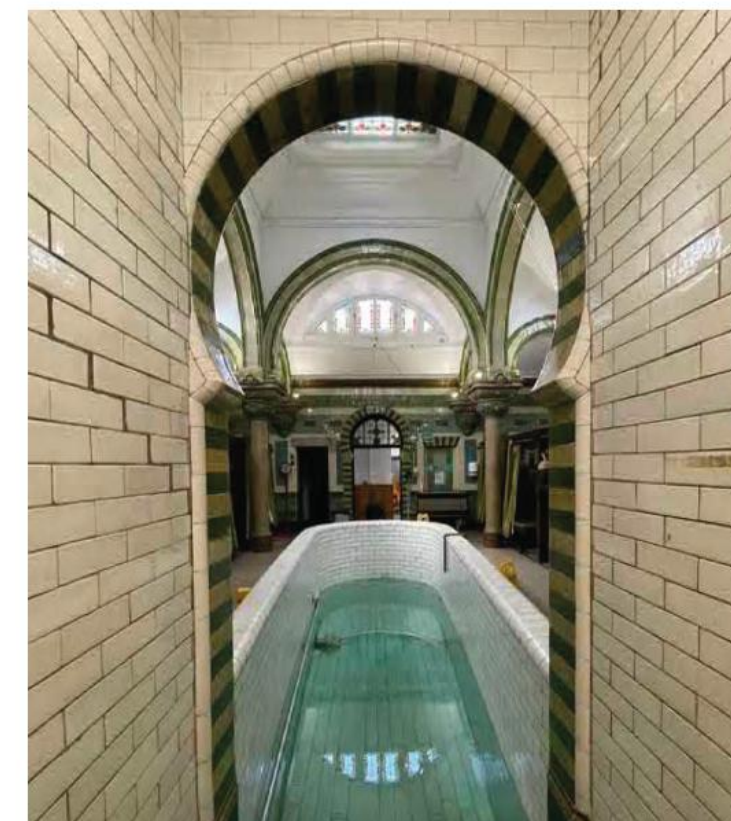


Figure 16: Turkish Baths Health Suite, plunge pool, 2021.
Image: BDP.

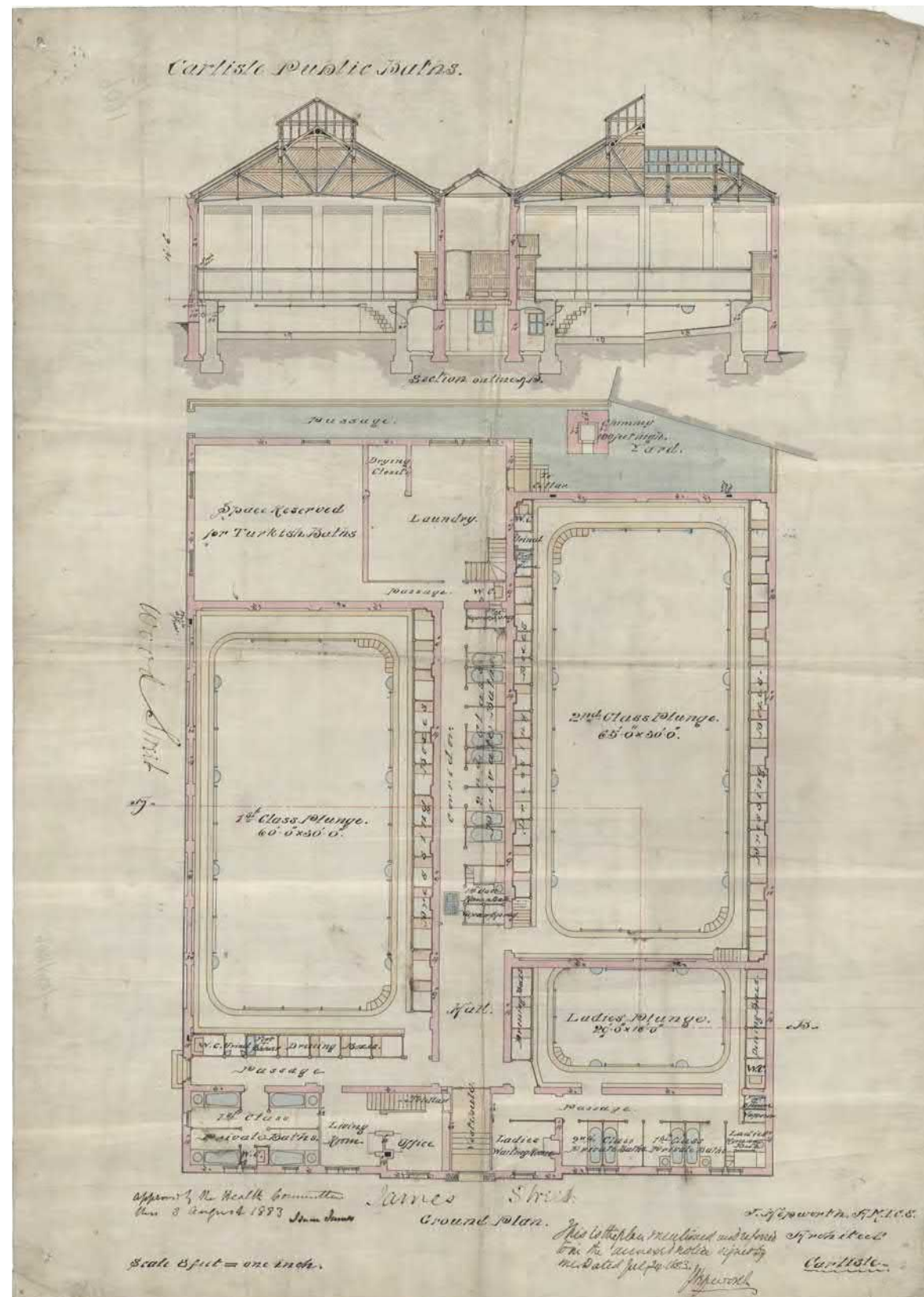


Figure 17: James Street Baths, architects plan (Pre-Turkish Health Suite addition), 1883.
Carlisle Archive Centre

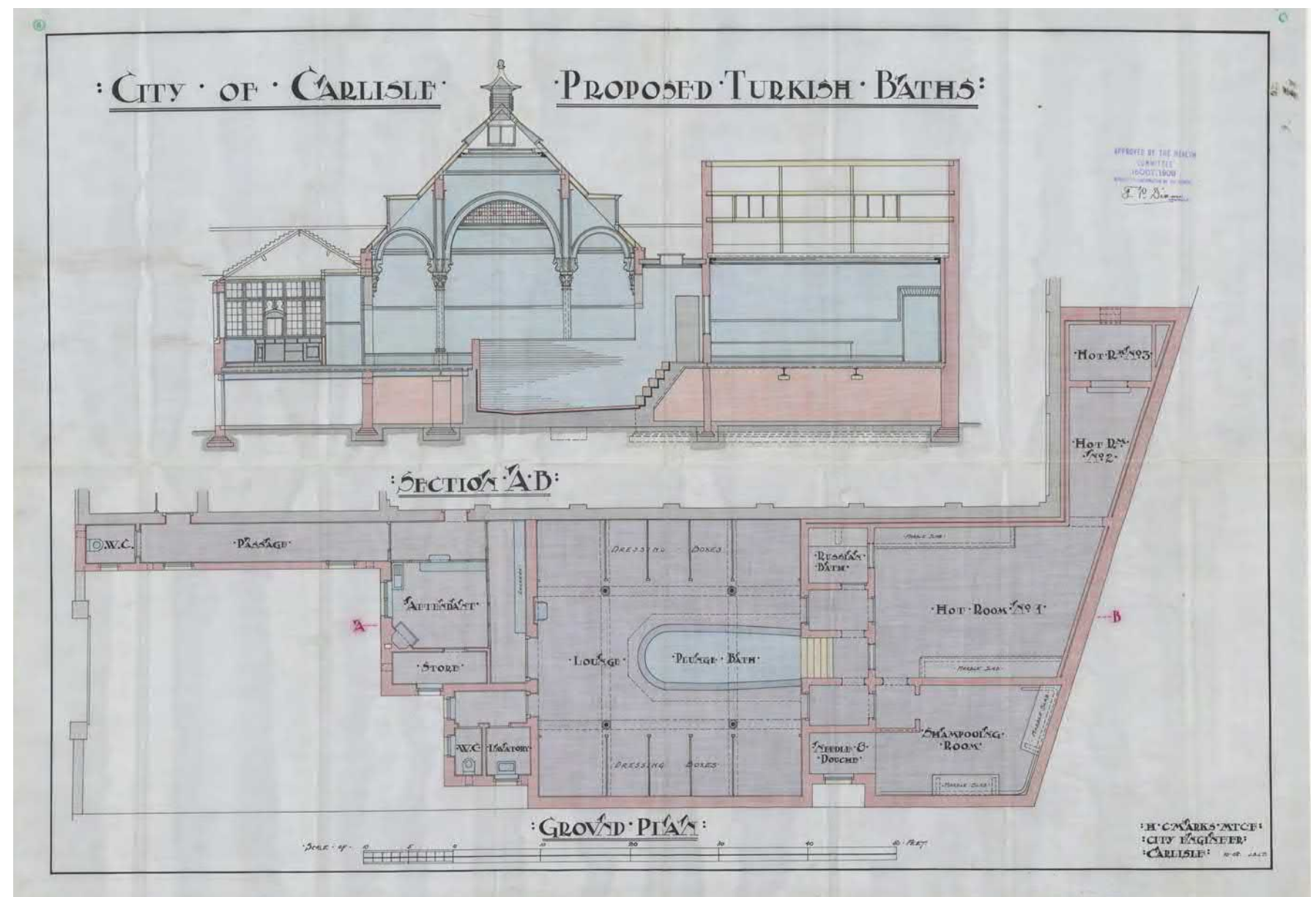


Figure 18: Turkish Health Suite, architects drawing, 1908.
Carlisle Archive Centre

2.3 Physical Context - Exterior

The most prominent south elevation consists of a later two-storey block with a hipped roof of slate incorporating the original access corridor (to the Turkish Baths) which is now entered through a plain entrance with a modern door from James Street.

To the east (viewed from existing Matalan carpark) the Turkish Health Suite can be seen as a double height, single-bay square building with a pyramidal roof containing four

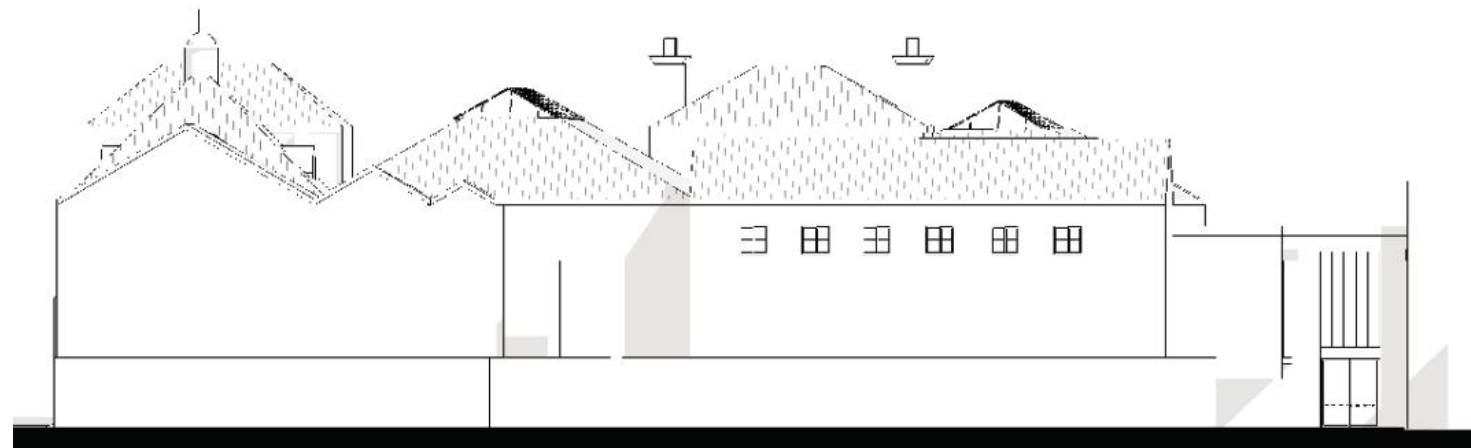
large thermal windows with mullioned frames and four rectangular roof lights; a decorative lantern surmounts the apex of the roof.

A small two-storey toilet block with a hipped roof projects to the left with the attendant's room, also hipped, to the rear. To the right are separate but linked plain L-shaped two-storey blocks with pitched roofs.

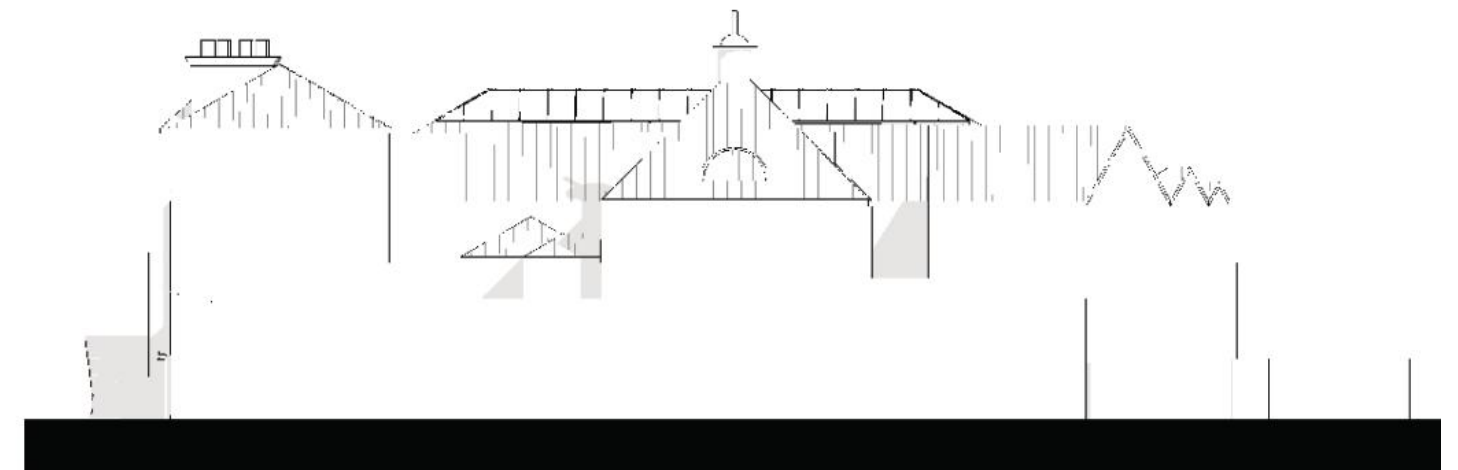


South Elevation

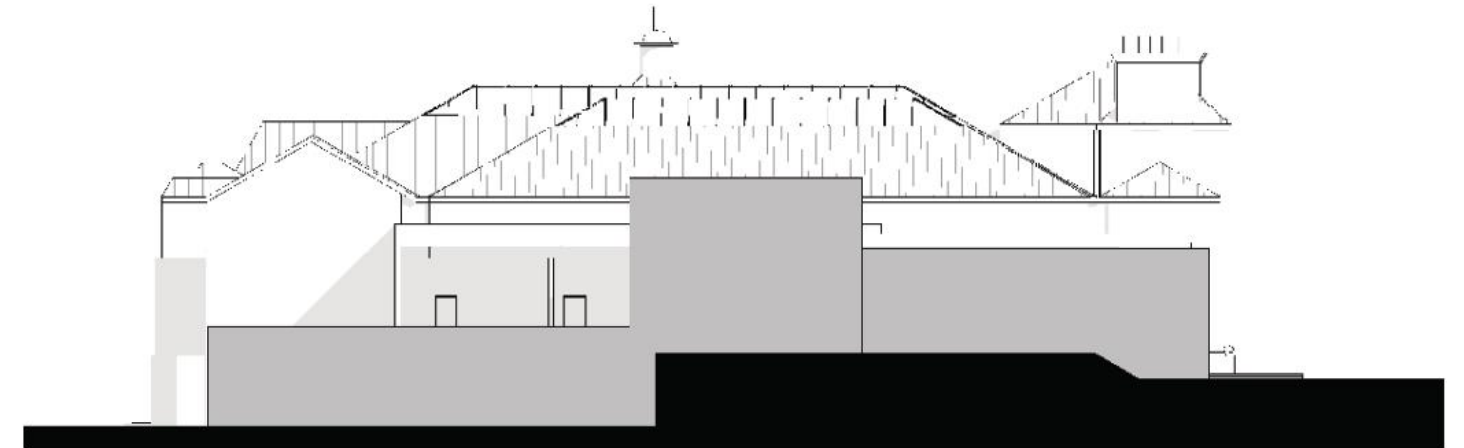
Turkish Health Suite existing entrance.



North Elevation



East Elevation



West Elevation

2.3.1 Designation Record

TURKISH SUITE, THE POOLS

| | |
|--------------------|---|
| Heritage Category: | Listed Building |
| Grade: | II |
| List Entry Number: | 1393755 |
| Date first listed: | 19-Feb-2010 |
| Statutory Address: | Turkish Suite, The Pools, James Street |

This set of Edwardian Turkish Baths constructed in 1909 have been designated for the following principal reasons:

- Decorative Scheme: the original internal decorative tiling and glazed faience work by the respected company Minton and Hollins of Stoke, notably in the cool room, is of good quality and complete.
- Intactness: alterations are few and the original plan of he baths remains intact which renders the Turkish Bathing process highly readable
- Rarity: this building is an increasingly rare example of a once common building form, of which only around 20 remain in England; it compares very favourably with the eight existing listed Turkish Baths.

Turkish Baths, 1909, by the County Surveyor WC Marks; built by William Johnstone of Carlisle with an interior tiled decorative scheme by Minton and Hollins of Stoke. All other work was carried out by local firms. Other parts of the James Street Baths are not of special interest.

- Materials: Red brick with roofs of slate; interior has glazed tiles and faience decorative scheme with terrazzo flooring and marble bench tops.
- Plan: a series of interlinked rooms with basements attached to the south-east side of a pre-existing public swimming baths. The west part is a single storey entrance block providing an access corridor and attendant’s room with former waiting areas. This gives access to the main block forming a double height cooling room leading to a single storey block housing access to the plunge bath flanked by the shower

room and Russian vapour bath. The shampooing room is housed in a two-storey block beyond which gives access to similar blocks containing the three warm rooms.

- Exterior: west elevation (the only side of the building originally visible from the exterior): now obscured by a later two-storey block with a hipped roof of slate incorporating the original access corridor which is now entered through a plain entrance with a modern door from James Street. South Elevation: a double height, single-bay square building with a pyramidal roof containing four large thermal windows with mullioned frames and four rectangular roof lights; a decorative lantern surmounts the apex of the roof. A small two-storey toilet block with a hipped roof projects to the left with the attendant’s room, also hipped,to the rear. To the right are separate but linked plain L-shaped two-storey blocks with pitched roofs.
- Interior: the entrance block comprises an access corridor with original doors, glazed fan and margin lights, and the attendant’s room (now incorporating a former corridor with provision for waiting and lockers), with a corner fire breast, original store cupboard and plain cornicing. A horse-shoe arched entrance in the north east corner has a moulded architrave and an upper fan light of decorative stained glass which leads to the main cooling room. This is the centrepiece of the scheme and is complete with its original stepped plunge bath entered through a horse-shoe arched opening, flanked by rectangular doors, all of which have surrounds of alternating green and yellow tile. The plunge bath is of concrete construction faced with white glazed bricks. Flanking the north and south walls there are sets of five double and single changing rooms separated by polished wooden screens with art nouveau stained glass panels in their upper parts. Extensive use is made of fine tiling and glazed faience work with shades of pale green, pale blue and buff glazes; also incorporated at intervals are paired tiles of art nouveau design. The flooring throughout is of Terrazzo paving. This scheme, combined with the incorporation of horse-shoe arches carried on decorative columns with ornamental capitals, creates a strong Oriental atmosphere.

- History: The first Turkish baths to have been built in the British Isles was in 1857 in Blarney, County Cork and the first in England was in London was in 1860. Subsequently many hundreds were constructed, often as part of publicly funded swimming facilities although only around 20 examples remain in England today.
- Plans for the provision of Turkish baths in Carlisle occurred as early as 1884 when the existing public swimming baths were opened. The idea was resurrected in 1901 and agreed in 1902 although it was a further six years before plans were finally approved. The Turkish baths opened on the 20 September 1909 in a purpose built extension to the existing public baths building at a cost of £2500. The internal tiling and glazed faience work by Minton and Hollins Co. of Stoke, one of the leaders in the field of tile manufacture. The opening of the suite was celebrated in the local newspapers, which describes in detail a public inspection, although there was no formal opening. Entry cost between 1 and 2 shillings depending on the time and day of the week and bathing was expected to take c. 1.5 hours. The Turkish baths remain open and in use to the present time (2009).

Designation record source: <https://historicengland.org.uk/listing/the-list/list-entry/1393755>

2.3.2 Heritage Assets

James Street Baths sits within the southern boundary of the Carlisle City Centre Conservation Area and within close proximity to the River Caldew.

Conservation Areas are areas that have been designated as being of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid in the exercise of planning functions to the desirability of preserving or enhancing the character or appearance of a conservation area.

The Council has a duty to ensure that any development preserves or enhances the special character or appearance that has been identified in the designated area.

Therefore the setting of the James Street Baths is particularly important in its relationship to the Railway Station and the Public Baths. The Station Gateway scheme proposes a new public square directly to the rear of the Baths, which will enhancing the setting of the listed assets whilst improving the overall context.

Future projects and interventions proposed by this report, and any subsequent design development, should be considered in the context of the City Centre Conservation Area, and any relevant Conservation Area Management Plans that are in force.

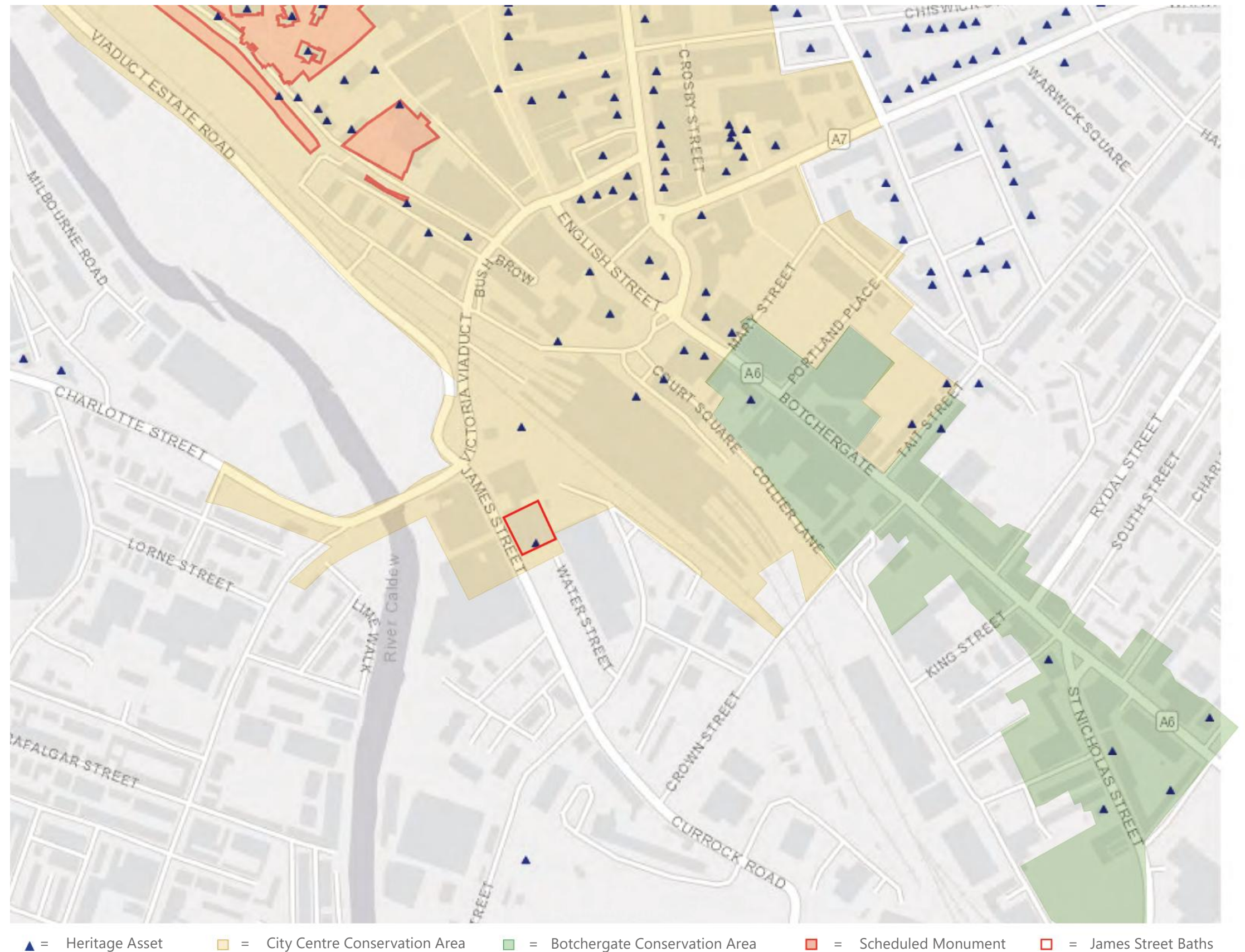


Figure 20: Heritage assets and conservation areas, Historic England.
Source: <https://historicengland.org.uk/listing/the-list/map-search?clearresults=true#?search>



Figure 21: The Citadel Railway Station and factories on James Street, Carlisle, 1928.
 Britain From Above, Historic England. ref: EPW025039. James Street Baths highlighted in red.



Figure 22: The Citadel Railway Station and factories on James Street, Carlisle, 1928.
 Britain From Above, Historic England. ref: EPW025040. James Street Baths highlighted in red.

2.4 Building Layout - As existing

2.4.1 Spatial Qualities of the Site

There are limited remaining Victorian interiors of the James Street Baths, however the adjacent tiled room within the Turkish Health Suite are spaces of special historic significance within the original building.

Key interior features of the Turkish Health Suite include decorative glazed wall and column tiling, timber parquet and terrazzo flooring, decorative coffered plaster ceilings and cornices, original arched windows and timber doors, and a large plunge pool within the original building at Ground Floor level. These elements are amongst those identified in the building's Grade II listing.

Key areas:

1. Entrance lobby/ corridor. Step access stairs immediately upon entrance;
2. Swimming Pool changing area;
3. Toilets & showers;
4. Second class pool (childrens pool)
5. First class pool (large pool)
6. Cold water plunge pool;
7. Turkish Health Suite changing booths;
8. Changing booths;
9. Storage;
10. Wash room;
11. Sauna and hot rooms;
12. Storage and office space.

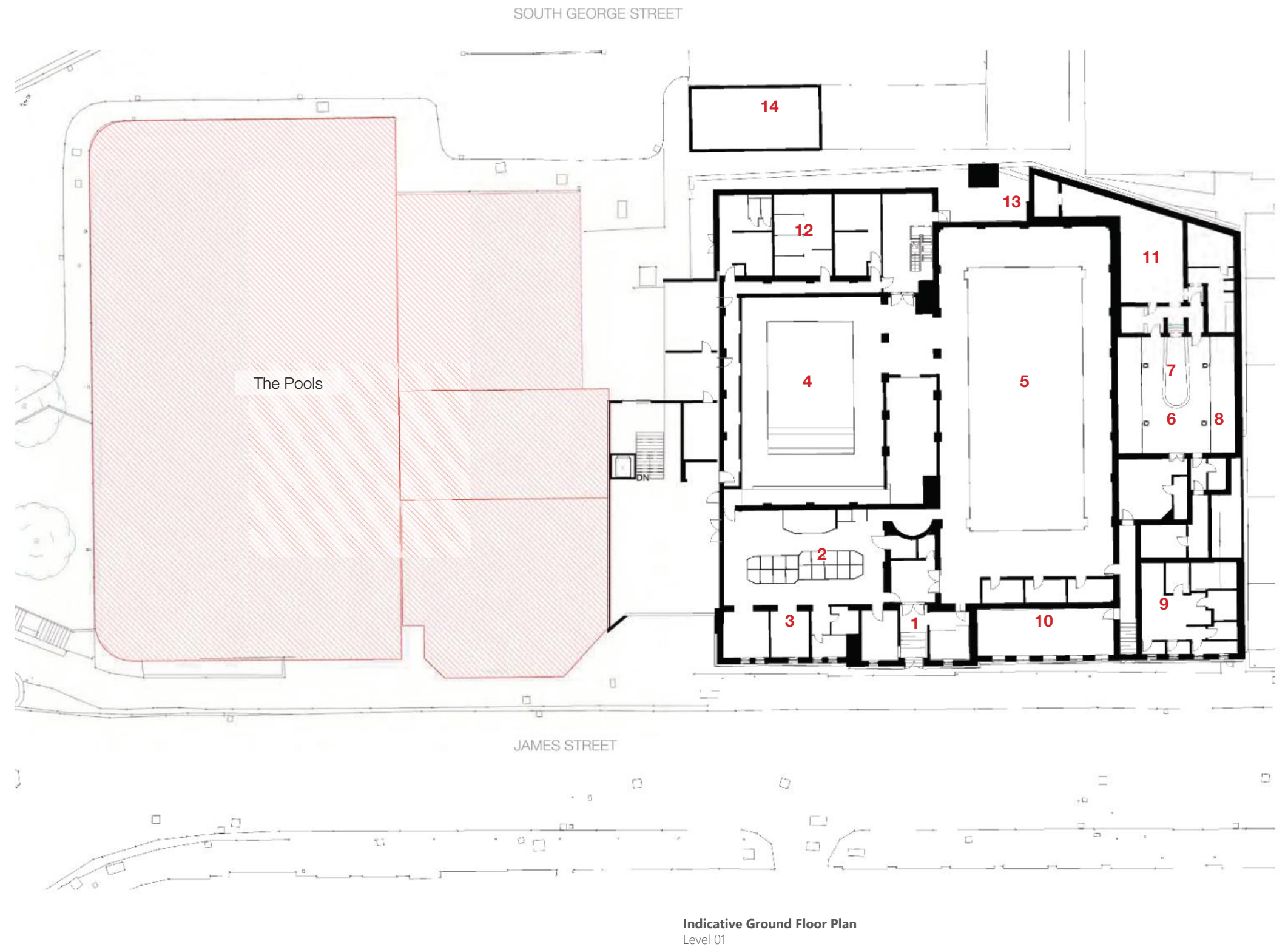
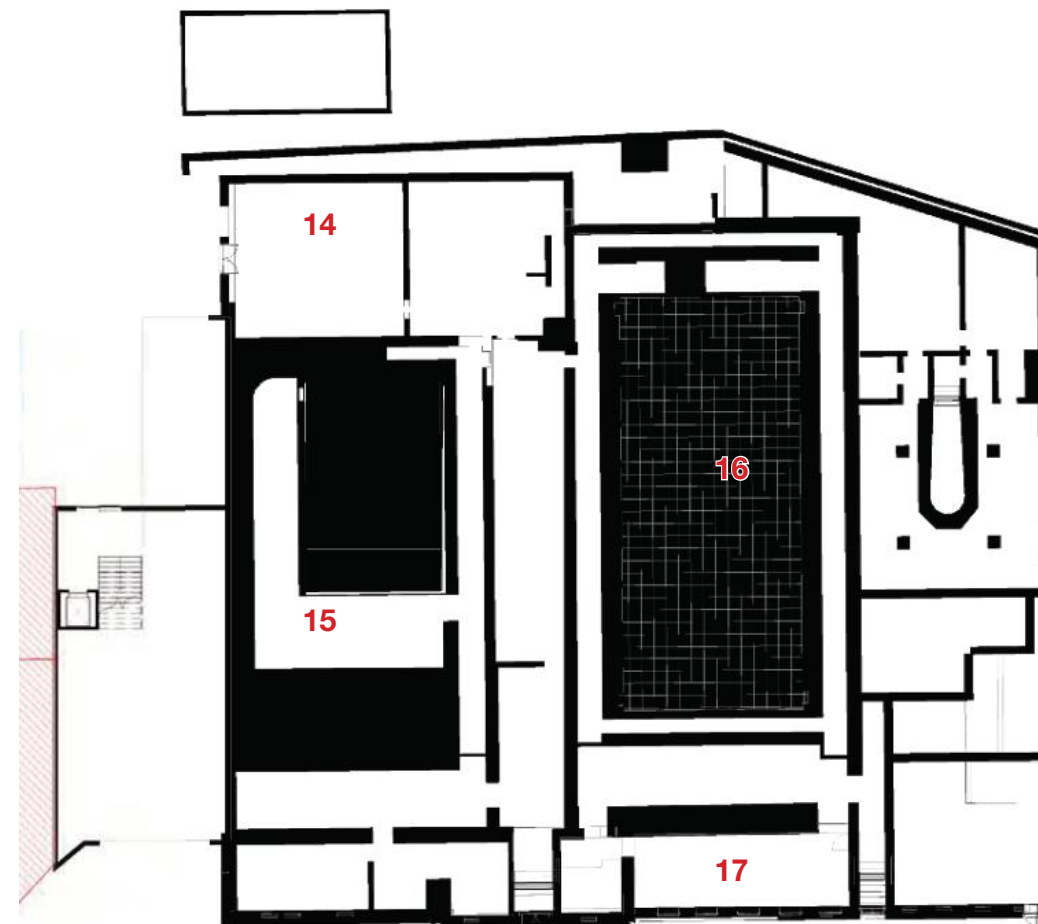


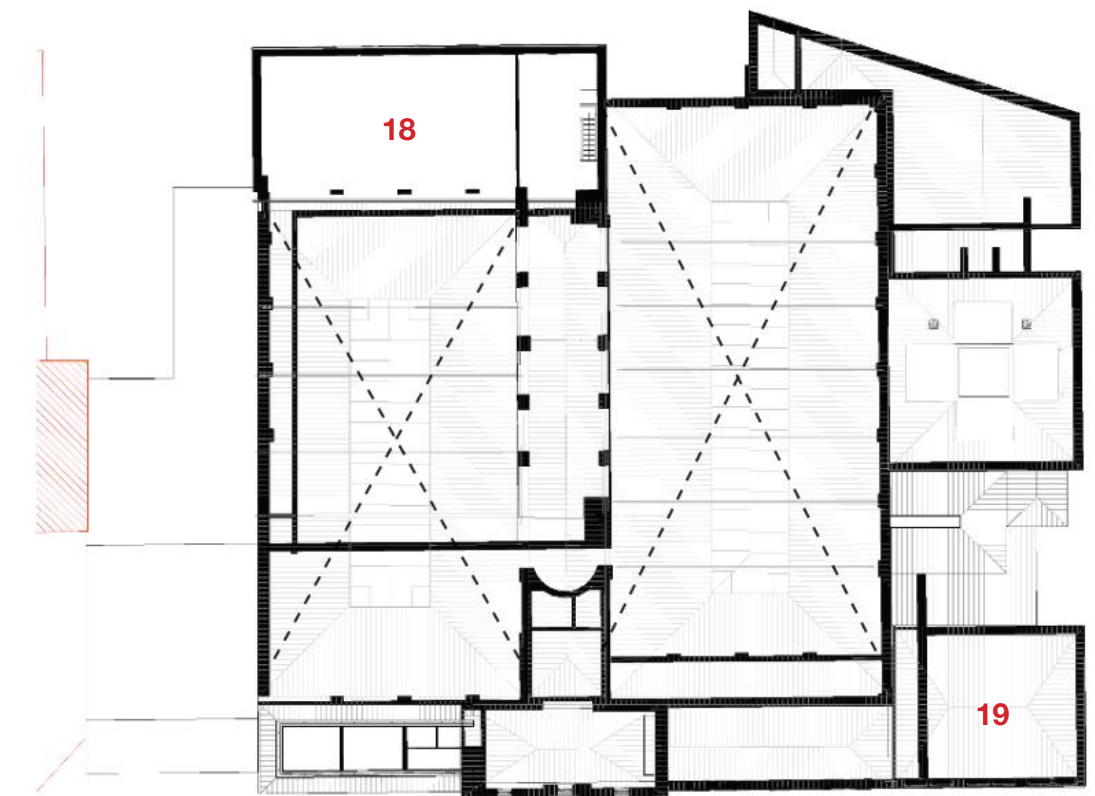
Figure 23: The James Street Baths & Turkish Health Suite are part of the 1841 phase of development

2.4.2 Key Interior Features

- Original internal decorative tiling and glazed faience work; the fine Victorian interiors of the Turkish Health Suite and adjacent tiled rooms are spaces of special historic significance within the James Street Baths building;
- Extensive use is made of fine tiling and glazed faience work with shades of pale green, pale blue and buff glazes; also incorporated at intervals are paired tiles of art nouveau design;
- The Turkish Baths Suite, combined with the incorporation of horse-shoe arches carried on decorative columns with ornamental capitals, creates a strong Oriental atmosphere;
- The flooring throughout is of Terrazzo paving.
- Within the Suite, flanking the north and south walls, there are sets of five double and single changing rooms separated by polished wooden screens with art nouveau stained glass panels in their upper parts.



Indicative Basement Plan
Level -1



Indicative First Floor Plan
Level 01

Key upper and lower level areas:

14. Storage and plant space;
15. Small pool lower access;
16. Large pool tank;
17. Wash room/ Laundrette;
18. Offices;
19. Studio / storage.

Image 1

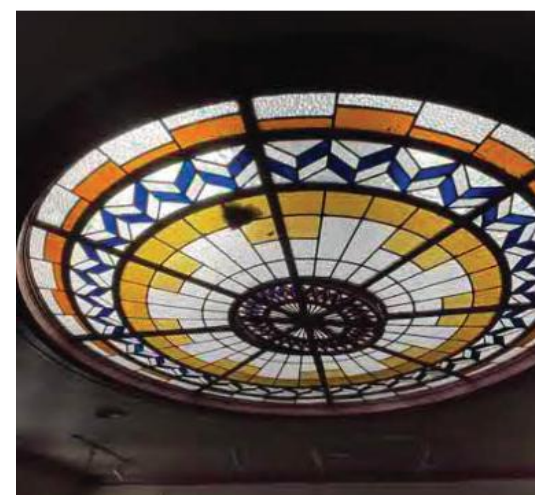


Image 2

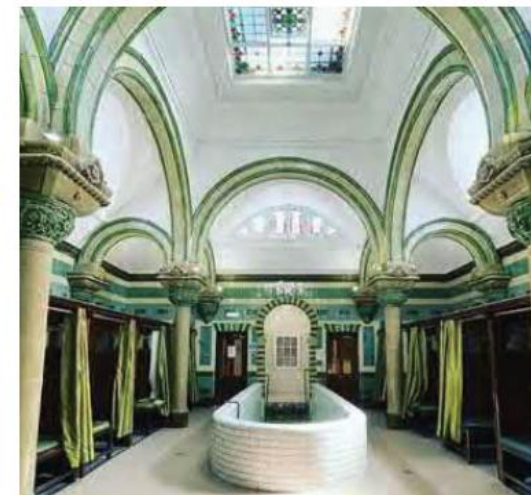


Image 3



Image 4



2.4.3 Key Areas

The information from the Historic England building listing description (Grade II) describes the key elements and features of the site, along with the extents of the demise.

This includes and specifically identifies The Turkish Health Suite Room space, the most spectacular interior space preserved within the original building. This spatial layout and the original internal decorative tiling, and glazed faience work by the respected company Minton and Hollins of Stoke, notably within the cool room, is of good quality and complete.

It is this intactness (alterations are few) and the original plan of the baths that remains intact which renders the Turkish Bathing process highly readable. The Baths are a vast double-height space embellished with highly decorated glazed tile walls and pillars which are retained and to a good standard.

Key areas and features of the baths include are identified on the following diagrams.

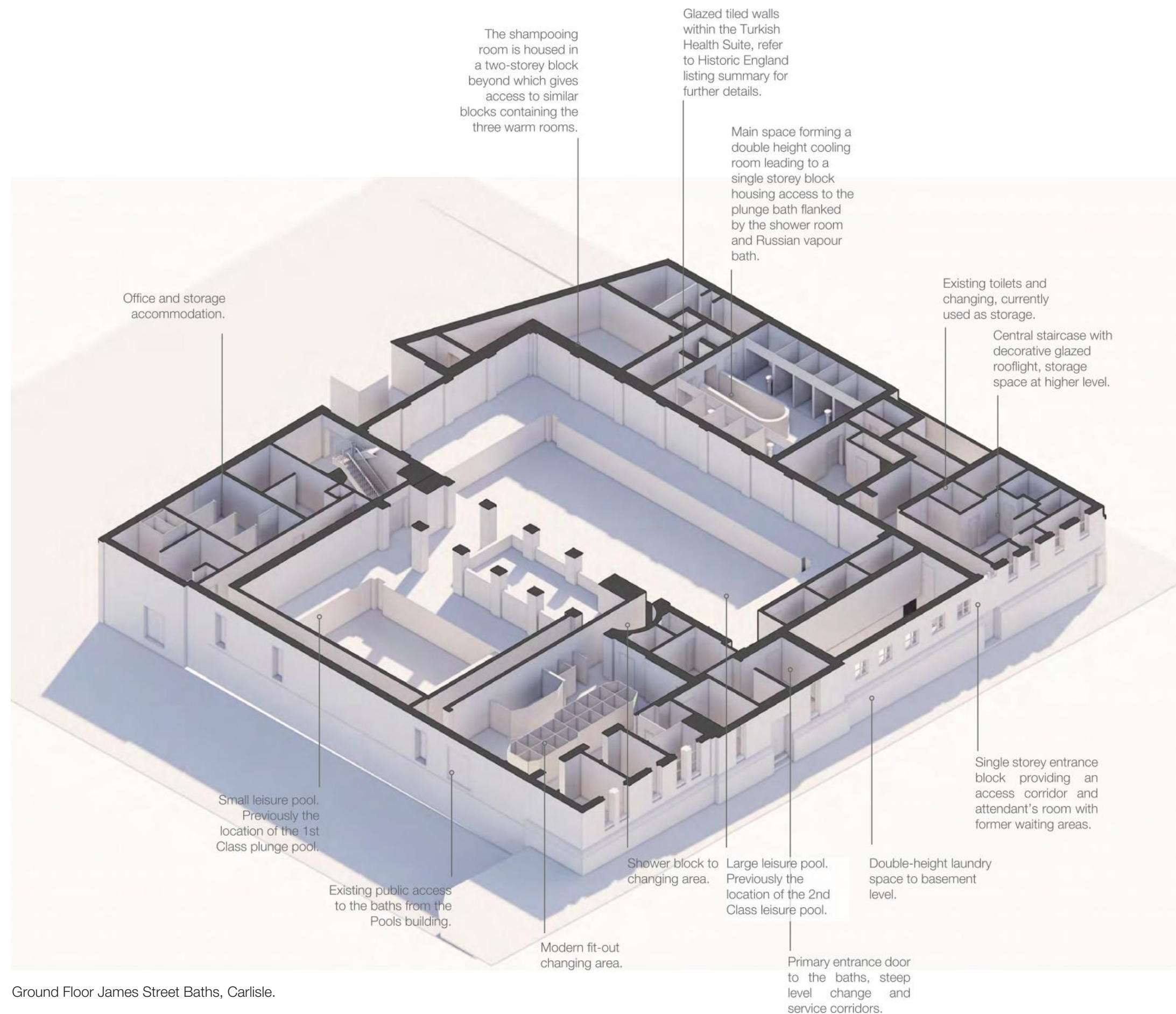
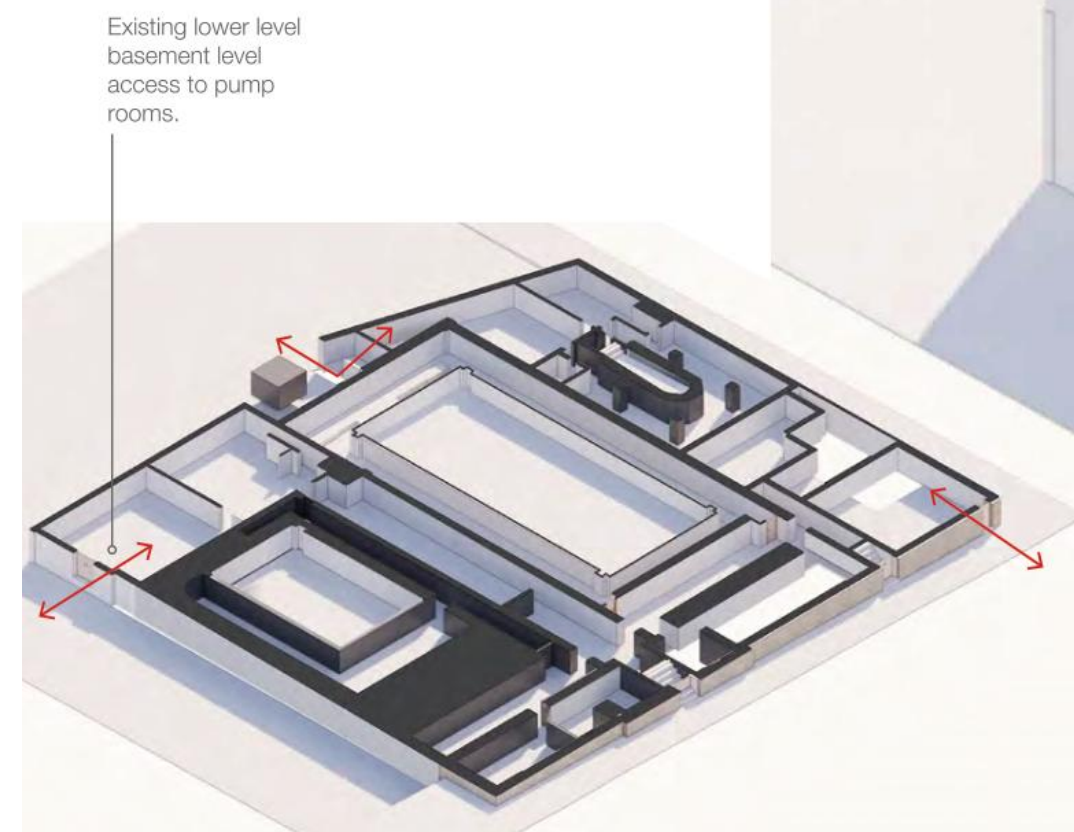


Figure 25: The James Street Baths indicative 3D model.

The existing building benefits from an expansive basement level, housing mainly the tanks for the two large pools. Areas are also used as level access from the lower level St George Street road, into the tank storage areas.

At first floor level the Baths has limited existing accommodation. With small areas of office space, the majority of the upper level is currently used as storage.



Basement Level James Street Baths, Carlisle.

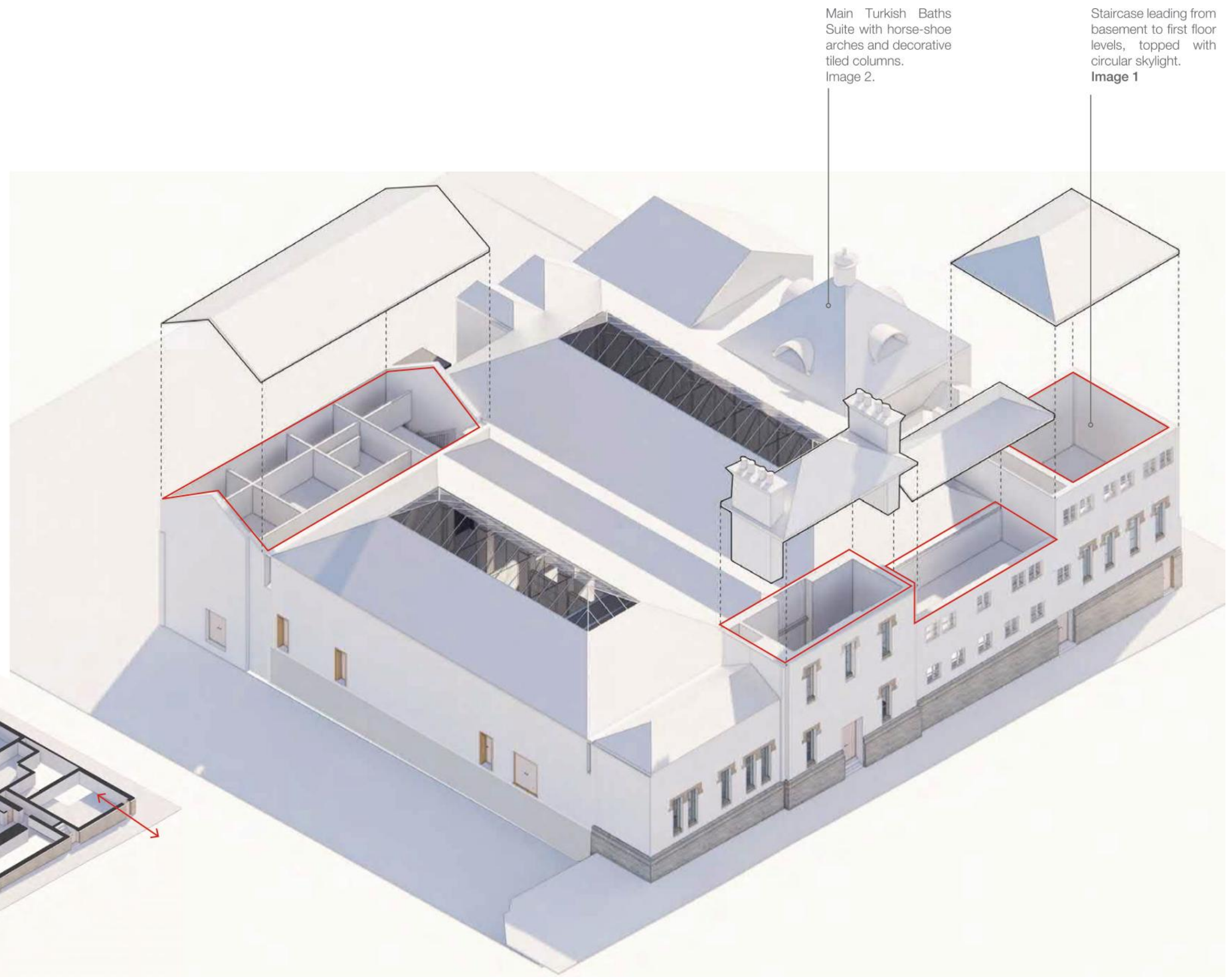


Figure 27: The James Street Baths indicative 3D model.

First Floor James Street Baths, Carlisle.

Figure 26: The James Street Baths indicative 3D model, basement.

2.4.4 Building Features

Image 5



Entrance corridor to Turkish Baths suite.

Image 6



Existing decorative changing room dividing screens and associated wall hung fixtures.

Image 7



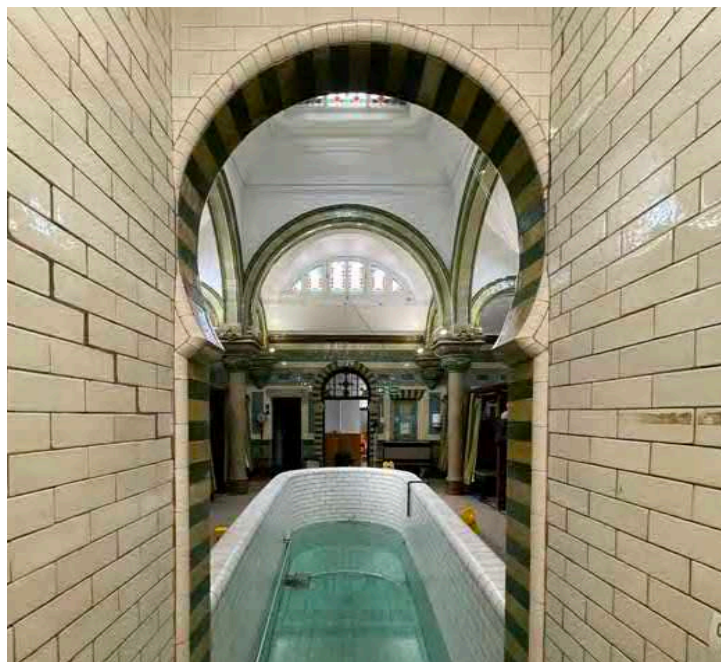
Decorative glazed wall tiling, corbels and arch features.

Image 8



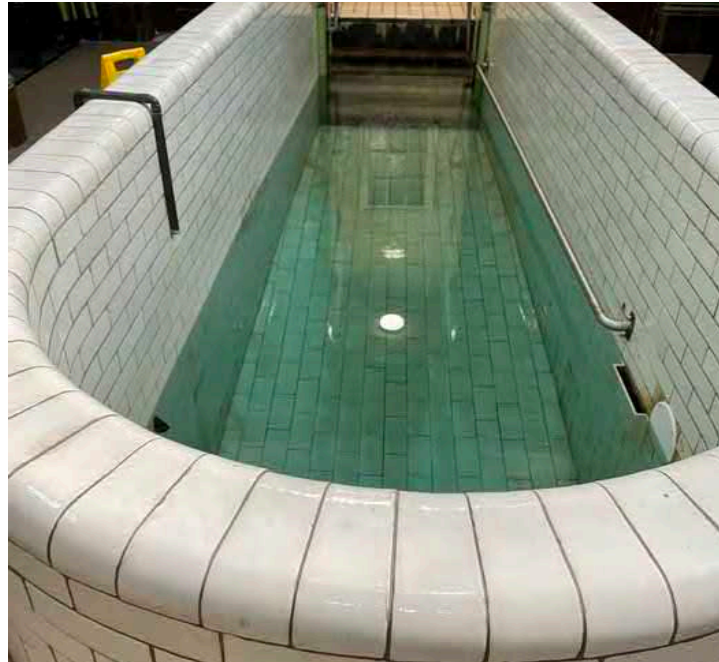
Decorative glazed wall tiling and arch features - looking towards the low-quality finishes of the entrance area and locker room.

Image 9



Decorative glazed wall tiling, corbels and arch features looking out towards the plunge pool into the vaulted arch space.

Image 10



Existing glazed tile cold water plunge pool, Victorian Health suite.

Image 11



Decorative glazed tiling to column shaft, base and capital heads within the Turkish Baths.

Image 12



Existing changing booths with poor quality and degrading floor finishes.

Image 13



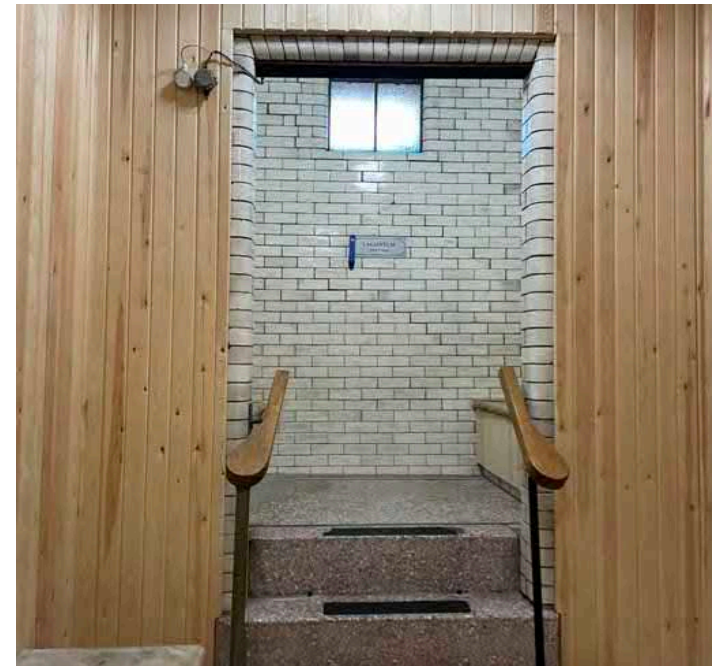
Areas of existing glazed tiling. Sauna/ hot room areas lined within poor quality and degrading timber.

Image 14



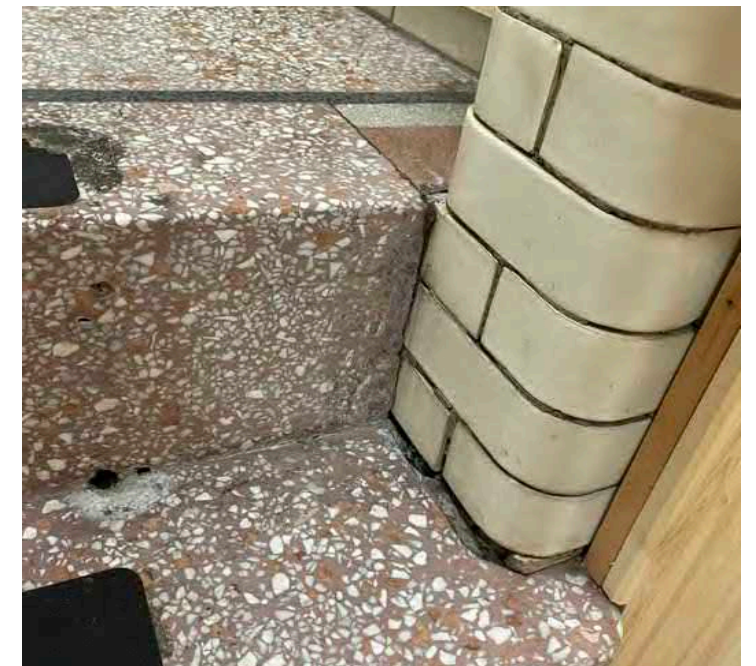
Marble topped sauna bench. Low quality and degrading wall linings and floor tiling.

Image 15



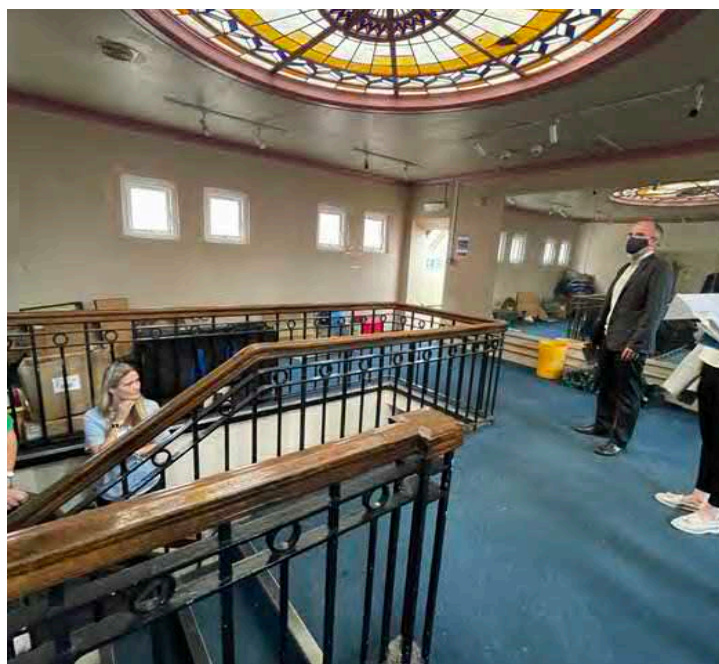
Areas of presumed original terrazzo flooring and glazed bricks, clad in poor quality timber coverings.

Image 16



Areas of presumed original terrazzo flooring.

Image 17



First floor storage areas.

Image 18



Sauna room, low quality fit-out materials, non original floor tiling.

Image 19



Sauna room, low quality fit-out materials showing signs of age and decay.

Image 20



In-laid metal ceiling hosting large light fittings not inkeeping with the building.

Image 21



Level changes at upper level.

Image 22



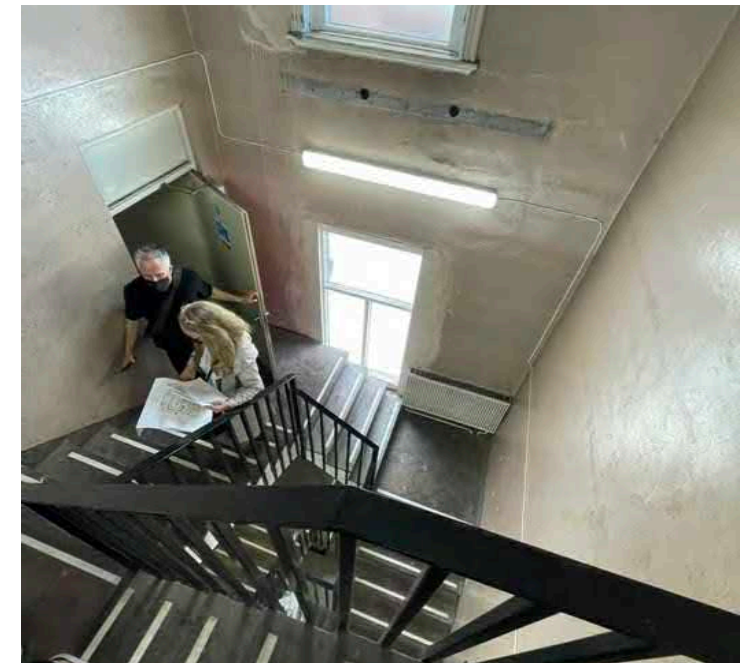
Areas of damp appearing at roof level in upper floors.

Image 23



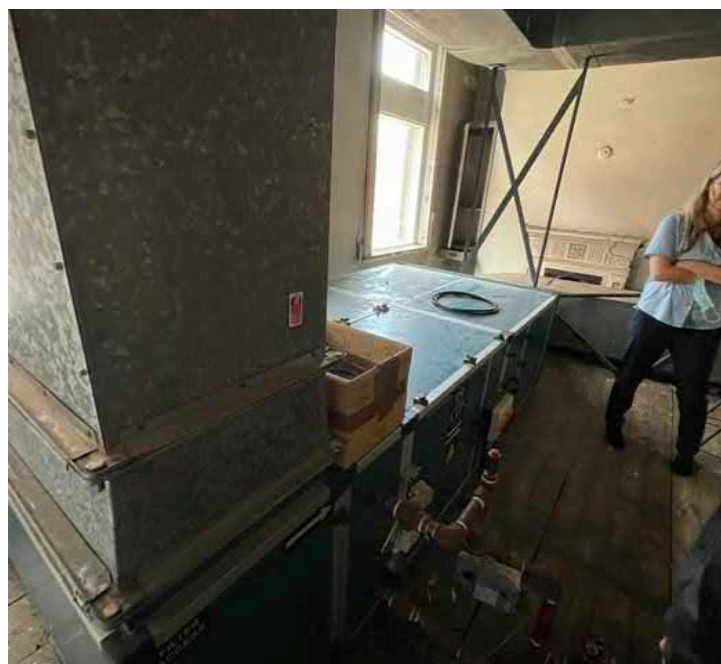
Masonry mouldings around the original entrance door. Noting building opening date of 1884 by the elected Mayor.

Image 24



Staircase above original entrance way.

Image 25



Swimming pool extract duct in upper floors.

Image 26



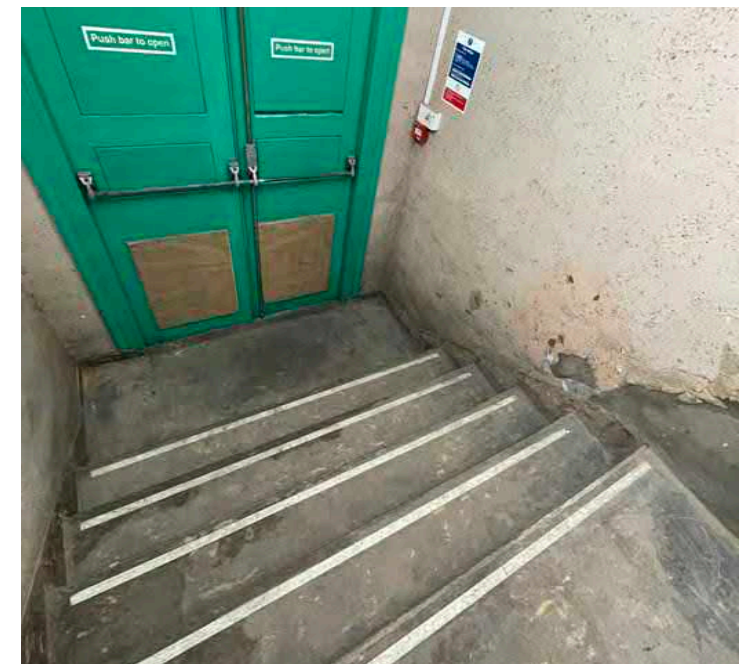
Duct work blocking original fireplace and hearth details.

Image 27



Poor quality roofscape additions, access hatches etc.

Image 28



Original entrance to the Baths, multiple steps on approach.

Image 29



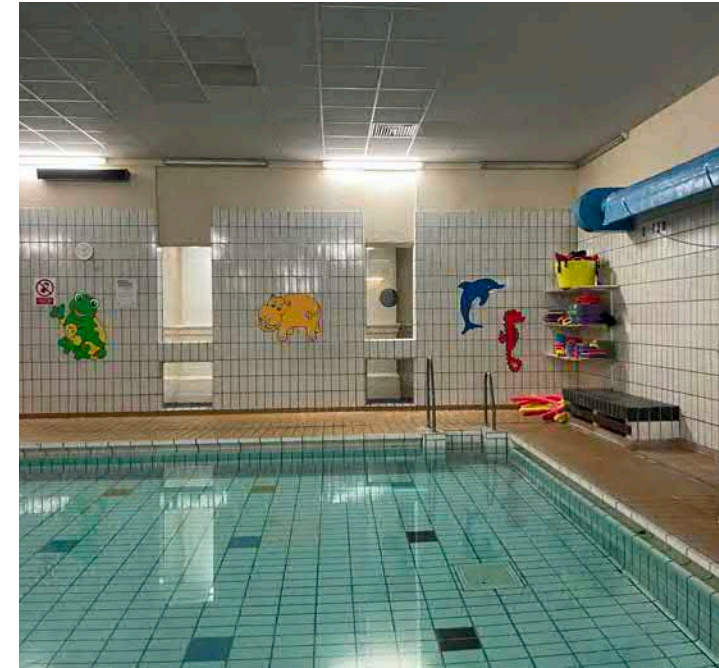
Large pool. Modern suspended ceiling, no evidence of visible historic finishes (ie. glazed brickwork, pool tiling).

Image 30



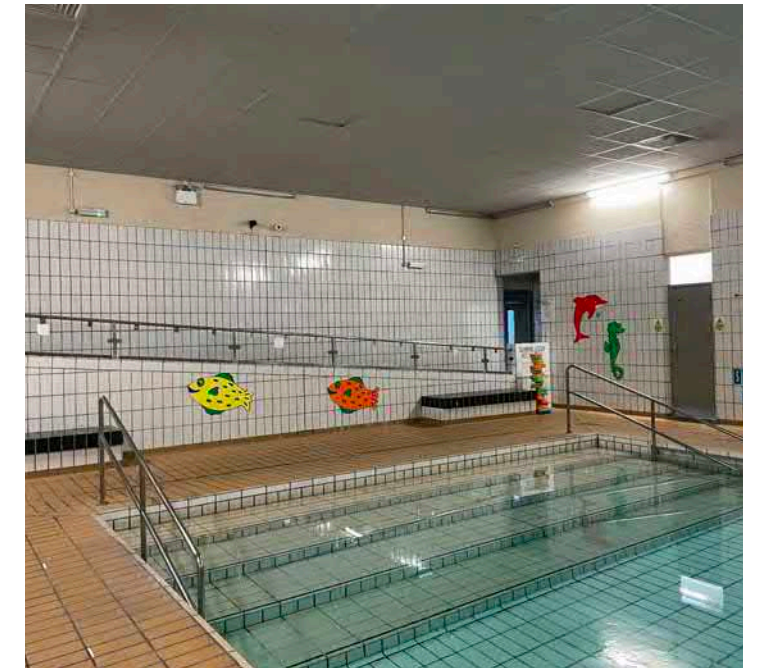
Large pool. Modern suspended ceiling, no evidence of visible historic finishes (ie. glazed brickwork, pool tiling).

Image 31



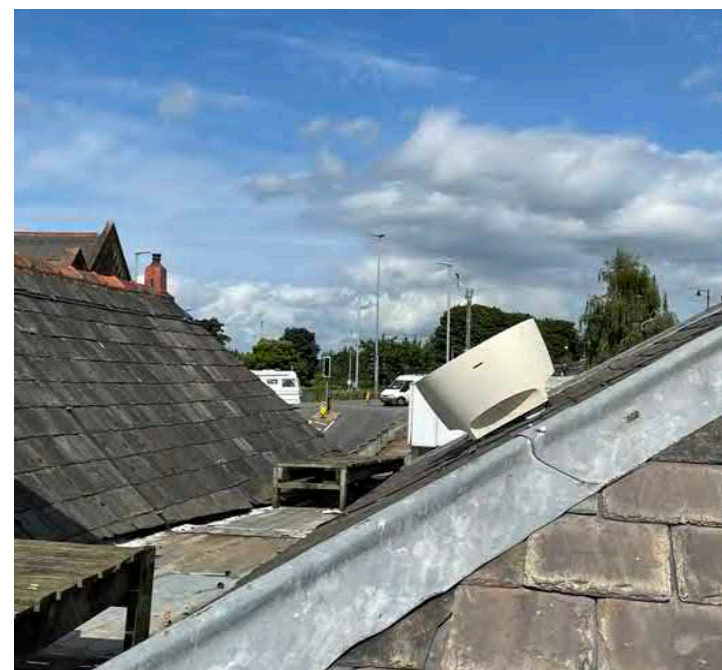
Small pool. Modern suspended ceiling and finishes, non-original access corridor shows signs of existing brickwork detailing.

Image 32



Small pool. Modern suspended ceiling and finishes, access ramping.

Image 33



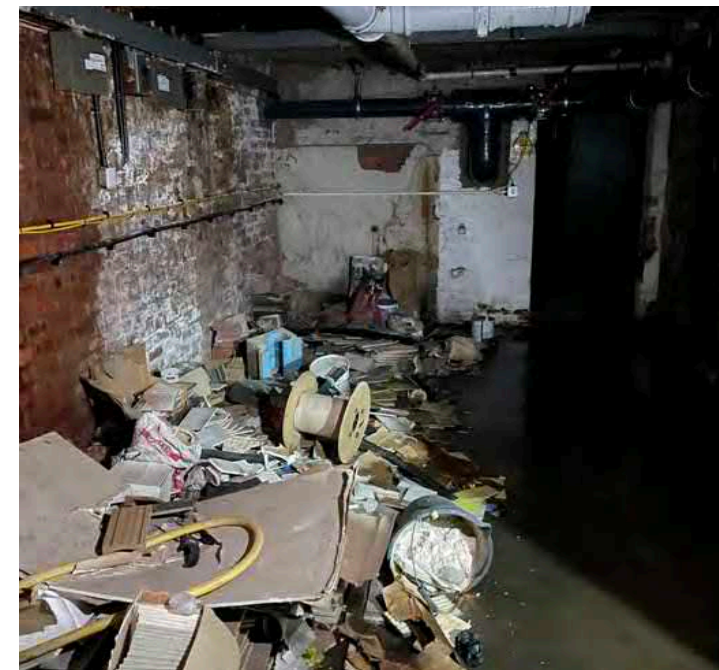
Poor quality roofscape additions, access gantries, security lighting.

Image 34



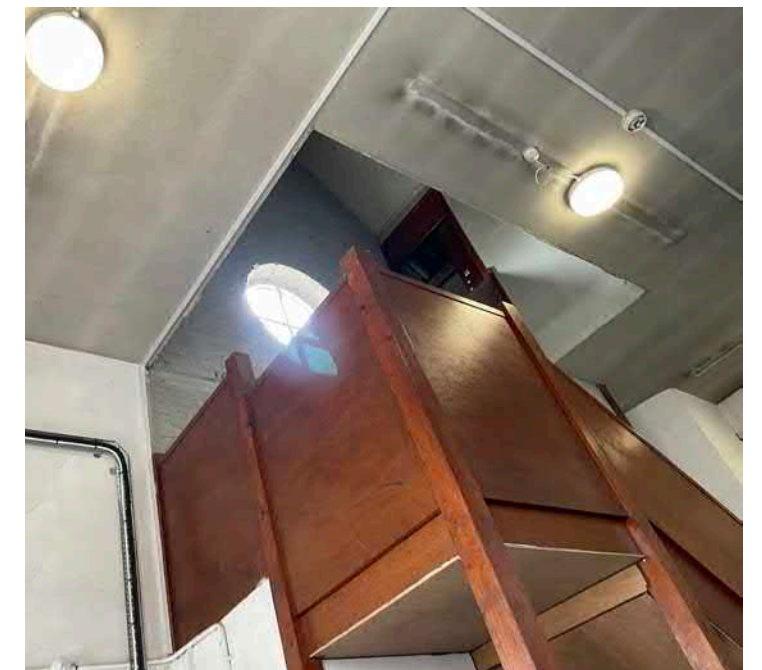
Double height wash room.

Image 35



Basement areas currently used as storage, significant leak present in the underground spaces.

Image 36



Timber clad access stair to roof / loft space from staff areas.

3.0 Precedent Studies

3.1 Newcastle City Baths, Newcastle

Newcastle City Baths are Grade II listed and are recognised as being of high architectural, historic and communal interest as one of the first post-World War I public buildings in the city. Following the closure of the City Baths in 2013, the facilities were listed as an asset of community value.

The redevelopment aimed to sustain the heritage values and significance of the building, to restore and reinstate the fine architectural spaces and features, and to remodel the facilities to deliver a viable, contemporary version of the original intention and purpose of the buildings as a sport and leisure venue.

Key elements of the completed works are the restoration of the central pool hall; the conversion of the west pool hall to create a high-quality community health and fitness facility (comprising a large gym and multiple group exercise studios); the restoration of the Turkish Baths (plus the creation of a health suite in the adjacent basement area); the creation of a new food and drink outlet within the reception area; and improved facilities and access for all into and throughout the building.

The completed work has successfully redeveloped the existing buildings whilst maintaining their original character, restored elements of the historic fabric, and undertaken sensitive additions to the internal fabric.

Aspects of this scheme which are of particular interest:

- The carefully curated palette of understated and simple heritage colours.
- Reinstatement of roof-lanterns.
- Sensitive reactivation of a listed building.
- Introduction of improved customer facilities, food and beverage offering and improved access for all.
- The controlled palette of self-finished materials.

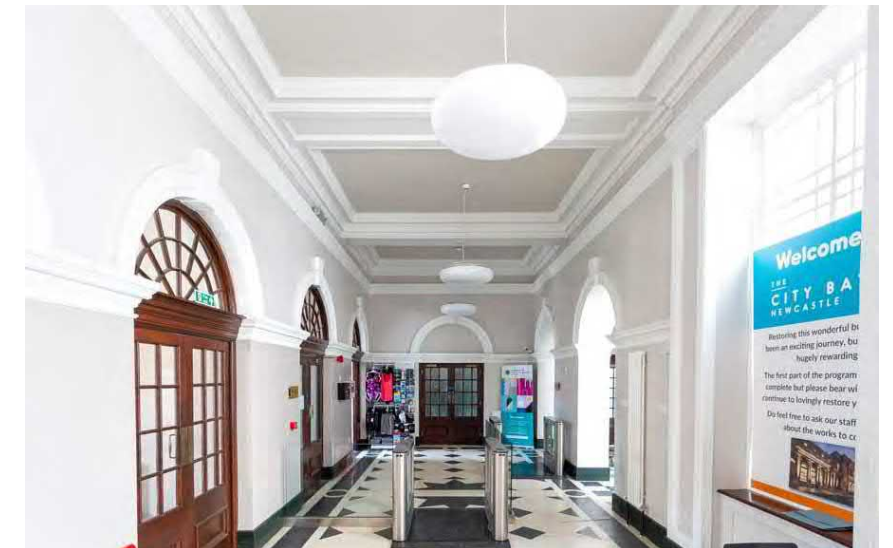
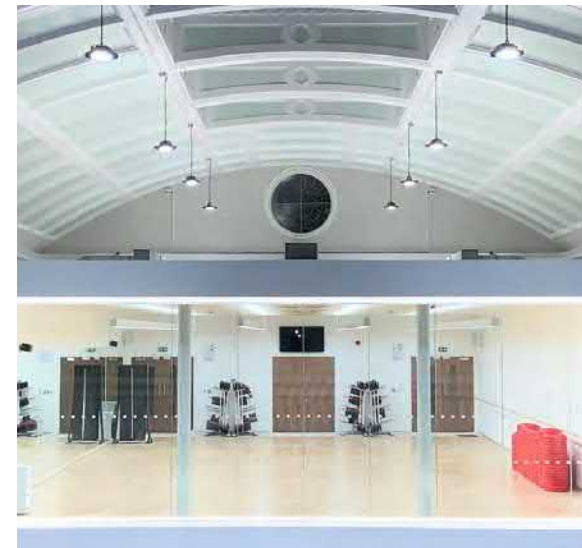


Figure 32: Newcastle City Baths.
Image source: <https://www.napperarchitects.co.uk/the-city-baths-newcastle/>

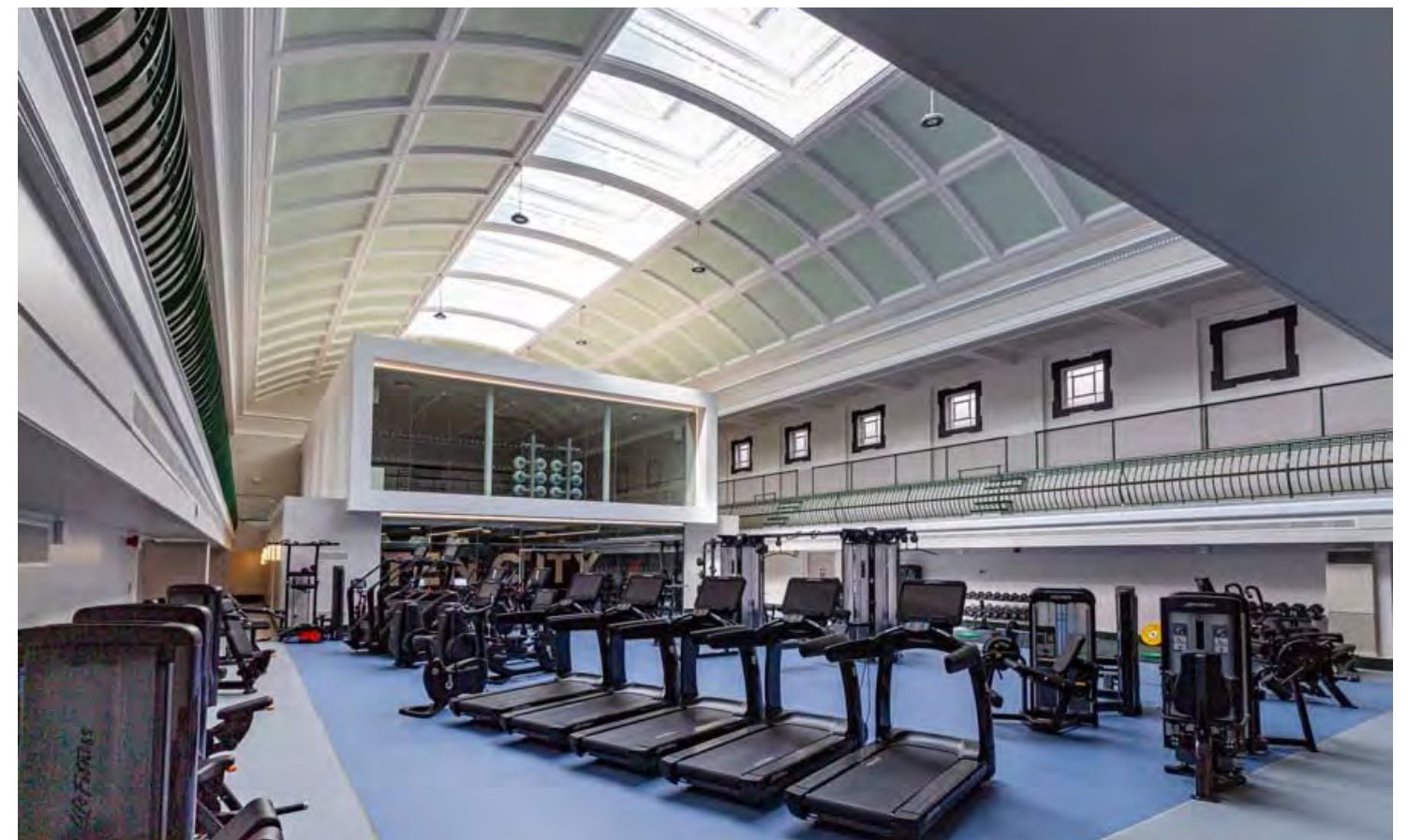


Figure 33: Newcastle City Baths.
Image source: <https://www.napperarchitects.co.uk/the-city-baths-newcastle/>

3.2 Ironmongers Row Baths, Islington

Ironmonger Row Baths were built in 1931 as a public baths and laundry at a time when few people in the locality had bathrooms in their homes. In 1937 a swimming pool and a small Turkish baths were added.

Architects were commissioned by Islington Council to transform the Baths, which were much loved but dilapidated, into a modern health and leisure centre.

After a ~£16m complex refurbishment project, Ironmonger Row Baths now contains modern pools, fitness studios and an expanded Turkish Baths and spa: state of the art facilities in a building which preserves the historic character of the handsome Grade II listed building.

Aspects of this scheme which are of particular interest:

- Similar scale building to James Street Baths.
- Re-purposing of dilapidated building into health and wellbeing suite.
- New entrance lobby created distinct from the fabric of the existing building, integrated signage and lighting into the facade.

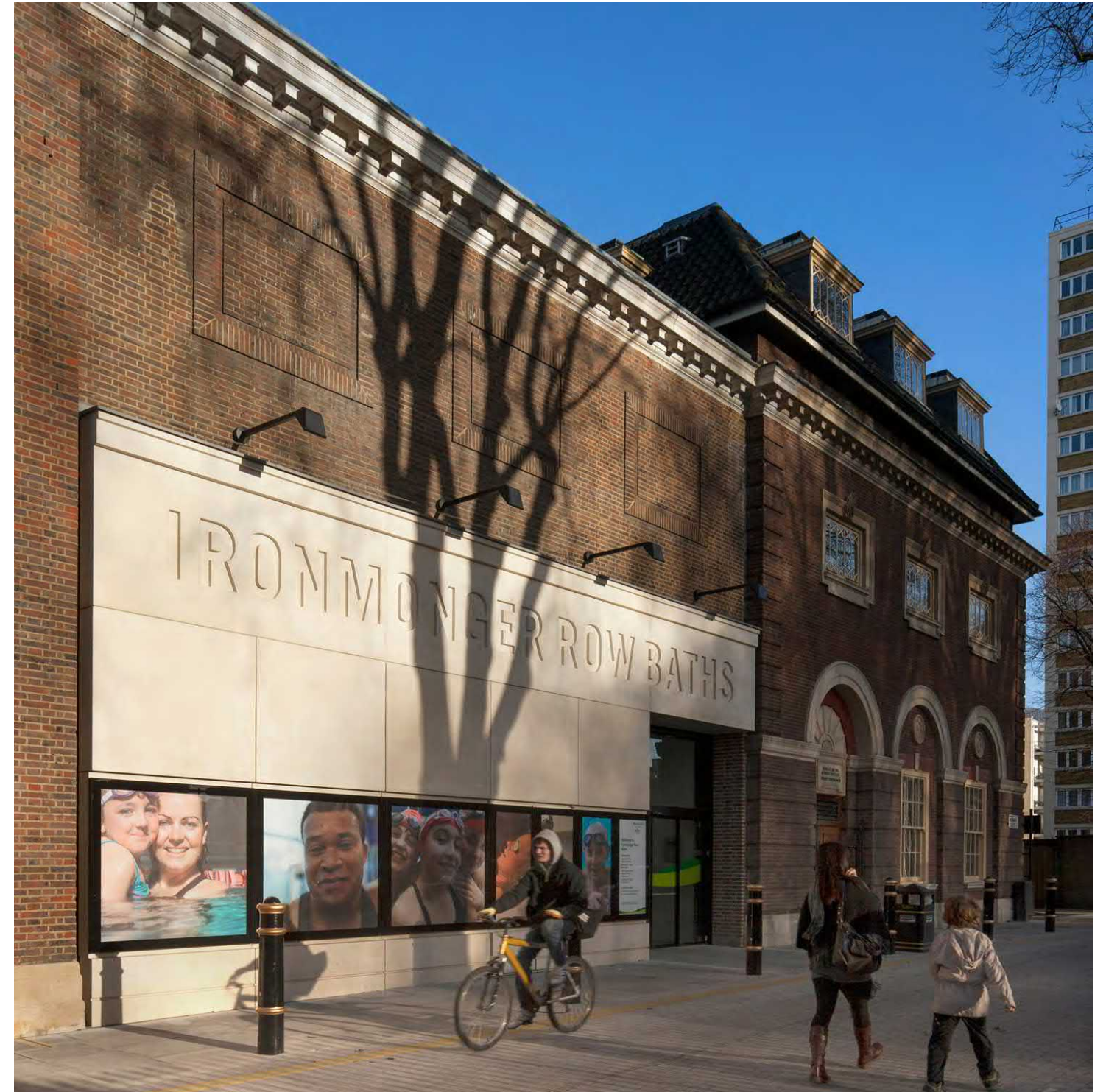


Figure 33: Ironmonger Row Baths.
Image source: Tim Ronalds Architects <https://www.timronalds.co.uk/ironmonger-row-baths>

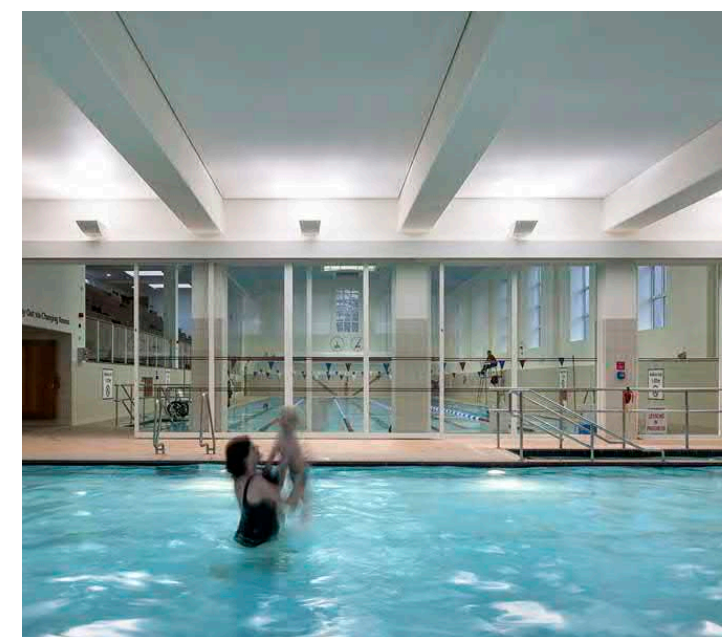
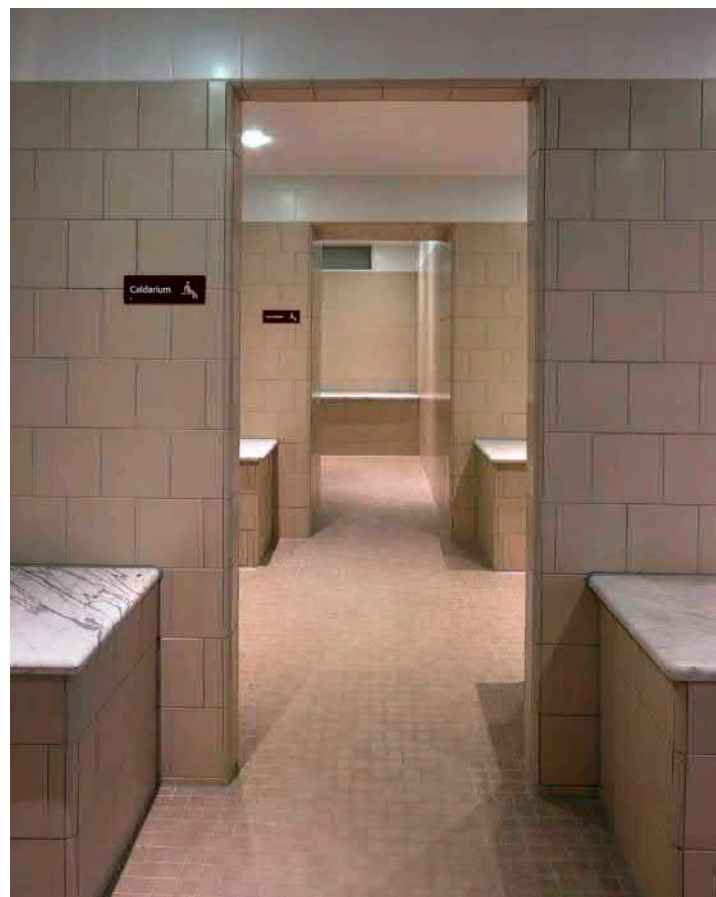


Figure 34: Ironmonger Row Baths.
Image source: Tim Ronalds Architects <https://www.timronalds.co.uk/ironmonger-row-baths>

3.3 Victoria Baths, Manchester

Victoria Baths is a Grade II* listed building in the Chorlton-on-Medlock area of Manchester. The Victoria Baths complex was designed by Manchester's first City Architect Henry Price, and opened in 1906. In their design and construction no expense was spared. The façade has multicoloured brickwork and terracotta decoration, the interior spaces are clad in glazed tiles and most of the windows have decorative stained glass.

A multimillion-pound restoration project began in 2007, which enabled the Victoria Baths Trust to intensify the meanwhile use of the building whilst delays to a full restoration project were quantified.

In 2007-08 the whole of the outside of the front block of the Baths was restored — this included re-slating the roofs, repairing rainwater goods, re-pointing brickwork and terracotta, replacing damaged terracotta and restoring every single window in this part of the building. Restoration Phase 1, which cost ~£3.8m, also included internal structural repairs to the Turkish baths suite and the mosaic entrance hall and reinstatement of glass block corridor.

Restoration Phase 1+ took place 2009-10 and comprised the renovation of the roof of the Males 1st Class pool, costing £1m.

Following these major phases, improvements were made to the visitor facilities at Victoria Baths — there is now a ramp providing full access to the ground floor of the building and there are new toilet facilities.

Heritage Lottery Fund and Historic England have been the major funders of the restoration work to date with other funders also contributing. Individual supporters have also made donations and work continues to take place most years, in particular to the building's stained glass windows.

Aspects of this scheme which are of particular interest:

- Sensitive conservation and repair of a previously derelict listed building.
- Reuse of the pool tanks as social events spaces.



Figure 35: Victoria Baths.
Image source: Tim Ronalds Architects <https://www.timronalds.co.uk/ironmonger-row-baths>



Figure 36: Victoria Baths.
Image source: Victoria Baths Trust <http://www.victoriabaths.org.uk/>

3.4 Turkish Baths, Harrogate

A £300,000 scheme to improve Harrogate's Grade II* Turkish Baths – once the haunt of European royalty – was completed in August 2015.

The borough council-led project was the result of months of design work and consultations with heritage bodies including Historic England and Harrogate Civic Trust.

Opened in 1897 the unique building features extravagant Moorish design, Islamic arches and elaborate painted ceilings, together with terrazzo floors and original fixtures and fittings. Of the seven 19th-century Turkish baths surviving worldwide, it is regarded as the most complete.

The Harrogate Turkish Baths attract around 40,000 visitors a year, who come to the council-owned facility, to follow the time-honoured “hammam” ritual of heating, cooling and cleansing in progressively warmer chambers, before cooling down in the plunge pool, visiting the steam room, or the frigidarium. The site also operates as a Health Spa, and has a cafe and small retail shop.

Aspects of this scheme which are of particular interest:
Aspects of this scheme which are of particular interest:

- Sensitive conversion of a previously decaying listed building.
- Use of a controlled palette of self-finished materials, including reclaimed glazed brick to counter frontages.
- Creation of a central reception space and social hub.
- Articulation of new interventions, which contrast and compliment the aesthetic of the existing building fabric.
- Simple but well controlled lighting, focussing light upon key surfaces and elements, creating an attractive, inviting atmosphere.



Figure 37: Harrogate City Baths.
Image source: Turkish Baths Harrogate <https://www.turkishbathsharrogate.co.uk/>

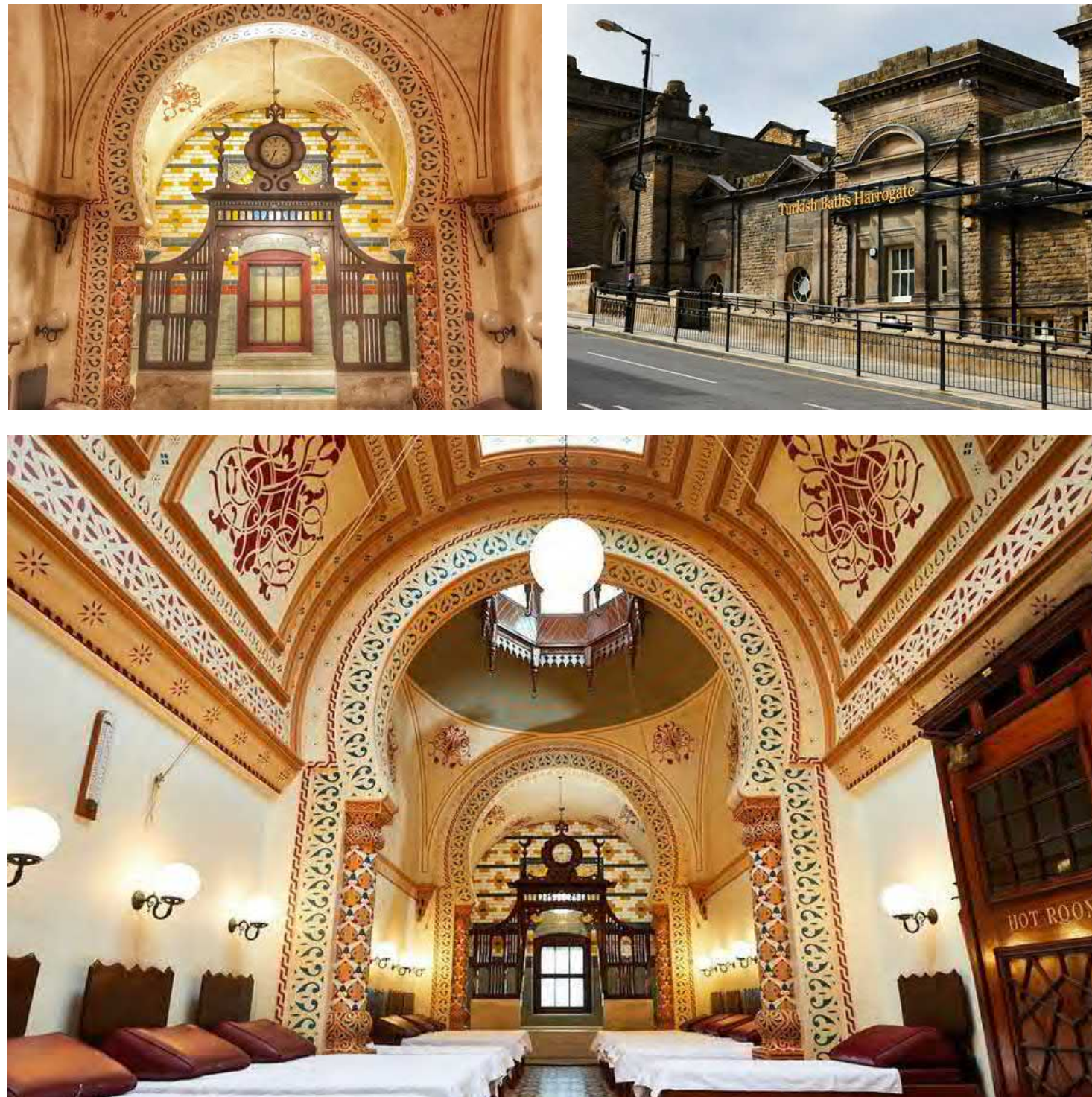


Figure 38: Harrogate City Baths.
Image source: Turkish Baths Harrogate <https://www.turkishbathsharrogate.co.uk/>

3.5 Alloa Speirs Centre, Scotland

The category A listed (Historic Scotland, Grade I equivalent) Speirs Centre first opened as a public baths and gymnasium in 1897. The project is now complete and forms a civic centrepiece for Alloa that accommodates a wide range of cultural and community based activities. These include museum displays, which are part of a new heritage trail, a modern library, a café, a Council customer services access point, the Council Registrar's office, community education programme facilities, business centre facilities, meeting rooms and a Tourist Information Centre.

The work included a comprehensive programme of internal and external conservation repairs; complete renewal of utilities and M&E services infrastructure; re-organisation of accommodation to create secure zones and support facilities for the principal activities; conversion of the original swimming pool to form a library; a contemporary extension housing reception and café and creating an accessible entrance; and improvements to accessibility, fire escape provision and fire compartmentation throughout.

The works to the existing building removed as many previous intrusive alterations as possible, particularly the fire partitions erected around the original entrance, to expose the outstanding spatial arrangement of the original design. All new elements were carefully considered to be light-touch, reversible interventions complementing the original Moorish and Oriental detailing.

A new accessible entrance and extension was added to the rear of the building. This location and design of the extension also acknowledged the way that the orientation of the town has changed since the Speirs Centre was first built by the creation of a new urban frontage facing towards Alloa's railway station.

Aspects of this scheme which are of particular interest:

- Clever use of simple, utilitarian materials.
- A very clear arrangement diagram which maximises unit frontage around an engaging central social space.
- Simple but carefully controlled lighting to create a captivating atmosphere.
- Flexibility of the central library and events space.



Figure 39: Alloa Speirs Centre.
Image by David Mackenzie - Original image submission, CC BY-SA 3.0,

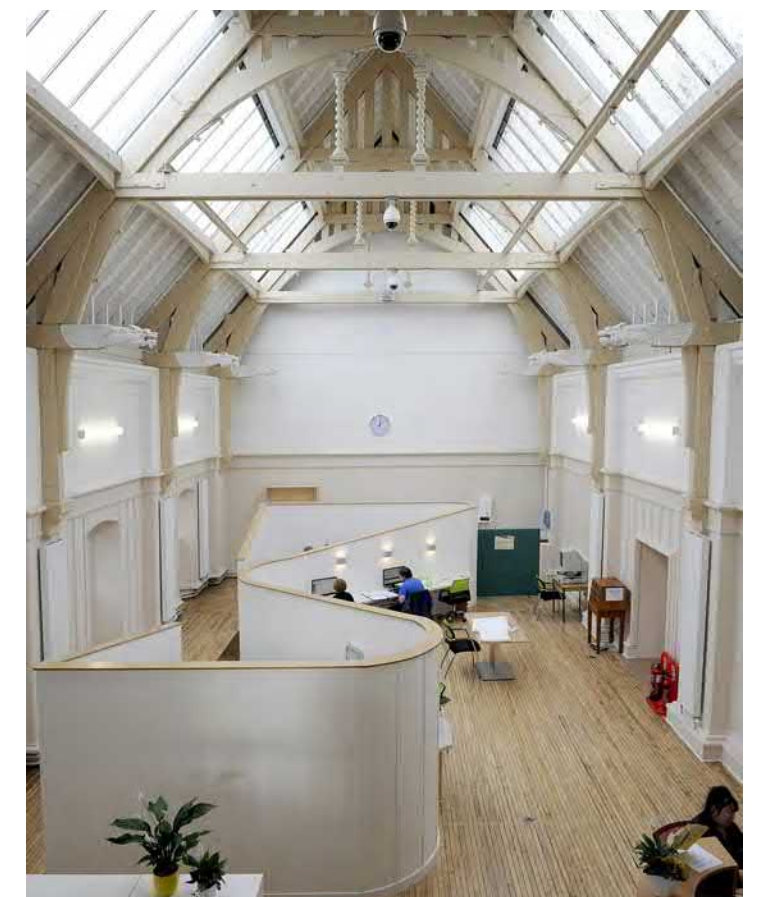


Figure 40: Alloa Speirs Centre.
Image by David Mackenzie - Original image submission, CC BY-SA 3.0,

4.0 Conceptual Approach

The redevelopment of the James Street Baths and Turkish Health Suite sits within the wider context of the Carlisle Station Gateway masterplan. The following points set out the scope of the Station Gateway project:

- Semi-pedestrianisation of Court Square;
- Improved ticketing and customer information;
- Improved commercial and hospitality opportunities within the station northern buildings (fronting Court Square);
- Redevelopment and improvements to the southern station entrance, including new vertical circulation;
- Rationalisation and simplification of the rail replacement buses procedure (relocating to proposed George Square);
- Cycle hub and storage;
- Demolition of the 1970's pools building (following opening of Sands Centre);
- Make good the façade between the 1970's pools and James Street Baths;
- Ensuring power/water connections into the building are isolated and contained;
- Development of George Square as a crucial parcel of public realm.

The feasibility options set out in this report fall outside the scope of the station scheme, however they demonstrate the simple adaptations of the existing Baths to make full use of the improvements proposed in the James Street area.

The following options refer to the access and accessibility constraints of the existing building, alongside the proposed level of development required for specific areas of the listed building. Proposed uses and functions of the spaces within the building are detailed in a later chapter.

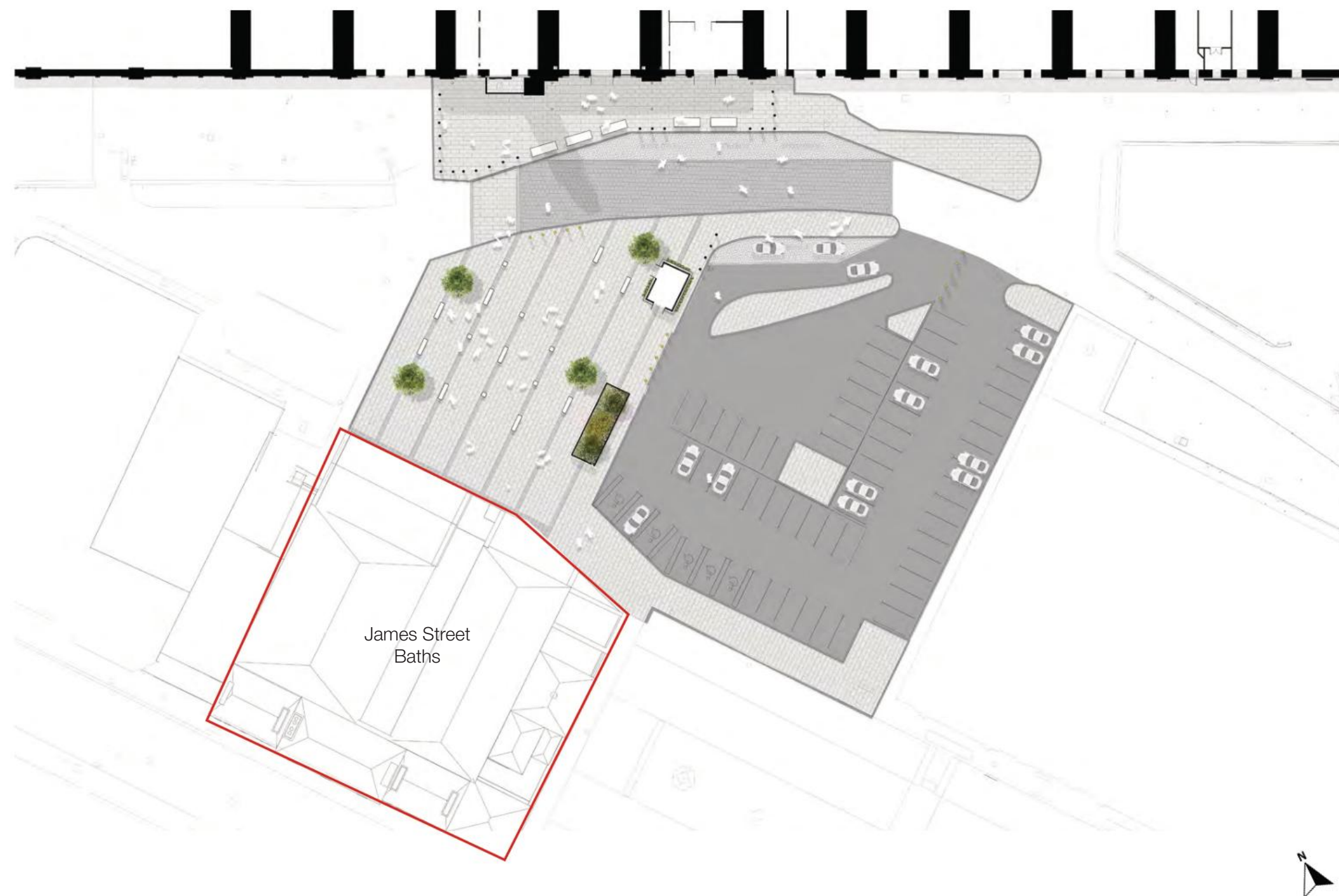


Figure 41: George Square, RIBA 3 Carlisle Station Gateway.
Image: BDP, 2021.

Draft public realm layout for George Square, Carlisle Station Gateway plans.

4.1.1 Option 1

The proposed development for Option 1, a minimum intervention, is to retain part of the 1974 extension (the entrance lobby) whilst refurbishing and restoring the original (or replace non-original) finishes throughout the Baths. It proposes a new circulation core within the existing walls and voids of the existing building. Option 1 retains James Street as it's primary entrance, but will reorganise access (ie. stairs and lift) as required, within the stair core space. The rear of the Baths facing George Square (Station Gateway) remains as service access only.

Pros

- Access to the main James Street Baths staircase and secondary entrance to James Street is available via the double doors to the south elevation of the building, complete with decorative tiled surround. A new lobby within the existing stair core / entrance is proposed to give level access (via a lift) to all levels of the building from James Street.
- The existing entrance lobby (addressing the west elevation) can be retained and re-clad to overcome the sites issues with changing levels.
- The developed design of the scheme and its facilities will give consideration to the disabled, to ensure a 'user-friendly' environment for both occupants and visitors and will comply with the current Part M of the building regulations.

Cons

- This low-level of intervention retains the existing functional layout and working practices of James Street Baths. Facing primarily onto James Street, this proposal would not address the wider station masterplan or the surrounding development areas more than is currently achieved by the building.
- The retained entrance lobby will require significant refurbishment and re-cladding in high quality materials to appropriately uplift the space, the lobby may also be retained temporality whilst a use is found for the adjacent site.

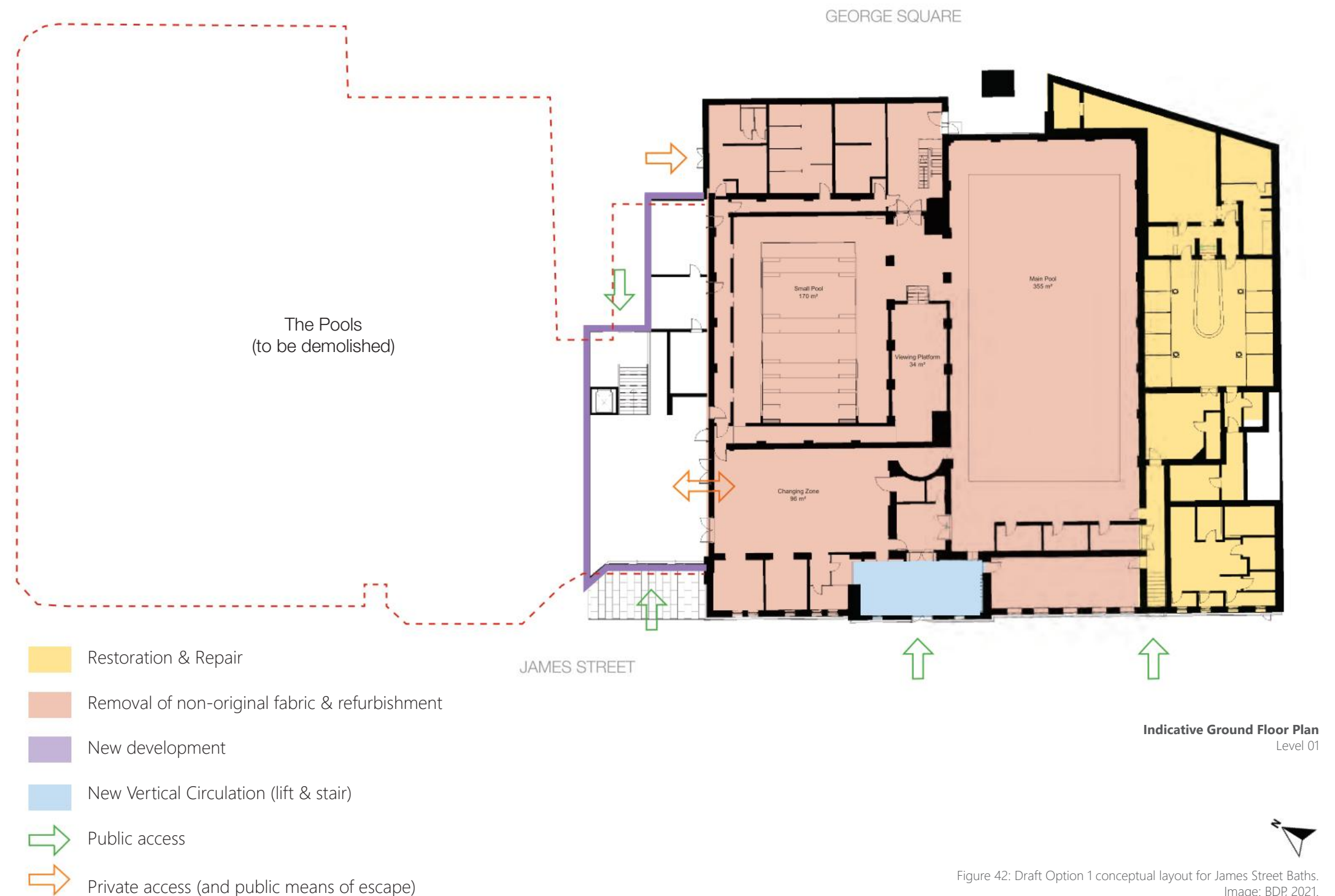


Figure 42: Draft Option 1 conceptual layout for James Street Baths.
Image: BDP, 2021.

4.2.1 Option 2

The proposed development for Option 2, a light-touch intervention, is to remove non-original structures (walls) and finishes from the existing swimming pool halls to fit out for proposed uses and functions. Option 2 also proposes the repair and restoration of the historic features of the Turkish Health Suite. To address the accessibility of the building, Option 2 also proposes the demolition of a small proportion of non-original existing structures to construct a new entrance extension. This extension would also address the level change to the West elevation and offer an interesting contemporary design opportunity.

Pros

- A new build extension building within the existing footprint (replacing 1 shed building) is proposed to give level access (via a lift) to all levels of the building from George Square.
- The developed design of the scheme and its facilities will give consideration to the disabled, to ensure a 'user-friendly' environment for both occupants and visitors and will comply with the current Part M of the building regulations.
- Opportunity to tie in to proposed George Square landscaping, extending the paving alongside the new extension.

Cons

- This medium-level of intervention removes a portion of the existing building (although this is arguably one of the less important areas).
- The existing functional layout and working practices of James Street Baths are reorganised and rationalised.

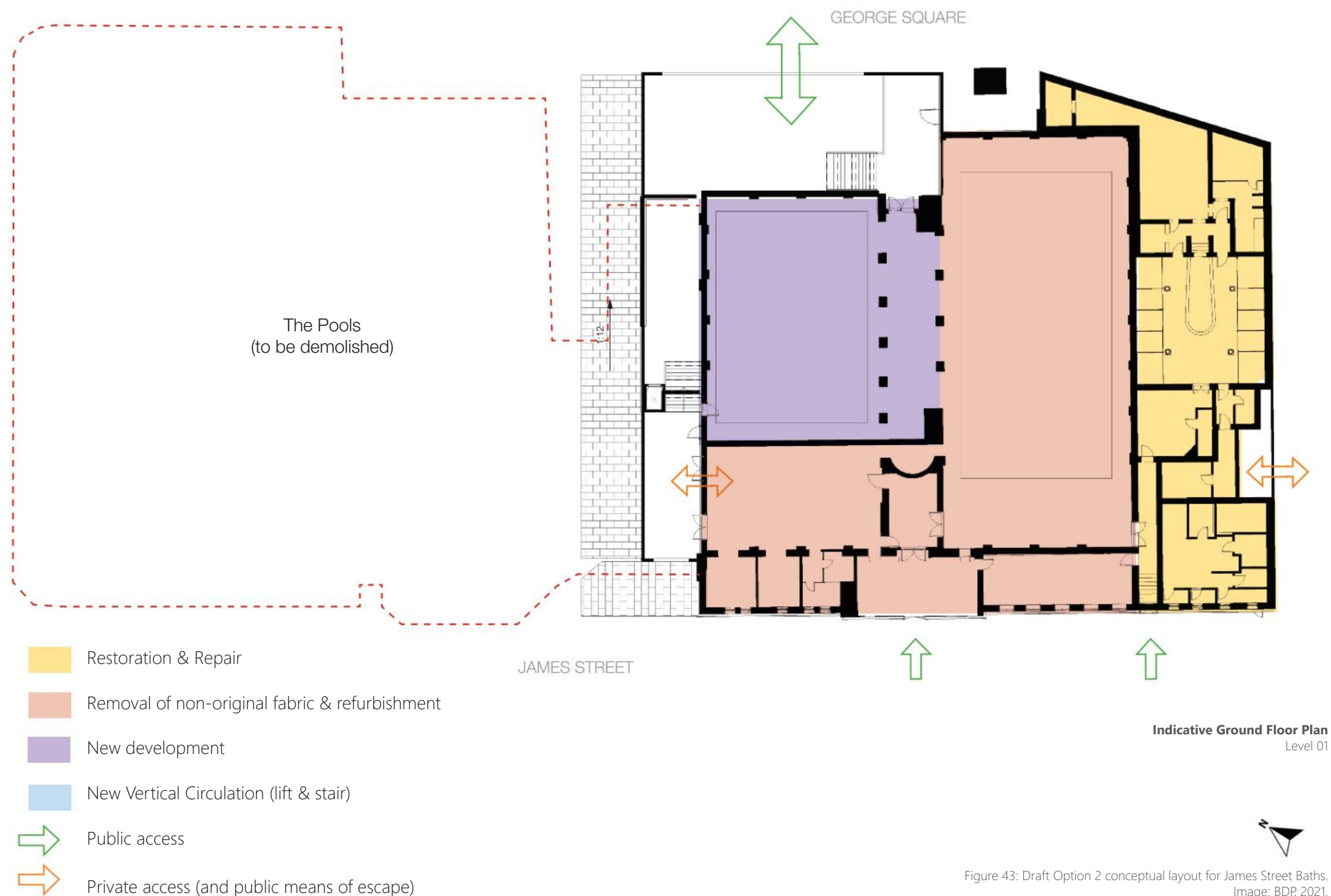


Figure 43: Draft Option 2 conceptual layout for James Street Baths.
Image: BDP, 2021.

4.3.1 Option 3

The proposed development for Option 3, significant intervention, is to remove non-original structures and finishes from the existing swimming pool halls. Retain the large pool hall to a new use related to the Turkish Baths (ie hydrotherapy or leisure pool), whilst converting the smaller pool hall to a function relating to the new use on the adjacent site. In addition, the option also proposes the repair and restoration the historic features of the Turkish Health Suite maintaining their future viability as a health and wellbeing suite. To address the accessibility of the building, Option 3 proposes the demolition of a small proportion of non-original existing structures to construct a new entrance extension. This extension would connect to the older structure via an atrium space and giving the listed building some 'breathing room' from the new build structure on the site of the demolished swimming pool building.

Pros

- A new lobby within a new extension structure proposed to give level access to all levels of the building from George Square.
- Large extension site improves the future viability, development costs and overall usability of the existing building.
- This option proposes an excellent design and architectural opportunity for the City.
- Heritage positive - this option would not require any signification building fabric alterations within the existing building, with all new vertical circulation (lifts and stairs) proposed in new-build areas.

Cons

- Limitations will be placed on the scale, form and design of the new build facility due to its proximity to the listed building and conservation area setting. Design quality is crucial to achieving positive development that does not overshadow the significance and speciality of the existing building.

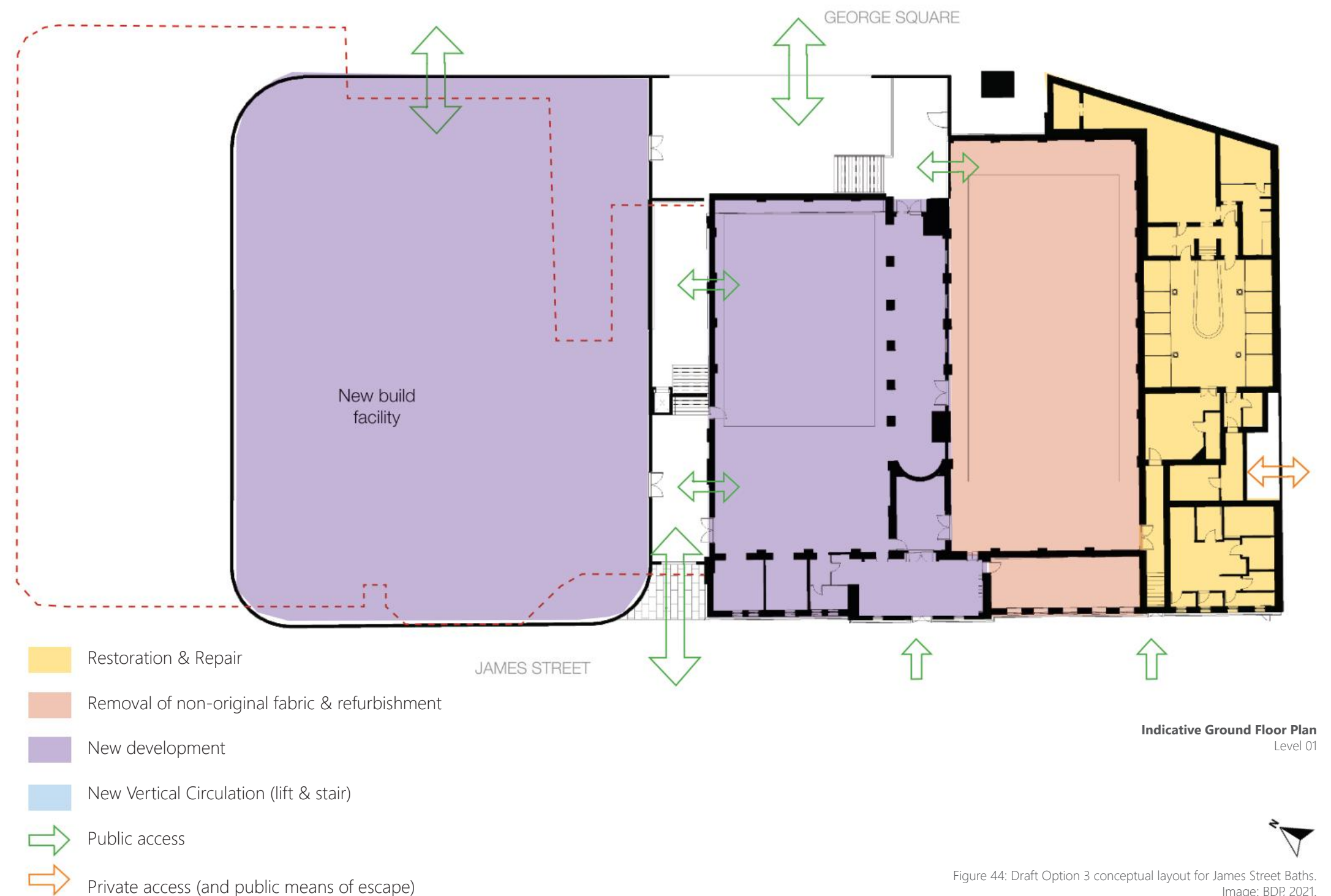


Figure 44: Draft Option 3 conceptual layout for James Street Baths.
Image: BDP, 2021.

5.0 Materials and Finishes

5.1 Materials & Finishes

Our conceptual approach to materials and finishes is to follow the guiding design principles below;

- Original finishes and materials will be exposed, expressed and reused wherever appropriate.
- New interventions will be clearly articulated to differentiate new and old finishes, thus celebrating their contrasting material characteristics.
- Robust, self-finished, long-life, low-maintenance materials will be utilised wherever possible.

The selection of images opposite, along with those interspersed throughout the rest of this document, provides an illustration of the range of materials, finishes and atmosphere within the Baths.

As the project develops, it will be crucially important that any new interventions, restoration or repair works are completely sensitively and do not over-shadow the intricate detailing of the existing fabric.

This strategic architectural approach focuses upon;

- Celebrating the finishes, materials and textures on display within the original Turkish Baths Suite building, leaving original surfaces visible within the overall composition wherever possible.
- Articulating the authenticity and contrast of new and old materials uses together to contrast and accentuate each others inherent qualities.
- Carefully controlling the use of colour, light and material texture of new interventions to complement original materials.
- Utilising authentic, self-finished, long-life, low-maintenance materials wherever possible.
- Avoiding historical pastiche which would distract from the original detailing and fabric.



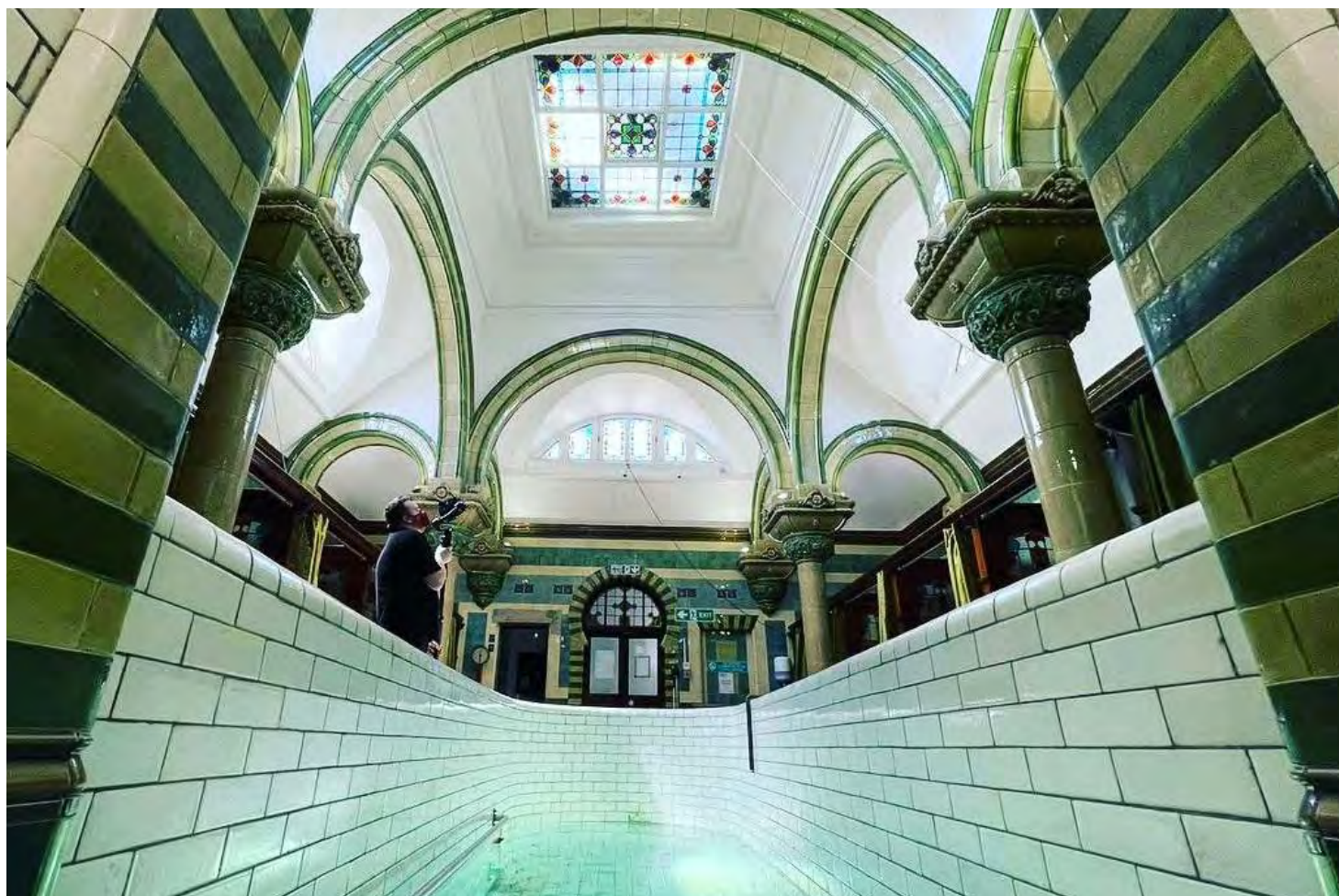
Stained glass roof light.



Glazed tiling.



Red brickwork to external facades



Plunge Pool

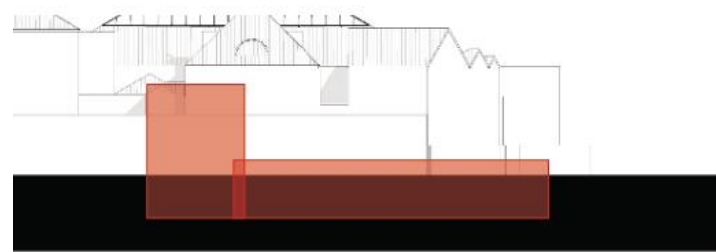
5.2 Artwork & Installations

The East elevation of the James Street Baths (facing towards the retail park carpark) has a recently lined blank gable wall. Rather than applying additional finishes or decorative linings to improve the visual attractiveness of this side of the building, the blank facade could be considered as a medium for bold painted murals or super-graphics which will enliven the area space, help reinforce the identity of the baths, and contribute to the external presence of the revitalised building from the carpark site and entrance elevation from James Street.

Street art is blossoming in the UK, with designated spots for cultural expression, these sites can become major tourist destinations and 'anchors' in themselves. Especially if included or contributing to an artwork 'trail' or treasure hunt.

The nature of painted artwork invites change and installed artwork does not have to be permanent. Contributing to the developing areas and forever changing contemporary landscape of Carlisle city centre.

The elevations below highlight the extents of the James Street Baths available for artwork installation, while the imagery opposite provides a flavour of what is possible.



Existing blank east elevation, potential canvas for wall murals.



Figure 46: Examples of murals on the end gable facades of existing buildings. Image: Varied.

Street artist murals, reflecting life in 2021. Images above shows collation of recent successful artist murals on existing historic buildings.

5.3 Signage & Wayfinding

Carlisle City Council spent a considerable amount of funding on new city centre wayfinding and directional signage in 2019. We believe the James Street Baths should be celebrated by tying into this existing infrastructure.

The site would also greatly benefit from an eye-catching new wayfinding and signage strategy, either building-fixed or amongst the adjacent areas of proposed public realm. In addition to this, increasing public awareness of the building, and the proposed/existing facilities, could be created through online campaigns and branding strategies.

The adjacent area of proposed public realm required by the Station Gateway project, George Square, provides opportunities to incorporate engaging and informative public art, signage and cycle storage opportunities which could benefit both the Station and James Street Baths.



Cycle storage incorporated into planters.

Figure 47: Examples of signage and street furniture.
Image: Varied.



Totem style wayfinding.



Heritage information incorporated into street furniture.



Heritage information incorporated into paving.



Wayfinding signage within the public realm, illuminated.



Illuminated and eye-catching signage.

5.4 Lighting

The Carlisle Town Deal programme includes an exciting new lighting project, alongside plans for the neighbouring Station Gateway project, which proposes a large new southern entrance. There is great potential to tie James Street Baths into a wider lighting strategy for the City.

Alongside this, a new illuminated entrance canopy and lighting scheme are proposed to up-light the large existing freestanding viaduct wall. An architectural lighting scheme is also planned for the pocket of public realm referred to as George Square.

The James Street Baths has the opportunity to tie into this positive regeneration by itself illuminating some of the beautiful existing features of the existing building. Either through lighting the external elevations in a calm and sophisticated approach, or in more playful interventions using colour. A well-designed, sensitively positioned lighting scheme will also contribute positively to the identity and promotion of the Turkish baths as a unique facility. Whilst also discouraging anti-social behaviour and crime through the activation and passive surveillance of the building.



Illuminated seating at Halifax Piece Hall.
Figure 48: Examples of fixed and freestanding lighting.
Image: Varied.



Muted use of texture and light to signify the entrance to the



Playful use of colour to light existing buildings.



Detail and grandeur of the historic buildings complimented by sensitive architectural lighting.

6.0 Facilities & Uses Comparison

6.1 Newcastle City Baths

The Grade II listed City Pool and Turkish Baths in Newcastle shut in 2013, remaining vacant until in 2016 the City Council granted a long term lease to charity leisure operator 'Fusion Lifestyle Limited'.

The City Pool and Turkish Baths building are not the original (1838) private baths on the site, the complex was rebuilt in 1928 with an Art Deco interior. The lifestyle centre shares a site with the City Hall Theatre in a central position within the civic centre of Newcastle.

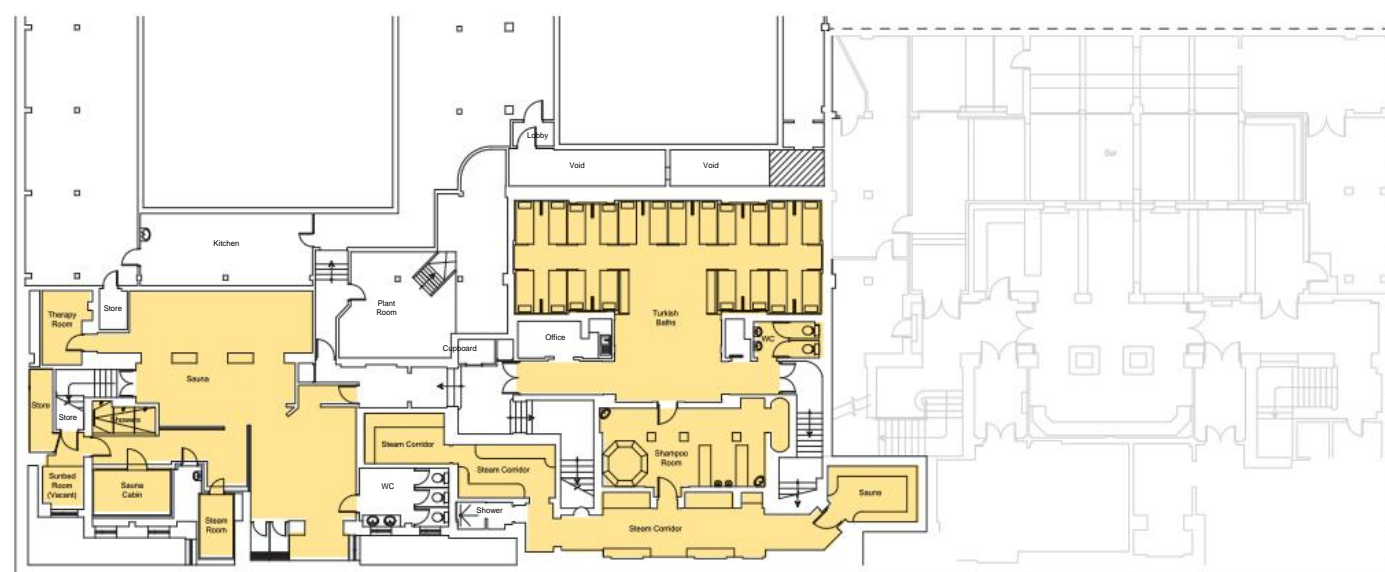
In 2016, Fusion Lifestyle commenced work on a restoration programme at a cost of ~£7.5 million, which involved converting the main swimming pool into a gym area with exercise rooms, while a second, smaller pool, was retained for swimming. The gym and swimming pool re-opened to the public in January 2020.

As the original Victoria Turkish Baths had already been lost, the restoration to the spa spaces within the complex were able to incorporate modern finishes.

The floor plans of Newcastle City Baths have been scaled to show the proportionate size of the facility against the scale of the James Street Baths.

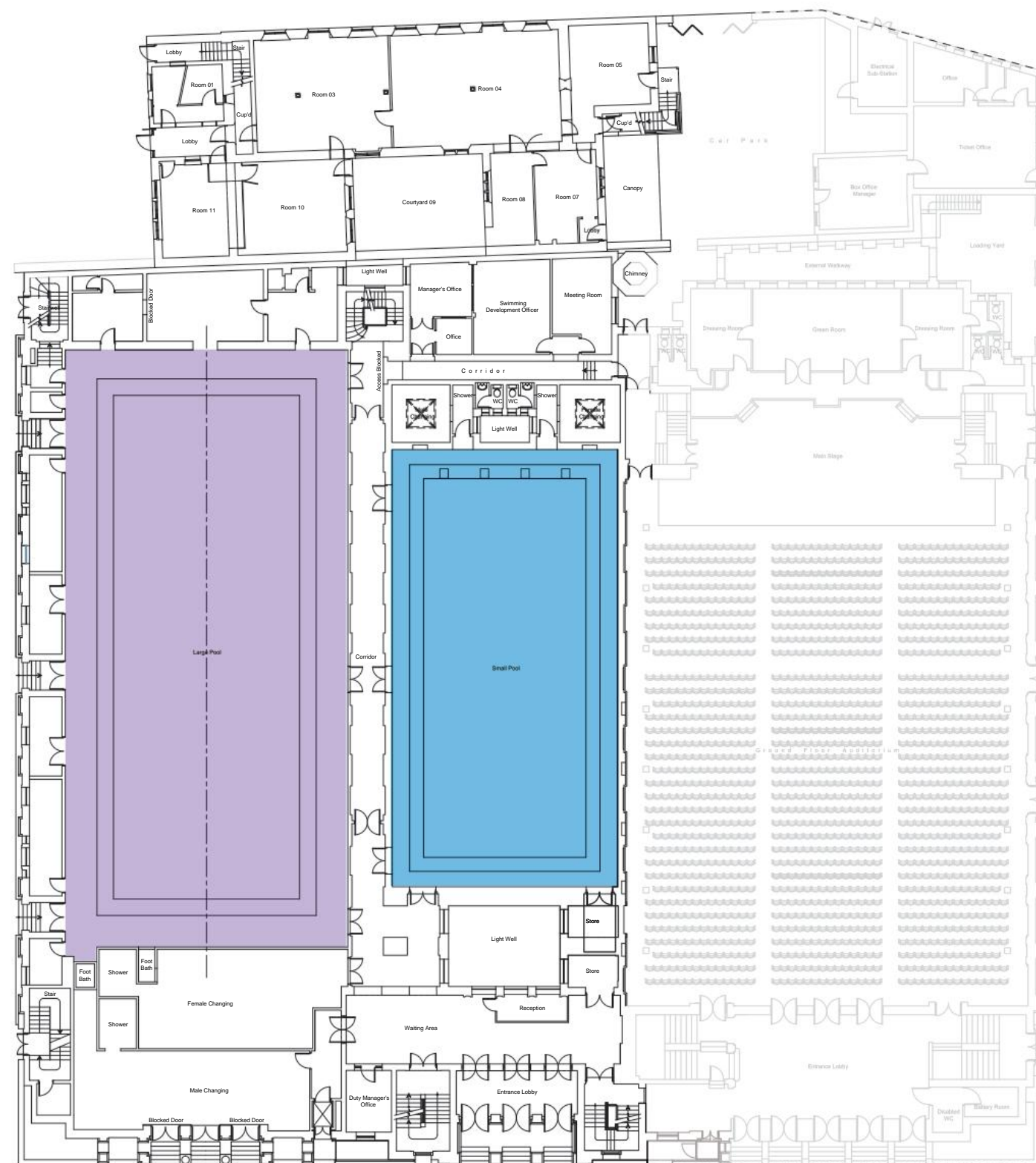
Key:

- Sports Hall**
Gym and training spaces.
- Swimming Pool**
Lane swimming.
- Turkish Health Suite**
Spa uses.



Newcastle City Baths Basement Plan
Level-1

Figure 49: Newcastle City Baths existing plan.
Image: Planning Portal.



Newcastle City Baths Ground Floor Plan
Level 00

Figure 50: Newcastle City Baths existing plan.
Image: Planning Portal.

Option 1 inspired by Newcastle City Baths

By taking the template of the successful Newcastle City Baths and applying its functions and uses to the site of James Street baths, we can test the viability of the spatial arrangement of the existing building, with a minimal intervention.

Therefore in this scenario, in addition to overall historic building repairs, option 1 may involve:

- Draining and boarding over of the larger swimming pool (reversible installation), this expansive space could then be utilised as a training and/or gym studio.
- The existing low-level suspended ceiling could be removed, revealing the original roof structure and bringing daylight into the space through the existing roof lantern.
- Where possible, non-original poor quality finishes could be removed and original finishes restored (if present).
- The large, flexible, usable space would create a usable facility for the local area. The pool hall could be used by community groups, sports groups and private hire etc.
- The smaller pool could be refurbished and non-original finishes removed and replaced by contemporary, high quality materials, improving the user experience of the swimming pool.
- The existing boiler house could be transformed into an attractive cafe/bistro, with views over the newly developed George Square area of public realm.
- The lobby area could be refurbished and externally re-clad, improving the external appearance of the 'extension' as connected to the curtilage listed building and in the context of the conservation area.
- The Turkish Baths could be repaired and restored, through the removal of poor quality later additions, being replaced with sensitive materials and high quality finishes.
- The changing and WC facilities of the Turkish baths could be refurbished and brought back into use, ensuring the continuation of appropriate changing facilities for the Turkish health Suite, independent of the adjacent leisure uses.

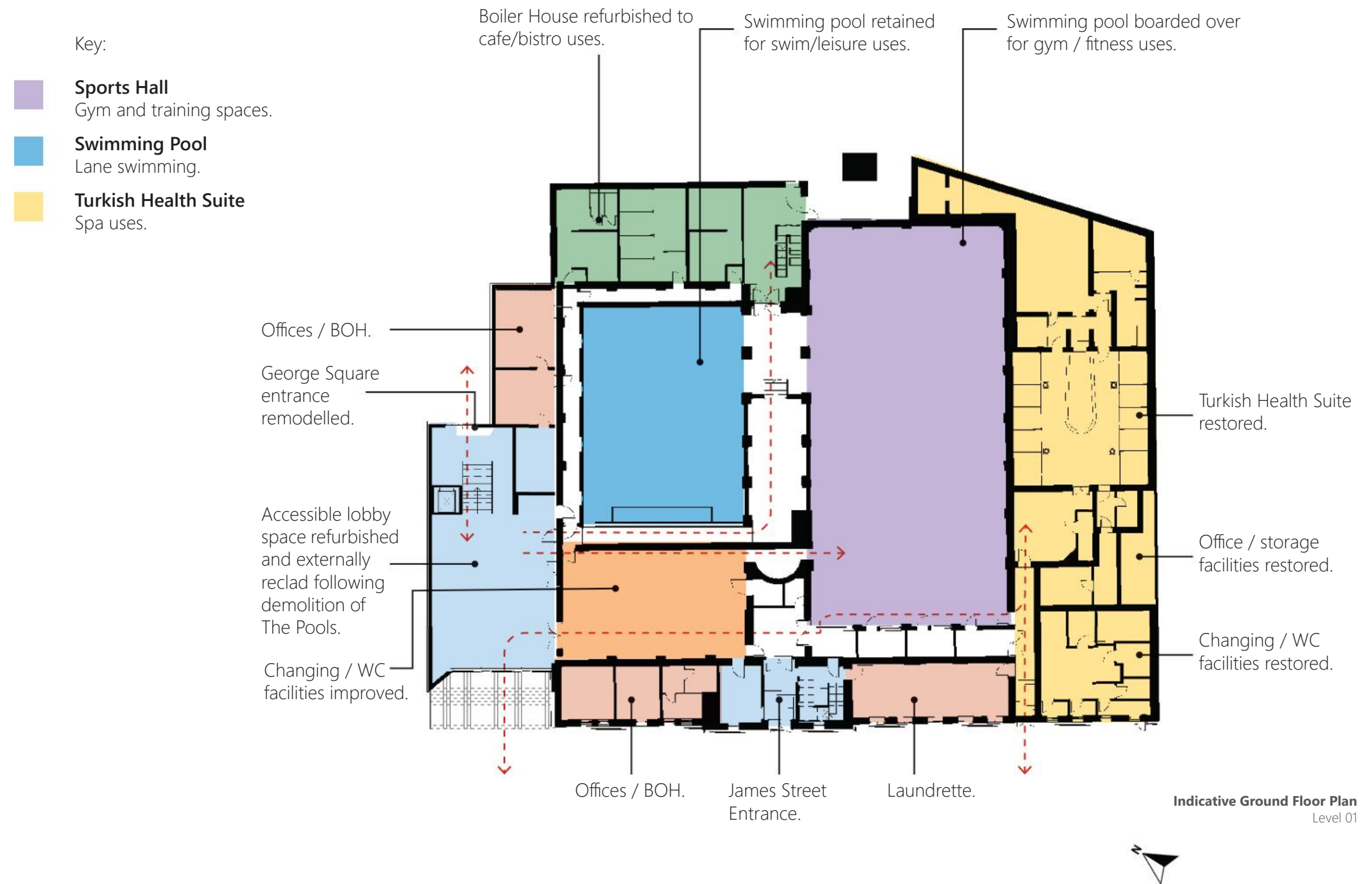


Figure 51: Ground Floor Plan, option 1, indicative use layout as proposed Level 00

6.2 Victoria Baths

The Grade II* listed Victoria Baths opened to the public in 1906, and were closed by Manchester City Council in 1993. The large complex is located in the Chorlton-on-Medlock area of Manchester, nearby to the heart of Manchester University Campus.

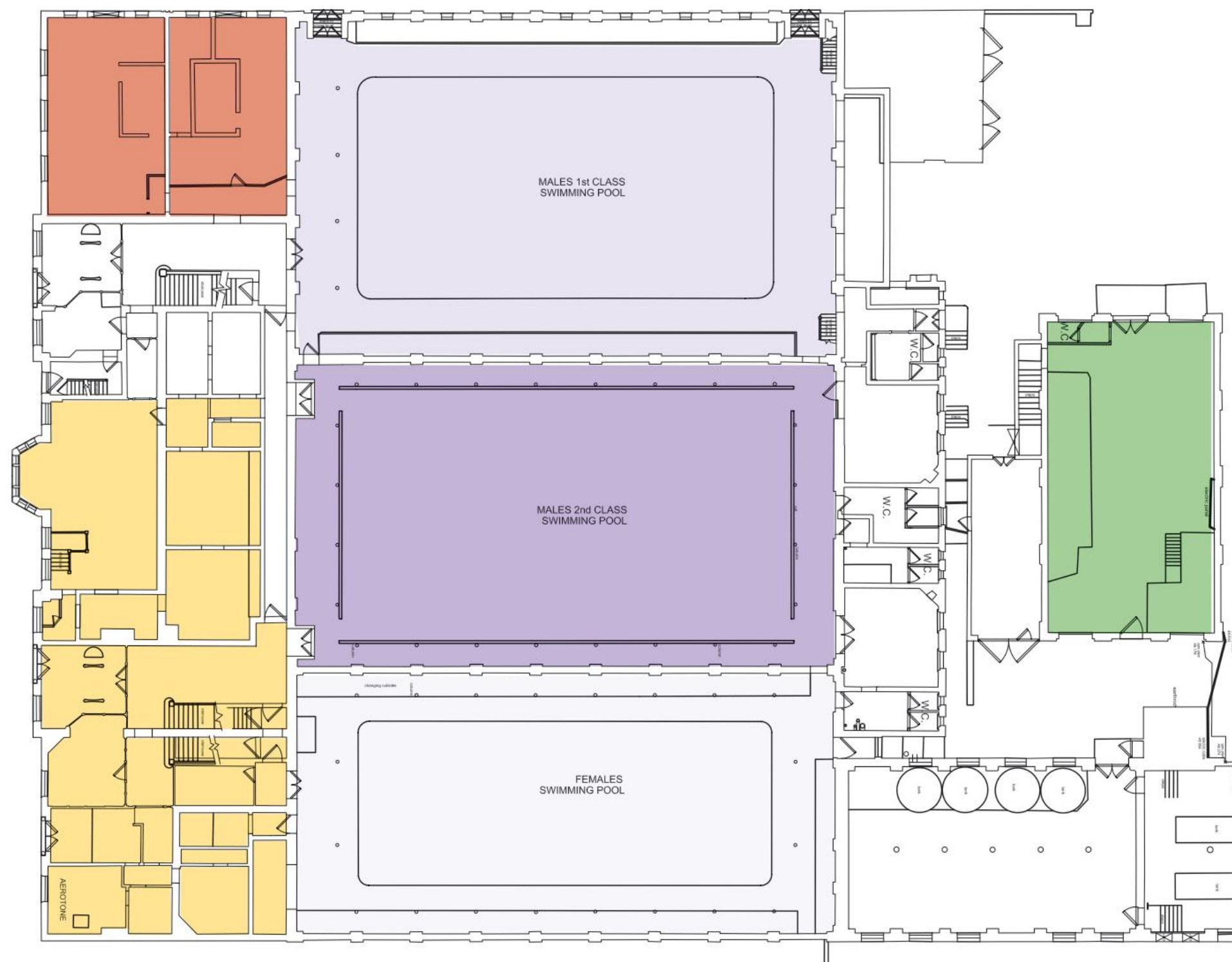
Following closure, the Friends of Victoria Baths local interest group was formed and began to investigate the possibility of running the Victoria Baths independently. The Manchester Victoria Baths Trust was then set up by local residents to pursue the aim of re-opening the Baths. In 2007, the Baths reopened after a multi-million pound refurbishment after being awarded Heritage Lottery Funding.

The decision was taken to drain the water from all three swimming pools to utilise the building for special events. Victoria Baths, is used today as a community resource, hosting events, such as food and drink festivals, weddings, cinema showings and as a filming location.

Recently, the Trust has partnered with Fusion Lifestyle to progress the next phase: which will see the re-opening of the Turkish Baths suite, the creation of a modern health suite of treatment rooms to operate independently on the site.

The floor plans of Victoria Baths have been scaled to show the proportionate size of the facility against the scale of the James Street Baths.

| | | | |
|--|----------------------------|---|---------------------------|
| Key: | | | |
|  | Sports Hall |  | Arts Space |
| | Events and function space. | | Community uses. |
|  | Gala Pool |  | Turkish Rest Rooms |
| | Events and function space. | | Community uses. |
|  | Females Pool |  | Tea Rooms |
| | Events and function space. | | Cafe. |



Victoria Baths Ground Floor Plan
(not to scale)

Figure 52: Victoria Baths existing plan.
Image: Planning Portal.

Option 2 inspired by Victoria Baths

By taking the template of the successful Victoria Baths and applying its functions and uses to the site of James Street baths, we can test the viability of the spatial arrangement of the existing building, with a minimal intervention.

Therefore in this scenario, in addition to overall historic building repairs, option 3 may involve:

- Draining and boarding over of the smaller swimming pool (reversible installation), this expansive space could then be utilised as a training and/or gym studio.
- Draining the larger swimming pool for mixed uses.
- The existing low-level suspended ceilings could be removed from both pools, revealing the original roof structure and bringing daylight into the space through the existing roof lanterns.
- Where possible, non-original poor quality finishes could be removed and original finishes restored (if present).
- These large, flexible, usable spaces would create a usable facility for the local area. The pool hall could be used by community groups, sports groups and private hire etc.
- The existing boiler house could be removed to construct a contemporary extension to overcome accessibility issues and the sites level changes.
- Within the extension could be an attractive cafe/bistro, with direct access to the newly developed George Square area of public realm.
- The Turkish Baths could be repaired and restored, through the removal of poor quality later additions, being replaced with sensitive materials and high quality finishes.
- The changing and WC facilities of the Turkish baths could be refurbished and brought back into use, ensuring the continuation of appropriate changing facilities for the Turkish health Suite, independent of the adjacent mixed uses.
- The Turkish Baths could operate less frequently as a spa (however still retaining the ability to be used as a Turkish Baths), and instead be utilised as an alternative events space and filming location.

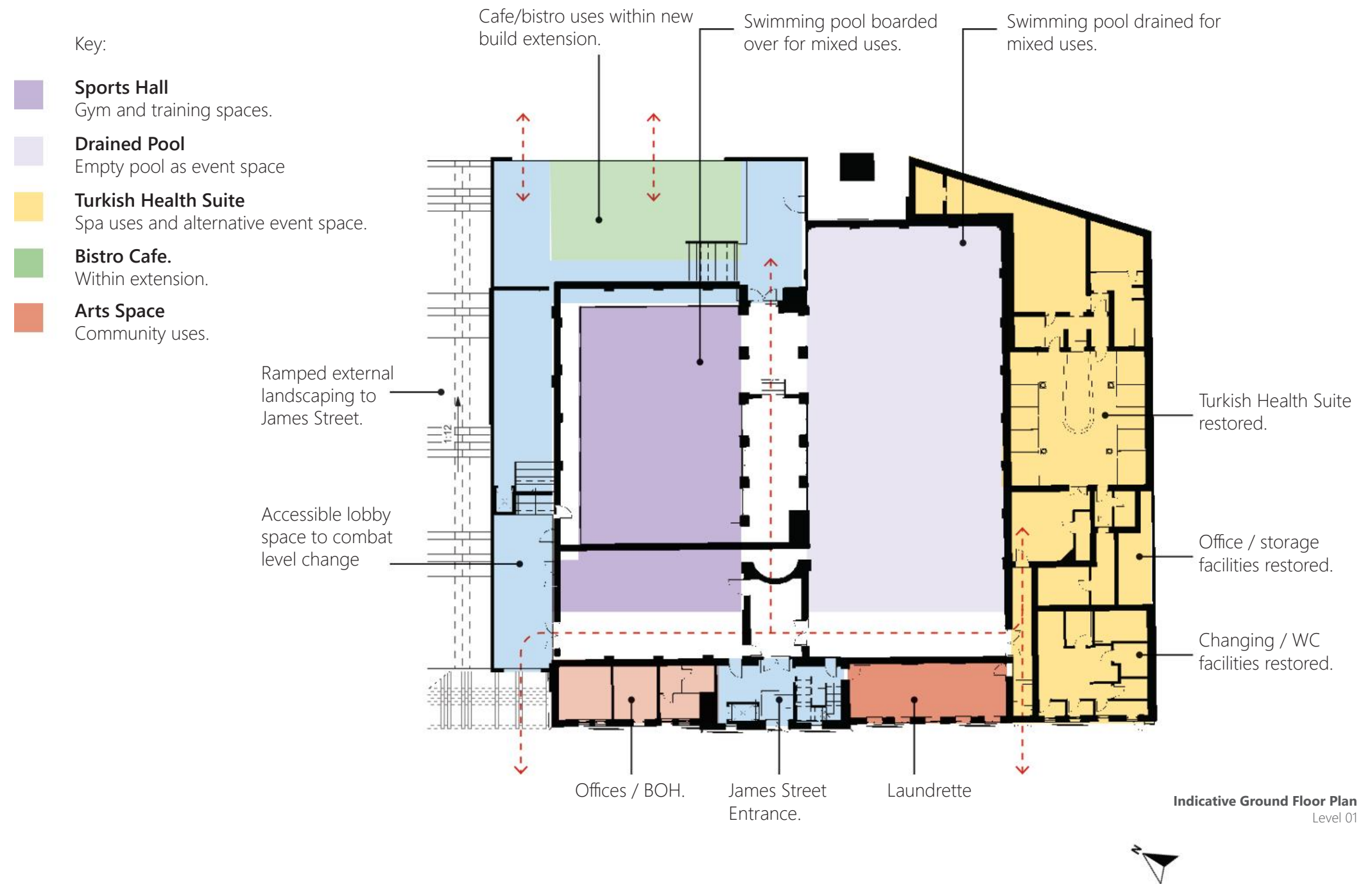


Figure 53: Ground Floor Plan, option 2, indicative use layout as proposed Level 00

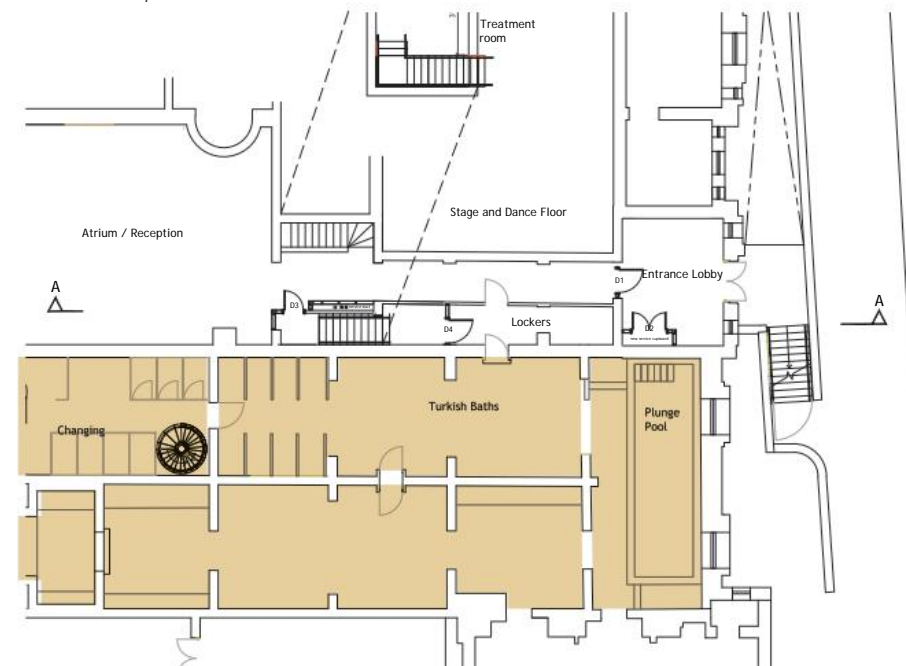
6.3 Harrogate Turkish Baths

The Harrogate Turkish Baths are the most complete example of 19th Century Turkish Baths in England. Opened in 1897, The Harrogate Royal Baths offered a wide variety of spa treatments and hydrotherapy uses, however the site has no leisure swimming pool uses.

The venue sits at the bottom of Parliament Street and faces the Crescent Gardens. The Royal Baths building was redeveloped in 2004 and subdivided into a mixed use complex. The building now hosts the Harrogate Tourist Information centre, a pub, and a number of bars and restaurants. The highly decorative and intact Turkish Baths is all that is left of the original spa uses of the building.

The Turkish Baths operate as a stand alone unit, the site is owned and operated by the Local Authority, with visitors completing the sequential bathing process around the ornate spaces.

The below floor plan of Harrogate Turkish Baths have been scaled to show the proportionate size of the facility against the scale of the James Street Baths.



Harrogate Turkish Baths Ground Floor Plan (not to scale)



Key:



Turkish Rest Rooms
Spa uses.



Food & Beverage
Hospitality uses.



Tourist Information
Community uses.

Aerial plan of Harrogate Royal Baths showing mixed use on the site. (not to scale)

Figure 54: Harrogate Turkish Baths aerial plan. Image: Google earth.

Key:



Lettable Units
Size and scale tbc.



Turkish Health Suite
Spa uses and alternative event space.



Arts Space
Community uses.

Option 3 inspired by Harrogate Turkish Baths

By taking the template of the successful Harrogate Turkish Baths and applying the rationale of the complex to the site of James Street baths, we can test the viability of the spatial arrangement of the existing building, with a minimal intervention.

Therefore in this scenario, in addition to overall historic building repairs, option 3 may involve:

- Draining and boarding over both swimming pools (reversible installation), this expansive space could then be independently leased to a tenant.
- The existing low-level suspended ceilings could be removed from both pools, revealing the original roof structure and bringing daylight into the space through the existing roof lanterns.
- Where possible, non-original poor quality finishes could be removed and original finishes restored (if present).
- These large, flexible, usable spaces would create a number of lettable units for the local area (ie. Food and beverage units).
- The existing boiler house could be removed to construct a contemporary extension to overcome accessibility issues and the sites level changes, whilst acting as a lobby for the complex.
- On the footprint of the 1970s demolished Pools Building, a new structure could be constructed to provide additional lettable space for the development.
- The Turkish Baths could be repaired and restored, through the removal of poor quality later additions, being replaced with sensitive materials and high quality finishes.
- The changing and WC facilities of the Turkish baths could be refurbished and brought back into use, ensuring the continuation of appropriate changing facilities for the Turkish health Suite, independent of the adjacent mixed uses.
- The Turkish Baths could operate less frequently as a spa (however still retaining the ability to be used as a Turkish Baths), and instead be utilised as an alternative events space and filming location.

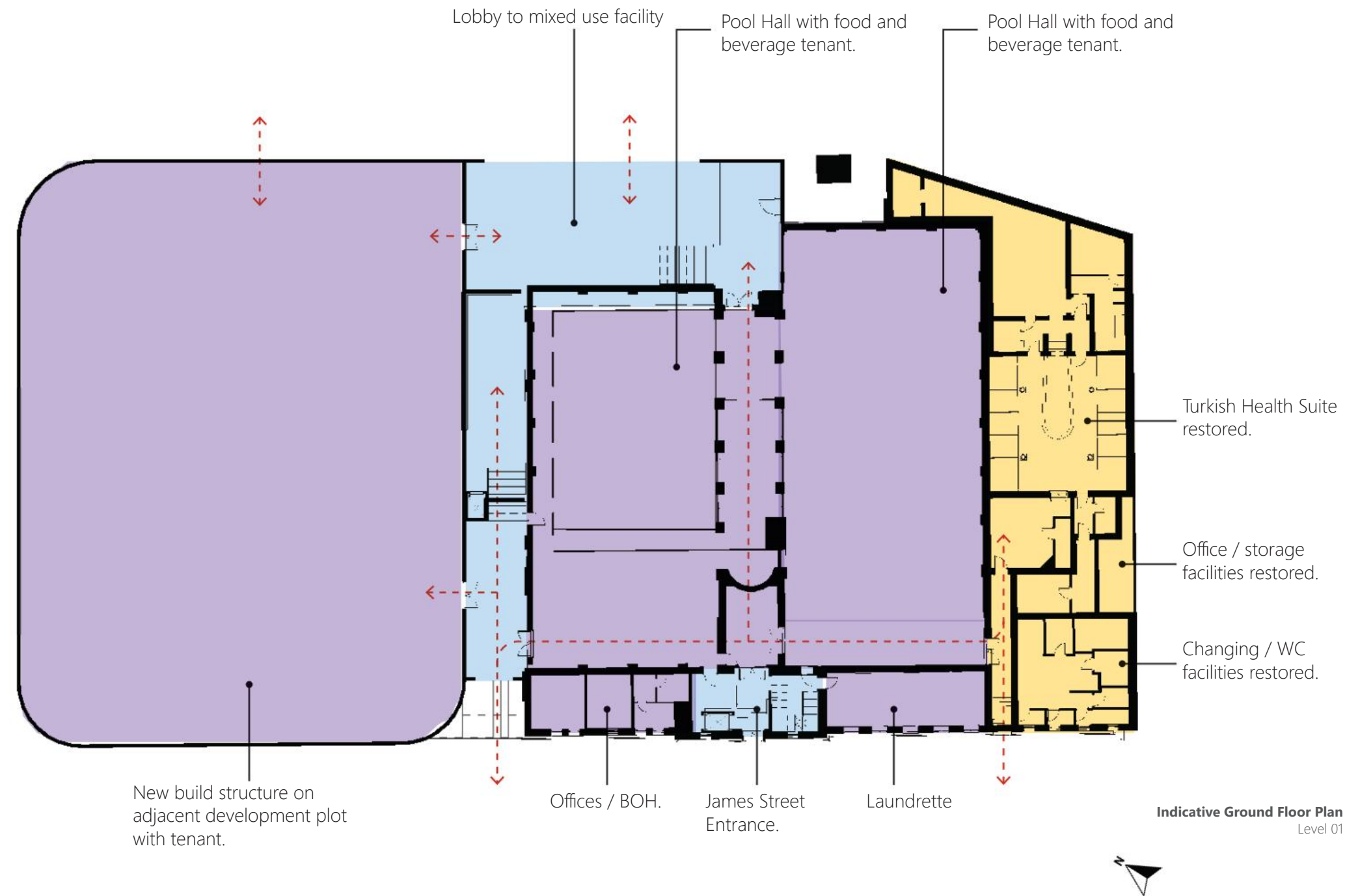


Figure 55: Ground Floor Plan, option 3, indicative use layout as proposed Level 00

7.0 Commercial Assessment

7.1 Commercial Viability

As part of the overall feasibility study in to potential redevelopment options for the James Street Baths a high-level commercial assessment of the potential options under consideration has been undertaken by Mott MacDonald.

The assessment work undertaken includes for:

- i. An overview of current commercial activity and arrangements at James Street baths.
- ii. An overview of ongoing and future complimentary activity in Carlisle city centre.
- iii. A literature review of commercial activity at comparable facilities.
- iv. An analysis of commercial requirements for the different options.

Potential future uses for the baths complex have been developed following discussions with Carlisle City Council, a review of existing case studies for similar facilities that have been subject to regeneration/refurbishment projects elsewhere in the country and the design options put forward as part of the wider feasibility work undertaken.

Several uses have also been discounted at this stage, as these are deemed to be un-viable options for the Council in the long-term. These are detailed within the assessment output.

Given the early-stage nature of the feasibility work undertaken at this time the assessment concludes with suggested ‘next steps’ to be taken by Carlisle City Council and stakeholders in further developing and assessing the potential future use of the building, including further assessment of potential demand and commercial viability.

The full assessment can be found at Appendix A.

7.2 Indicative Cost Estimate

A high level indicative cost estimate has been completed by Mott MacDonald to quantify the three options to redevelop the James Street Baths as assessed by this feasibility report.

In order to cost the three options, the estimator has applied the functions/uses of the three example projects (Newcastle, Victoria and Harrogate Baths, as discussed in chapter 6) into the spaces available at James Street Baths to estimate the scope of works required to the existing building in order to facilitate these uses. These works, alongside the site-relevant works to the existing building are summarised in the table opposite.

The estimate and summary can be found at Appendix B.

| | | | | | |
|--------------|--------------------------------|--|-----------------|--|------|
| PROJECT NAME | James Street Feasibility Study | | ESTIMATE NUMBER | | 1 |
| RIBA STAGE | RIBA Stage 0 | | PRICE BASE DATE | | 4Q21 |

| Summary of Group Element Costs | | | | | | |
|--------------------------------|---|------|--------------|--------------|---------------|---|
| | Group Element | | Option 1 | Option 2 | Option 3 | Comments / Assumptions |
| | Direct Costs (cost basis excl prelims) | | 2,373,725.15 | 2,377,432.80 | 2,244,055.28 | |
| | Direct Costs (cost basis incl prelims) | | 732,113.00 | 2,392,037.00 | 12,436,617.62 | Rates derived from BCIS incl prelims at base |
| | DIRECT CONSTRUCTION WORKS COSTS (A) | | 3,105,838 | 4,769,470 | 14,680,673 | |
| | Preliminaries, overheads and profit | | | | | |
| | Preliminaries | 0.25 | 593,431.29 | 594,358.20 | 561,013.82 | Added to these direct costs that excl prelims |
| | Contractor Overheads and profit | 0.1 | 369,926.94 | 536,382.80 | 1,524,168.67 | |
| | INDIRECT CONSTRUCTION WORKS COSTS (B) | | 963,358 | 1,130,741 | 2,085,182 | |
| | CONSTRUCTION COST (C) | | 4,069,196 | 5,900,211 | 16,765,855 | |
| | Project / Design Team Fees and Other Project Development Costs | | | | | |
| | Design @ 7% of Direct Construction Works Total (A) | 0.07 | 217,408.67 | 333,862.89 | 1,027,647.10 | |
| | Project Development Team @ 10% of Direct Construction Works Total (A) | 0.1 | 310,583.82 | 476,946.98 | 1,468,067.29 | |
| | Other Project Costs: Environmental Mitigation | 0.01 | 31,058.38 | 47,694.70 | 146,806.73 | |
| | EMPLOYER INDIRECT COSTS (D) | | 559,051 | 858,505 | 2,642,521 | |
| | POINT ESTIMATE Construction + Development Cost (E) | | 4,628,247 | 6,758,715 | 19,408,377 | |
| | Risk | | | | | |
| | Risk @ 60% of Point Estimate Total | 0.6 | 2,776,948.35 | 4,055,229.22 | 11,645,025.91 | |
| | ANTICIPATED FINAL COST Cost limit excluding inflation (F) | | 7,405,196 | 10,813,945 | 31,053,402 | |
| | Inflation | | | | | |
| | Inflation | | - | - | - | Excluded as program not confirmed |
| | TOTAL INFLATION ALLOWANCE (G) | | - | - | - | |
| | Anticipated Final Cost - AFC TOTAL COST LIMIT (H) | | 7,405,196 | 10,813,945 | 31,053,402 | |

Figure 56: Mott MacDonald outline cost estimate summary table.
Image: Mott MacDonald, 2021.

8.0 Next Steps

8.1 Refining the Design

We hope that this feasibility report has successfully captured the fantastic potential for developing the James Street Baths.

Once the financial and social value appraisals have been completed and the framework for progressing with implementation of the project has been agreed, the next step in moving the project forward will involve formation of a design team to work collaboratively with project stakeholders including the client, the end user operator, and relevant statutory bodies, to develop the details of the design and materials specification through the RIBA work stages to a level of detail where consents can be agreed, costs can be firmed up, and operators can engage with and shape the intervention to meet their technical and operational requirements.

8.2 Statutory Consents

In accordance with the requirements of the listed building, the design, fit-out, management and operation of the James Street Baths will be subject to close liaison and development in collaboration with a number of statutory consultees, including the Planning Team, Conservation Officer, Building Control and the Fire Service.

8.3 Operator Liaison

In tandem with developing the design to greater levels of detail it will be imperative to engage at an operational and technical level with all end user management and all concession unit operators to understand their technical requirements and integrate them into the evolving detail of the design. This input early in the next stages of design will be critical in refining and coordinating the design of the proposals to create a successful operational environment.

8.4 Procurement

Once the design and capital cost assessment has been coordinated and developed to a sufficient level of detail, the final step of the implementation process will be to identify to most appropriate and effective method of procurement to engage a main contractor to undertake the works. There are many different options available, each with advantages and disadvantages. However, because of the importance and heritage value of the Turkish Health Suite and adjoining spaces, along with the bespoke technical content of a high quality restoration, it will be of great importance to select a construction partner with an appropriately high level of experience and sensitivity across both of these areas of expertise.

9.0 Short Term Interventions

9.1 Assessment of Existing Building

As part of the feasibility study into potential long term redevelopment options for the James Street Baths, an interim solution has been prepared. This proposal provides a short-term strategy for retaining building activity whilst a viable future use is sought.

This option can be considered in line with Option A presented earlier in this report, however the level of redevelopment and refurbishment is limited to minimal, reversible, interventions.

The following pages of this report summarises an outline temporary scheme proposed order to avoid abortive costs later on in the building's redevelopment.

The assessment work undertaken includes for:

- Removal of poor quality fittings, ceilings and furniture.
- Capacity assessment, including assessment of existing fire strategy and toilet facilities.
- Accessibility and the entrance lobby
- Potential modifications to building services

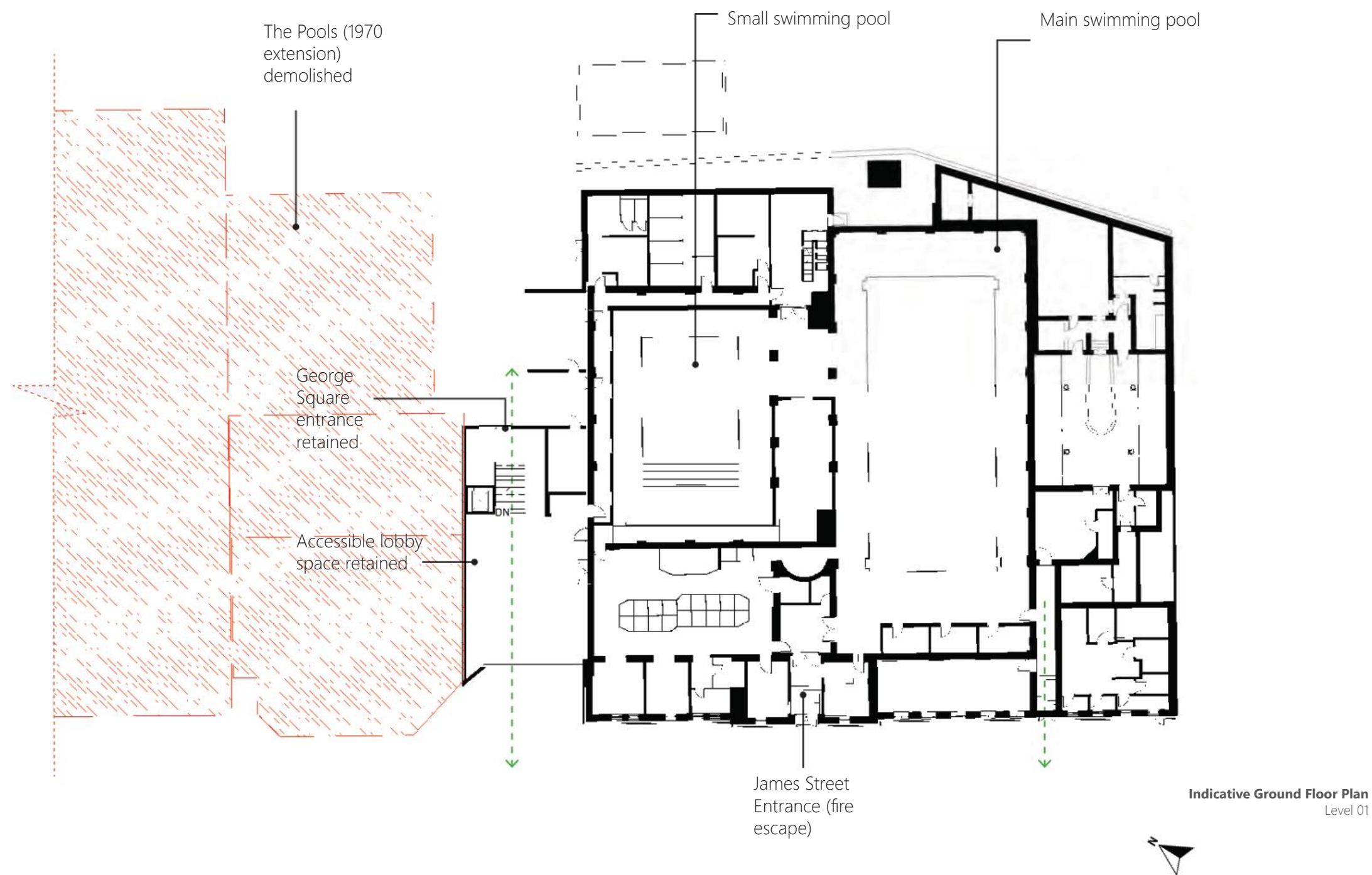


Figure 57: Ground Floor removals plan, meanwhile option

9.2 Swimming Pool Change of Use

Retaining the existing layout of the James Street Baths is beneficial to the temporary reuse of the building whilst a long-term development solution and/or operator is sourced. The adjacent indicative design suggests a temporary / meanwhile option for the building that retains the existing swimming pools in situ. Draining the water from the swimming pools and covering the existing tiled surfaces with temporary, largely timber, installations will allow the space to be used flexibly but also enable the interventions to be reversed at a later date if required.

The large pool hall, once decked to provide a safe and level usable surface, could host various community uses, making use of the building and adding to the redevelopment and regeneration of the southern gateway area.

It will need to be considered whether the proposals would result in a change from one Use Class to another, and hence whether planning permission will be required. It might also be necessary for planning permission and Listed Building Consent to be sought (given the adjacent Grade II listed Turkish Health Suite; however no temporary / meanwhile works are proposed to the suite itself).

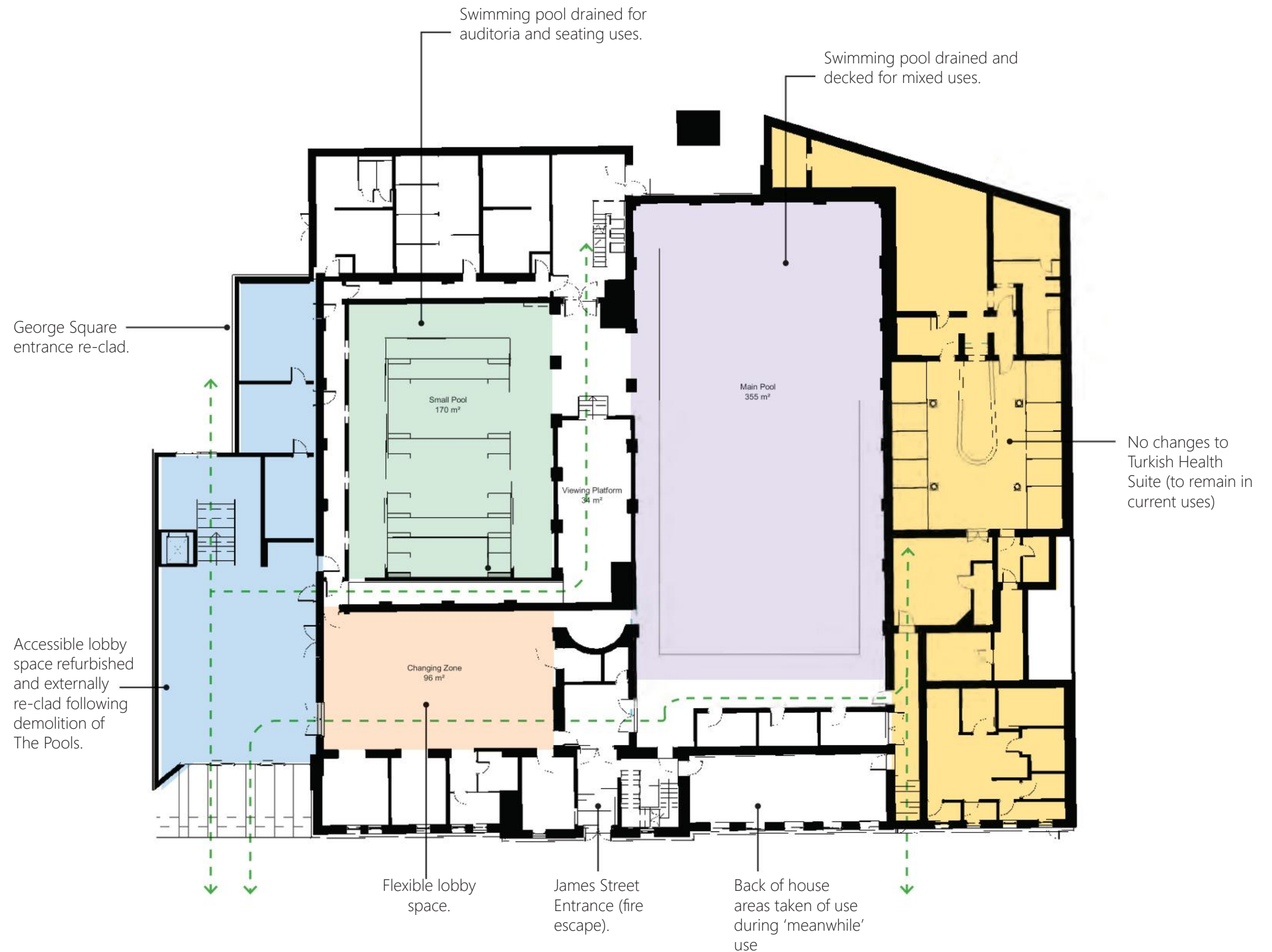


Figure 58: Ground Floor proposed plan, meanwhile option

9.3 Suspended Ceiling Removal

The two existing pool halls within the James Street baths complex have suspended lay-in grid ceilings. The ceilings conceal mechanical ventilation (inset air grilles are visible). However the pool halls are currently lit from lamp fittings attached to the perimeter walls of the space.

When considering any interventions to the existing building reference should be made to *The Pools Asbestos Reinspection Report 22nd August 2018*.

Removing the suspended ceiling over the pools will transform the user experience and usability of the space through the reintroduction of natural light. The pool halls benefit from their existing Victorian pitched roof construction with large skylights which appear to be in good condition.

As the pools will cease to operate as water filled swimming pool, the tanks should be appropriately drained and cleaned.

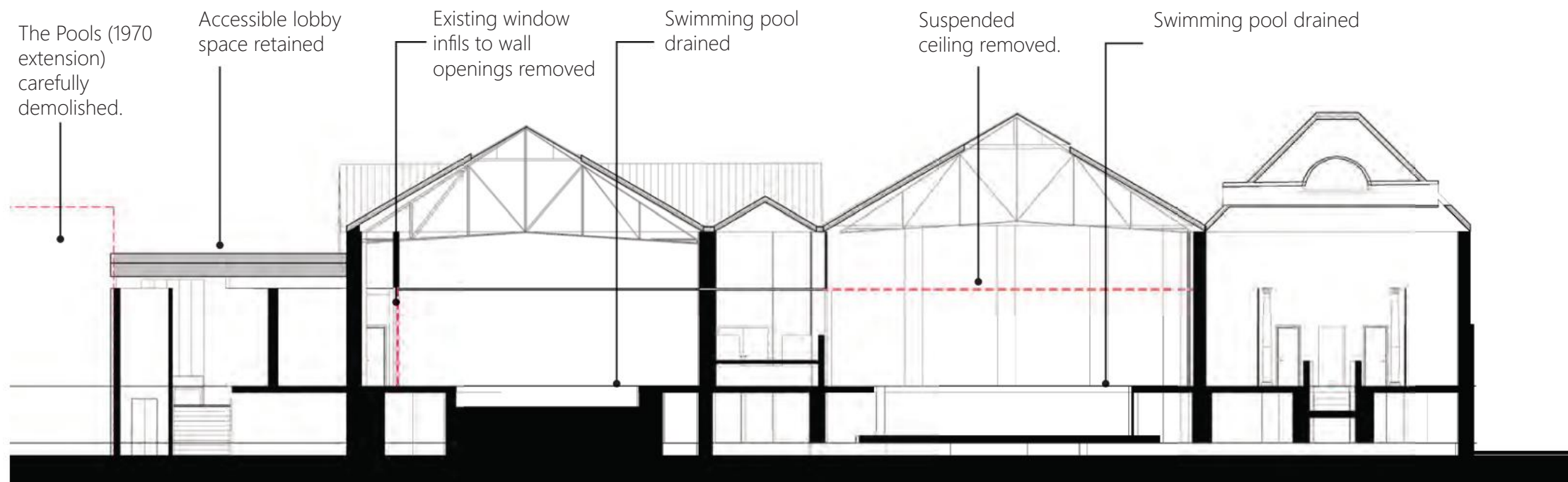
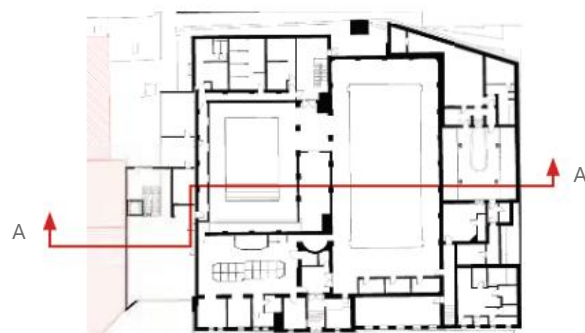
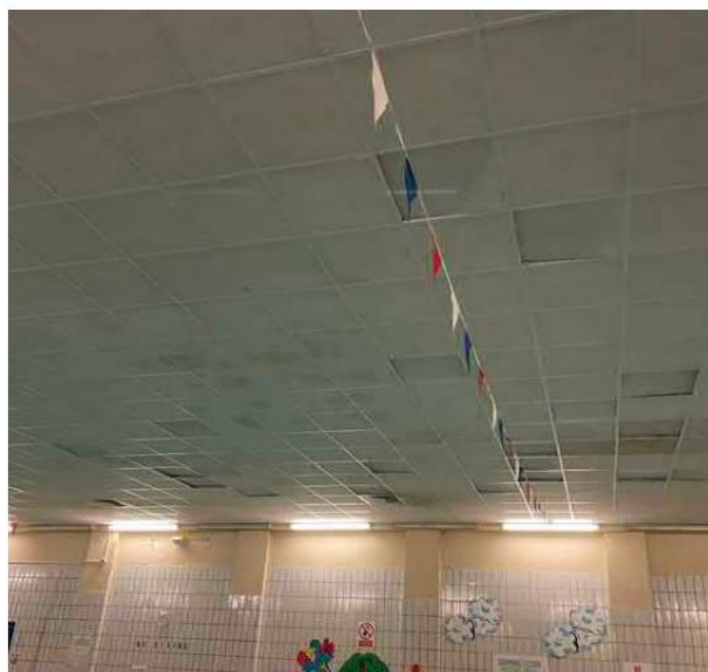


Figure 59: Approximate existing section A-A, meanwhile option as proposed.



Suspended grid in-lay ceiling above the small (10m) pool showing signs of wear and deterioration



Suspended grid in-lay ceiling above the large/main (20m) pool showing signs of age



Suspended grid in-lay ceiling above the large/main pool ceiling tiles missing or damage/ lifting

Removing the suspended lay-in grid ceilings from over the main swimming pool will immediately change the experience and usability of the halls. It is not known what condition the soffit of the existing pitched roof or roof lights are in, however the building appears to be weather-tight, with limited staining on the visible face of the existing ceiling. At roof level the glazed roof lights appear to have had relatively recent refurbishment works.

To increase the usability of both pool halls, the main 20m pool is proposed to be decked over with a steel and timber frame. We also propose the construction of a temporary terrace structure, including seating, to the smaller 10m pool.

This mitigates the cost of decking the small pool as the shallow depth of the swimming tank (0.75m) can be utilised as seating and an alternative usable space within the complex. It is proposed that the ceiling above the small 10m pool should be retained to reduce removal costs (prioritising the main pool hall) and provide space for a wider range of uses if this area of the complex does not have daylight penetration from above (ie. film screenings, presentations, etc.).

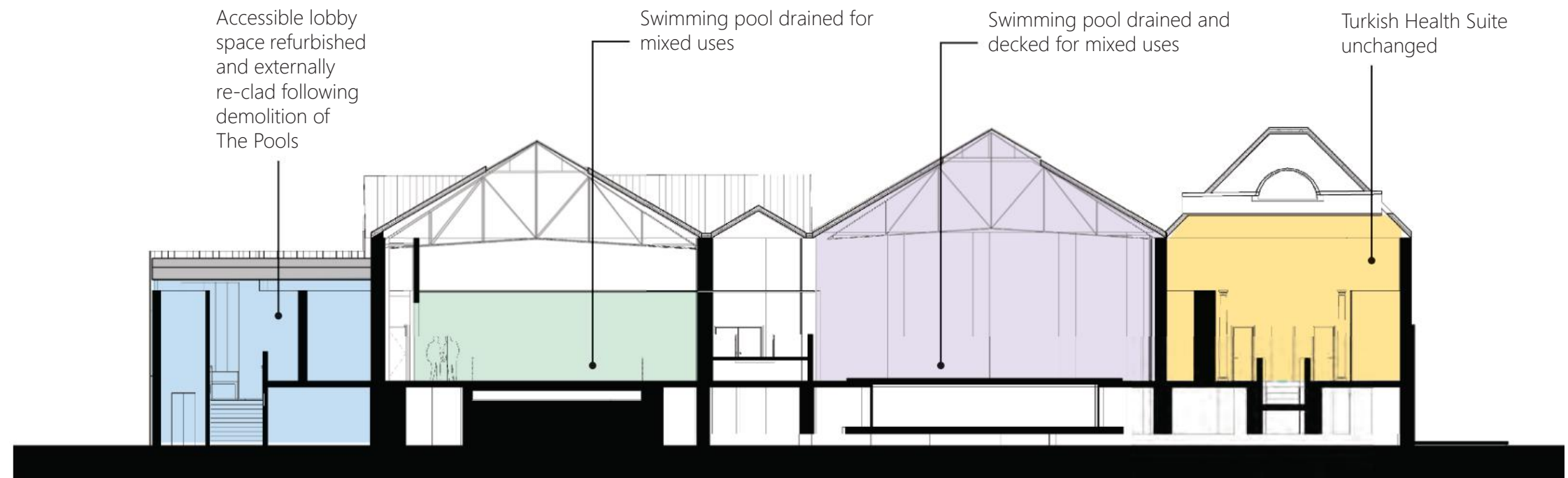


Figure 60: Approximate existing section A-A, meanwhile option as proposed.

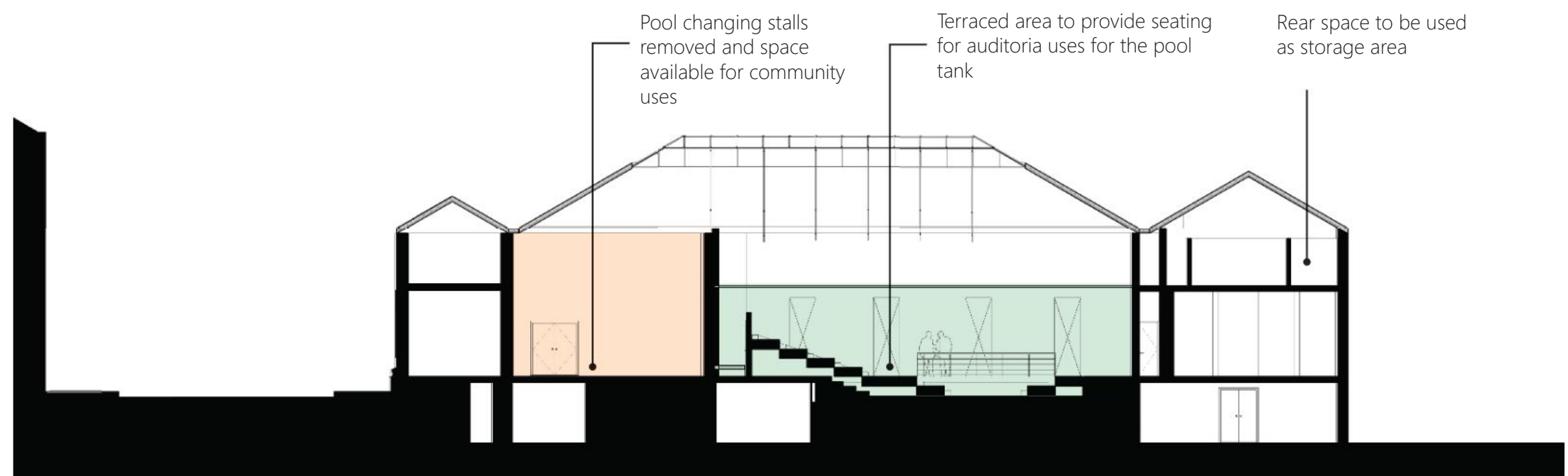
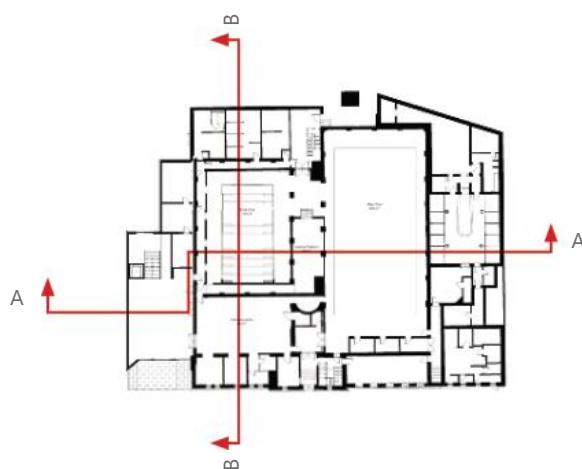


Figure 61: Approximate existing section B-B, meanwhile option as proposed.

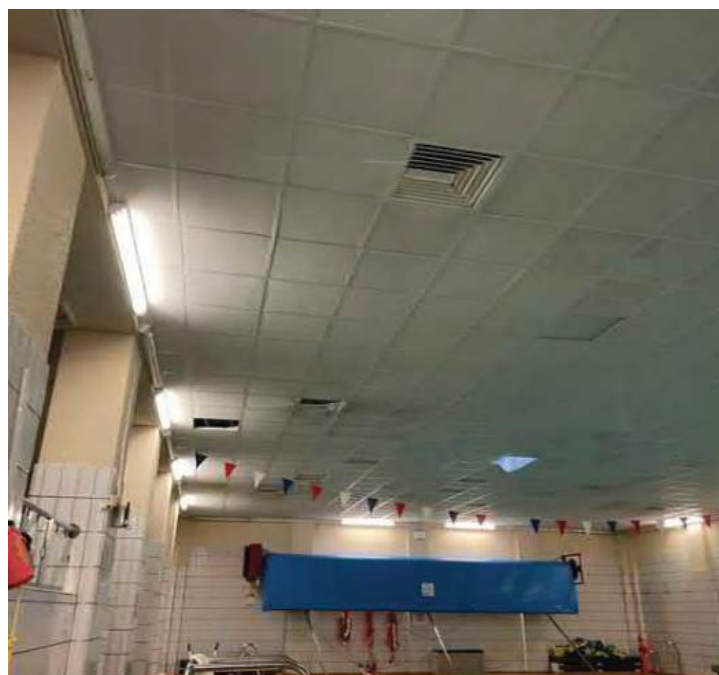


9.4 Finishes

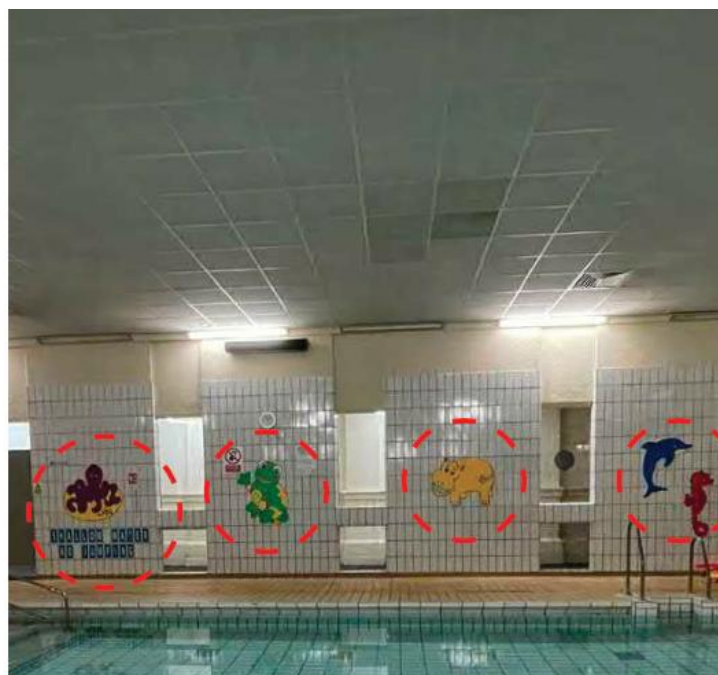
It is proposed that the majority of the interior finishes within the pool halls will be retained during the temporary occupation / meanwhile use of the building, with exception of the existing suspended ceiling over the main pool.

Signage and graphic decals on the existing wall fixed tiles should be removed and the tiles cleaned where appropriate. The un-tiled areas below the ceiling could also be repainted white if the budget permits. The power supplies to the existing pool hall lighting could be retained with replacement luminaires fitted. Existing joinery (doors, window frames etc.) should be cleaned and repainted.

As the pool halls have sloping tiled pool surrounds to provide drainage to the wet-areas around the swimming pools, these should be levelled off with a continuous surface finish across the decked pools. Marginally raising the floor level of the pool halls in this manner could be accessed through local ramping at required door thresholds. Tiles and drains should remain in situ. It is proposed that a timber batten system could adequately raise the floor level, to be coordinated with the proposed steel-deck system to board over the main pool tank. All proposals are indicative and subject to further development and detailed design.



1. Suspended ceiling removal over 20m main pool.



2. Graphic decals, stickers and adhered signage to be removed from tiled surfaces.



3. Draining floors to be made level and covered in suitable slip resistant fire retardant surface.



4. Wall hung lighting to be replaced.



5. Changing room fixtures to be removed.



6. Existing doors and joinery to be cleaned and repainted.

Small Pool Hall

A bespoke timber joinery insertion of raked large scale seating and balustrades around the small 10m pool tank will create a useful and extremely versatile space for community hire.

Existing fluorescent lighting,
luminaires replaced.

Existing ceiling retained in situ and
repaired where appropriate.

Proposed timber
seating to pool hall.

Existing fluorescent lighting,
luminaires replaced.

Existing pool hall white
vertical bond tiles.



Proposed fire retardant timber floor
lining to level out pool floor surfaces.

Figure 62: Existing small pool hall.

Figure 63: Indicative image of proposed reuse of the small pool hall.

Large Pool Hall

Boarding over the main pool will provide a fantastic mixed use flexible facility within the southern gateway regeneration zone. The majority of works required to the main pool involved removing the suspended ceiling and levelling / boarding the floor areas. Retaining the pool void beneath the decked floor surface retains the possibility for the building to reopen as a swimming pool in the future, whilst reducing the costs of completely removing the tank and associated finishes.



Figure 64: Existing main pool hall.

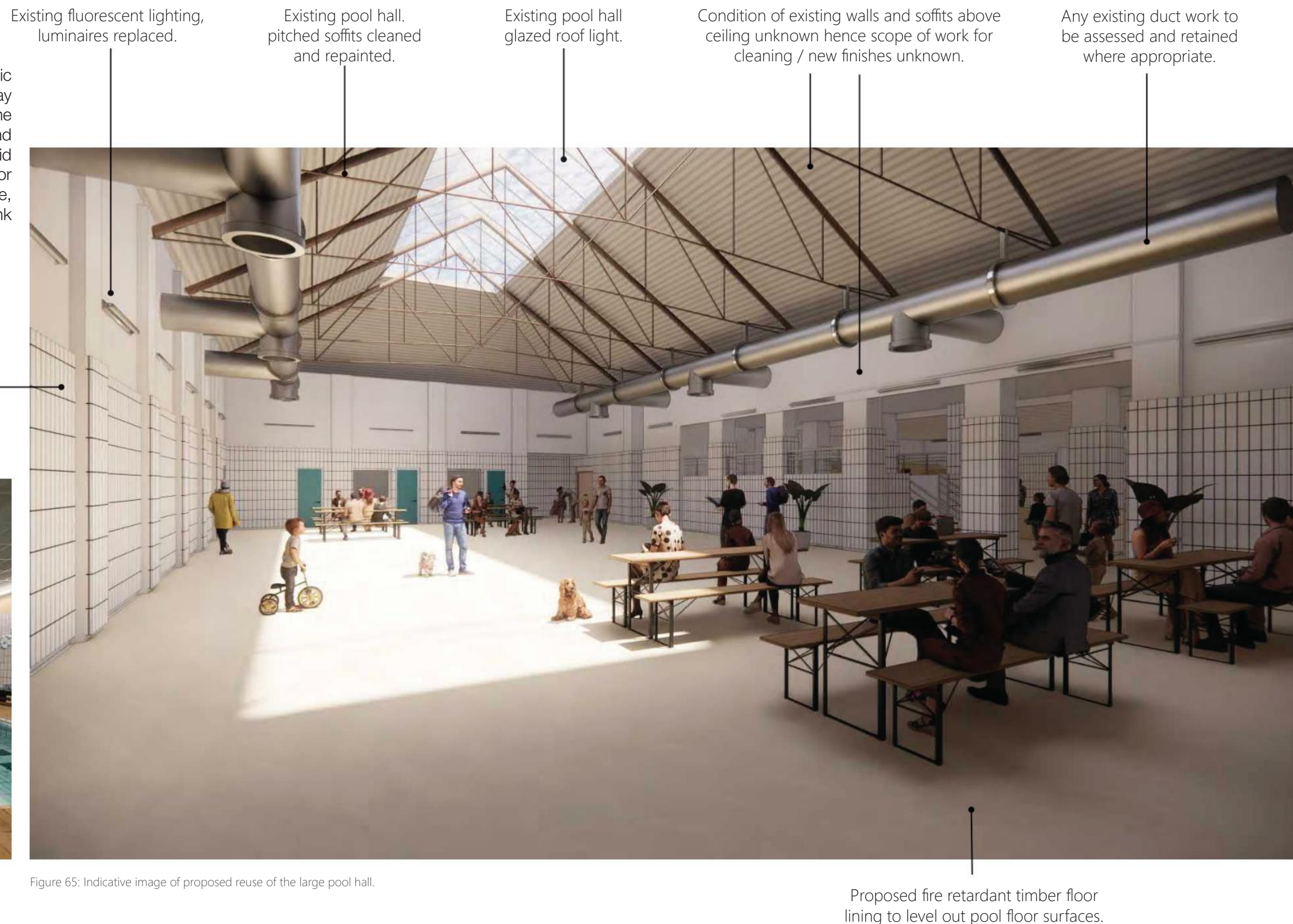


Figure 65: Indicative image of proposed reuse of the large pool hall.

Proposed fire retardant timber floor lining to level out pool floor surfaces.

9.5 Capacity and Facilities

The building regulations Approved Document B2, ‘Fire safety: Buildings other than dwelling-houses’, defines the occupant capacity of a room, storey, building or part of a building as:

The maximum number of persons it is designed to hold; or
The number calculated by dividing the area of room or storey(s) (m²) by a floor space factor (m² per person) such as those given in Table C1 of the approved document for guidance.

| Use of room or floor | m² per person |
|---|---------------|
| Standing spectator areas, bar areas (within 2m of serving point) similar refreshment areas. | 0.3 |
| Assembly hall, bingo hall, club concourse, dance hall, venue for music concert and like occasion, queuing area and bar areas without fixed seating. | 0.5 |
| Committee room, common room, conference room, dining room, lounge or bar (other than in 1 above), meeting room, reading room, restaurant, staff room or waiting room. | 1.0 |
| Exhibition room or studio (radio, film, television, recording). | 1.5 |

Figure 66: Extract of Table C1 of Approved Document B2, 2010.

Proposed temporary / meanwhile uses of the James Street Baths pool halls should be subject to the appropriate capacity figures estimated in the table above. There are also a number of existing toilet locations throughout the James Street Baths building. It is proposed that these locations are to be retained and facilities maintained as present.

Existing toilet facilities (TBC)

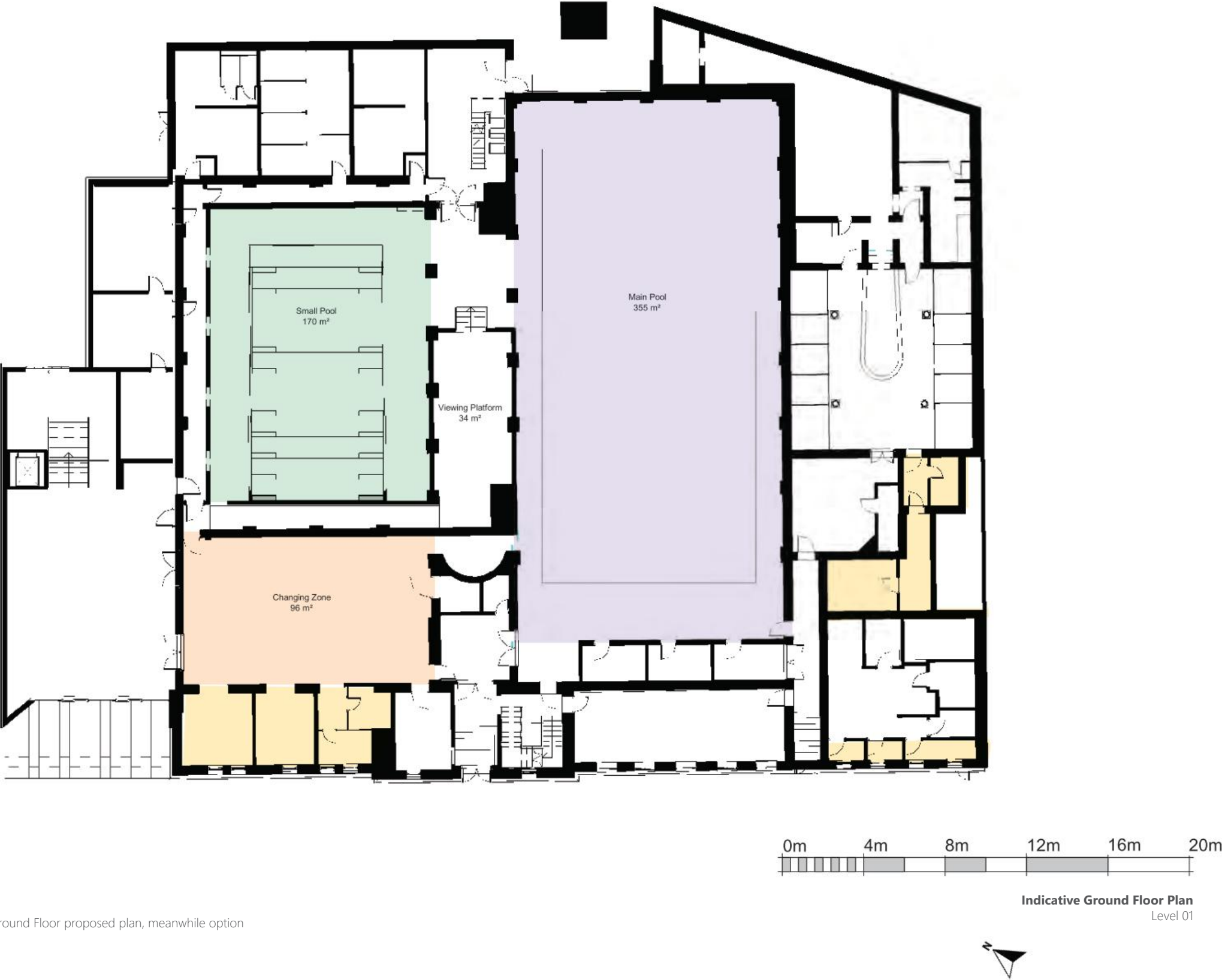


Figure 67: Ground Floor proposed plan, meanwhile option

9.6 Fire

The building currently has multiple points of emergency escape and a fire escape protected stairwell. As the proposals do not extend, alter or reorganise the existing plan of the building the fire strategy should remain unchanged - subject to fire engineer assessment and detailed design.

A large increase in capacity / occupancy will require reassessment from a qualified fire professional.

Key

- Existing fire escape (stepped access)
- Existing fire escape (level access)
- Escape routes
- Existing fire escape protected stair

| Maximum number of persons | Minimum number of escape routes / exits |
|---------------------------|---|
| 60 | 1 |
| 600 | 2 |
| More than 600 | 3 |

Figure 68: Extract of Table 2.2 of Approved Document B1, 2010.

| Number of escape routes | Minimum escape distances |
|--|---|
| Where more than one route is provided | 25m high risk area 45m normal risk area 60m low risk area |
| Where only a single escape route is provided | 12m high risk area 18m normal risk area 25m low risk area |

Figure 69: Extract of Table 2.1 of Approved Document B1, 2010.

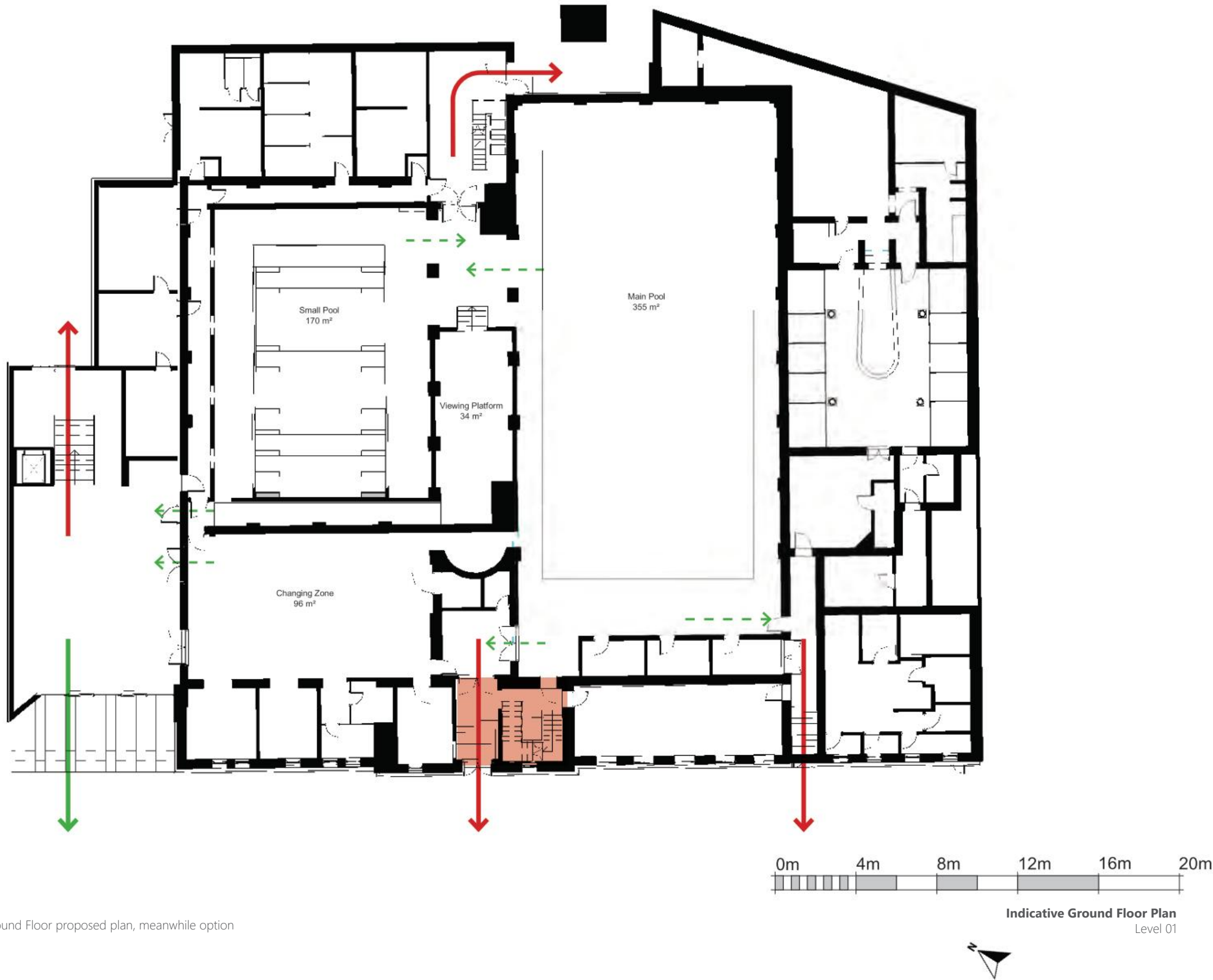


Figure 70: Ground Floor proposed plan, meanwhile option

9.7 Entrance Lobby Remodelling

Coinciding with the planned demolition of the 1970's pool hall adjacent to the Victorian James Street Baths, it is proposed that, as an intermediary solution to the lack of step-free access to the James Street Baths, the 1970's lobby (currently connecting the two buildings) should be retained.

The lobby in its current state provides access to the ground level of the baths from the lower South George Street entrance (proposed George Square) through a short-distance lift and single run of stairs.

The lobby could be re-clad in a sympathetic but contemporary material palette relevant to the historical James Street Baths building adjacent, to improve its external appearance. The adjacent image shows an indicative teal-toned copper alloy rainscreen cladding. Material, colour and cladding layout subject to design development, client-led brief and costing exercises.



Figure 71: Existing South George Street elevation of the James Street Baths.



Figure 72: Indicative image of proposed reuse of the small pool hall.

External appearance of existing 1970 lobby extension concealed by rain-screen cladding.

Existing glazing and door retained and refurbished.

George Square redevelopment works as part of the Station Gateway scheme.

James Street Elevation

An important area for consideration of any proposed cladding to the 1970's extension lobby must take into account the proportions of the James Street Baths along its principal elevation (James Street). As the baths are relatively domestic in scale, with the existing lobby significantly recessed from the building line, new interventions should follow a similar language and form.

Cladding should be high quality and sustainably sourced where possible. The colour palette of any new cladding could be inspired (as shown in the image adjacent) by the metal work, joinery and rainwater goods of the existing building. This is an opportunity to refresh the primary public facing elevation and reinvigorate public perception of the whole Victorian building, not only the Grade II listed Turkish Health Suite (which benefits from it's own entrance).

Any related signage or branding should be proportionate to the scale of the new entrance and well designed, the entrance should be illuminated to promote evening usage.



Figure 72: Existing 1970's lobby and principal elevation of the James Street Baths.

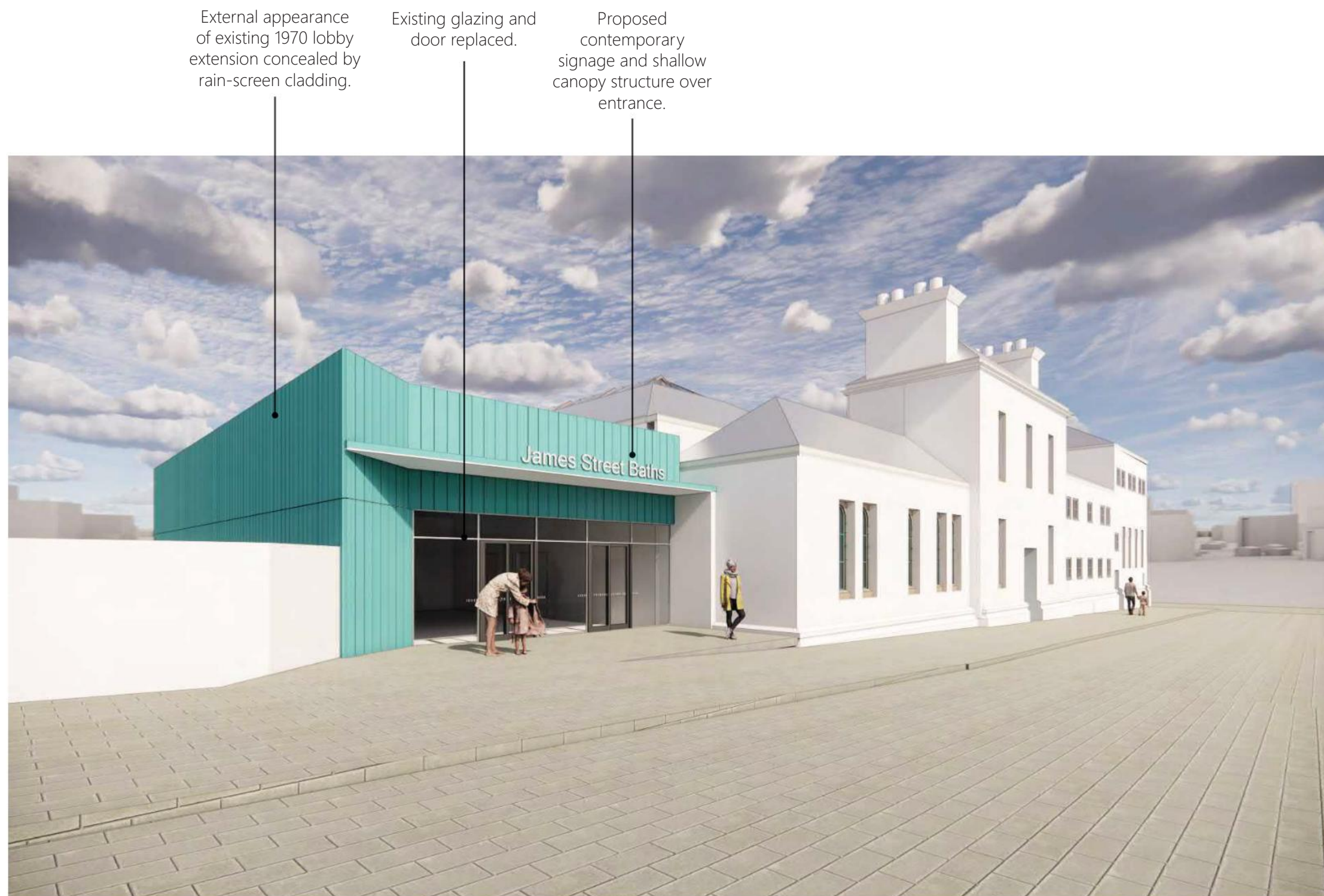


Figure 73: Indicative image of proposed cladding of the 1970's lobby.

9.8 Building Services Assumptions

Building services investigations are required to understand the capability of the existing systems to serve the proposed change of use and activities within the pool halls and further existing building.

The pool halls have visible ceiling ventilation panels, presumably circulating and controlling the air flow in the chlorinated pool environment. The system should be assessed to understand the adjustments required to the existing air flow rates to provide adequate air circulation in a 'community hall' use. It would be budget beneficial if existing building services could be modified to serve the proposed new use in situ.

It is understood that by removing the suspended ceiling any duct work would become visible.

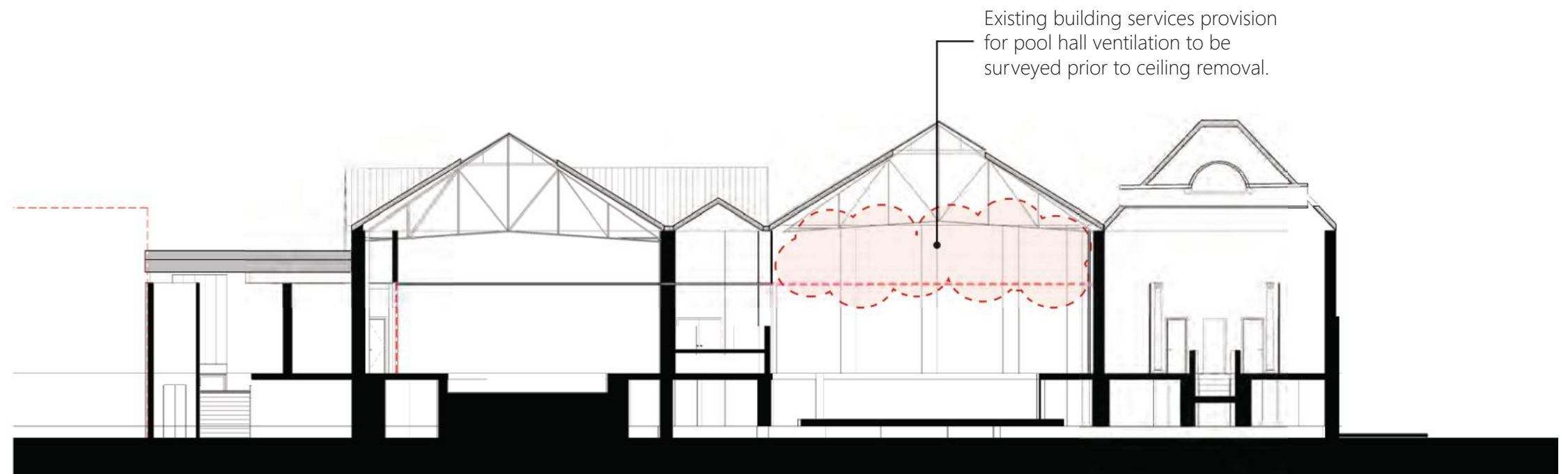


Figure 74: Approximate existing section A-A, meanwhile option as proposed.

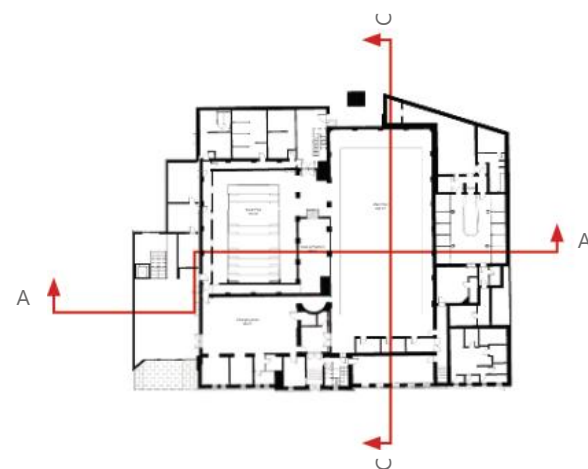


Figure 75: Approximate existing section C-C, meanwhile option as proposed.

10.0 Appendices

- A Commercial Assessment (Mott MacDonald)
- B Indicative Cost Estimate (Mott MacDonald)

| | | | |
|---------------------|--|--------------------|-----------------|
| Project: | Carlisle James Street Baths Feasibility Report | | |
| Prepared by: | Anna Wallin | Date: | 5 November 2021 |
| Approved by: | Mark Basting | Checked by: | Oliver Steele |
| Subject: | Commercial Assessment | | |

1 Introduction

1.1 Document purpose

The purpose of this document is to provide a high-level commercial assessment of the potential options under consideration for the James Street baths in Carlisle, to support the James Street Baths Feasibility Report:

1. Overview of current commercial activity and arrangements at James Street baths.
2. Overview of ongoing and future complimentary activity in Carlisle city centre.
3. Preparation of a literature review of commercial activity at comparable facilities.
4. Undertaking an analysis of commercial requirements for the different options.

1.2 Project overview

Carlisle City Council are currently nearing completion on the £25 million Sands Centre redevelopment. The project will combine The Sands Centre and The Pools (currently on James Street) sites to provide first-class entertainment, leisure and swimming facilities at a single location. As a result, The Pools on James Street will close to the public, and it is planned that the 1970s swimming block will be carefully removed from the site thereafter.

The current pool building on James Street adjoins the Grade II listed Turkish Health Suite. This building, built in phases from 1884 onwards, was designed to accommodate publicly funded swimming facilities, following the introduction of the Baths and Wash-houses Act in 1878. The Turkish Health suite was added as a later addition in 1901. The site of the baths remained principally unchanged through to the 1960s.

Following the future closure of the Pools, which will follow the opening of the Sands Centre redevelopment, a new use for the Turkish Health Suite will need to be found, which ensures the significance, heritage and community value of this listed asset is protected.

2 Current activity

The existing Pools Swimming and Health Centre has three swimming pools (which are 25m, 20m and 10m in length respectively) and are used for a variety of sessions and lessons. The gym and health suite offers 30 stations of equipment, as well as the Victorian Health Suite. The facilities include a sauna, steam room and three heated rooms with an ornately tiled relaxation lounge featuring a cold plunge pool. The facility is commonly referred to as the Turkish Health Suite, or Turkish Baths. because of its style which was inspired

by Turkish baths popular throughout the Middle East, which creative Victorian designers wanted to replicate in the UK. Pre COVID19, the Turkish Baths were attracting approximately 5,300 visits a year. Annual visitor numbers for the past few years are set out on the table below.

Table 2.1: Annual visitor numbers for Turkish Baths

| Year | 2018 | 2019 | 2020 | 2021 (to October) |
|--|-------|-------|------|-------------------|
| Visitors | 5,219 | 5,423 | 814 | 1,460 |
| <i>Closed due to COVID19 restrictions March 2020 - June 2021</i> | | | | |

Source: Carlisle City Council

Admission to the Turkish Baths is currently priced at £7.10 for an adult and £5.10 for an adult concession¹. Assuming a 50:50 split between adult and adult concession entrants, annual revenue in 2019 (immediately before the pandemic) was approximately £33,000, assuming no ancillary revenue sources.

3 Ongoing and future complimentary development in Carlisle

3.1 Borderlands Inclusive Growth Deal

The Borderlands Growth Deal was published in March 2021 and was developed by the Borderlands Partnership, made up of five Local Authorities on both sides of the England-Scotland border and funded by both the Scottish and UK Governments. There are four main themes in the Deal: enabling infrastructure, improving places, supporting business, innovation and skills, and encouraging green growth. Five high profile projects anchor the Deal: Borders Railway, Berwick Theatre, Carlisle Station Gateway, Chapelcross and Mountain biking project.

The Carlisle Station Gateway project is being led by Cumbria County Council in partnership with Carlisle City Council, Network Rail and Avanti West Coast and has secured £20 million of funding through the Deal for improvements to the station. Relevant to James Street Baths is the proposed development of a southern station entrance, improving on the current condition of the rear station access. A new entrance facing James Street will positively reactivate the areas to the south of the railway line and bring with it the opportunities for regeneration and growth. It is intended that the James Street Baths will remain at the centre of the redevelopment of the area.

3.2 Future High Streets Fund projects

The Future High Streets Fund business case was submitted in 2020 and Carlisle City Council was subsequently awarded £9.1m. The projects seek in combination to deliver a distinctive, coherent, and inclusive city centre that will improve the perception of the city, support growth and economic performance. The interventions comprise four distinct but interrelated projects: repurposing the 6-24 Castle Street properties; preparing the Central Plaza site for redevelopment, reimagining Market Square as Carlisle's events space; and the pedestrian enhancement of Devonshire Street.

The Central Plaza site, located on the other side of the railway station to James Street baths, is anticipated to be redeveloped for hotel use, strengthening Carlisle's visitor economy and hotel offering (with only 11 hotels in Carlisle, the accommodation offer for visitors is currently relatively weak).

3.3 Towns Fund projects

Carlisle secured £19.7m from the Government's Towns Fund in March 2021. Among the projects supported with the funding is the addition of 9,558 sq ft of space at the Citadels for business interaction and accommodation, which is linked to the University of Cumbria's campus development. Other projects

¹ Better 'The Pools Activity Prices' available at: <https://www.better.org.uk/leisure-centre/carlisle/the-pools/prices>

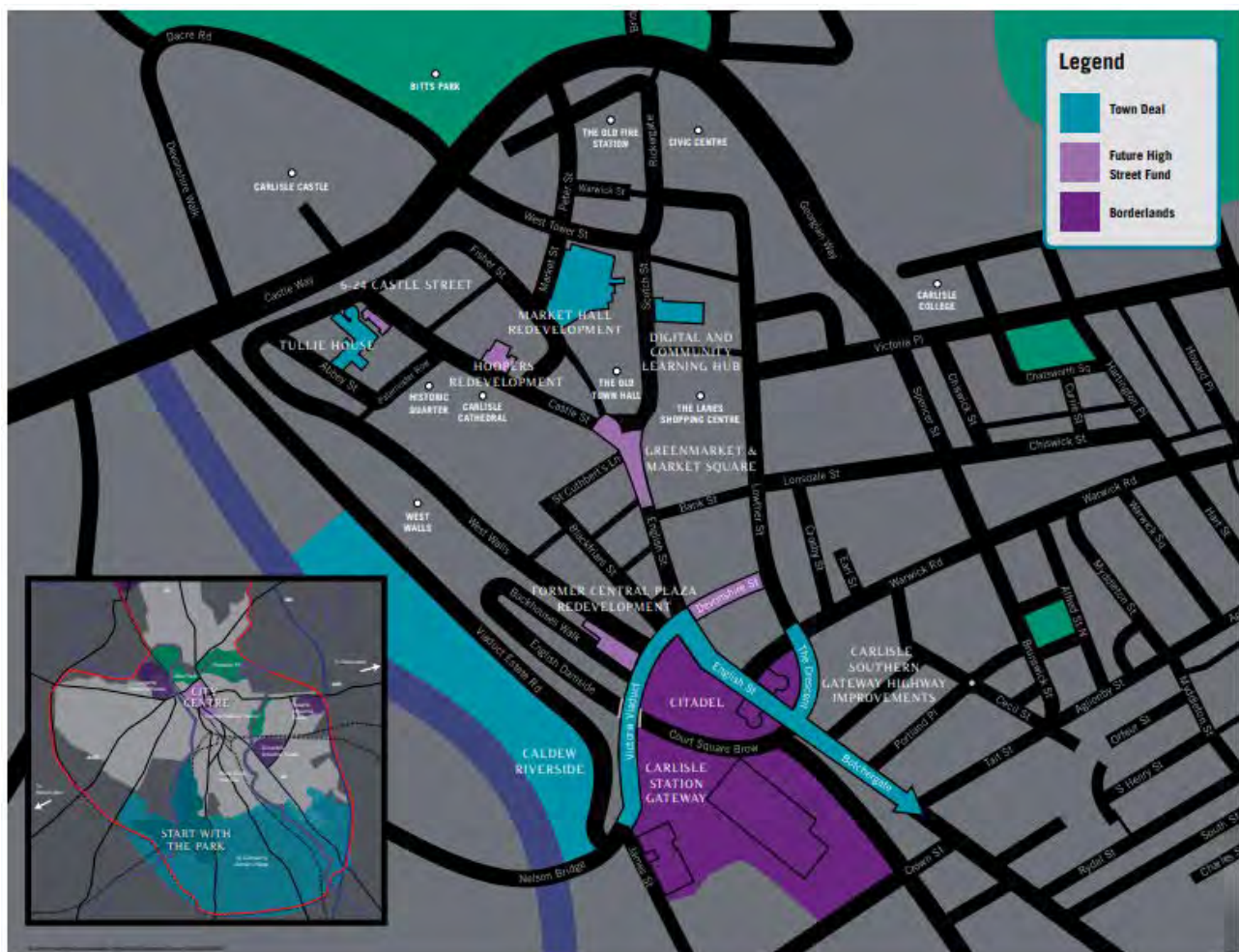
receiving funding include the Carlisle Market Hall's infrastructure improvement (which expands the city's food and beverage offer and creates an additional events space), Tullie House Museum's new entrance on Castle Street, investment in digital lighting equipment to support an expanded and transformed events programme through the Lighting Up Carlisle project, and the City Centre Library's digital and community learning hub refurbishment.

Carlisle will also designate £2m to provide a multi-modal green travel corridor connecting the key St Cuthbert's Garden Village development with the city centre. Closest to the James Street Baths, the Southern Gateway project will provide £6.6m for improvements to sustainable travel in its Southern Gateway area (which comprises the station, the Citadels, Devonshire Street and the Central Plaza site).

3.4 Additional complimentary development

Carlisle City Council is currently nearing completion on the £25 million Sands Centre redevelopment. The project will combine The Sands Centre and The Pools (currently on James Street) sites to provide first-class entertainment, leisure and swimming facilities at a single location to the north of the city centre. As a result, The Pools on James Street will close to the public, and it is planned that the 1970s swimming block will be carefully removed from the site thereafter.

Figure 3.1: Key developments in Carlisle city centre



Source: Carlisle Town Investment Plan

4 Literature review - key findings

A number of Victorian bathhouses have been repurposed and redeveloped across the UK. Four examples are set out below.

4.1 Newcastle City Baths, Newcastle

Newcastle City Baths are Grade II listed and are recognised as being of high architectural, historic and communal interest as one of the first post-World War I public buildings in the city. Following the closure of the City Baths in 2013, the facilities were listed as an asset of community value. Key elements of the completed works are the restoration of the central pool hall; the conversion of the west pool hall to create a high-quality community health and fitness facility (comprising a large gym and multiple group exercise studios); the restoration of the Turkish Baths (plus the creation of a spa in the adjacent basement area); the creation of a new food and drink outlet within the reception area; and improved facilities and access for all into and throughout the building.

The £7.5m refurbishment was carried out by Fusion, a leisure charity that also led the renovation of Brockwell Lido in south London in 2007 and then Brighton's Saltdean Lido 10 years later. In addition to restoring the baths, they refurbished one of the swimming pools and installed new fitness studios.

Newcastle City Baths now runs as a private gym, with membership packages ranging from £30 to £81 a month. One-off sessions for the gym, swimming pool and Turkish Baths can also be purchased. The City Baths Spa is onsite which offers a range of treatments.

4.2 Ironmonger Row Baths, Islington

Ironmonger Row Baths were built in 1931 as a public baths and laundry at a time when few people in the locality had bathrooms in their homes. In 1937 a swimming pool and a small Turkish baths were added. After a £16m complex refurbishment project, Ironmonger Row Baths now contains modern pools, fitness studios and an expanded Turkish Baths and spa: state of the art facilities in a building which preserves the historic character of the handsome Grade II listed building. The facility operates numerous programs, including a branch of the Tom Daley Diving Academy.

The Baths have been managed by Greenwich Leisure Limited (GLL) since the 2012 refurbishment. GLL is a charitable social enterprise, set up in 1993 after Greenwich Council identified a need for a new approach to run its leisure centres due to public spending cuts. In 1996, it began expanding outside Greenwich and now runs community services and spaces across the UK - including the Sands Centre and Pools Swimming in Carlisle.

4.3 Turkish Baths, Harrogate

Built in 1897 and renovated several times since, the Turkish Baths Harrogate is a well-known spa experience in North Yorkshire. Major works were carried out on the Turkish Baths in 2003 with a £1.5m scheme backed by the Heritage Lottery Fund and additional restoration work costing £300,000 was undertaken in 2018. In addition to the Turkish baths, visitors can enjoy a number of spa treatments including facials, massages and beauty treatments, and visitor numbers now exceed 40,000 annually.

Harrogate Council retains ownership of the Harrogate Turkish Baths, which also has a café and a shop onsite in addition to the spa and baths. Adjacent to the Turkish Baths are a number of complimentary businesses and services, including the Royal Baths Champagne Bar, Harrogate Tourist Information Centre and the Royal Baths Chinese Restaurant.

4.4 Alloa Speirs Centre, Scotland

The category A listed (Historic Scotland, Grade I equivalent) Speirs Centre first opened as a public baths and gymnasium in 1897. Following extensive renovation, it is now a civic centrepiece for Alloa that accommodates a wide range of cultural and community-based activities. These include museum displays, which are part of a new town heritage trail, a modern library, a café, a Council customer services access point, the Council Registrar's office, community education programme facilities, business centre facilities, meeting rooms and a Tourist Information Centre.

4.4.1 Victoria Baths, Manchester

Victoria Baths is a Grade II* listed building in the Chorlton-on-Medlock area of Manchester. The Victoria Baths complex was designed by Manchester's first City Architect Henry Price and opened in 1906. The façade has multicoloured brickwork and terracotta decoration, the interior spaces are clad in glazed tiles and most of the windows have decorative stained glass.

A multimillion-pound restoration project began in 2007, which enabled the Victoria Baths Trust to intensify the meanwhile use of the building whilst delays to a full restoration project were quantified. Heritage Lottery Fund and Historic England have been the major funders of the restoration work to date with other funders also contributing. Individual supporters have also made donations and work continues to take place most years, in particular to the building's stained glass windows.

Today, the space regularly hosts conferences, wedding receptions, photoshoots, staff training events, film screenings, food and drink festivals, and a variety of arts performances and exhibitions. There are a number of rooms and venues for hire, accommodating between 50 and 500 people.

5 Overview of potential uses

Based on discussions with Carlisle City Council, a review of the case studies presented above and potential design options, a number of uses have been set forward for consideration. Several uses have also been discounted at this stage, as they are unviable options for the Council in the long-term. The results of this analysis is set out below.

5.1 Uses under consideration

5.1.1 Spa facility

Similar to Newcastle City Baths and the Turkish Baths in Harrogate, a potential use for the site is as a day spa, in keeping with the original use of the building to provide a health and wellbeing offer to Carlisle's residents and visitors. While the wellness industry has been one of the hardest hit sectors by COVID-19, in the long-term it is anticipated that this sector will be in high demand, with many people looking for places that offer respite for mind and body². A study by McKinsey & Company, a management consultancy, estimates the global wellness market at more than \$1.5 trillion, with a rise in both consumer interest and purchasing power presenting significant business opportunities, particularly as spending on personal wellness rebounds after stagnating during COVID-19³.

Guidance from Mindbody, a provider of support services to the wellness sector, highlights a number of key considerations for a potential new spa facility:

² Forbes (May 2020) 'Feeling Positive: How The Spa And Wellness Industry Is Reacting Now... And Planning For The Future' <https://www.forbes.com/sites/angelinavillaclarke/2020/05/18/feeling-positive-how-the-spa-and-wellness-industry-is-reacting-now-and-planning-for-the-future/?sh=3b7588031c3a>

³ McKinsey & Company (April 2021) 'Feeling good: The future of the \$1.5 trillion wellness market' available at: <https://www.mckinsey.com/industries/consumer-packaged-goods/our-insights/feeling-good-the-future-of-the-1-5-trillion-wellness-market>

- **Location.** When starting a spa or beauty salon, the location is crucial to success. If a spa is not located near potential customers and is sited away from ancillary shops and facilities, it will struggle to attract customers. Passing footfall is important – this is evidenced by the site selection of Champneys' city spas. Champneys, a major UK spa operator, has day spas in a number of inner-city locations, all of which are located in areas with high footfall - on high streets, in shopping centres or precincts and close to transport services⁴. Pure Spa has a similar operating model across Scotland and England, targeting time-starved individuals by combining spa and beauty treatments in urban locations, with late opening hours and close to other amenities (such as gyms, shopping centres and offices).
- **Population.** It is important to locate a spa in an area where people live, work and visit. The service offering of the spa should also reflect the demographic of the local population – considering factors such as age, gender and estimated income bracket. With an aging population, a potential new spa in Carlisle might focus on anti-aging services (although appealing to a growing student population and visitor economy may also influence service offerings).
- **Competition.** There are a number of spas which already operate in the area, set out below:
 - **The Winter Spa Carlisle** is situated in the Halston Aparthotel, with easy access from Warwick Road. Adjacent to the hotel is a 55-space public car park with a private entrance. The Aparthotel and Spa are serviced by all forms of public transport and is a short walk from Carlisle train station. Within the Aparthotel, there is a public bar and restaurant, and waiter service is also available for food and drinks to be made available to the Spa. The Winter Spa is open six days a week.
 - **Elysée Beauty & Aesthetics**, located on St Cuthbert's Lane, offers a range of spa services, including massages, pedicures and manicures, facials, laser hair removal, and various non-surgical face and body treatments. Semi-permanent cosmetic and medical tattooing, facial contouring and frown treatments are available.
 - **Rickerby Retreat** is located to the north-east of Carlisle city centre and has amenities including five treatment rooms, a 2-person pedicure room, nail bar areas, pool, steam room, sauna, jacuzzi and outdoor and rooftop terraces for dining.
 - **The Rooftop Retreat** is located on Ashley Street, outside of the city centre boundary and close to Carlisle Infirmary. It is approximately a 20-minute walk from the James Street baths. It offers a range of spa services, including massages, pedicures and manicures and facials.
 - **Bannatyne Health Club & Spa Carlisle** is located in the northern outskirts of Carlisle with free parking. A range of membership options is available with the choice to commit to a 12-month contract, pay on a monthly basis or buying a one-off day pass. There is a gym, pool and spa onsite.
 - There are also multiple hair and nail salons in the city centre, some of which offer a range of services including facials and massages.
- **Transport links.** A new salon should be accessible in terms of public transport and driving/parking – many customers are unlikely to want a significant journey time following treatment. While the site is adjacent to Carlisle station, the main entrance is on the other side of the tracks from where the existing James Street baths are located. There is currently car parking provision, but development in the area (e.g. Caldew Riverside) may remove some of this.
- **Building.** Industry guidance suggests 1,500 to 2,500sq ft is a good target size for a new spa or salon⁵. There are no set building requirements for a new spa facility, as this is dependent on the manner of treatments which will be offered.

In addition, potential demand for a spa facility is a key consideration. Successful examples elsewhere (such as Harrogate) have integrated the Turkish Baths as part of a wider tourism offer. Giving visitors multiple reasons to visit a destination (which might include a heritage, cultural, events and food & beverage facilities) creates a holistic offer which attracts tourists. Improving Carlisle's perception as a visitor

⁴ Champneys 'Champneys City Spa' available at: <https://www.champneys.com/city-spa/>

⁵ Mindbody 'Impactful Design Considerations for a New Salon or Spa Space' available at: <https://www.mindbodyonline.com/business/education/blog/impactful-design-considerations-new-salon-or-spa-space>

destination is already a key priority for the Council – the Town Investment Plan notes that Carlisle has untapped potential as a visitor destination, boasting a wealth of cultural and heritage assets. There is a growing domestic tourism market, boosted by growth in 'staycations' as a result of COVID-19, so investing in visitor assets may boost visitor numbers and spending, which would support economic growth and job creation.

Nevertheless, many interventions are already planned to encourage more visitors to Carlisle (Lighting Up Carlisle, the Market Hall and Project Tullie as part of the Towns Fund; reimagining Market Square as Carlisle's events space and the pedestrian enhancement of Devonshire Street as part of the Future High Streets Fund (FHSF); as well as additional events such as the 1900th anniversary of Hadrian's Wall in 2022). These are centred around the city's historic core and link to Carlisle's Roman and Medieval history. It is not immediately obvious how a new spa facility would fit into this offer - by contrast, Harrogate's identity is linked to its history as a spa town while Carlisle's existing and emerging visitor offer is linked to its past as a Roman fortification, medieval castle and status as a Borderlands city. *As such, the potential for a spa development at the James Street baths to support the visitor economy should be carefully considered within the context of a visitor economy offer which is growing in a different area of the city centre, along different themes and objectives.*

5.1.2 Civic and public sector functions

A strong public sector presence in Carlisle is driven by Carlisle City Council and Cumbria County Council, both based in the city, as well as in the law courts and at the Rural Payments Agency. Further civic functions in the city centre include Carlisle Library and Carlisle Tourist Information Centre, while the Registry Office is located outside the city centre.

One longer-term action which could be considered is the reallocation and rationalisation of public sector space in the city centre. Given the significant presence of the public sector in the city, a holistic approach might be considered to how these organisations might best make use of existing and future developments (e.g., repurposing Carlisle Northern Quarter). This might involve sharing facilities such as conference spaces and meeting rooms, enabling closer collaboration and more efficient use of space. As such, Carlisle could become a model for hosting an effective and efficient public sector, which may in turn attract other public sector agencies and related third party organisations to relocate to Carlisle (linking to the Government's Estates Strategy, which will move thousands of public sector jobs out of London by 2030), for example other agencies from the Department for the Environment, Food and Rural Affairs or trade unions. Carlisle's good transport links and growth ambitions are well-placed to support such an action. Strategic marketing of Carlisle to regional and central government could lead to greater opportunity for the area. Leaders within the council have the ability to showcase Carlisle's strengths to encourage investment in the city.

It is unlikely under this option that the baths would remain operational in their current use; precedent examples show how the heritage aspects of this facility could be retained for other uses, although this would need careful consideration and public handling. This option would also require major investment, although this would be expected to be led by the end user or a related investor (given the favourable lease terms of public-sector tenants).

As such, they may be the opportunity to include the James Street baths in a wider plan for the rationalisation of Carlisle's public services offer. Its location near the station and connection to the city's heritage mean it could represent a good opportunity to have various civic and public sector functions. However, this option would need to form part of a wider rationalisation of civic/public sector use in the city centre, as well as requiring investment to refurbish it.

5.1.3 Events and conferencing space

As demonstrated by Victoria Baths in Manchester, former bathhouses can be repurposed for conferencing and events spaces. Events facilities are able to generate revenue both through renting space and related

services to organisations, as well as providing ancillary services (e.g. café and leisure). As noted below, Victoria Baths, for example, provides a highly diversified offer to a variety of customers.

While there are multiple venues in the city centre that offer the flexibility of both large and small events spaces, in addition to ancillary services (the Crown & Mitre hotel, the Halston hotel, the Sands Centre, Carlisle Racecourse, Tullie House, People First Conference Centre, University of Cumbria), the events market had been growing rapidly prior to Covid-19⁶ and there is increasing evidence of interest in hosting events at less conventional, creative venues which have their own identity⁷. While outside of the immediate city centre, the site is arguably better located than many of the existing events venues in Carlisle, offering immediate access to the railway for visitors.

However, this option would likely require significant investment; it is unlikely that the current pools could be reconfigured for this use and the existing Turkish Baths are too small to work as an events space. A new connected facility would likely need to be built. The baths would also not be expected to continue in its current use under this option.

If this option wishes to be considered, a more detailed assessment of the potential demand for events space in this location should be undertaken, taking account of market size, local competition, and the expectations of potential users.

5.1.4 Retention as a heritage asset

Should no commercially viable option of the building be identified (either for private or public sector use), a potential option would be for Carlisle City Council to transfer the management of the building to a registered charity. The charity could in principle continue to operate the baths, although given the likely ongoing subsidy requirements, repurposing the Turkish Baths as a local heritage visitor attraction may be more viable. In principle a charitable trust could also operate the baths as a spa facility or events space.

This model would be based on Manchester Victoria Baths Trust, a registered charity, which manages Victoria Baths on behalf of Manchester City Council. The charity is dependent upon volunteers and donations to be open to the public. The benefits of this approach are that it reduces operating costs and aligns the future of the baths with those members of the community most interested in its development. A trust may be better placed to identify alternative funding sources (e.g., from crowdsourced fundraising) than under the current commercial model for the baths, which is based on operations being outsourced to the private sector by City Council. A charitable trust structure would also remove liability for the facility from the City Council.

A similar model could be adopted to Manchester Victoria Baths, which is open to the public on set days throughout the year, when guided tours are provided, with an option for refreshments. Specialised photography group tours and education/ school visits are also held upon demand.

This option would require the establishment of a dedicated charitable structure to take over management of the baths. The community group, 'Friends of Carlisle Turkish Baths' may wish to take on this role, and the Council could consider this with them further.

5.2 Uses considered unviable

As part of this study, a number of potential uses have been discussed and discounted, following engagement with Carlisle City Council and other experts. These options – and the rationale for discounting them – are set out below.

⁶ Conference News (9 March 2021) 'Venues report 294% increase in event enquiries as confidence grows' available at: [Venues report 294% increase in event enquiries as confidence grows | Conference News \(conference-news.co.uk\)](https://www.conference-news.co.uk/venues-report-294-increase-in-event-enquiries-as-confidence-grows/)

⁷ Top Banana (2017) 'Purpose-built venues... a thing of the past?' available at: <https://top-b.com/purpose-built-venues-a-thing-of-the-past/>

Table 5.1: Uses considered unviable

| No. | Description | Rationale |
|-----|--|--|
| 1 | Retaining the James Street baths as a public swimming pool | The provision of swimming facilities at the redeveloped Sands Centre in the city (which will combine entertainment, leisure and swimming facilities on a single site) will be the principal leisure, sports and community hub in the city centre. It is not considered feasible for Carlisle City Council to operate and maintain two community swimming pools in the city centre, nor would there be adequate demand to encourage private developer interest. A "rule of thumb" used in the UK. swimming pool business is that pools will apply equally to an urban or rural location and should aim to serve a catchment population of 15,000 - 25,000 ⁸ - with a population of approximately 75,000 people in Carlisle and three other public pools (the Sands Centre, Trinity Leisure Centre and Moreton Leisure Centre) as well as numerous private pools associated with gyms (such as Bannatyne) it is not considered there is sufficient demand to support an additional pool. Furthermore, guidance from Sport England states that even the best designed public pools are likely to be run on a subsidised basis ⁹ . |
| 2 | Hotel use | As part of the FHSF funding package, Carlisle City Council has secured funding to redevelop the Central Plaza site, close to Carlisle station. It is envisaged that this site will be used for a hotel development. It is not likely that there is sufficient demand for hotel accommodation to support two new hotel developments in such proximity. |

6 Next steps

Depending on the views of Carlisle City Council and stakeholders as to the potential use of the building, a detailed assessment of the potential demand and commercial viability should be undertaken. This would include stakeholder engagement with relevant parties, and engagement with potential developers and/or partners. Under most options identified above, it is likely there would be an investment cost as well as some degree of ongoing subsidy requirement to the Council.

Consideration will also be needed as to the most appropriate commercial structure, whether using the charitable trust structure described in section 5.1.4, or a more conventional operator or concession structure.

⁸ Department of Arts, Sport and Tourism 'Local Authority Swimming Pool Programme - Value for Money and Policy Review Report' available at: <https://assets.gov.uk/22816/30ae956a83ff40f4ac86d678cff6f673.pdf>

⁹ Sport England (2013) Design Guidance Note' available at: <https://sportengland-production-files.s3.eu-west-2.amazonaws.com/s3fs-public/swimming-pools-dgn-2013.pdf?VersionId=uGFhoEkDP9PILA6D4psW9SPUYFHv21mv>

Drawings & Documents / Assumptions / Exclusions**Overview**

Explore the future of the James Street Baths and adjoining Grade II listed Turkish Health Suite. Three options apply the functions/uses of 3 example projects Newcastle, Victoria and Harrogate Baths into the spaces available at James Street Baths.

Drawings and Documents Used

210927 James Street Baths - BDP Draft Feasibility Study_P03

211025 James Street Baths - BDP Draft Feasibility Study_P04_p40-45

CSG-BDP-10-00-SK-A1001-Option 1-Level 0

CSG-BDP-10-00-SK-A1001-Option 2-Level 0

CSG-BDP-10-00-SK-A1001-Option 3-Level 0

General

- A1 Turkish Health Suite - Replace floor coverings with 400x400x33mm anti-slip terrazzo tiles slim-line sandstone. Allowance for refurbishment to wall linings, ceilings, existing fixtures and fittings, & M&E.
- A2 Turkish Baths Office / Storage facilities - Replace floor coverings with 400x400x33mm anti-slip terrazzo tiles slim-line sandstone. Allowance for refurbishment to wall linings, ceilings, existing fixtures and fittings, & M&E.
- A3 Turkish Baths Changing / WC facilities - Replace floor coverings with 400x400x33mm anti-slip terrazzo tiles slim-line sandstone Allowance for refurbishment to wall linings, ceilings, existing fixtures and fittings, & M&E.
- A4 Large Swimming Pool - Suspended ceiling removed and existing soffit cleaned and repaired where necessary. Strip out and replace M&E
- A5 Small Swimming Pool - Suspended ceiling removed and existing soffit cleaned and repaired where necessary. Strip out and replace M&E. Non-original finishes removed and replaced by contemporary, high quality materials
- A6 Changing / WC facilities - Refurbished
- A7 Removal of existing boiler house and refurbishment for café/ bistro use
- A8 Offices / Back of House. - Existing wall coverings paint stripped and repainted. Non- slip vinyl floor covering inc coved skirting. Ceiling finishes; Plasterboard ceiling - Plasterboard and skim; painted. Strip out and replace M&E - New lighting
- A9 Lobby area - Refurbished. Break out existing stairs, formation of new staircases, installation of passenger lift within lightwells - 3 storeys including basement
- A10 External Cladding - Supply and Install TECU Patinated Sheet Metal Cladding. Allow for remedial works to the existing structure before applying the new cladding.
- A11 James Street Entrance - Refurbish entrance area. Break out existing stairs, formation of new staircases, installation of passenger lift within lightwells - 3 storeys including basement
- A12 Studios - Refurbish for Studio/ Art Space area
- A13 Refurbish Circulation Areas
- A14 New Build Extension - Glazed link type structure. Air conditioned. 2 storeys. Rate uplifted 50% on a basic glazed structure to provide a higher specification to accommodate listed building status
- A15 New build structure on adjacent development plot - 3 storey, air conditioned office building. Rate uplifted 50% on basic office building to provide a higher specification to suit adjacent listed building status
- A16 Swimming Pools to be covered with a mild steel interlocking frame with a 27mm thick deck panel with an anti-slip finish. The decks would be finished in a dark brown phenolic board and moisture resistant. the frames will be finished in a silver passivated finish and will have adjustable feet to the legs touching the pool floor.
- A17 Percentages applied for Indirect Cost's as per previous RIBA Stage 3 estimate for Carlisle Station
- A18 Risk at 60% applied to Point Estimate Total

Exclusions

- E1 Optimism Bias
- E2 VAT
- E3 3rd party compensation costs
- E4 Planning and approval charges
- E5 Land purchase or rental
- E6 Costs associated with Statutory Fees (e.g. HMRI, Local Authority, fees, taxes, levies and licences)
- E7 Costs associated with changes in legislation and any form of applicable standards

- E8 Capital Allowance costs, finance charges etc.
- E9 Allowances for unforeseen ground conditions / provisions for ground stabilisation unless specifically identified
- E10 Christmas, Easter and Bank Holiday working
- E11 Archaeological digs
- E12 Listed Building Consents
- E13 Utilities diversions, relocation and protection in excess of £50K allowance in the estimate
- E14 Re-location of affected businesses
- E15 Inflation in excess of allowed rates
- E16 Asbestos removal
- E17 Disposal of contaminated materials unless stated otherwise
- E18 Gymnasium fit out and fit out for community groups/ sports groups / private hire / food and beverage tenants to the Swimming Pool areas
- E19 Inflation excluded as no programme confirmed.

| | | | | | |
|--------------|--------------------------------|--|-----------------|--|------|
| PROJECT NAME | James Street Feasibility Study | | ESTIMATE NUMBER | | 1 |
| RIBA STAGE | RIBA Stage 0 | | PRICE BASE DATE | | 4Q21 |

| Summary of Group Element Costs | | | | | | |
|--------------------------------|---|------|------------------|-------------------|-------------------|---|
| | Group Element | | Option 1 | Option 2 | Option 3 | Comments / Assumptions |
| | Direct Costs (cost basis excels prelims) | | 2,373,725.15 | 2,377,432.80 | 2,244,055.28 | |
| | Direct Costs (cost basis incl prelims) | | 732,113.00 | 2,392,037.00 | 12,436,617.62 | Rates derived from BCIS incl prelims at base |
| | DIRECT CONSTRUCTION WORKS COSTS (A) | | 3,105,838 | 4,769,470 | 14,680,673 | |
| | Preliminaries, overheads and profit | | | | | |
| | Preliminaries | 0.25 | 593,431.29 | 594,358.20 | 561,013.82 | Added to these direct costs that excl prelims |
| | Contractor Overheads and profit | 0.1 | 369,926.94 | 536,382.80 | 1,524,168.67 | |
| | INDIRECT CONSTRUCTION WORKS COSTS (B) | | 963,358 | 1,130,741 | 2,085,182 | |
| | CONSTRUCTION COST (C) | | 4,069,196 | 5,900,211 | 16,765,855 | |
| | Project / Design Team Fees and Other Project Development Costs | | | | | |
| | Design @ 7% of Direct Construction Works Total (A) | 0.07 | 217,408.67 | 333,862.89 | 1,027,647.10 | |
| | Project Development Team @ 10% of Direct Construction Works Total (A) | 0.1 | 310,583.82 | 476,946.98 | 1,468,067.29 | |
| | Other Project Costs: Environmental Mitigation | 0.01 | 31,058.38 | 47,694.70 | 146,806.73 | |
| | EMPLOYER INDIRECT COSTS (D) | | 559,051 | 858,505 | 2,642,521 | |
| | POINT ESTIMATE Construction + Development Cost (E) | | 4,628,247 | 6,758,715 | 19,408,377 | |
| | Risk | | | | | |
| | Risk @ 60% of Point Estimate Total | 0.6 | 2,776,948.35 | 4,055,229.22 | 11,645,025.91 | |
| | ANTICIPATED FINAL COST Cost limit excluding inflation (F) | | 7,405,196 | 10,813,945 | 31,053,402 | |
| | Inflation | | | | | |
| | Inflation | | - | - | - | Excluded as program not confirmed |
| | TOTAL INFLATION ALLOWANCE (G) | | - | - | - | |
| | Anticipated Final Cost - AFC TOTAL COST LIMIT (H) | | 7,405,196 | 10,813,945 | 31,053,402 | |



BDP.

Peter Jenkins
Architect Director

BDP
11 Ducie Street
Piccadilly Basin
Manchester
M1 2JB UK

+44 [0]161 828 2200
peter.jenkins@bdp.com
www.bdp.com



APPENDIX 2

Statement of Significance

James Street Baths, Carlisle

Doc No: P0203_REP006-Baths-SoS
Issue: For Comment
Rev: -
Date: FEBRUARY 2021

Contents

| | |
|---|-----------|
| Contents | 2 |
| 1.0 INTRODUCTION / PURPOSE OF DOCUMENT | 3 |
| 2.0 UNDERSTANDING THE SITE | 5 |
| 3.0 DEVELOPMENT OF THE JAMES STREET BATHS..... | 19 |
| 4.0 JAMES STREET BATHS TODAY | 36 |
| 5.0 HERITAGE VALUES..... | 51 |
| 6.0 STATUTORY REQUIREMENTS..... | 53 |
| 7.0 MANAGING CHANGE | 56 |
| 8.0 CONCLUSIONS | 57 |
| APPENDIX A: DEMOLITION METHODOLOGY GUIDELINES..... | 58 |

1.0 INTRODUCTION / PURPOSE OF DOCUMENT

- 1.1 This Statement of Significance for the James Street Baths in Carlisle has been prepared by BB Heritage Studio on behalf of Cumbria County Council and Carlisle City Council. It has been produced as part of the studies being undertaken for the Borderlands Growth Deal for Carlisle Station Gateway. This report focuses on the James Street Baths (refer to site location plan below), a separate report has been produced for the Station site.

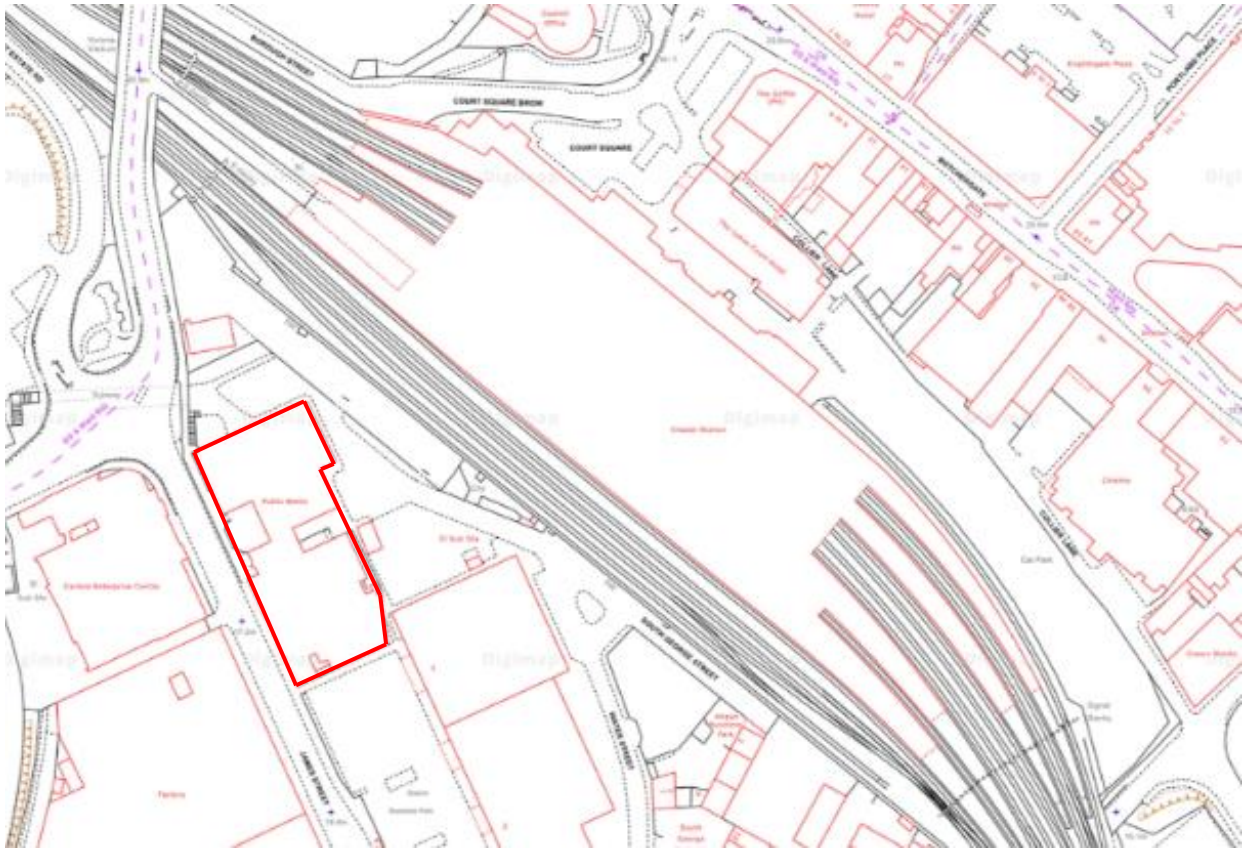


Fig 01: James Street Baths Site location plan Site Outlined in Bold Red

- 1.2 BB Heritage Studio provides built heritage advice and consultancy services. It is led by Bernadette Bone who is a qualified architect with 20 years experience of designing in historic environments. Bernadette is an RIBA Accredited Conservation Architect (RIBA CA) and has a Post Graduate Diploma in Building Conservation (GradDiplConsAA).
- 1.3 The James Street Baths complex currently contains a number of phases of construction including the Edwardian Turkish Baths constructed in 1909 and Grade II listed. The Baths are located within the Carlisle City Centre Conservation Area and adjacent to several designated and non-designated heritage assets.
- 1.4 This assessment has been carried out using analysis which has included desk top research, site visits (conducted in 2019 & then in detail on 11th December 2020) and professional judgement guided by established methodologies for appraising special interest. We have requested relevant information from the Historic Environment Record, and the local archives and undertaken consultation with the Local Authority Conservation Officer. Consideration has been given to a variety of factors which have contributed to the identification and understanding of the special interest of the structure. These include the historical development of the site area and the development of the building typology nationally.

- 1.5 This report consists of eight parts. Following this introduction the second section 'Understanding the Site' describes the historic development of the site. The third part describes the development of the James Street Baths site, and is followed by the fourth part which describes the site today. The fifth part contains an assessment of the heritage values. The sixth part identifies the statutory requirements and relevant conservation policies and guidance, this is followed by the seventh part which discusses managing change. The eighth part contains the conclusions.

2.0 UNDERSTANDING THE SITE

2.1 HISTORIC BACKGROUND

- 2.1.1 This section provides an overview of the historic development of Carlisle starting with the early origins and highlighting key events through to the present day. The outline of the early history of Carlisle provides the context for the later development including the growth of the town and subsequent phases of development at the site of the James Street Baths.

Early History

- 2.1.2 The early origins of Carlisle can be identified as the Roman settlement of *Luguwallium* which began in A.D.72, the site was the northern most city of the Roman Empire. The settlement occupied a strong position set on high ground and protected by the River Eden and its tributaries Caldew and Petteril. The timber fort occupied the northern portion of the settlement to the south of the extant castle with three stone forts subsequently built during the 3rd Century. The Roman occupation continued until the early 5th Century with the town covering over 75 acres expanding south of the fort, between the fort and the main road which is now represented by Botchergate, Scotch Street and Rickergate¹.

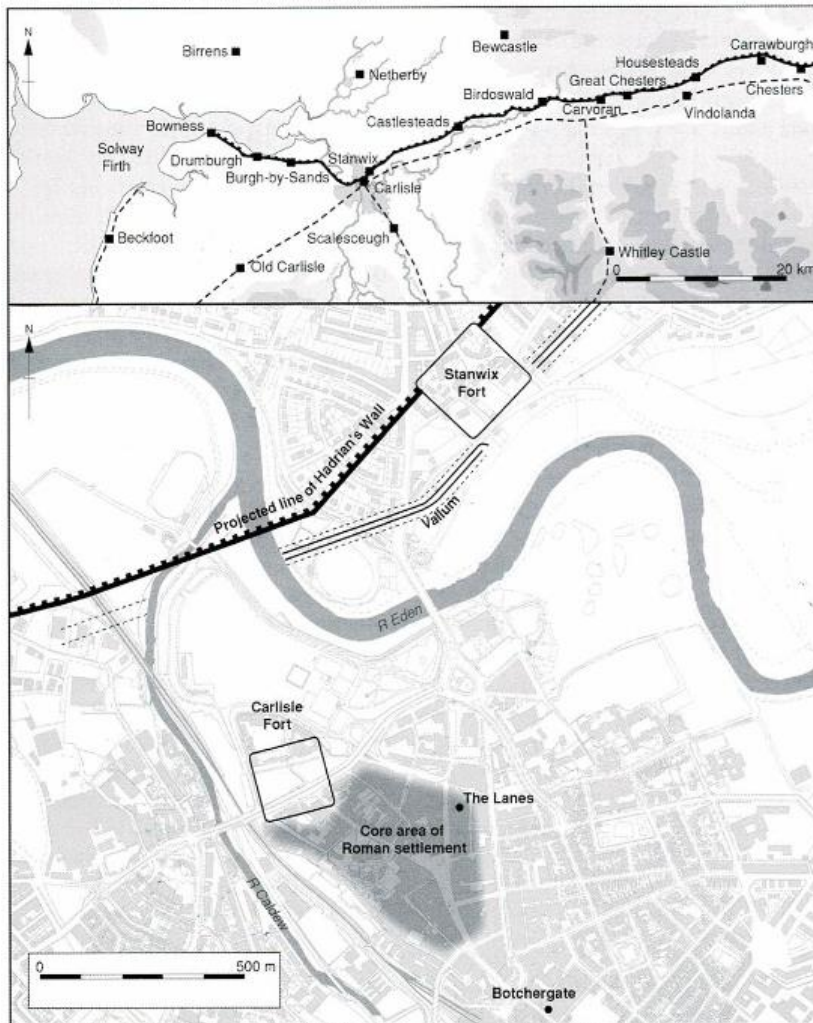


Fig.02: Map of Roman Carlisle and its position on the Northern Frontier ²

¹ Hyde, M & Pevsner, N (2010) The Buildings of England: Cumbria

² Image: Brennand, M & Stringer, J, K (2011) *The Making of Carlisle; from Romans to Railways*.

- 2.1.3 Following the 9th Century Viking raids John of Worcester tell us of Carlisle remaining unoccupied, this changed in the 11th Century when the region was invaded by William Rufus and incorporated into England. During the 12th Century the Castle, Walls and an Augustinian priory were established in the town, with the priory elevated to a Cathedral by Henry I although the building was vacant for several years due to an insufficient endowment. The town charters recorded several sieges by the Scots which allowed the corporation to maintain the city walls against future attacks. The castle was occupied by Edward I during the 14th Century as a northern base against the Scots.



Fig.03: Map of the city and castle of Carlisle of c.1560 ³

17th Century

- 2.1.4 The 17th Century saw the union of England and Scotland with the creation of Great Britain and Carlisle was no longer a border city, the last significant siege occurred in 1745 during the Jacobite risings. Carlisle maintained its military position with the castle retained as an army barracks⁴ however military activity decreased as industry took over in the city.

³ Image: Brennand, M & Stringer, J, K (2011) *The Making of Carlisle; from Romans to Railways*.

⁴ <https://www.english-heritage.org.uk/visit/places/carlisle-castle/history/>



Fig.04: Smith's Map, dated 1746 ⁵



Fig.05: Carlisle, mid-18th Century ⁶

⁵ Image from: Carlisle Library Local Studies Centre

⁶ Image from: <https://digital.nls.uk/jacobite-prints-and-broadsides/archive/75242348#?c=0&m=0&s=0&cv=417&xywh=-139%2C-124%2C2777%2C2019>

18th Century

- 2.1.5 The industrial rise in Carlisle began in the later part of the 18th Century, this was initiated in the 1750's when the Military Road to Newcastle was constructed allowing good to be transported by large carts that had previously been reliant on pack horses. This encouraged factory scale production in Carlisle initially with linen and woollen cloth and later with cotton. Brewing, bread and biscuit making, hat making and engineering also developed from the late 18th century. On Smiths Map of 1746 (Fig.04) we can identify several mills built adjacent to the aqueduct which served them.

19th Century

- 2.1.6 Britain's industrialisation in the early 19th century further transformed Carlisle, the town's prominent geographical situation and transport connections greatly assisting it's success. This began in 1823 when the Carlisle Canal was constructed, at 11 miles long the canal was accessed via a sea-lock at Port Carlisle and could accommodate small sea-going vessels linking the Port with the basin which was located to the west of the City centre. We can identify the area which became the site of the James Street Baths on the 1805 plan of Carlisle, occupied in proximity to dispersed mill buildings. At this time the topography would have fallen from Botchergate down to the River Caldew with the Citadel being very dominant in the landscape.



Fig.06: Map, dated 1805 ⁷

⁷ Image from: [Carlisle Library Local Studies Centre](#)



Fig.07: Wood's Map, dated 1821
(Image from: Carlisle Library Local Studies Centre)

2.1.7 On the 1821 map the concentration of mills along Water Gate Lane has increased along with the size of the mill complexes.



Fig.08: Tithe Map, dated 1848
(Image from: Carlisle Library Local Studies Centre)

2.1.8 The construction of the station in led to changes in the street layout to the south side. The positioning of the station resulted in the loss of Water Street and Browns Brow with their associated properties. What was to become James Street is shown laid out to the Tithe Map dated 1848



Fig.09: Asquith's Map, dated 1855
(Image from: Carlisle Library Local Studies Centre)

2.1.9 Asquith's Map identifies further development around the station. James Street is noted to this map and the development of the area to the south-west of the station can be seen to be predominantly industrial.

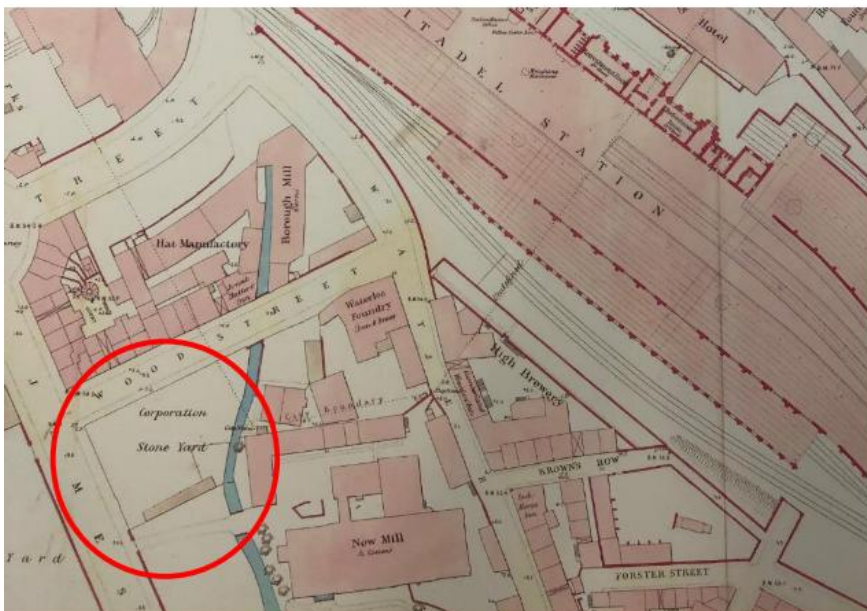


Fig.10: Fig.30: 1st edition OS Map, dated 1865 ¹

2.1.10 On the first OS Map dated 1868 the increase of Carlisle's industrial development can be seen to the land south-west of the station including mills, breweries, bread & biscuit manufacturing and iron & marble works. The corner of James Street and Wood Street, that became the site of the Public Baths, is a stone yard at this time.



Fig.11: OS Map, dated 1868



Fig.12: OS Map, dated 1901

2.1.11 Development continued through into the 20th century, with the footprint of the Public Baths on this OS map. This map shows the large extension of the station that was undertaken in 1881.

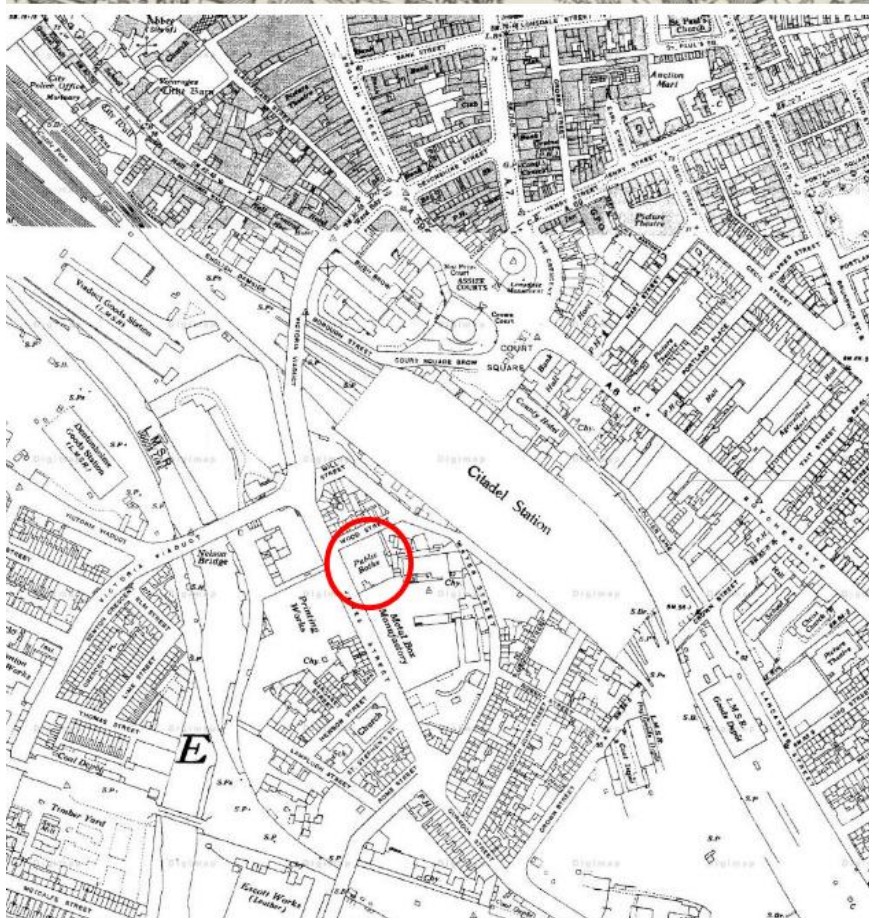


Fig.13: OS Map, dated 1930's

2.1.12 In the mid-late C20th large scale manufacturing and works still occupied the land to the south-west of the station. By this time the baths had been extended with the addition of the Turkish Baths plus a further extension to the public baths (detailed further to section 3).



Fig.14 Above: Aerial from Britain from Above of the Railway Station & Factories on James Street 1928, (ref: EPW025039)

Fig.15 Below: Aerial from Britain from Above of the Railway Station & Factories on James Street 1928, (ref: EPW025040)



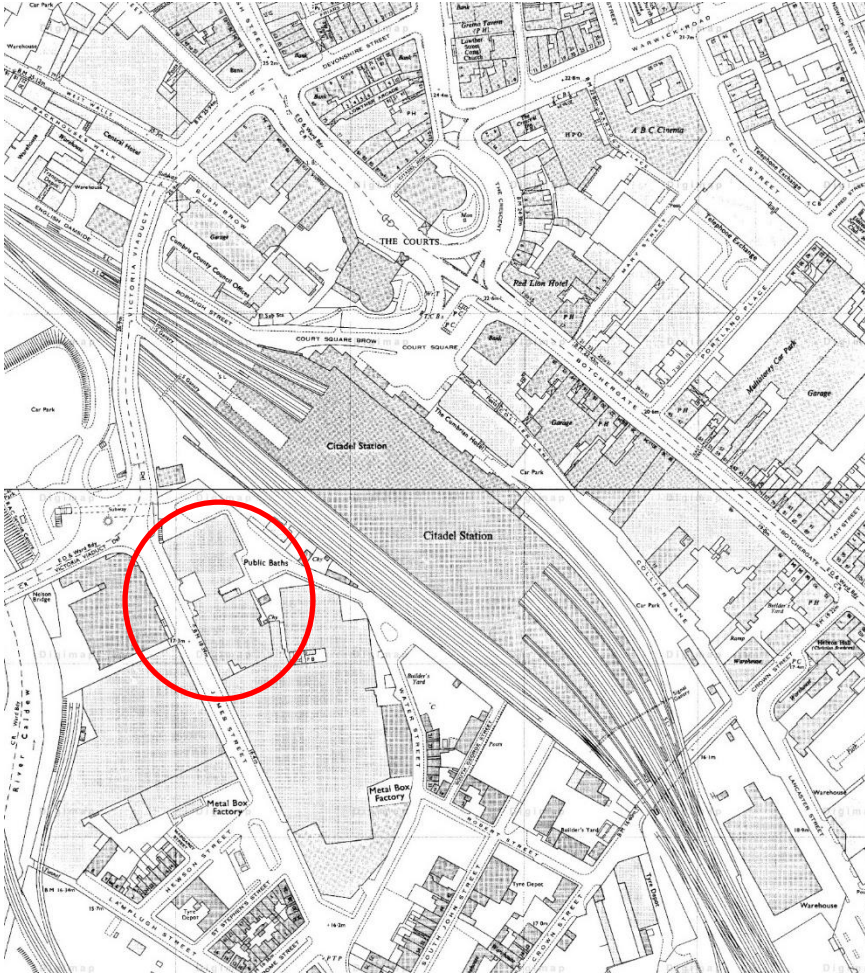


Fig.16: OS Map, dated 1970's

2.1.13 Erosion of the fine-grained residential and industrial character of the area to the south-west of the station starts to occur from the later C20th onwards. The smaller buildings & properties along Water Street, South John Street and Crown Street have been demolished. A large extension to the public baths was constructed at this time requiring the demolition of earlier built form.

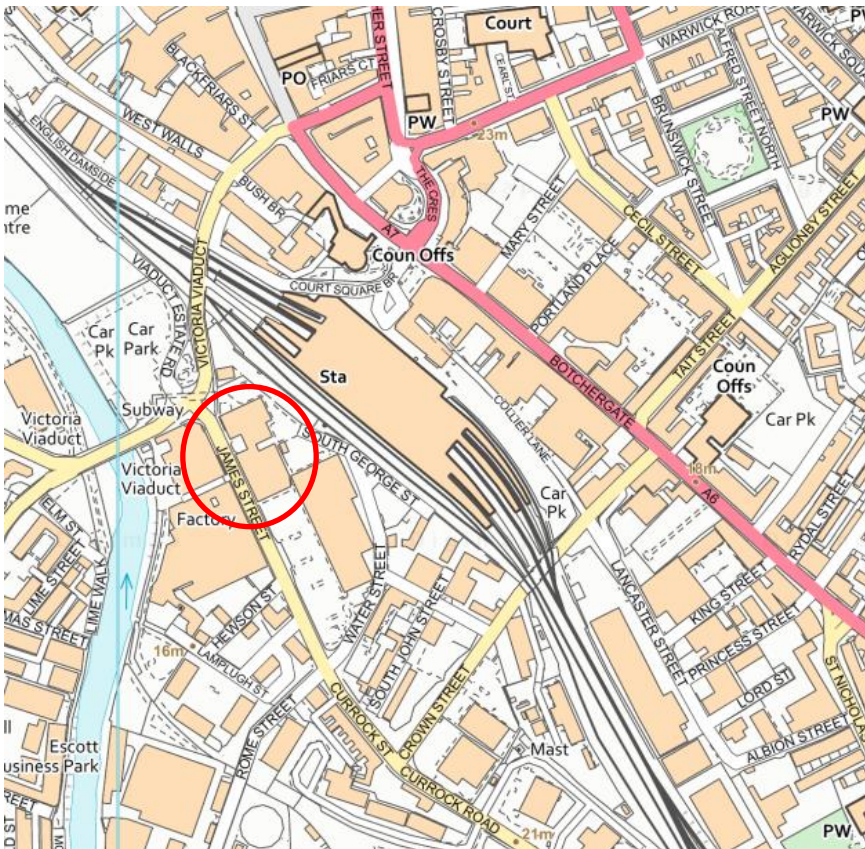


Fig.17: Current OS Map

2.1.14 The current OS map shows that the principle characteristics of the townscape around the station frontage and Court Square remain as established by the C19th and retain the evidence of the medieval origins of the urban grain. To the south of the station along James Street the urban grain has changed considerably with the loss of the industrial buildings.

2.2 CONSERVATION AREA & HISTORIC TOWNSCAPE

- 2.2.1 The James Street Baths complex is located within the City Centre Conservation Area which was designated in October 1986 and amended in September 2009 (see Fig 18 below for the full boundary).

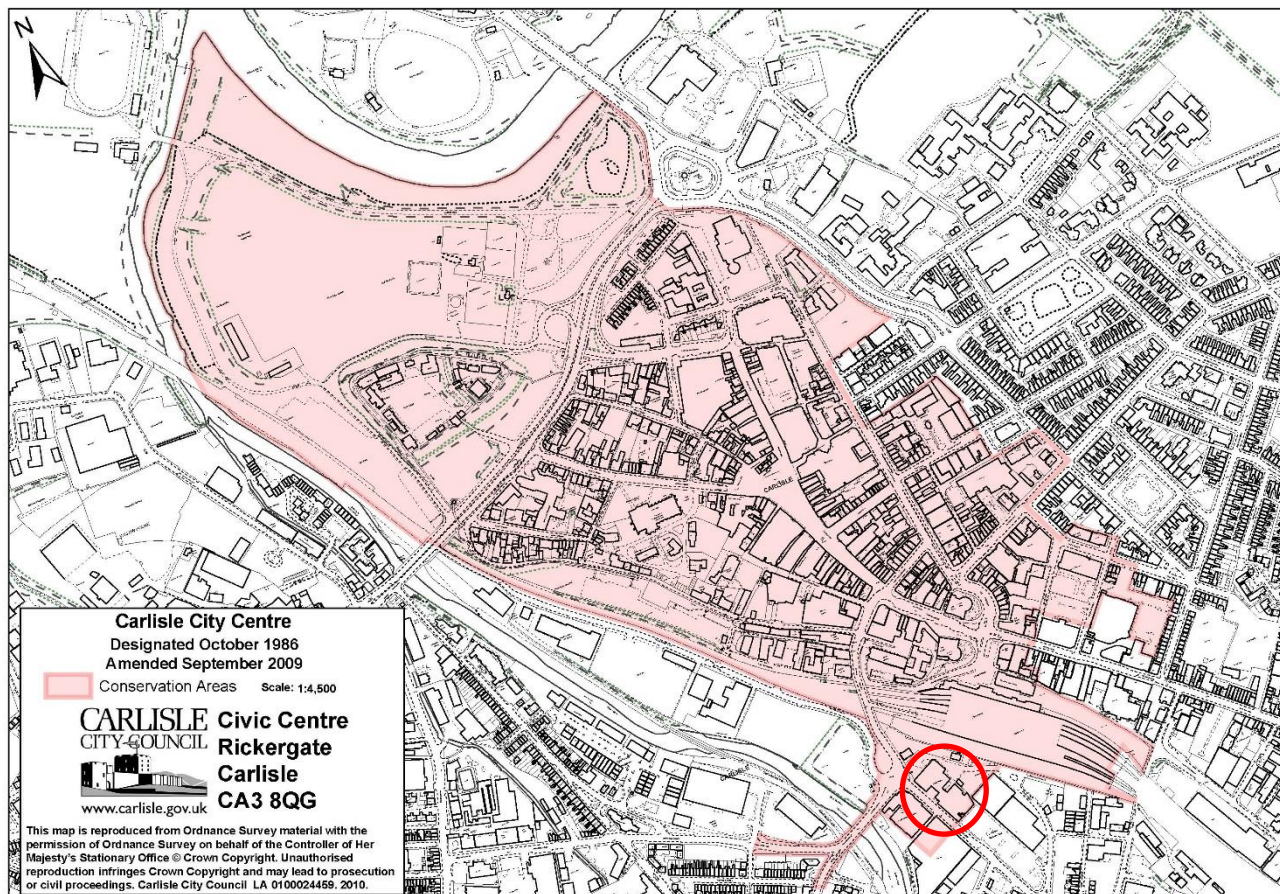


Fig.18: Carlisle City Centre Conservation Area Boundary

CITY CENTRE CONSERVATION AREA

- 2.2.2 There isn't currently a formal Conservation Area Appraisal which corresponds to the City Centre Conservation Area boundary. There is an appraisal for the historic core which was undertaken in 2007 as part of the Carlisle Historic Core Development Strategy (*Carlisle Historic Core Conservation Area Appraisal*). This appraisal focuses its analysis on the area around the castle and the cathedral, includes Court Square and the station frontage in the study of the wider context but provides limited commentary on the southern side of the station.
- 2.2.3 In its assessment of special interest the appraisal states;

Survival of historic townscape and landscape qualities: The City Conservation Area's historic associations are clearly manifest within its surviving urban fabric and plan form. Four key locations predominate. These form focal or nodal points within the medieval street system.

The four key locations include the Castle, the Cathedral, the Market Place and the Citadels.

For the Citadels 'defining location', the appraisal highlights the station frontage and adjacent listed buildings (including the Citadels, adjacent hotels and the Crescent) as being 'Areas of special quality' and Court Square as

being a place with a strong sense of enclosure. It states that the Citadels are an imposing fortified gateway reflecting the fact that they occupy the site of the medieval gateway through the town walls from the south (English Gate) and about Court Square states;

At the entrance to the 'gateway' is Court Square and the city's Victorian railway station, also in Gothic style and giving expression to the importance of the railways to the city's economy during the C19 and first half of C20. Together, the Citadel and station enclose a 'civic space' and clearly mark an arrival point to the old town.

- 2.2.4 In its assessment of the setting of the historic core the appraisal states;

To the south west the low lying land alongside the River Caldew is occupied by railway track, car parking and industrial sites. The visual quality is poor.

TOWNSCAPE ANALYSIS

- 2.2.5 As previously highlighted and noted within the Carlisle Historic Core Conservation Area Appraisal, the phases of historic development of the townscape around the Station site are clearly seen within its surviving urban fabric and plan form. This provides a richness and importance to the townscape in and around the Station site.
- 2.2.6 The area between the Detached West Wall of the Station and the River Caldew was historically densely industrial. The townscape qualities of this area have been gradually eroded over the later C20th and C21st. The Turkish Baths and the former Electric Lighting Station building which line James Street provide evidence of the historic characteristics of this area.
- 2.2.7 The Detached West Wall is a dominant visual element in the townscape. Although of heritage significance in its own right and providing important evidence of the development of the station, the wall does provide a visual and physical barrier to this side of the station. Some glimpsed views of the Citadels and historic core are achieved from adjacent to the Detached West Wall from Victoria Viaduct but these are not considered to be key views.
- 2.2.8 In the area between the Detached West Wall and James Street there has been erosion of the historic built form and alterations to the ground levels to this side of the station which mean that the historic plan form of the urban grain is no longer fully legible. Important remaining elements are the Turkish Baths and the Electric Lighting Station. These do not currently define key views but are important elements of the historic urban grain and could become positive contributors.

HERITAGE CONTEXT: ADJACENT HERITAGE ASSETS

2.2.9 There are a number of designated and non-designated heritage assets located within the context of the James Street Baths as identified below, those in the immediate setting of the baths are noted to the following key and the listing notices for the designated assets are included.

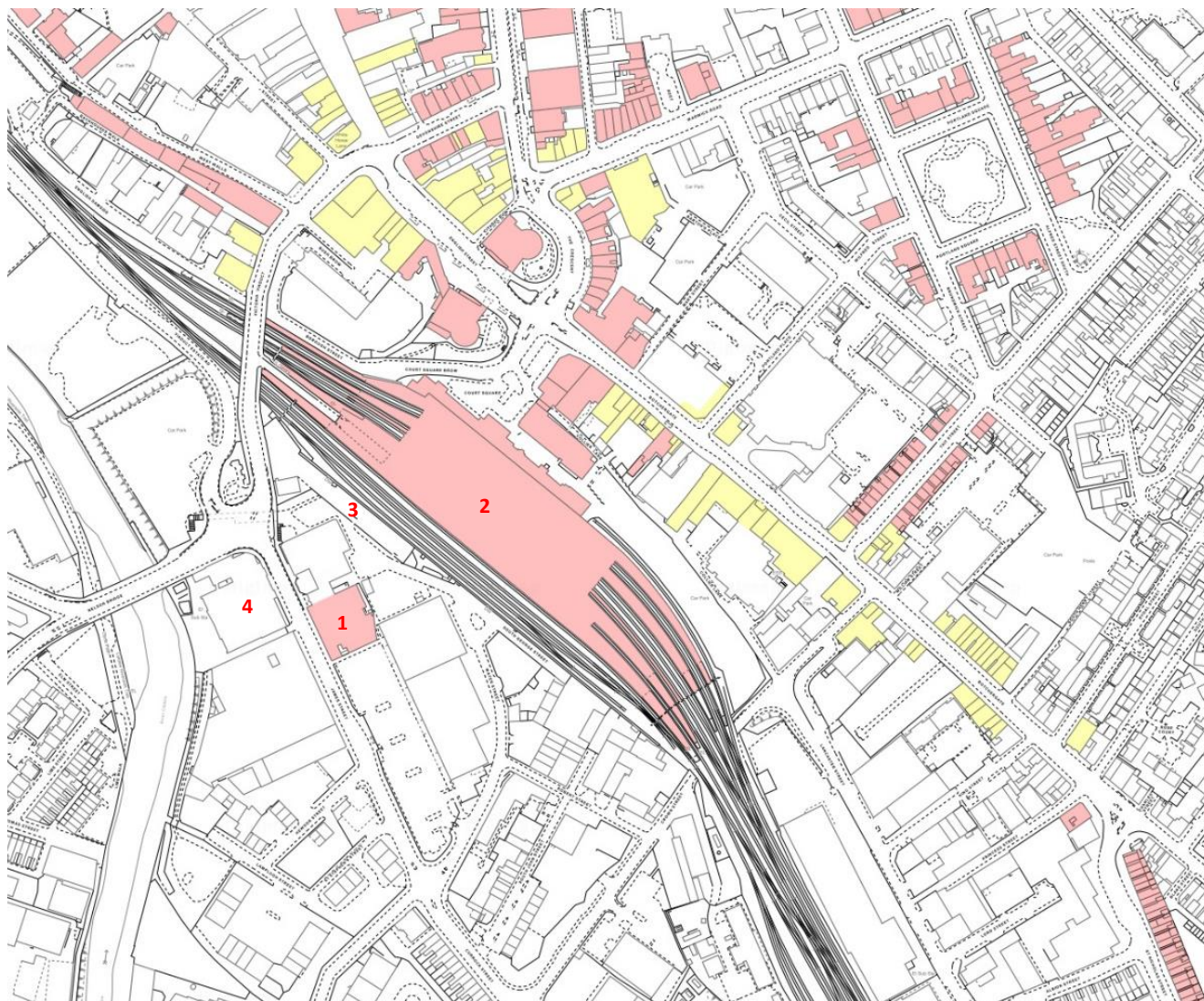
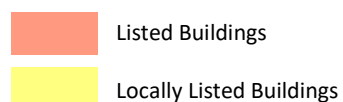


Fig.19: James Street Baths including location of adjacent designated and non-designated heritage assets.



KEY

- 1: Turkish Suite, The Pools (Grade II Listed)
- 2: Citadel Station (Grade II*)
- 3: Detached West Wall of Citadel Station (Grade II Listed)
- 4: The former Electric Lighting Station building, James Street (non-designated heritage asset)

2.2.10 HERITAGE ASSET LOCATION REF: 1

Name: Turkish Suite, The Pools
Grade: II
List entry Number: 1393755
Location: James Street, Carlisle
Date first listed: 19-Feb-2010

List entry description:

Turkish Baths 1909 by the County Surveyor WC Marks; built by William Johnstone of Carlisle with an interior tiled decorative scheme by Minton and Hollins of Stoke. All other work was carried out by local firms. Other parts of the James Street Baths are not of special interest.

MATERIALS: Red brick with roofs of slate; interior has glazed tiles and faience decorative scheme with terrazzo flooring and marble bench tops.

PLAN: a series of interlinked rooms with basements attached to the south-east side of a pre-existing public swimming baths. The west part is a single storey entrance block providing an access corridor and attendant's room with former waiting areas. This gives access to the main block forming a double height cooling room leading to a single storey block housing access to the plunge bath flanked by the shower room and Russian vapour bath. The shampooing room is housed in a two-storey block beyond which gives access to similar blocks containing the three warm rooms.

EXTERIOR: west elevation (the only side of the building originally visible from the exterior): now obscured by a later two-storey block with a hipped roof of slate incorporating the original access corridor which is now entered through a plain entrance with a modern door from James Street. South Elevation: a double height, single-bay square building with a pyramidal roof containing four large thermal windows with mullioned frames and four rectangular roof lights; a decorative lantern surmounts the apex of the roof. A small two-storey toilet block with a hipped roof projects to the left with the attendant's room, also hipped, to the rear. To the right are separate but linked plain L-shaped two-storey blocks with pitched roofs.

INTERIOR: the entrance block comprises an access corridor with original doors, glazed fan and margin lights, and the attendant's room (now incorporating a former corridor with provision for waiting and lockers), with a corner fire breast, original store cupboard and plain cornicing. A horse-shoe arched entrance in the north east corner has a moulded architrave and an upper fan light of decorative stained glass which leads to the main cooling room. This is the centrepiece of the scheme and is complete with its original stepped plunge bath entered through a horse-shoe arched opening, flanked by rectangular doors, all of which have surrounds of alternating green and yellow tile. The plunge bath is of concrete construction faced with white glazed bricks. Flanking the north and south walls there are sets of five double and single changing rooms separated by polished wooden screens with art nouveau stained glass panels in their upper parts. Extensive use is made of fine tiling and glazed faience work with shades of pale green, pale blue and buff glazes; also incorporated at intervals are paired tiles of art nouveau design. The flooring throughout is of Terrazzo paving. This scheme, combined with the incorporation of horse-shoe arches carried on decorative columns with ornamental capitals, creates a strong Oriental atmosphere.

HISTORY: The first Turkish baths to have been built in the British Isles was in 1857 in Blarney, County Cork and the first in England was in London was in 1860. Subsequently many hundreds were constructed, often as part of publicly funded swimming facilities although only around 20 examples remain in England today.

Plans for the provision of Turkish baths in Carlisle occurred as early as 1884 when the existing public swimming baths were opened. The idea was resurrected in 1901 and agreed in 1902 although it was a further six years before plans were finally approved. The Turkish baths opened on the 20 September 1909 in a purpose built extension to the existing public baths building at a cost of £2500. The internal tiling and glazed faience work by Minton and Hollins Co. of Stoke, one of the leaders in the field of tile manufacture. The opening of the suite was celebrated in the local newspapers, which describes in detail a public inspection, although there was no formal opening. Entry cost between 1 and 2 shillings depending on the time and day of the week and bathing was expected to take c. 1.5 hours. The Turkish baths remain open and in use to the present time (2009). SOURCES

<http://www.carlislehistory.co.uk/carlislehistoryj.html> accessed on 24 Sep 2009 Carlisle Journal 17.09.1909 p5 Carlisle Patriot 04.01.1901 p4f (Turkish Baths for Carlisle) Carlisle patriot 10.09.1909 p5a (Description of the building) 'Original plans for Carlisle Turkish Baths', 1908, Carlisle Archives, CA/E4/13945

<http://www.victorianturkishbath.org/> accessed on 24 Sep 2009 Ian Gordon and Simon Inglis, Great Lengths: the historic indoor swimming pools of Britain (2009) SPAB 'Taking The Plunge-The Architecture of Bathing' 16

REASONS FOR DESIGNATION DECISION: This set of Edwardian Turkish Baths constructed in 1909 is designated for the following principal reasons:

** Decorative Scheme; the original internal decorative tiling and glazed faience work by the respected company Minton and Hollins of Stoke, notably in the cool room, is of good quality and complete * Intactness: alterations are few and the original plan of the baths remains intact which renders the Turkish Bathing process highly readable. * Rarity: this building is an increasingly rare example of a once common building form, of which only around 20 remain in England; it compares very favourably with the eight existing listed Turkish Baths.*

2.2.11 HERITAGE ASSET LOCATION REF: 2

Name: Citadel Station
Grade: II*
List entry Number: 1196969
Location: Citadel Station, Court Square, Carlisle
Date first listed: 13-Nov-1972

List entry description:

Railway station. 1847-8 for a Joint Station Committee, by Sir William Tite; extended 1879-80. Calciferous sandstone ashlar on chamfered plinth with stepped buttresses, eaves cornice and solid parapets. Graduated greenslate roofs with coped gables; some skylights and gabled roof dormers; ashlar ridge and end chimney stacks. Glazed overall roof behind the main facade covering the running lines. Tudor Style. Main facade is of 2 storeys, numerous bays in a long continuous row of differing roof levels. Central port-cochere of 5 bays, each pointed arch divided by a buttress carried up as a finial. Over each arch are coats-of-arms; central Royal arms flanked by those of Lancaster & Carlisle Railway and Caledonian Railway, remaining panels intended for Maryport & Carlisle Railway and Newcastle & Carlisle Railway left blank. Over, and in the offices to the right, are mullioned and transomed windows mostly of 3-lights. Between the entrance and offices is a clock tower which is octagonal on a square base. The single-storey former waiting and refreshment rooms (at the left) have a series of facing gabled projections with various mullioned and canted bay windows. Under the glazed roof, which is supported on a series of hooped trusses, is a central footbridge of crossed girders linking with the island platforms. The island buildings are also of 2 storeys, numerous bays in a continuous row; doorways and windows in restrained Tudor style. INTERIOR: Numerous stone fireplaces in Tudor style, some in former refreshment rooms are inscribed and dated, see Bonavia (1987), for an illustration of one. For further details and removal of part of roof in 1957-8, see Robinson (1986). Detached wall for demolished roof is listed separately. The building by Tite is among the most important early major railway stations in Britain. (Bonavia MR: Historic Railway Sites in Britain: 1987-: P.139; Robinson PW: Rail Centres, Carlisle: 1986-).

2.2.12 HERITAGE ASSET LOCATION REF: 3

Name: Detached West Wall of Citadel Station
Grade: II
List entry Number: 1209674
Location: Detached West Wall of Citadel Station, Court Square, Carlisle
Date first listed: 11-Apr-1994

List entry description:

Detached wall for Citadel Station extension, formerly joined to the main buildings by an overall roof. 1879-80. Calciferous sandstone ashlar on red sandstone base. Broad pilasters have between each of them 3 recessed panels with pointed heads. Linked to the main buildings by a series of arched tunnels which are partly visible on the west side. Some of the arches have been let as industrial units. Overall roof was removed 1957-8.

3.0 DEVELOPMENT OF THE JAMES STREET BATHS

3.1 Introduction / Brief Context of the Building Typology

- 3.1.1 The following sections consider the phasing of the site of the James Street Baths in more detail to enable an assessment of significance.
- 3.1.2 To understand the heritage significance of the James Street Baths it is useful to understand the development of the building typology nationally. The Listing Selection Guide for Sports and Recreation Buildings produced by Historic England includes a section on 'Buildings for swimming' which provides a useful overview, it states;
- 'England's first genuinely public baths were built as a result of the 1846 Baths and Wash-houses Act. These concentrated on providing laundries, slipper baths (for individual bathing) and, for the lowest admission fee, small plunge pools for communal bathing. Such was the popularity of the plunge pools, however, for swimming as much as for bathing, that as the nineteenth century wore on local authorities provided ever larger and more sophisticated swimming pools to help subsidise the loss-making slipper bath and laundry facilities. An 1878 amendment to the Act recognised this trend, and, furthermore, to save fuel costs, allowed local authorities to close the pools during the winter and use the pool halls for dry sports and communal events. By 1914 municipal baths had evolved into sophisticated and elaborate complexes. There were often first and second class pools for men, and a separate, usually smaller, pool for women, although T W Aldwinckle's St Pancras Baths of 1901 in Kentish Town, London Borough of Camden (listed Grade II) had first and second class pools for women also. Some gala pools that were fitted out to serve as public halls in wintertime also had their own entrances, circulation areas and sometimes even stages and proscenium arches.'*⁸
- 3.1.3 The history of public baths is described in more detail in *Taking the Plunge: The Architecture of Bathing* produced by SAVE in 1982, from the Roman public baths through to current day.

It describes the provision of water and baths in middle-class homes in the 18th century explaining that;

There was a good reason for this lack of baths in town houses in the lack of bath water; most houses were not plumbed into a mains water supply, and those that were only received water for a few hours a day. ...

The poor were the most deprived of water; they neither had the money to make supplying them with water a commercial proposition, nor the resources or security of tenure to make feasible the installation of cisterns to store the irregular supply of water if it had been available.

The Industrial Revolution was at its height; workers were swarming into towns from the impoverished countryside. They lived in hastily-built and overcrowded houses, without proper ventilation or drainage.

It was the appalling living-conditions of the poor, as revealed by the investigations stimulated by the spread of typhus and the new scourge of cholera that first prompted concern about their cleanliness ... Washing or drying clothes was extremely difficult, when it had to be carried out in the single room that a whole family lived, ate and slept in ...

It was thus the lack of either water or the facilities to use it that prompted the movement to provide both public baths and wash-houses at prices the poor could afford. There had already been some pioneers in the field. In Liverpool in 1832, a labourer's wife called Kitty Wilkinson was moved by a cholera epidemic to make her own copper available in an out-house for washing clothes and to rig up clothes-lines for drying, so creating the first

⁸ Sports and Recreation Buildings, Listing Selection Guide, Historic England

*communal wash-house. ... In 1842 Liverpool Corporation opened the Frederick Street Baths, in which anyone in need could obtain a warm or cold bath of fresh water, and the use of a tub for washing clothes.*⁹

The Acts introduced in 1846 / 47 were purely voluntary and as such progress was slow, *by 1865 they had been adopted by only nine London parishes and by twenty-five boroughs, partly because those that had opened baths found it difficult to run them as going concerns, before the 1878 Act allowed greater takings from the more popular swimming-baths.*¹⁰

3.1.4 The development of the typology is also explained in *Great Lengths: The historic indoor swimming pools of Britain* and considered in the following phases;

- Before 1846 (and the Baths and Wash-houses Act)
- Early Victorian 1846-1870
- Late Victorian 1870-1901
- Edwardian 1901-1918
- Inter War 1918-1945
- Post War 1945-1970
- Post 1970

3.1.5 The first phase of the James Street Baths which contained the public baths was constructed circa 1883 (opened 1884) and therefore falls into the late Victorian phase, which is described as follows in *Great Lengths*;

By the 1870s it was evident that where properly designed and managed, public baths and wash houses were yielding the health and welfare benefits that had been promised, even if, in the absence of any detailed studies, those benefits were measured mainly in terms of user statistics and anecdotal evidence.

But equally clear to local authorities was that in order to keep their debt repayments to within the oft-quoted 'penny in the pound' limit they had promised ratepayers, the income derived from swimming was critical.

After a relative lull in the construction of baths during the 1860s, the remaining years of Queen Victoria's reign were therefore characterised by three main trends.

Firstly, there was a great leap forward in the number of baths around the nation generally. In 1865 there were around 50 public baths in England. By 1885 this figure had doubled, and by 1901 it had doubled again to some 210 establishments.

Secondly, this building boom included a surge in the number of baths that featured larger and more sophisticated swimming pools, and also Turkish baths, vapour baths, showers and the like, all designed to raise standards and attract more middle class and female users.

*Thirdly, by tapping into the public's seemingly insatiable appetite for entertainment and sporting activity, baths of the late 19th century evolved into multi-purpose event venues.*¹¹

3.1.6 It also goes on to state that philanthropy continued to play a pivotal role during this period with roughly ten percent of public baths built between 1870 and 1901 benefitting wholly or in part from philanthropic gifts.¹²

⁹ *Taking the Plunge, The Architecture of Bathing* by SAVE Britain's Heritage

¹⁰ *ibid*

¹¹ Dr Ian Gordon & Simon Inglis, *Great Lengths, The historic indoor swimming pools of Britain*, English Heritage, 2009, p.51

¹² *ibid*

- 3.1.7 The second phase of the James Street Baths which contained the Turkish baths was opened in 1909 and therefore falls into the Edwardian phase, which is described as follows in *Great Lengths*;

During the Edwardian era, it could be said, public baths well and truly came of age. They were built in numbers and at a rate that outstripped all efforts during the previous century, and in certain quarters reached levels of opulence that, some would argue, is unlikely to be matched again.

3.2 Phase 1: c1883 - Public Baths Construction

- 3.2.1 As previously noted, prior to the construction of the Citadel Station the area to the south was already dominated by a large number of mills and industrial complexes. The construction of the station in 1847 led to the formation of a new road layout to this area and the 1868 below map shows this most clearly with the road names noted. The alignment of James Street was well established by this time, terminating in Mill Street which then crossed the river. A parcel of land was formed at the junction of James Street and Wood Street which in 1868 remained unbuilt. This was to become the location for the public baths opened in 1884.



Fig.20 Above: 1868 Map Prior to Construction of the Public Baths

Fig 21 Below: 1899 OS Map Showing the Footprint of the Public Baths



- 3.2.2 Fig's 23 – 25 show the historic plans that are held within Cumbria Archives for the Public Baths dated 1883. The basement plan (Fig. 23) also shows the site plan with the built form located on the junction of James Street and Wood Street and abutting the existing buildings to the rear.

The baths consisted of a 1st class plunge pool, a 2nd class plunge pool both with associated dressing boxes, 1st and 2nd class private baths. There were separate ladies facilities which consisted of a ladies waiting room, 1st and 2nd class private baths and a ladies plunge pool. At the rear was a laundry area with a workshop below and a storeroom above and a space reserved for Turkish Baths.

On the James Street frontage the building contained a residence for the attendant which had a kitchen etc at basement level, office & lounge at ground floor and bedrooms at first floor. The following advertisement for 'a man and his wife to attend the new public baths' was posted in The Leeds Mercury in 1884.

| | | |
|---|--|--|
| <p>Mercury-office. HOUSE, in distance of</p> <p>two acres of ann. Address</p> <p>for Hosier or Bice.</p> <p>good BEER- Mercury-office.</p> <p>for drapery or Address B 63,</p> <p>ing accommoda- ry-office.</p> <p>to RENT or Apply W. B.</p> | <p>COPPERSMITHS.—Two good GENERAL HANDS wanted, at the Victoria Copper Works, Northgate, Halifax. Constant employment.</p> <p>CARLISLE PUBLIC BATHS.—Wanted, a Man and his Wife to attend to the New Public Baths, Carlisle. Persons having had previous experience of a similar kind will be preferred. The duties to be performed and any further particulars may be obtained from the undersigned. House, coals, gas, and water will be provided free. Applicants must state their ages and the wages required, and must forward application, with testimonials as to character and fitness, on or before June 20th, 1884, endorsed "Bath Attendant," to be addressed to the "Chairman of the Baths Committee," Gasworks, Carlisle. J. HEPWORTH. The Gas and Water Works, Carlisle, June 6th, 1884.</p> <p>WANTED immediately, at the Harrogate Hydropathic Establishment, an active young man as BATHMAN. One with a knowledge of Turkish baths preferred. Address, stating age, wages, references, and former experience, to Dr. Veale.</p> <p>WANTED, a steady, sober man, as ENGINE and FIRE MAN. One who can do his own repairs preferred. Apply Wm. Yates, Paper Mills, Pool, near Leeds.</p> | <p>V V 203, B</p> <p>A Respecta 15. Ap</p> <p>W ANTEI No. 8</p> <p>W ANTEI Mrs.</p> <p>W ANTEI Regen</p> <p>W ANTEI 4, Oal</p> <p>W ANTEI Canal</p> <p>W ANTEI andra</p> <p>W ANTEI famil</p> <p>W ANTEI Appli</p> |
|---|--|--|

Fig 22: Advertisement, The Leeds Mercury, Saturday June 14 1884

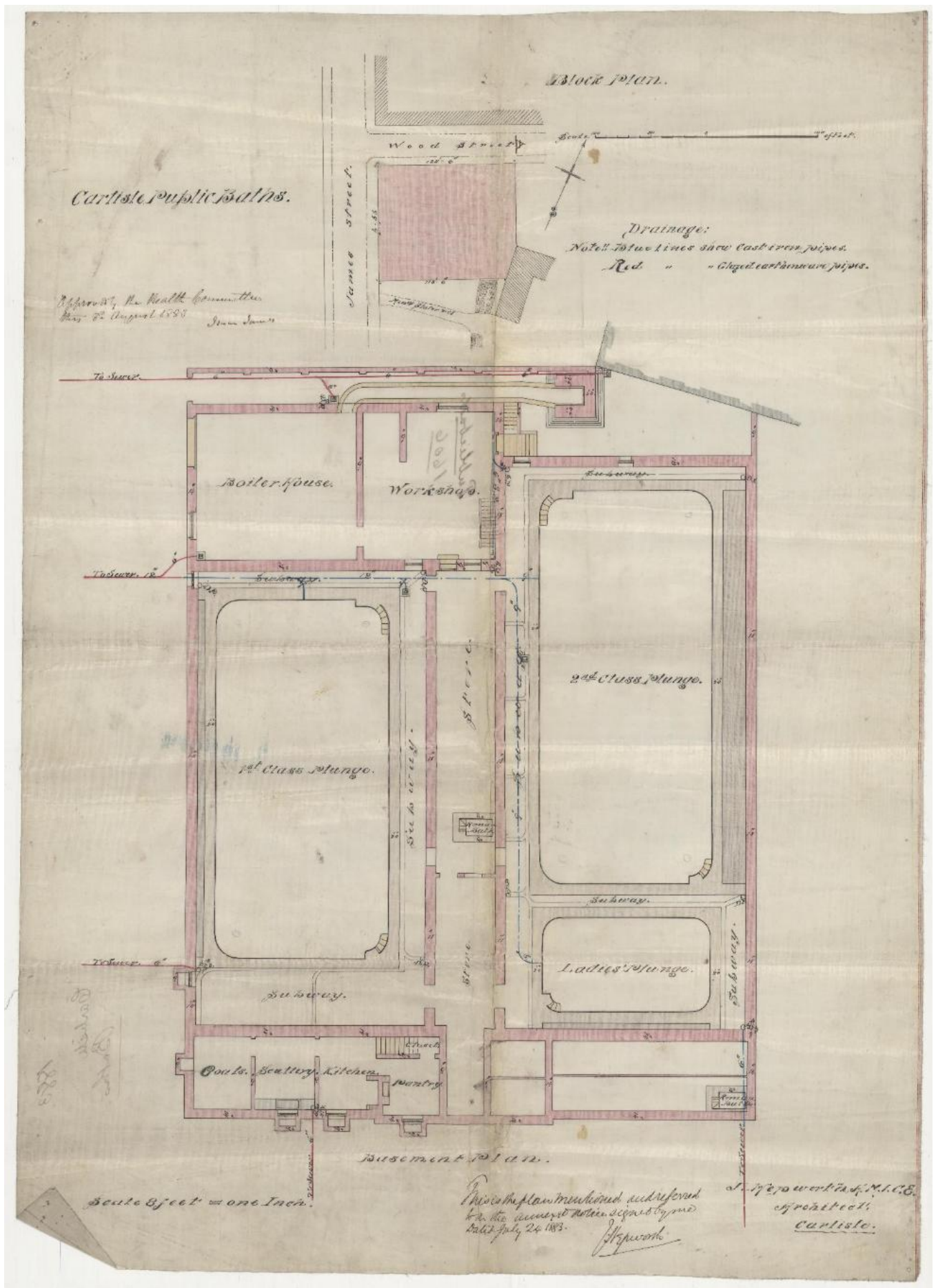


Fig.23 Above: Public Baths Basement Plan 1883 (Cumbria Archives)

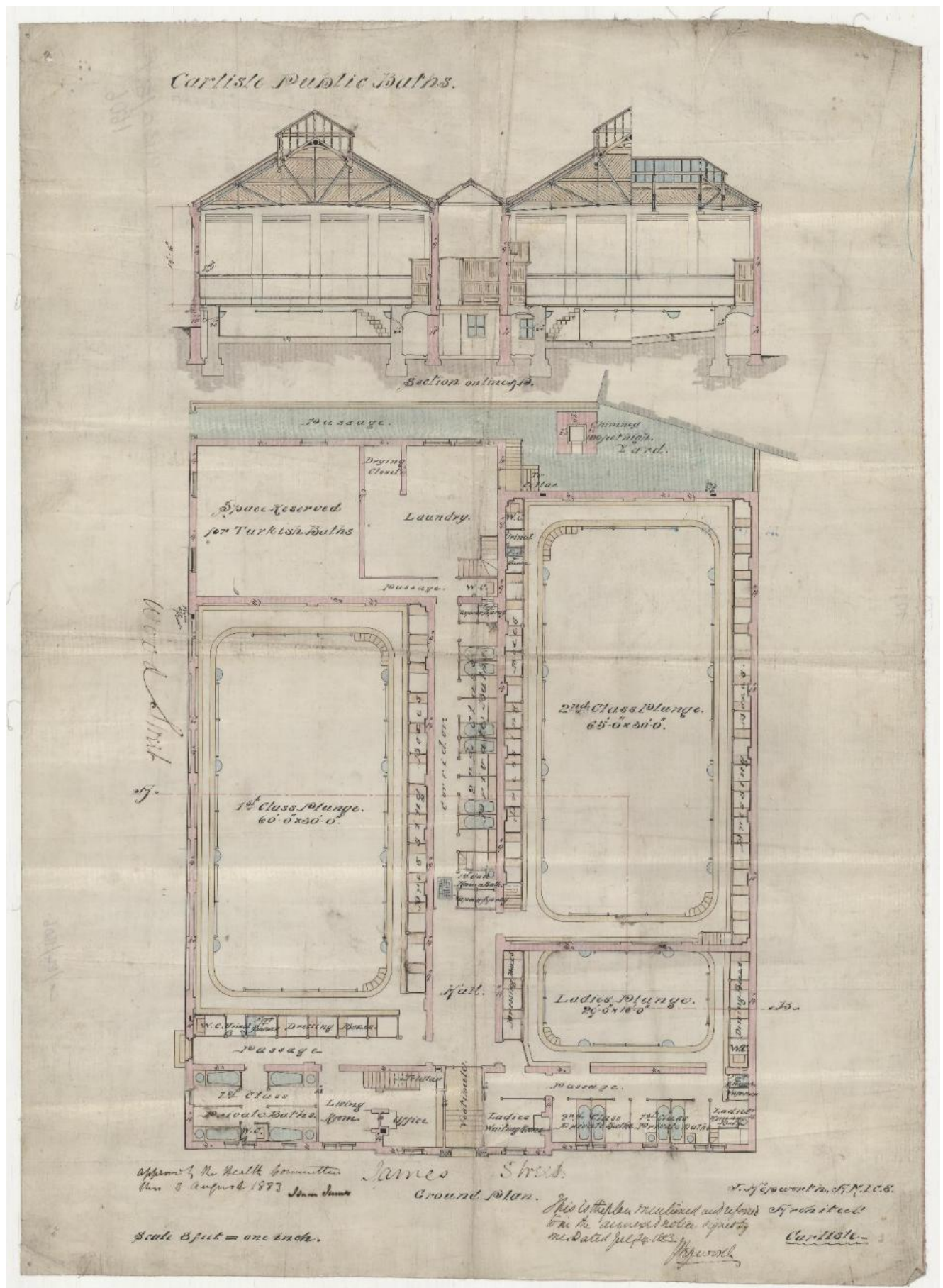


Fig.24 Above: Public Baths Ground Plan 1883 (Cumbria Archives)

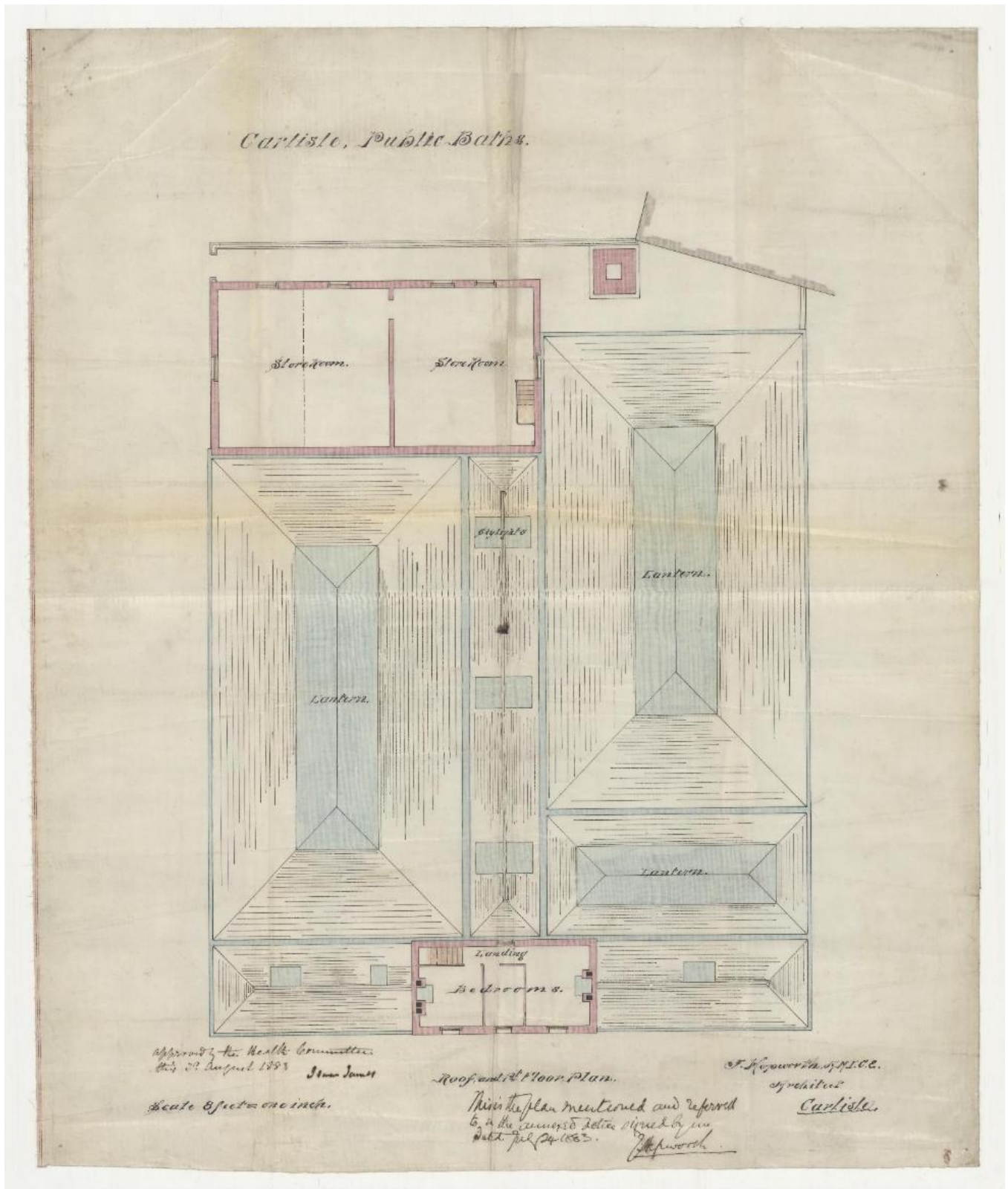


Fig.25 Above: Public Baths First Floor & Roof Plan 1883 (Cumbria Archives)

3.3 Phase 2: c1908 – Turkish Baths Construction

- 3.3.1 An article in the Carlisle Journal, Friday 15th February 1901, describes the proposals for the Turkish Baths;

TURKISH BATHS FOR CARLISLE

It appeared from the minutes of the Baths Committee that the Engineer had submitted plans and elevation of Turkish Baths in connection with the Public baths: and that the Committee had adopted the same and instructed the Engineer to prepare the necessary working drawings, have the quantities taken out and advertise for tenders for the work. They had also requested the Town clerk to make application to the Local Government Board for sanction to borrow the sum of £1,985, the estimates cost thereof.

Mr. Corbett called attention to the plans and moved their adoption and also the confirmation of the instructions to the Town Clerk to apply for sanction to borrow the sum required for carrying them out. He said the Corporations some time ago purchased a piece of ground from Messrs. Hudson Scott and Sons with the intention of erecting Turkish Baths upon it. The piece of ground adjoined the existing baths, and it was proposed to use half of it – the far half – for the Turkish Baths, leaving the other half for extensions to the ordinary baths, a work which would have to be undertaken by and by, as people often complained of having to wait some time before being able to get their bath. The existing baths chimney would be utilized for taking away the smoke from the furnaces of the Turkish baths, and the hot water and steam would be obtained from the boilers now in use. The baths would consist of two hot rooms, a shampooing room, a plunge bath, a cooling room, needle and shower baths. When finished they would be a unique suite of Turkish baths for the city, built of the best materials, provided with appliances of the most modern type for getting up heat and for ventilation, with the walls of the hot rooms lined with glazed bricks, and the interiors generally so constructed as to enable them to be easily kept clean, airy, and dry. The main entrance to the baths would be the existing one: but they would be reached by two separate ways after getting through the present hall, one from the ladies slipper baths for ladies, and the other from the gentlemen's second-class swimming bath for gentlemen. Turkish baths might be erected for less money than the estimated cost, but what was worth doing was worth doing well. The present baths were built out of the profits of the gas works. There were no such profits now to be devoted to this purpose, and they would have to borrow the money.

Mr. Coulthard seconded the motion and it was agreed to.¹³

- 3.3.2 The Turkish Baths were completed and opened some years later in 1909. The footprint of the Turkish Baths extension can be seen to the 1920's OS map (Fig. 26) and to the block plan to Fig. 28. Contemporary descriptions of the Turkish Baths are contained within the local newspapers, extracts of which are included to the following paragraphs.

¹³ *Carlisle Journal*, Friday 15th February 1901

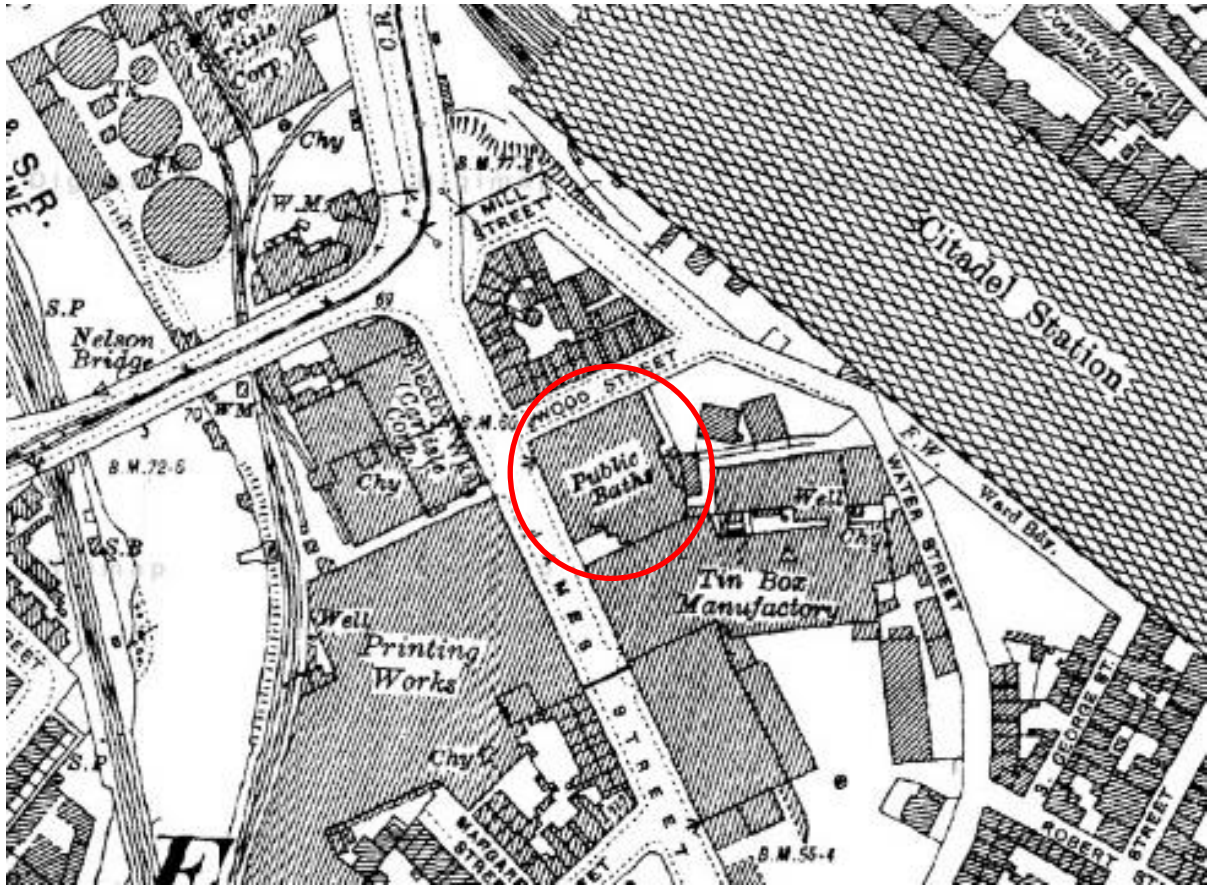


Fig.26 Above: 1920's OS Map

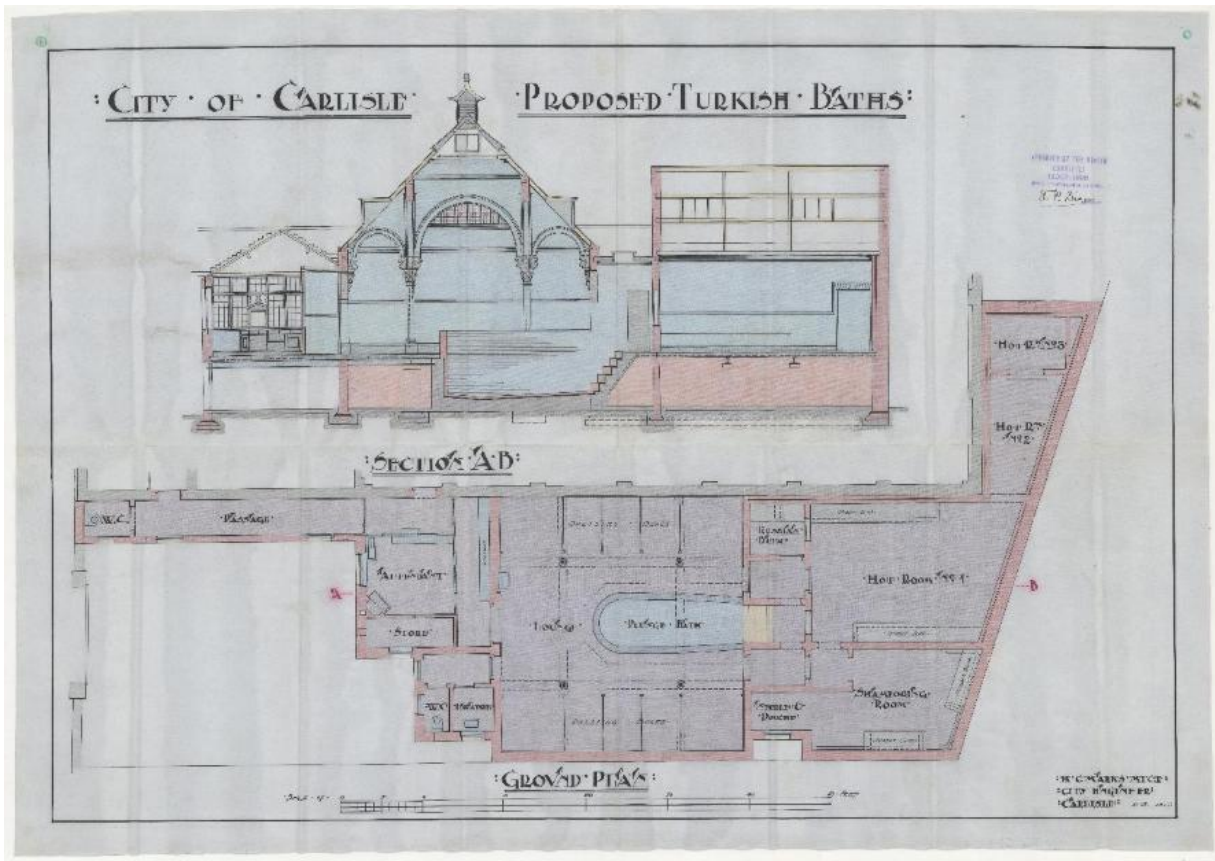
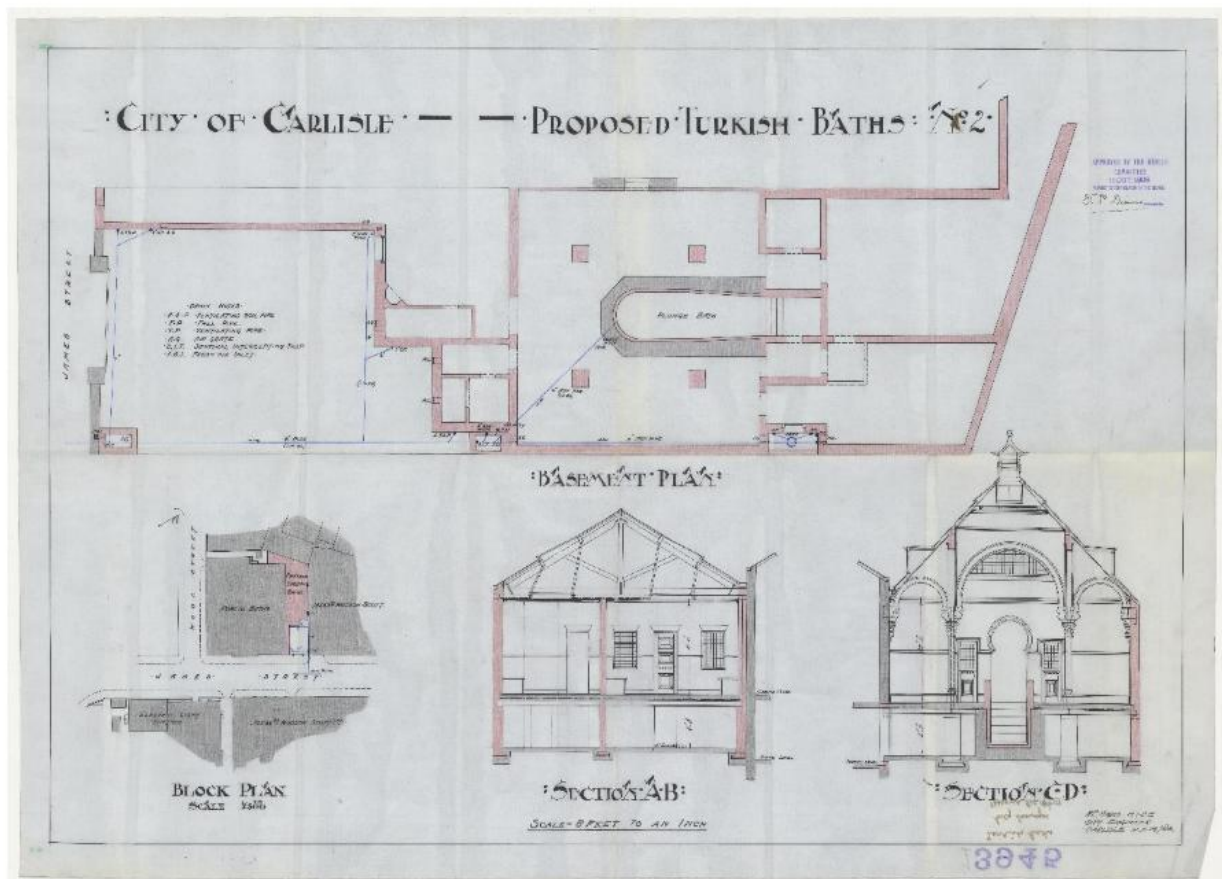


Fig.27 Above: Turkish Baths Section & Ground Floor Plan (Cumbria Archives)

Fig.28 Below: Turkish Baths Block Plan, Sections and Basement Plan (Cumbria Archives)



3.3.3 An article in the Carlisle Journal, 17th September 1909, describes the Turkish Baths;

THE TURKISH BATHS – INSPECTION BY THE PUBLIC

Yesterday the new Turkish baths were opened to public inspection, and they were visited by a large number of people interested in this important addition to the means existing in the city of enabling the inhabitants to secure and preserve the purity of their bodies and this promote their happiness and health. The scheme which has just been completed in James Street was inaugurated 25 years ago, when out of the profits of the Gas Works the Town Council of that day set apart a sum for the erection of Turkish baths, but owing to the trouble that arose in connection with the Geltsdale scheme the project was deferred, although the necessary powers had been obtained from the Local Government Board, and it was only last year, after somewhat heated controversy, that the Town Council determined to take advantage of their powers before they lapsed.

The Turkish baths, which have now been completed, are up to date in every way, and capable of affording the citizens as good an opportunity of making full use of the Oriental method of following the injunction of cleanliness as any institution of the kind in England. They are entered from the front door of the existing baths. Males pass into it by the second class swimming bath and females from their own department. In a corridor, which is first reached, and which is provided with a door which enables the ladies' department to be shut off on all days excepting those when the baths are reserved for the use of the gentler sex, namely, Tuesdays. In the corridor there is a window at which the bather obtains his ticket from the ticket office. Having obtained his ticket, the customer sits down in a corridor near the door of the lounge, and there he takes off his boots and puts on a pair of felt slippers. In the ticket office he may leave his watch and other valuables. Arrangements are made to supply tea, coffee, or aerated waters for the bather's refreshment after he has completed his bath. On leaving the entrance corridor, the bather proceeds to the lounge or cooling room, where he undresses and leaves his clothes. This chamber is provided on each side with double and single cubicles, furnished with couches, &c., for 14 bathers. In the centre of the lounge is a plunge bath which bathers may use after the undergoing the process of shampooing on leaving the hot chamber; and here also there is a weighing machine for use if desired by the bather both before and after the bath. The lounge or cooling room has been tastefully carried out in tiles and glazed faience work. The room is of Moorish design with horseshoe arches on pillars with ornamental capitals. The prevailing colours are pale green, pale blue and buff, the shades so blended as to produce a restful effect. The partitions of the cubicles are formed with polished wood with stained glass panels in the upper portions. The floors of all the rooms have been laid with terrazzo paving, which with the whole of the tiling and faience work has been done by Messrs. Minton, Hollins, and Co., of Stoke. The plunge bath has been constructed with concrete and laid with white glazed bricks. Lavatory accommodation has been provided in connection with the lounge.

There are three hot chambers of varying temperatures up to 250 degrees. The temperature of the first room is hot enough to take the visitor's breath away on first entering, but it is nothing to the temperature of the second room, and still less to be compared with that of the third chamber. In these three rooms the bather undergoes the heating or baking process of the Turkish bath. In the first room there is provided a drinking fountain from which a drink of fresh water may be obtained. If the heat of the third room should be insufficient to make the perspiration come the bather may go into a Russian or vapour bath, which is heated with steam, and there the perspiration will be effectually started and without loss of time. After the bather has succeeded in starting the perspiration he re enters the hottest room and remains there a sufficient time for his purpose. He then proceeds into an adjoining room, the temperature of which is sensibly lower, and there he undergoes the process of shampooing by the attendant. With this object two marble slabs, hot and cold water and shampooing apparatus, including needle, shower and douche baths are provided. Means under the control of the attendant is provided for varying the temperature of the water used to any degree desired by the bather. On leaving the shampooing room the bather returns to the lounge and has his plunge bath, and then proceeds to his couch on which he can recline until he cools down. Before leaving he may regale himself with coffee, tea, &c. It is while he is on the couch that the bather experiences the full enjoyment of the bath which he has been taking. The feeling which comes over him has been described, "like being born anew. An inexplicably delicious sensation of comfort pervades the body, and soon ends in a sweet sleep." The bath generally takes about an hour and a half or two hours. It should not be hurriedly taken, and, of course, care must be observed not to leave the premises too quickly, less a cold should be the result.

The hot rooms and shampooing room, as already indicated, have concrete floor finished in terrazzo marble paving. The walls are lined with white glazed bricks, and the ceiling finishes in white enamelled iron. Ample provision is made for the extraction of foul air and efficient ventilation.

Cleanliness in the materials used in Turkish baths is an important desideratum, and simple laundry accommodation already provided in connection with the previously existing baths will enable this to be easily and amply secured.

The vapour or Russian bath is a small room between the lounge and the hot rooms. It is heated with live steam under the control of the attendant.

Mr. Ormston, the attendant who has been engaged, is a man who has had a large amount of experience at Newcastle-on-Tyne and elsewhere. He has been highly recommended, and has a good knowledge of his business.

It is intended to work the hot rooms at the following temperatures:- 130, 160 and 200 degrees. The temperature of the shampooing room will be kept at 110.

The baths have been erected according to plans prepared by the City Surveyor. The estimated cost was £2,500 and that was the amount sanctioned by the Local Government Board, but the whole of the work has been done within the estimate. Mr. William Johnstone, of Blencowe Street, was the sole contractor, and his sub-contractors were as follows:- Tiling and flooring, Messrs. Minton, Hollins and Co. Stoke; joiner's work, Mr. Dowell, Botchergate; heating and ventilating, Messrs. Constantine, Manchester; plumbing, Messrs. Sharp, Corporation Road, Carlisle; slating, Mr. Hewitson, Carlisle; iron work, Messrs. Porter Brothers, Denton Street; painting and electric lighting, Messrs. R. M. Hill and Co., Castle Street; plastering, Mr. Ferguson, Denton Street.

The whole of the baths will be under the superintendence of Mr. Call, who has been for so many years superintendent of the Public Baths in James Street.

The charges for the use of the Turkish baths will be less than those generally made in different parts of the country. Two shillings will be the fee payable before 5.30 excepting on Thursdays and Saturdays, and 1s. after 5.30. On Thursdays and Saturdays the fee will be 1s. from mid-day.

The heating apparatus of the Turkish baths is absolutely separate from that provided for the other baths; and the efficiency of the foul air flues is guaranteed by the fact that they are connected to the large chimney stack of the general building.

The baths will be open for general use on Monday morning next. There will be no formal opening.

3.4 Phase 3: c1920-1930 – Public Baths Extension

- 3.4.1 As noted in the previous newspaper article from the Carlisle Journal (15th Feb 1901), the Turkish baths were constructed set back from James Street leaving a parcel of land to the James street frontage. This was reserved for an extension to the public baths to provide more slipper baths. By the 1928 this extension had been completed and the James Street frontage infilled. The complete built form is seen to the aerial photos of the time (see Fig.'s 14 & 15 earlier). The Metal Box Manufactory was immediately adjacent to the baths and as such the south elevation was blank abutting this built form. To the north terraced housing remained on the block formed by James Street / Wood Street and Mill Street.

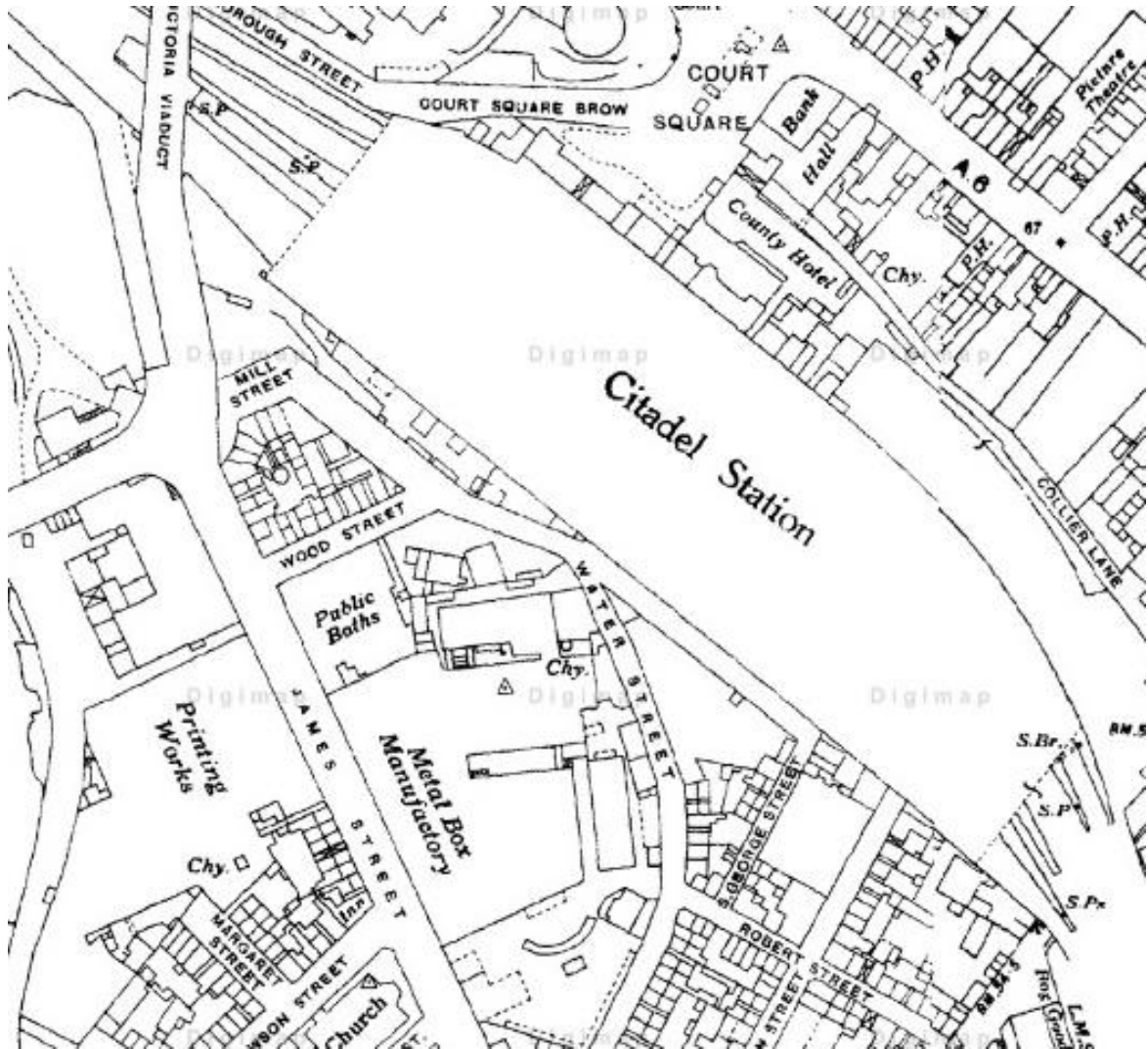


Fig.29: 1930s OS Map

3.5 Phase 4: c1970 – Further Public Baths Extension

- 3.5.1 The site of the baths remained principally unchanged through to the 1960's then followed a large extension to the north, as seen to Fig. 32 & 33. At this time the metal box manufactory remained which was demolished later into the 20th century. The Wood Street terraces were demolished prior to the 1960's and replaced with a depot building but this was then also demolished to provide the site of the public baths extension and Wood Street built over.
- 3.5.2 Photos taken at the time of construction of the new baths show the original Wood Street elevation. They also show the impact on that elevation in having to negotiate between the lower level of Wood Street and the upper level of James Street as it joins the end of the Victoria Viaduct (see Fig.'s 30 & 31).



Fig.30 Above: Photo circa 1970 looking towards James Street



Fig.31 Above: Photo circa 1970 looking towards the original Wood Street elevation of the public baths

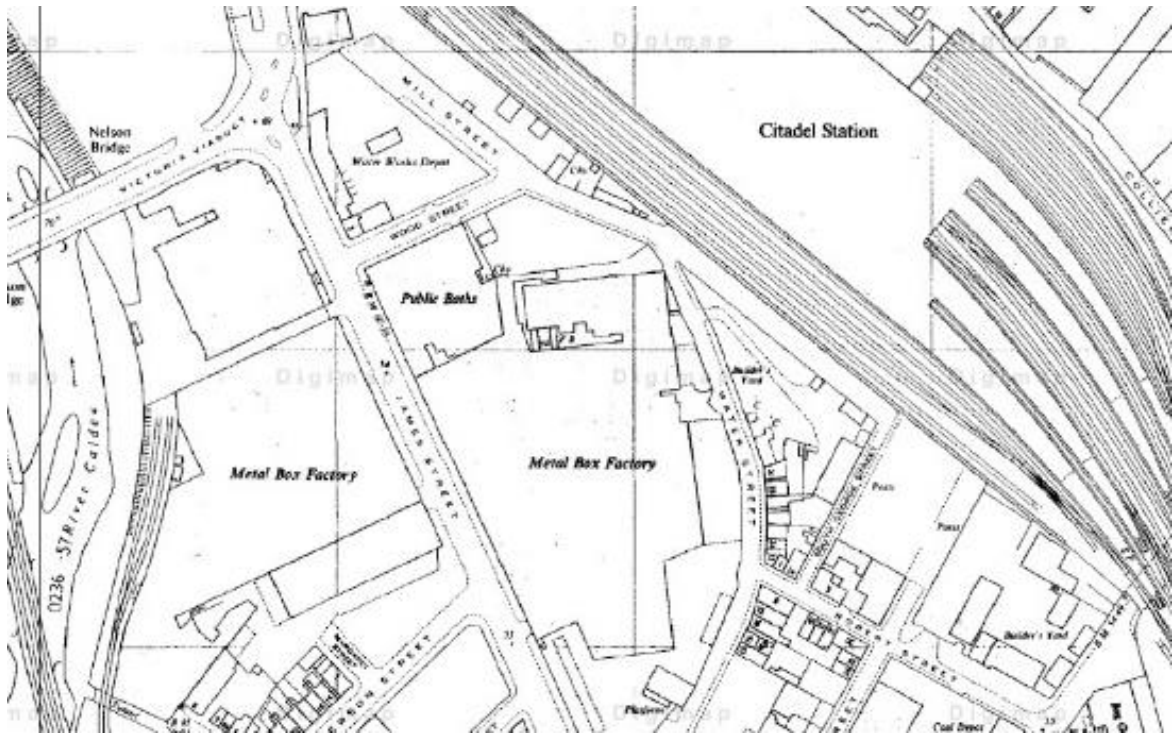
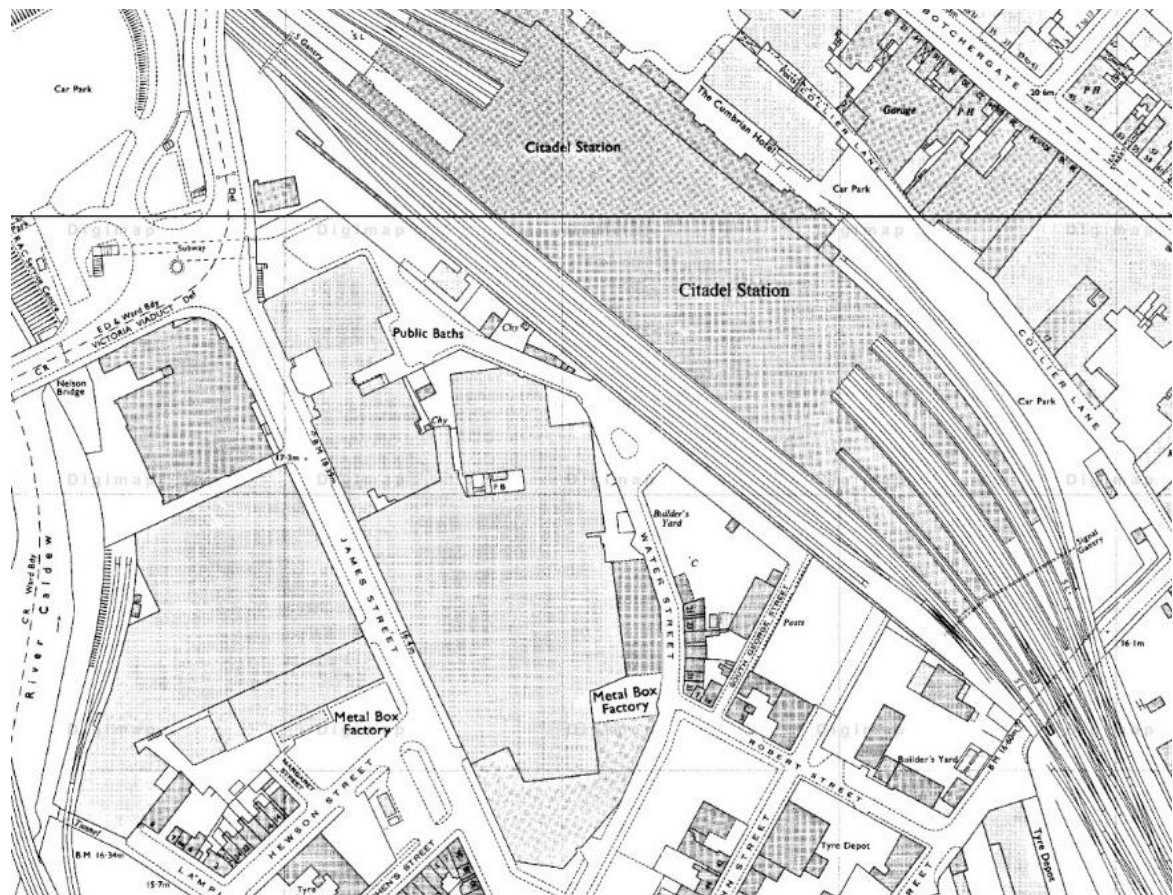


Fig.32 Above: 1960s OS Map

Fig.33 Below: 1970s OS Map



4.0 JAMES STREET BATHS TODAY

4.1 Current Buildings

- 4.1.1 The current buildings which form the James Street Baths remain as developed by the 1970's and consist of the 4 phases of construction previously described

Phase 1: 1884 Public Baths

Phase 2: 1909 Turkish Baths

Phase 3: 1920's Public Baths Extension

Phase 4: 1970's Public Baths Extension

4.1.2 **Phase 1: 1884 Public Baths**

The original plan form of the public baths remains partly legible but has been significantly altered. The existing secondary pool appears to retain the location of the original second class plunge pool although altered with new tiling and squared corners and enlarged towards James Street with the removal of the ladies plunge pool. The dressing boxes to the perimeter of the second class plunge pool have been removed completely, these would have been partly altered in 1909 to provide the link for gentlemen to access the Turkish baths. The structural wall line between the second class pool and first class pool has been opened up leaving just masonry piers (see Fig.36).

The first class plunge pool has been significantly reduced in size to provide the existing smaller family pool. Again all of the dressing boxes have been removed and the reduction of the size in the pool has provided an area for larger modern changing facilities which has also blocked off the previous entrance and hall. None of the partitions which formed the private slipper baths remain. Within the corridor that runs parallel with the former line of Wood Street to the north side of the building (adjacent to the existing family pool) there is evidence that historic finishes, such as glazed tiles, may remain beneath later finishes. It is known that the roof lanterns have all been replaced although glazing does remain in the roofs over the 2 pools. As such there is some potential for evidence of the former Public Baths to remain although this has been significantly diminished by the later alterations.

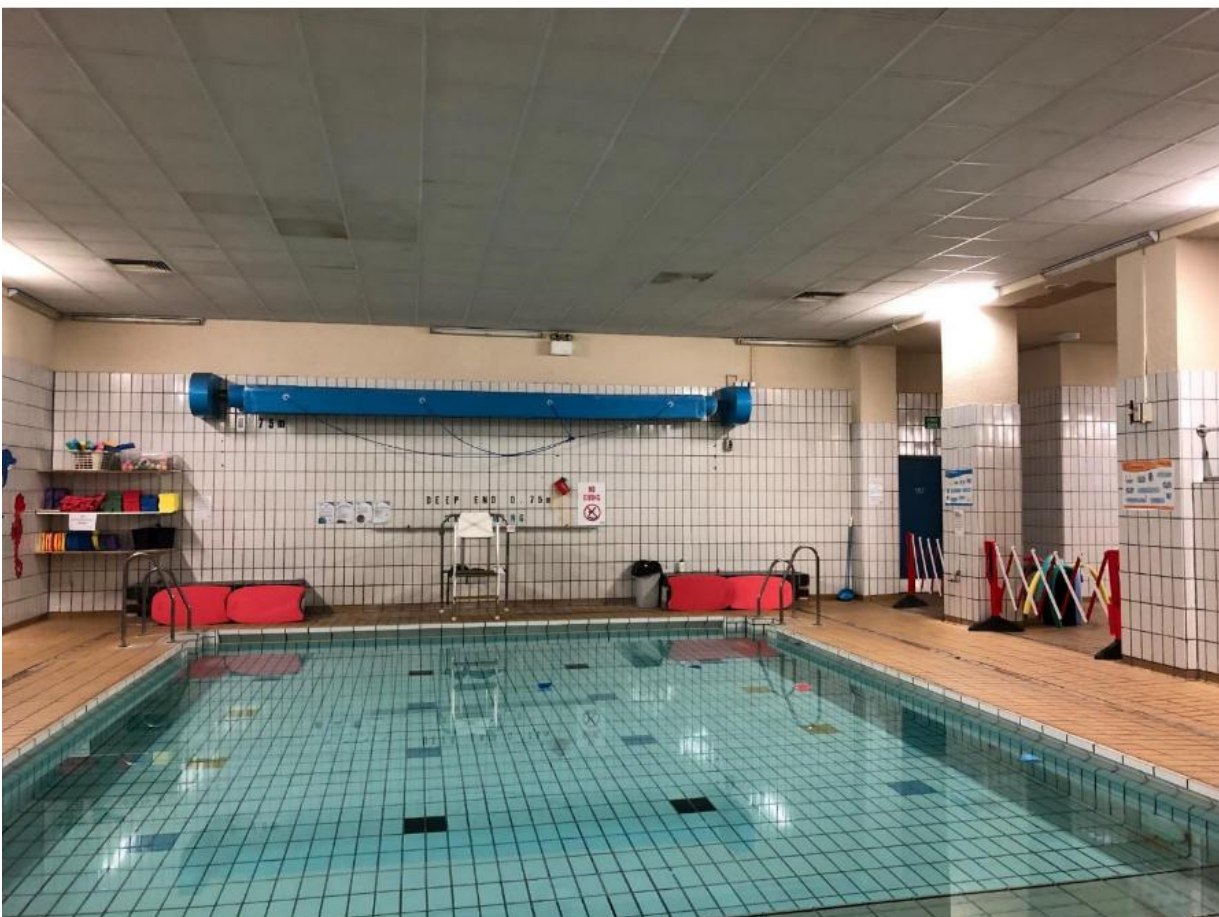


Fig.34 Left & Fig.35 Right : Interior of the existing corridor showing evidence of historic finishes



Fig.36 Above: Interior of the Former Public Baths

Fig.37 Below: Interior view of the Family Pool



4.1.3 Phase 2: 1909 Turkish Baths

As noted within the listing description (para 2.2.10) the original plan form of the Turkish baths remains highly legible. There have been some alterations, the first of which were a result of the extension to the Public Baths in the 1920's. This obscured the external elevation facing James Street and also potentially changed the entrance sequence from the adjacent public baths.

The glazed timber screens that enclosed the attendant's office and the waiting area have been removed although the lines of these are evident in the downstand and cornice lines to the ceiling (see Fig. XX).

The lounge is substantially intact retaining the glazed timber screens which separate the dressing boxes and all the decorative detailing to the glazed tiles and faience. The terrazzo flooring is not visible so it is not known if this has been retained beneath the existing floor finishes and what condition that is in.

The first hot room (the largest of the 3) has been altered with the addition of a steam room. The walls have been lined with t&g boards and the floor is now a tiled floor not terrazzo as noted within the newspaper article of 1909. These alterations do affect the characteristics of the space.

Similarly hot room no. 2 has more recently been re-lined out with t&g, again the flooring is now tiles not terrazzo, both of which affect the character of the space. The terrazzo is visible to the floor of hot room no. 3 and the steps up to this room.

What was originally the shampooing room has been altered with the addition of a sauna built into the space.

Some of the doors have been replaced with modern timber doors



Fig.38: Interior of the lounge within the Turkish baths



Fig.39: Interior showing the plunge pool & doors from the hot rooms

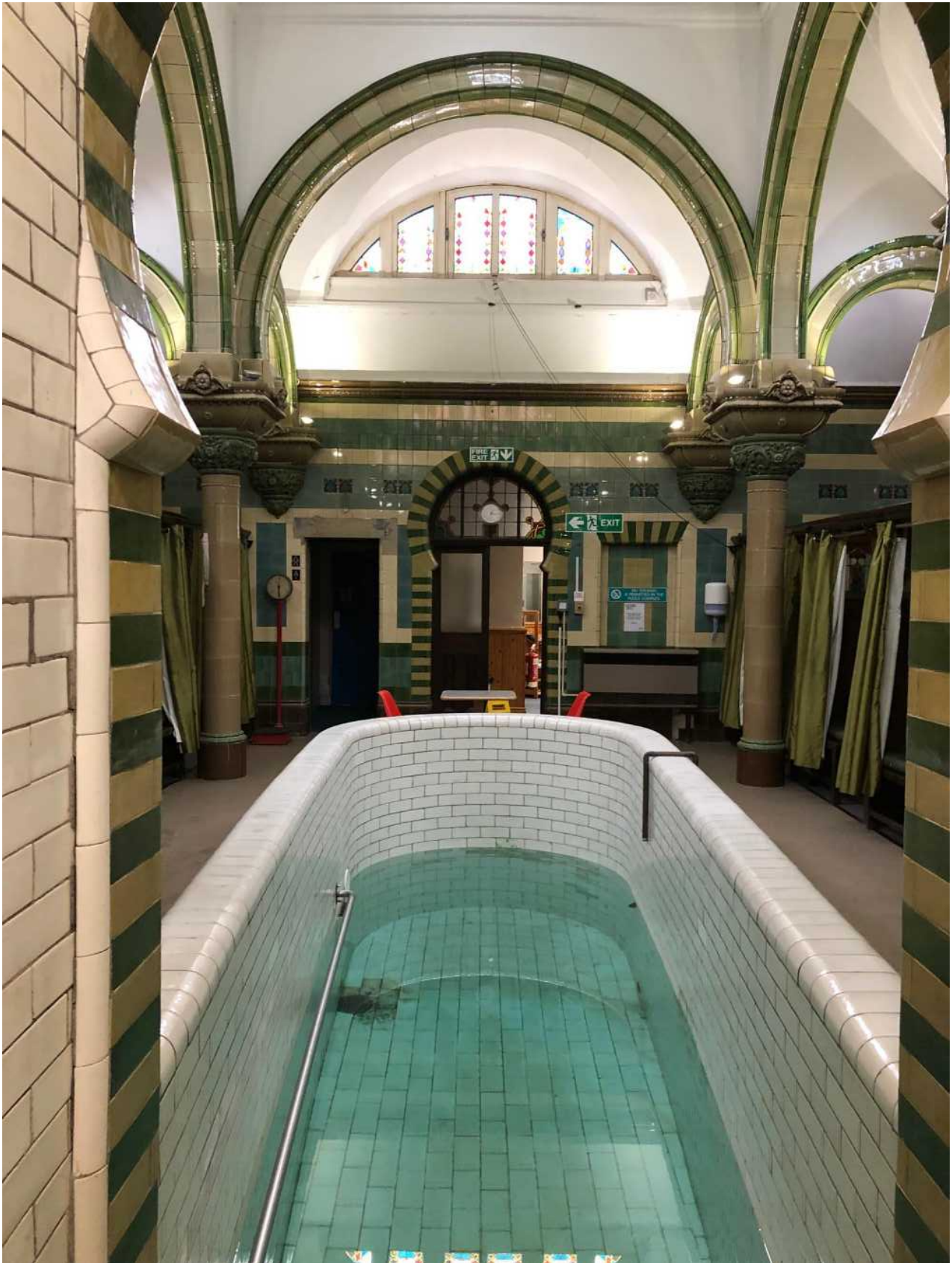


Fig.40: Interior showing the plunge pool & doors from the entrance



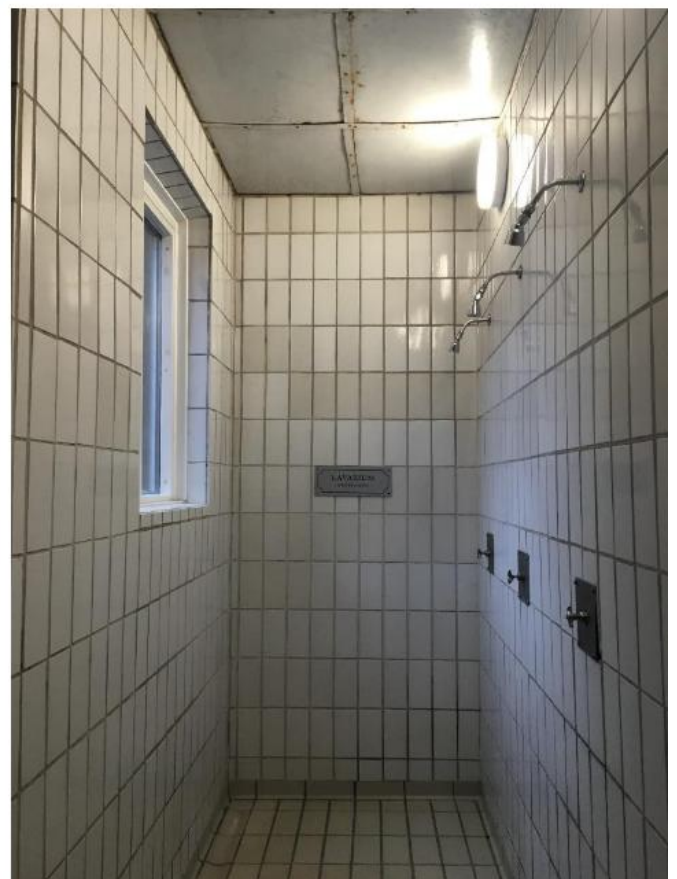
Fig.41: Interior showing the dressing boxes



Fig.42: Interior showing hot rooms no. 2 and no. 3 (dated 2019 before the timber t&g was replaced)



Fig.43 Above Left & Fig.44 Above Right: Interior showing hot room no. 1
Fig.45 Below Left & Fig.46 Below Right: Interior former shampooing



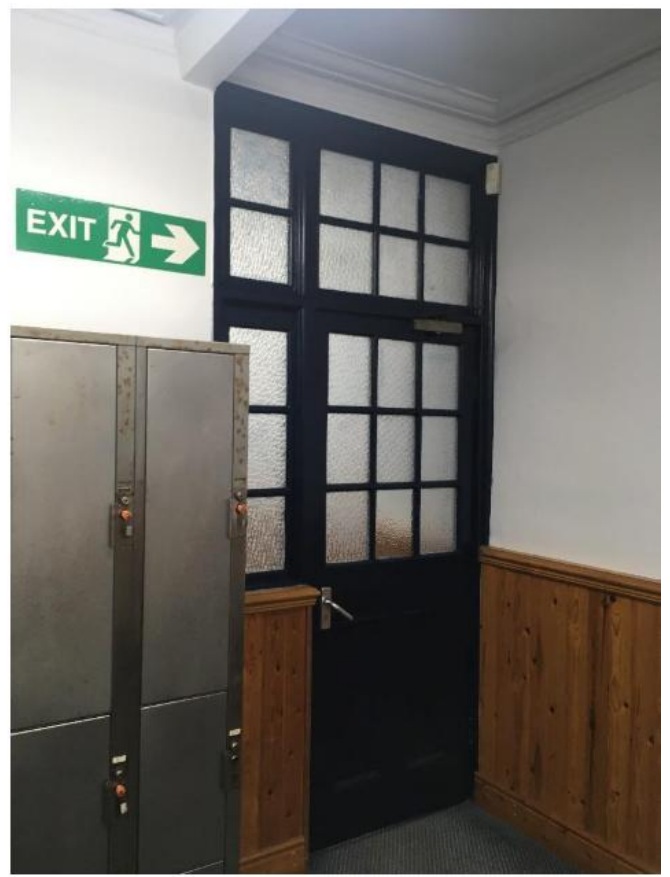


Fig.47 Above Left & Fig.48 Above Right: Doors into former attendants area
Fig.49 Below Left: Downstands showing previous plan layout & Fig.50 Below Right: Entrance from baths



4.1.4 Phase 3: 1920's Public Baths Extension

There is visible evidence for the historic plan form of the 1920's extension. This two storey addition has a central staircase with a circular stained glass rooflight over. The first floor space is open plan. The ground floor is subdivided providing evidence of the additional private slipper baths that were provided. As these types of facilities are no longer provided there is historic interest in the plan form and aesthetic interest in the retained finishes.

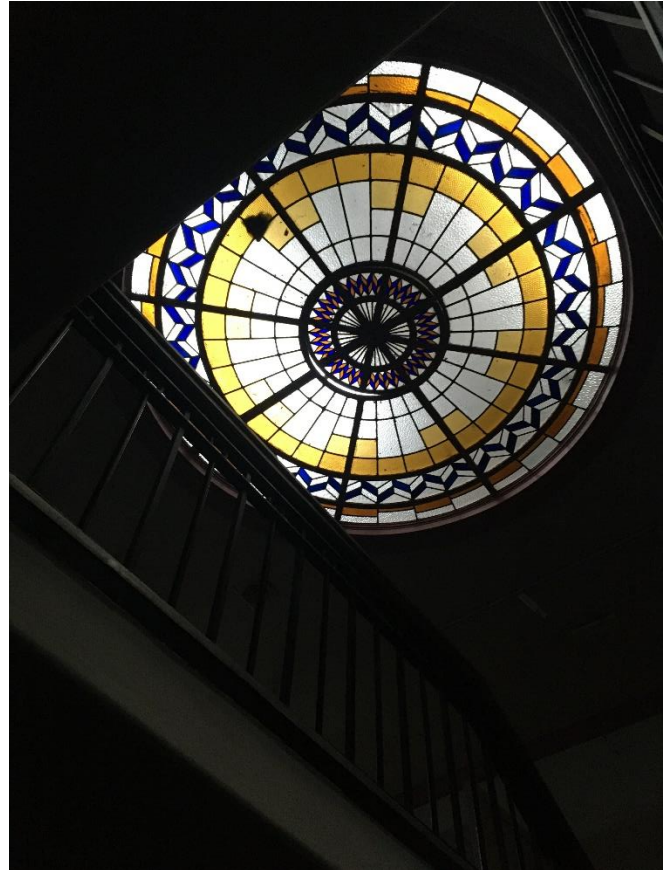
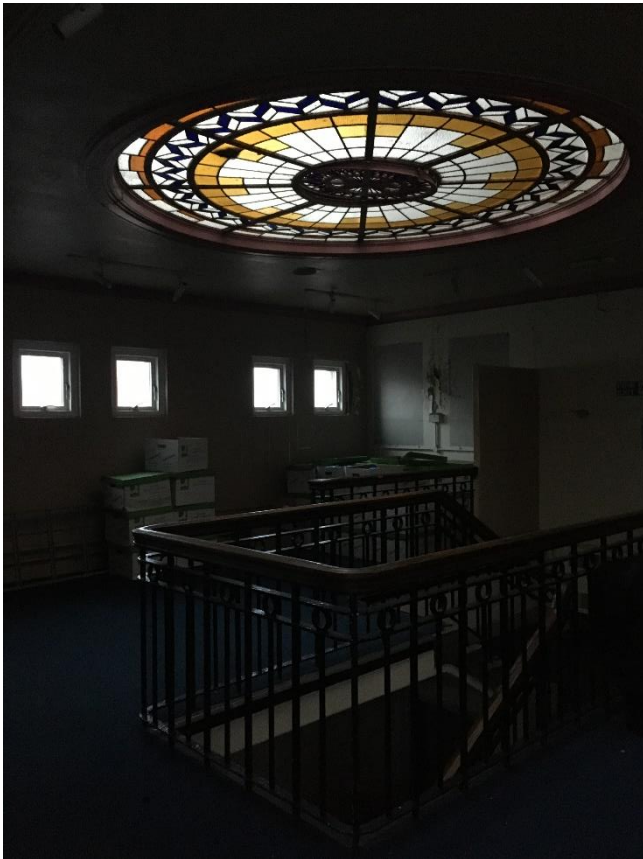


Fig.51 Above Left & Fig.52 Above Right: Staircase & circular rooflight to extension

4.2 Current Condition

- 4.2.1 An outline assessment of the fabric condition was undertaken as part of the site visit on 11th December 2020. It consisted of a visual inspection only from ground level externally and of the key internal spaces. Full access including any access at roof level was not gained. It is recommended that a full condition survey be undertaken as part of any future viability assessment. Regular maintenance works should also be continued to ensure that the fabric does not deteriorate.

- 4.2.2 The outline assessment uses the following categories of description of condition (as noted in the Architectural Heritage Fund application guidance);

Good: Structurally sound, weather-tight and with no significant repairs needed (but at risk for other reasons).

Fair: Structurally sound but in need of repair (e.g. some window frames decayed, gutters blocked, pointing partly eroded, needing rehabilitation to meet current standards).

Poor: Roof in poor repair. Fabric generally deteriorating (e.g. leaking roof, deteriorating masonry, all gutters badly defective, window frames decayed, pointing eroded). Partial fire damage, rot outbreaks, severely damp, un-modernised.

Very Bad: Not weatherproof: roofless or roof severely damaged, windows broken. Structurally unstable: foundations shifting, walls bulging, joists rotten etc. Badly penetrated by wet/dry rot and / or rising damp, major fire damage, uninhabitable and wholly un-modernised.

- 4.2.3 Overall the external condition of the areas of historic interest can be considered to be fair but there are isolated areas which are deteriorating towards poor condition.

Areas of vegetation growth can be seen to the perimeter of the building (and are therefore also likely to be evident to the depth of the plan). To the rear this is starting to cause deterioration of the masonry which should be addressed as a priority before this deteriorated further (see Fig. 54 & 55).

The gutters and valleys to the roof areas should be regularly checked and maintained to ensure that the rainwater disposal remains active to avoid any water ingress into the interiors. Water ingress, particularly into the decorative lounge area of the Turkish baths, would be highly damaging.

- 4.2.4 Internally the exposed historic finishes are in good condition. There are areas where historic finishes, such as the glazed wall tiles and terrazzo floors, have been covered over and as such the condition of these areas is not known. The metal ceiling and areas above require a thorough inspection (currently limited by possible asbestos).



Fig.53 Above: James Street frontage

Fig.54 Below Left & Fig.55 Below Right: Vegetation growth





Fig.56 Above: Former Wood Street elevation

Fig.57 Below: Rear





Fig.58 Above: East and South Elevations

Fig.59 Below: South elevation which formerly abutted the metal box manufactory





Fig.60 Above: James Street frontage & original public baths entrance

Fig.61 Below: James Street frontage & original public baths entrance



5.0 HERITAGE VALUES

5.1 An assessment of significance is a requirement for any planning application that affects a heritage asset. This section of the report provides an assessment of the heritage merit of the application site. The assessment has been carried out with reference to the heritage values as defined in the English Heritage document *Conservation Principles, Policies and Guidelines* which can be summarised as follows;

- Evidential value – the potential of a place to yield evidence about past human activity (i.e. archaeological interest)
- Historical value – the ways in which past people, events and aspects of life are connected through a place.
- Aesthetic value – the ways in which people draw sensory and intellectual stimulation from a place (i.e. architectural and artistic interest)
- Communal value – the meanings of a place for the people that relate to it.

5.2 A statement of significance follows which uses the following ‘grades’ of significance

- Exceptional – the elements of the heritage asset which are of exceptional value (equivalent to Grade I)
- High – the elements of the heritage asset which are of high value (equivalent to Grade II*)
- Considerable – the elements of the heritage asset which are of moderate value (equivalent to Grade II)
- Some – the elements of the heritage asset which are of some value (equivalent to local listing status)
- Neutral – the elements of the heritage asset which have neutral value
- Negative – the elements of the heritage asset which have a negative impact or are visually intrusive
- Undefined – any elements which could be of heritage value but have yet to be determined due to lack of available information

5.3 Evidential Value

Evidential values are those that derive from the potential of a place to yield evidence about past human activity (Conservation principles para 35). These values will usually comprise physical remains inherited from the past and tend to be primarily archaeological in form. Consequently, the ability to understand and interpret the evidence is diminished in proportion to the extent of its removal or replacement (Conservation Principles para 36).

The extant historic fabric of all 3 phases of historic construction which form part of the James Street Baths has potential to yield evidential value. However this has been significantly diminished to the first phase and the construction of the public baths. The alterations that have been undertaken mean that the historic plan form is no longer legible. There is however potential for historic finishes and construction details to be concealed.

The second phase construction of the Turkish baths has considerably more evidential value with the plan for, and construction remaining predominantly intact. The third phase is also little altered and therefore these parts of the building hold considerable evidential value.

5.4 Historical Value

Historical values derive from the ways in which people, events and aspects of life can be connected through a place to the present day (Conservation Principles para 39).

As with the assessment of evidential value, the alterations that have occurred to the public baths phase have significantly reduced the historic value. The Turkish Baths and later extension hold considerable historical value in the retention of the historic plan form and their use of materials. They also hold historic value for being rare survivors of the typology. The complex as a whole (not including the later 1970’s extension) has historic interest for providing evidence for the development of this area of Carlisle and with the Electric Lighting building opposite being the only historic built form now remaining.

5.5 Aesthetic Value

Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place (Conservation Principles para 46), in particular architectural and artistic interest.

As with many public baths of the time, the first phase of construction followed the convention to limit external architectural adornments. Although not architecturally decorative the buildings do have aesthetic value externally not only in being representative of how the building typology was expressed at the time but also providing evidence for the historic characteristics of this area of Carlisle. The current external appearance is impacted by the fact that the buildings were never designed to have exposed elevations to the east and south and due to the level changes that have occurred to what was previously a frontage elevation onto Wood Street.

Internally however the Turkish baths, in particular the lounge area, have high aesthetic value due to the considered internal plan layout and use of materials, principally the Minton and Hollins decorative tiles.

5.6 Communal Value

Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory (Conservation principles para 54).

As a communal building that has been in continual use since the late 1800's the James Street baths hold considerable communal value. There will be a significant number of people for whom this group of buildings figures in their experience or memory.

6.0 STATUTORY REQUIREMENTS

6.1 It is important that the historic value of the James Street baths site is respected, retained and enhanced in the future. Best practice architectural conservation principles should be followed when considering alterations. Conservation principles for works to the buildings should also be sufficiently flexible to achieve an appropriate balance between the need to protect the significance of the buildings and the need for them to be used. This does not mean that changes cannot be made, in fact some changes will be desirable. However the changes should be based on sound understanding.

6.2 In addition to following best practice guidance, any proposals for change will need to meet the requirements of the Planning (Listed Buildings and Conservation Areas) Act 1990, the National Planning Policy Framework (NPPF) and Local Planning Policy.

- Legislation
- National Planning Policy and Guidance
- Local Plans & Policy

6.3 PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

6.3.1 Section 16 of the Act requires that;

(1) the local planning authority may grant or refuse an application for listed building consent and, if they grant consent, may grant it subject to conditions.

(2) in considering whether to grant listed building consent for any works the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

(3) Any listed building consent shall (except in so far as it otherwise provides) ensure for the benefit of the building and of all persons for the time being interested in it.

6.3.2 Section 66 of the Act requires that;

(1) in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

6.3.3 Section 72 requires that;

(1) in a conservation area special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.

6.4 NATIONAL PLANNING POLICY FRAMEWORK (NPPF) February 2019

6.4.1 Section 16 (paras 184 - 202) of the NPPF is specific to conserving and enhancing the historic environment.

6.4.2 Para 192 states '*In determining planning applications, local planning authorities should take account of:*

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *the desirability of new development making a positive contribution to local character and distinctiveness.'*

- 6.4.3 Para 200 states: *'Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.'*

6.5 LOCAL PLANNING POLICY CONSIDERATIONS

- 6.5.1 Carlisle City Council's local policies for conservation areas and heritage assets are contained within the 'Carlisle District Local Plan' which was adopted in November 2016. Within section 9 of the plan are policies pertaining to the historic environment with the objective;

'To conserve, enhance and promote Carlisle's heritage and important historic landscapes whilst ensuring that development proposals respect and enhance Carlisle's historic assets'.

- 6.5.2 Policy HE3 'Listed Buildings' states;

'Listed buildings and their settings will be preserved and enhanced. Any harm to the significance of a listed building will only be justified where the public benefits of the proposal clearly outweighs the harm.'

Applications for works to listed buildings including alterations or extensions, changes of use, or new development within the curtilage and/or its setting must have regard to;

- 1. the significance of the heritage asset, including its intrinsic architectural and historic interest and its contribution to the local distinctiveness and character of the District;*
- 2. the setting of the asset and its contribution to the local scene;*
- 3. the extent to which the proposed works would result in public benefits;*
- 4. the present or future economic viability or function of the heritage asset; and*
- 5. the preservation of the physical features of the building, in particular scale, proportions, character and detailing (both internally and externally) and of any windows and doorways.*

Development within the locality of a listed building should preserve or enhance its character and setting, and be sympathetic in scale, character and materials.

The demolition or total loss of the significance of a listed building will only be permitted in exceptional circumstances where it can be clearly demonstrated that the tests set out in national policy can be met. Such proposals must also be accompanied by clear details of the proposed redevelopment.'

- 6.5.3 Policy HE7 'Conservation Areas' states;

'Any new development and/or alterations to buildings in conservation areas should preserve or enhance the special character and appearance of the conservation area and its setting. Specifically proposals should;

- 1. seek to harmonise with their surroundings and be sympathetic to the setting, scale, density and physical characteristics of the conservation area;*
- 2. preserve or enhance features which contribute positively to the area's character or appearance, in particular the design, massing and height of the building should closely relate to adjacent buildings and should not have an unacceptable impact on the townscape or landscape;*
- 3. not have an unacceptable impact on the historic street patterns/ boundaries, roofscape, skyline*

and setting of the conservation area, important open spaces or significant views into, out of and within the area;

- 4. not, other than as a last resort, result in demolition and redevelopment behind retained facades;*
- 5. wherever practicable, draw on a local pallet of materials to reinforce the distinctiveness of an area;*
- 6. retain individual features of interest e.g. doorways, windows, shopfronts, garden walls, railings, cobbled or flagged forecourts, sandstone kerbs, trees and hedges etc. Where this is not possible or practical any replacement should match the original; and*
- 7. not generate a significant increase in traffic movements, heavy vehicles or excessive parking demands where these would be prejudicial to the character of the conservation area.*

Proposals to utilise vacant land for car parking for interim or longer term use within conservation areas, will be resisted except in exceptional circumstances.

Development which would result in harm to a public or private open space that contributes positively to the character of a conservation area will be permitted only where this harm is outweighed by the public benefits of the proposals.

There will be a presumption in favour of the retention of buildings and/or features which make a positive contribution to the special character and appearance of a conservation area. Demolition or other substantial loss of these assets will only be permitted where it can be clearly demonstrated that the tests set out in national policy can be met. Such proposals must also be accompanied by clear details of the proposed redevelopment.'

7.0 MANAGING CHANGE

- 7.1 In July 2019 the leaders of the Borderlands Council and UK and Scottish Government Ministers signed an agreement setting out the framework, projects and programmes that are included in the Borderlands Inclusive Growth deal. One of these projects is 'Carlisle Station Gateway and Citadels'. It aims to create a new high-profile gateway development for Carlisle centred around the Railway Station, the Citadel buildings and Caldew Riverside. It aims to boost economic prosperity by attracting people to live, study and work in the area.
- 7.2 Carlisle Railway Station is a key part of the national rail network. It accommodates more than two million passengers every year and acts as a major interchange for the entire Borderlands region providing access to branch-line services from the West Coast Mainline to the Cumbrian Coast, Tyne Valley, Settle to Carlisle and Glasgow and South Western lines. The plan for the proposed investment is to improve connectivity and access for Carlisle and the Borderlands. By improving access, shops and cafes, facilities and onward travel options at the station, it will boost the appeal of the city centre and support passenger growth.
- 7.3 The Carlisle Station Gateway Project provides the opportunity to ensure that improvements are made at the station that will preserve and enhance the heritage significance of the site whilst bringing underused areas back into active viable use. The first phase of the project will be the improvements at Carlisle Railway Station which will include improvements to the south side of the station to create a more significant entrance and improved vehicle circulation. These improvements will be within the setting of the James Street Baths and there is potential for the James Street Baths to contribute positively to these improvements and also to be enhanced by them.
- 7.4 Alongside these changes there are also proposals to close the pools complex and demolish the 1970s extension to the baths. This section of the building is not of any heritage significance and the demolition will retain the 3 historic phases of construction (ie Phase1: 1884 Public Baths, Phase 2: 1909 Turkish baths and Phase 3: the 1920's public baths extension) which form the distinct elevation fronting James Street.
- 7.5 The three phases of construction which form the historic footprint have varying degrees of heritage significance as have been described in the earlier sections of this report. They are therefore capable of differing degrees of change. The 1884 public baths have been significantly altered and therefore are capable of a higher degree of change than the more significant Turkish baths phase. Within the footprint of the 1884 public baths there is still potential for some historic finishes to be retained and concealed beneath the later alterations and therefore any proposals for alterations should first ensure that careful exploratory investigation work has been undertaken to understand this. It should also be noted that although this part of the building is significantly altered there are still important elements to the plan layout which signify the earlier plan form which should be respected and retained. However alterations to this part of the building (with retention of the James Street elevation) could help support the viability of the retention of the Turkish baths with little alteration.
- 7.6 Therefore it is recommended that a Feasibility Study is undertaken which considers alternative models / uses for the site. A best practice conservation led approach should be followed for the feasibility study such as that recommended by the Architectural Heritage Fund.
- 7.7 Comparable sites have attracted public funding through the National Lottery Heritage Fund and similar. These include the Turkish Baths, Harrogate; Victoria Baths, Manchester; Withington Baths, Manchester
- 7.8 Other interesting precedents include Bristol Lido; Thames Lido.
- 7.9 Further recommendations relating to the proposed demolition of the 1970s extension are provided within Appendix A.

8.0 CONCLUSIONS

- 8.1 The James Street Baths today consist of three phases of development which have seen varying levels of alteration. The first phase of 1884 which consists of the public baths has been very heavily altered whereas the following phases which include the Turkish baths of 1909 and the extension to the public baths facilities in the 1920's are retained predominantly intact.
- 8.2 The retention of the plan form of the Turkish baths allows the Turkish bathing process to be highly readable. The original decorative scheme, notably in the lounge area, is of good quality and complete and this is an increasingly rare example of the typology, of which at the date of listing around only 20 remained in England. These are the principal reasons for the Grade II listing.
- 8.3 As the 1884 public baths have been significantly altered they are capable of a higher degree of change and alterations to this part of the building, with retention of the James Street elevation, could help support the viability of the retention of the Turkish baths with little alteration.
- 8.4 It is therefore recommended that a Feasibility Study is undertaken which follows a best practice conservation led approach and considers alternative models / uses for the site

APPENDIX A: DEMOLITION METHODOLOGY GUIDELINES

C20 DEMOLITION / FABRIC REMOVAL METHOD STATEMENT

100 INTRODUCTION

110 DESK STUDY / SURVEY

Prior to the commencement of any demolition works a series of opening up works / intrusive investigations will be undertaken as detailed to the structural engineers information. The opening up works should be undertaken in accordance with the guidance to clause 200.

Before starting any works, the contractor should examine all available information and carry out;

- A review of the scope of works as detailed to this method statement and the drawing package.
- Ensure that the necessary agreements / consents are in place regarding works to listed buildings.
- A review of the access requirements / limitations of the site and surrounding area.
- A review of the access arrangements for the works and restrictions due to the existing fabric.
- A review of the fabric condition and areas which may be unsafe due to the deterioration of the fabric.
- Ensure a photographic survey of all areas subject to fabric removal / opening up works is undertaken by the contractor.
- The contractor should ensure that he/she is thoroughly familiar with the historical and archaeological importance of the site and its structures and the specific requirements that this places on the methods of working.
- The contractor should ensure that he is familiar with the location of the services.
- The contractor should review the form and location of any flammable, toxic or hazardous materials and provide statements on the proposed methods of removal and disposal where required.
- The contractor should review the Asbestos Survey Information.

The contractor should then report and provide method statements describing;

- Proposed programme of work, including sequence and methods of investigations and fabric removal.
- Arrangement for protection of personnel and the general public, including exclusion of unauthorized persons.
- Access arrangements for internal areas.
- Arrangement for control of site transport and traffic.
- Proposals for protecting the historic fabric.
- Methods for careful removal and disposal of fabric removed.

120 ASBESTOS SURVEY

TBC

130 FEATURES TO BE RETAINED & PROTECTED

All existing elements which are not specifically noted to be removed are to remain. Extreme care is required to ensure that no damage is caused to the existing listed fabric and this will require necessary protection works to the existing fabric. Specific areas known to require protection include (but are not limited to) internal and external masonry walls, slate roofs, glass rooflights. Following the initial opening up works this list will be reviewed and amended to include any items required to be retained.

200 OPENING UP WORKS / INTRUSIVE INVESTIGATIONS

- The scope and locations for the intrusive investigations has been agreed with the structural engineer.
- The aim of the intrusive investigations is to open up in a series of locations along the join of the 1970s extension to the 1884 public baths building. This is to establish the construction build up and the nature and condition of the 1884 fabric which is currently concealed.

- Prior to undertaking any fabric removal for the intrusive investigations ensure that the areas have been photographed and the locations clearly recorded on plans / sections / elevations.
- The intrusive investigations should be undertaken with care to ensure that no damage is caused to the historic fabric (ie the concealed wall of the 1884 phase of construction). This will require small areas of opening up works to establish the connection to the adjacent materials and the overall construction build up. No fabric should be forced away as this may cause damage to adjacent historic fabric.
- Ensure adequate temporary support is provided at each stage to prevent the risk of uncontrolled materials falling which can also cause damage to adjacent historic fabric.

210 INTRUSIVE M&E INVESTIGATIONS

- Intrusive M&E investigations will be required prior to the full scope of the demolition works. These should ensure that the fabric within the historic footprint is not disturbed.
- Significant damage can be caused to historic interiors through poorly maintained and / or altered M&E systems. It is essential that any works required to the M&E systems as part of the demolition of the 1970s extension ensures that no damage is caused to the historic interiors.

300 ROOF LEVEL

- The condition of the roof, both of the 1970s pool extension and the 1884 public baths is not known. A high level inspection of the roof should be undertaken prior to any fabric removal to determine the requirement for any opening up works and any remedial works to the roof / eaves of the 1884 public baths on removal of the 1970s extension, including reinstatement of rainwater goods.

310 EXTERNAL MASONRY WALLS

- Fig. 30 shows the former Wood Street elevation of the 1884 public baths prior to the construction of the 1970s extension. The aim is to reveal and repair this elevation including the recessed masonry panels if possible. The opening up works / intrusive investigations may provide sufficient information to determine if this is possible. If not the requirement for additional opening up works or careful staged demolition should be established prior to commencing the full scope of demolition works.
- The opening up works should establish the locations where fabric which is required to be removed as part of the demolition of the 1970s extension is tied into the masonry of the 1884 public baths building. At all these locations the demolition works should seek to ensure that no damage is caused to the historic masonry. This will include, but may not be limited to the door openings between the 1970s extension and the 1884 public baths where the 1970s fabric appears to have been built up to or tied into the 1884 fabric.
- Allowance should be made to infill the door openings between the 1970s extension and the 1884 public baths. Provisionally this is proposed to be undertaken in brickwork, bedded in lime based mortar. This may include the requirement for localised areas of breaking out to the ground floor slab / removal of plaster finishes to walls and provision of sections of dpc's to ensure that the external masonry façade provides the necessary weatherproofing.

320 INTERMEDIARY FLOOR AT GROUND LEVEL

- The ground floor of the 1970s extension is a suspended ground floor structure over the basement. It is not known if this is tied into or adjoins the 1884 public baths in anyway. Localised opening up should be undertaken at the junction of the ground floor structure to the former Wood Street elevation to determine if they are connected.

330 SUB-GROUND FLOOR & FOUNDATIONS

- It is not known if the sub-ground floor or the foundations are separated or adjoining to the 1884 public baths in anyway. Localised opening up should be undertaken at the junction of the sub-ground floor structure to the former Wood Street elevation to determine if they are connected.

400 REMEDIAL REPAIRS

The scope of remedial repairs should be confirmed through additional staged inspections, following the opening up works and during the demolition works. At this stage allowance should be made for the following remedial repair works to the Wood Street elevation;

- Making good to the slate roof including lead flashings at the junction with the 1970s extension.
- Making good to the eaves including the provision of a replacement gutter and downpipes at the junction with the 1970s extension.
- Making good to the masonry where the roof of the 1970s pool building abutted the 1884 public baths, including cleaning to the face of the brickwork, replacement of damaged brickwork, repointing in lime based mortar.
- Assuming a cavity was maintained between the external Wood Street elevation of the 1884 public baths and the 1970s extension, allow for cleaning of the exposed Wood Street elevation of the 1884 public baths and repointing.
- Carefully dismantle the 1970s masonry at each connecting door location and remove later finishes to isolated areas around each connecting doorway to enable these to be bricked up.
- Assuming that the ground floor slab does not directly abut the former Wood Street elevation of the 1884 public baths and that it is not continuous, allow for localised areas of removal of the ground floor slab at each door location to enable these to be bricked up. Allow for isolated areas of dpc. Allow for making good of the existing masonry at these connection points.
- Assuming that the sub-ground floor slab and foundations do not directly abut the former Wood Street elevation of the 1884 public baths allow for cleaning of the masonry, patch areas of brick repairs and repointing.
- Vegetation removal, masonry repairs and repointing works to the other elevations as established by a detailed condition survey.
- Vegetation removal and repairs at roof level as established by a detailed condition survey.

EXCERPT FROM THE MINUTES OF THE HEALTH AND WELLBEING SCRUTINY PANEL HELD ON 17 FEBRUARY 2022

HWSP.17/22 JAMES STREET BATHS AND TURKISH HEALTH SUITE FEASIBILITY STUDY

The Chair welcomed Ms Minns, Mrs Yeates and Mr Yeates as representatives of The Friends of Carlisle Victorian Baths and Turkish Baths (The Friends) to the meeting. A presentation was delivered covering: The Friends' aim for the facility; the Vision and Need for the Health Suite in the context of heritage, community value, significance; proposals to extend the facility to include the 10m and 20m pools to ensure the long term viability by extending the offer at the site to include hydrotherapy, treatment rooms, retail space, a community launderette and a new reception; the potential of the facility in relation to tourism, economic growth and health and wellbeing; a low to medium intervention for the suite; partnership working' Borderlands funding.

The Friends suggested that the Panel consider making the following recommendations:

1. Recommend to the Executive that the Friends Group be allowed 8 - 10 months to complete an AHF funded feasibility study and business Plan (RIBA Stage 1) before the Council progresses to Community Consultation, Order of Costs and Economic Appraisal/Outline Business Case.
2. Recommend that budget be allocated to enable the Turkish Baths to continue to operate until the 1970 pool is scheduled for demolition.
3. Recommend to the Executive that Officers work with the Friends Group to explore a Community Asset Transfer and progress options for the James Street Public Baths; and provide an update to the August meeting of the Health and Wellbeing Scrutiny Panel.

In considering the presentation, Members raised the following questions and comments:

- A Member congratulated the group on securing AHF funding to conduct a feasibility study and noted that the Friends had a lot of work to do in relation to it, he asked for further detail on the timeline for that work.

Ms Minns responded that the given timeline for the feasibility study was rather conservative and it was anticipated that the work would be complete in 4-5 month, hence the proposed recommendation 3, as the Friends anticipated being able to submit an update to the Panel in August 2022. The Council needed to advise what would happen to the health suite in the interim following demolition of the 1970s pool and provide budget funding to enable the facility to remain open.

- From its reopening in July 2021 to January 2022 the health suite's had generated an income of £12,694, for the same period of time operational costs were £79,179; what kind marketing plans and costs were in place for post Covid operation of the facility?

Ms Minns noted that the operational costs had not been referenced in the report to the Panel. The Friends' presentation was not a business plan rather it was a Vision for the health suite. The current size of the facility restricted its total visitor capacity at any one time and therefore meant it had limited viability. On that basis, the Friends proposal was to expand the site with the inclusion of the 10m and 20m pools to increase the available space and services offered. The structural work required to implement those changes would be minimal. The

proposed update to the Panel in August 2022 would include details relating to marketing, and it was hoped that if the proposals were agreed that the facility would provide a new visitor attraction to the city.

- A Member asked the Leader and Deputy Chief Executive what the impact of approving the Friends' proposals would be given that a contract to demolish The Baths had already been entered into?

The Leader stated that it was well understood that the Business Case for the Sands Centre Redevelopment was predicated on the demolition of the existing pools site. The Council had no budget available to fund its continued operation, as such the Pools would close when the Sands Centre came into operation in the autumn. It was a challenge for the Council to spend 6.5 times more on operating the Turkish Baths than was generated in income. The Borderlands funding for the demolition and making good works at The Pools would only become available once ownership of those facilities had transferred to that organisation. Therefore, a period of closure of the Turkish Baths would be required to enable the demolition of the 1970 pool to be carried out.

Ms Minns responded that the Officer report made clear that the transfer of GLL staff from the existing pools site to the Sands Centre would commence in summer and was expected to complete in September 2022. The demolition of The Pools was scheduled for early 2023 which meant that the Turkish Baths would be closed for a number of months. Emptying the pools in the Turkish Baths would cause them to deteriorate and leave the site open to vandalism. The closure of the Turkish Baths had not been included as an assumption in the Sands Centre Redevelopment Business Case, as such Council had not voted to approve it, nor had the public been advised of it. People had been advised that increased use would guarantee the future of the facility not funding.

The Deputy Chief Executive noted that in relation to the Borderlands Station Gateway project there remained work to do in relation to technical matters, and further clarity was needed in respect of the works required at the Turkish Baths and Victorian Health Suite. It was also unclear who would operate the facilities at the Turkish Baths going forward. GLL would not be present at the site (having moved to the Sands Centre) and it may not be inclined to do so. It was noted that the Friends envisaged a different market for the site than for the Sands, and the Deputy Chief Executive indicated that Officers would be happy to work with The Friends going forward, but considered that there were many difficult issues in relation to the demolition of the existing 1970s pool and the transition of the Turkish Baths site.

Mrs Yeates commented that the Council's plans to close the 1970 pool facility had been in place for 5 years, she expressed disappointment that the future of the Turkish Baths had not been developed earlier.

Regarding the Friends' suggested recommendation 2, the Leader gave an overview of the formal processes in relation to Local Government Reorganisation which would impact the Council's control of its budget: following the inception of a Joint Committee in mid-March / early April 2022, Carlisle City Council would cede control of its budget to the Joint Committee. From then on budgetary allocations would need to be ratified by the Joint Committee. Therefore, it was necessary to broaden any development of the Turkish Baths over a longer timescale. The Leader emphasised that he was not seeking to close the door on the project, but merely sought to highlight the landscape in which decisions would be made, he noted that monies, although a factor, would not be the principal determinant in whether the site remained open, but rather the progression of matters outlined by the Deputy Chief Executive above. In terms of the suggested recommendations 1 and 3 he considered them to be feasible.

In considering the Friends' presentation, Members raised the following questions and comments:

- A Member thanked The Friends for their presentation and noted that it presented a different offer for the site's future. In relation to increased usage figures she felt caution was needed as they were likely still impacted by Covid 19 restrictions or concerns. She expressed disappointment that the report did not recommend that the matter be referred to the Executive for a decision.

The Vice Chair advised any referral to the Executive would be considered when Members determined the Panel's recommendations.

The Deputy Chief Executive submitted an overview of the key findings of the Feasibility Study for James Street Baths and adjoining Grade II listed Turkish Health Suite that had been commissioned for Carlisle City Council by Cumbria County Council.

The study formed part of the ongoing project development work for the Borderland funded Carlisle Station Improvements project, which was being led by Cumbria County Council. The report identified a number of potentially feasible uses for the building and set out four indicative / potential development schemes for the building, with incrementally greater levels of intervention and cost.

In considering the Feasibility Study Members raised the following comments and questions:

- In relation to the Corporate Implications Property Services section of the report, a Member commented that it was not accurate to say that following valuation advice it was envisaged that the James Street assets would be disposed of; Council had indicated that it needed to identify a solution for the Turkish Baths.

The Deputy Chief Executive responded that the section of the report served to note that a valuation had been undertaken and that the site would become a non-operational asset. The default position of the Council's Asset Management Plan was to dispose of non-operational assets, the Deputy Chief Executive understood that the reference had been included on that basis, he emphasised that it did not indicate the direction of travel for Council.

- At its July 2021 meeting, Council agreed a motion to pledge that "Subject to a sustainable business plan that can show the viability of the Victorian/Edwardian health suite, the council will retain the building for the health and well-being purposes it was originally intended." Was that still the intention?

The Leader affirmed the intention that the site be retained for health and wellbeing use. It was not yet known whether such a use was feasible in the long term but it remained the preferred option.

The Member welcomed the Leader's response, he further asked: what level of engagement was taking place between Officers and The Friends in terms of asset transfer, and the level of engagement between Mott MacDonald and The Friends?

Moreover, he commented that The Friends' proposals may offer the best opportunity for the site, which he did not wish to see in circumstances similar to those of the Central Plaza. He sought assurance that the Council would seek ever closer working relationship with The Friends and other relevant partners.

The Leader acknowledged the Member's concerns regarding the Central Plaza and set out

the differences between that site and the Turkish Baths in terms of ownership and Listing status. Proposals for a Community Asset Transfer seemed logical, but as yet no direct talks on the matter had taken place. The biggest challenge to taking the site forward was Local Government Reorganisation and the City Council's loss of budget sovereignty. The principal aim for the site was for it to remain as a public facility, at the current stage of proposal development, however, that outcome could not be guaranteed, but it was one the Leader was prepared to work towards.

The Deputy Chief Executive added that in terms of working with The Friends, Mott MacDonald had not been requested to do so as part of its study which was the first stage of options development. Officers had met with The Friends a number of times, including a site visit and he reiterated his willingness for that to continue.

In response the Member commented that the securing of granting funding to conduct a Feasibility Study and develop a Business Plan, demonstrated the funder's confidence in The Friends' proposal. Regarding the Mott MacDonald Feasibility Study he made the following observations:

- In respect of the examples included in the Study of similar facilities in other areas, those which had been closed had been the most costly to return to use;
 - The Turkish Baths would not be in competition with the facilities at the redeveloped Sands Centre;
 - Any future pricing structure for use of the Turkish Baths was not likely to be cost prohibitive as there were a number of existing examples in the district of privately operated spa facilities.
- The transfer of the 1970s pool site to Borderlands presented an issue for the running of the Turkish Baths site, what options were open to prevent deterioration of the Turkish Baths?

The Deputy Chief Executive advised that regarding dilapidation of the site, its precise construction was not known versus the cost of refurbishment. The comments on cost of use had not meant to give the impression people would not pay more to use the facility in future, rather they related to the potential impact of use if prices were to be increased with the site remaining in its current condition: other uses would be needed to attract users paying a higher fee.

The Sands Centre redevelopment, through the closure of the 1970s pool site had been a trigger for the development of the Station Gateway project which would see works undertaken to the front and rear of the Station site including the Victorian Health Suite car park. Those works would be carried out with a phased approach, the precise timeline of which was still to be determined; the Deputy Chief Executive undertook to provide the Panel with the timeline for those works when they became available.

The Member responded that were there to be a period of months between the closure and demolition of the 1970s pool that all options to keep the Turkish Baths open, including exploring whether GLL was prepared to continue to operate the site be considered.

- Had any discussions with social prescribers to identify funding to assist The Friends taken place?

The Deputy Chief Executive noted that The Friends had been successful in securing grant funding. The Council supported such groups and the Funding Officer was able to provide advice on available pots of funding.

The Panel gave consideration to The Friends suggested recommendations and agreed to take 1 and 3 forward.

In relation to recommendation 2, a Member commented that they wished to see that taken forward also, he proposed an amended version of The Friends suggested recommendation as follows: That the Executive consider options and potential operators for keeping the Turkish Baths open after the new Sands pool opens until such time demolition begins and identify a budget to enable that to happen.

The Leader noted the necessity of the recommendation on the basis that, were an appropriate option / potential operator to be found, budget may be identified at that time. It was anticipated that the level of budget required would be a de minimis sum that may be authorised via a Portfolio Holder decision.

The proposal was put to the vote, but was not accepted.

RESOLVED - 1) That the Panel had reviewed report ED.45/21 and the Mott MacDonald Feasibility Study.

2) That the Panel recommend to Executive that the Friends Group be allowed 8-10 months to complete the AHF funded feasibility study and business plan (RIBA Stage 1) before Council progresses to Community Consultation, Order of Costs and Economic Appraisal/Outline Business Case.

3) That the Panel recommend to Executive that Officers work with the Friends Group to explore a Community Asset Transfer and progress options for the James Street Public Baths; and provide an update to the August meeting of the Health and Wellbeing Scrutiny Panel.

4) That the Deputy Chief Executive circulate to the Panel, when available:

- the timeline of works for the 1970s pool demolition; and,
- details of the design and procurement stages for the Borderlands Station Gateway Project.

The Panel adjourned at 12:10 and reconvened at 12:22.