

SCHEDULE A: Applications with Recommendation

22/0261

Item No: 01

Date of Committee: 05/08/2022

Appn Ref No:
22/0261

Applicant:
University of Cumbria

Parish:
Carlisle

Agent:
DPP

Ward:
Cathedral & Castle

Location: Citadel Buildings, English Street, Carlisle

Proposal: Change Of Use Of The Existing Citadels Buildings (Which Comprise The Crown Court, Nisi Prius & Hospital Wing), 94-96 English Street (Known As Woolworth Buildings), 98-104 English Street & 185 Victoria Viaduct (Known As Burton's Building) To Higher Education Use [Class F1(a)] With Ancillary Café [Class E(b)] At The Ground Floor Of The Woolworth Buildings; Erection Of A Single Storey Roof Extension To The Woolworth Buildings; Demolition Of 106-114 English Street & The Kramer Building (Former CUCC Offices) & Construction Of A New University Entrance; Reconfiguration Of The Former Paton House (Now Demolished) Car Park & Construction Of A 4 Storeys Over Ground Floor Level (Maximum) Building With Associated Roof Terraces For Higher Education Use [Class F1(a)] At Bush Brow; With Associated Pedestrian Access Point Through The Former Gaol Wall, Landscaping Enhancements To The Citadels Gardens; Creation Of New Publicly Accessible Privately Owned (& Managed) Public Realm/Civic Space Within The Centre Of The Scheme & Associated Adjacent Highways Works

Date of Receipt:
04/04/2022

Statutory Expiry Date
11/07/2022

26 Week Determination
10/08/2022

REPORT

Case Officer: Alanzon Chan

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 The Principle Of The Development
2.2 Design And Layout Of The Proposal

- 2.3 Impact Of The Proposal Upon The Visual Amenity Of The Area
- 2.4 Impact Upon The Grade I and Grade II Listed Buildings, and Non-Designated Heritage Asset
- 2.5 Impact Upon The Character Of the Carlisle City Centre Conservation Area
- 2.6 Impact Of The Proposal On The Residential Amenity Of The Area
- 2.7 Sustainable Construction
- 2.8 Access, Parking, Sustainable Travel and Impact Upon Highways Safety
- 2.9 Flood Risk and Drainage
- 2.10 Security And Crime Prevention
- 2.11 Impact Of The Proposal On Biodiversity
- 2.12 Other Matters
- 2.13 Sustainable Development - Benefits Of The Proposed Development

3. Application Details

The Site

- 3.1 Carlisle Citadels are located at the southern side of Carlisle City Centre, and approximately 30m to the northwest of Carlisle Railway Station. The site comprises a parcel of land encompassing The Crescent, English Street, Court Square Brow, Borough Street and Victoria Viaduct.
- 3.2 The eastern side of the site contains two Grade I listed Citadel buildings (Crown Court Citadel and Nisi Prius). To the east of Nisi Prius is the grade II listed Statue of the Earl of Lonsdale. The former Hospital Wing of the County Gaol is Grade II listed and this is directly connected to the Crown Court building and the Kraemer Building. A Grade II listed wall wraps around the southern boundary of the site. This is known as Gaol Wall and dates from the mid-1820s and stands at 10 meters from ground level at its highest point. The western and northern parts of the site are encompassed by Victoria Viaduct and English Street frontages respectively, which both comprise a range of retail premises. The site is also located to the southeast of the Scheduled Ancient Monuments of the Town Wall, Roman and Medieval Town Area which is bound by Heads Lane West Wall and Blackfriars Street, and Carlisle Cathedral Precinct.
- 3.3 The two bastions, known as The Citadels, were originally built in the 16th century, subsequently rebuilt in the 1800s. The Citadels were used to house the civil courts in the East Tower, and the criminal courts in the West Tower. The Citadels then became the local offices and meeting place for Cumbria County Council and ceased to function as a judicial facility in 1992, when the new Crown and County Courts Complex was built on Earl Street. In 2016, The Citadels ceased to function as a municipal facility when Cumbria County Council moved to a single building, Cumbria House, on Botchergate. Shortly after that, under County Council application 17/9007/CTY, both the Lower Gaol Yard and Lonsdale Building were considered to be in poor condition, and the Lonsdale Building was subsequently demolished. Permission was granted by the County Council (under application 18/9003/CTY) to use the area to the west of the Crown Court as a surface level car park until a new use for the site could be identified. Under application 20/0867, permission

was granted for the demolition of Paton House at 9 Victoria Viaduct.

- 3.4 The whole site, including the Citadels buildings, adjacent properties on English Street, and the land to the rear of the site, extends to approximately 1.65 hectares.

The Proposal

- 3.5 This application seeks full planning permission for the change of use of the existing Citadels Buildings (which comprise the Crown Court, Nisi Prius and Hospital Wing), 94-96 English Street (known as Woolworths building), 98-104 English Street and 185 Victoria Viaduct (known as Burton's Building) to higher education use (Class F1(a)) with ancillary café (Class E(b)) at the ground floor of the Woolworths Building; erection of a single storey roof extension to the Woolworths Building; demolition of 106- 114 English Street and the Kramer Building (former CuCC offices) and construction of a new university entrance; reconfiguration of the former Paton House (now demolished) car park and construction of a 4 storeys over ground floor level (maximum) building with associated roof terraces for higher education use [Class F1(a)] at Bush Brow; with associated pedestrian access point through the former Gaol Wall, landscaping enhancements to the Citadels Gardens; the creation of a new publicly accessible privately owned (and managed) public realm/civic space within the centre of the scheme and associated adjacent highways works.
- 3.6 As an aside, an application for Listed Building Consent has also been submitted (under application 22/0262) for the alterations to the existing Citadels Buildings (which comprise the Crown Court, Nisi Prius and Hospital Wing); insertion of opening to the Gaol Wall; demolition of 106-114 English Street and the Kramer Building and the toilet block to the Crown Court; and reinstatement of railings to Citadel Gardens.

Background

- 3.7 Following the submission of a Borderlands Inclusive Growth Deal proposal to the UK and Scottish Governments in 2018, The Borderlands Inclusive Growth Deal was signed in March 2021, which will bring up to £350million of investment into the Borderlands region, from the UK and Scottish Governments. The grant will be allocated to a range of projects across the region, these include:

Carlisle Citadels - transformation of the Grade I listed Citadels buildings into a new city centre campus for the University of Cumbria, expanding opportunities for local students and drawing in new students to the area.

Carlisle Station Gateway - developing Carlisle Station as the gateway to Carlisle and a key transport hub with connections across the Borderlands including preparations for the arrival of HS2 in the future.

The Southern Gateway - a transformative programme of public realm and access improvements which will bind these opportunities and deliver a

change in movement and sense of place at the heart of Carlisle.

There are other notable city centre projects to be delivered as part of the Towns Fund for England (Towns Fund) and Future High Streets Fund, which include the reimagination of Market Square; improvement works to Devonshire Street; and the regeneration of the Victoria Viaduct Central Plaza Hotel site.

- 3.8 The redevelopment of Carlisle Citadels buildings and adjacent land for a new University of Cumbria campus in the city centre will involve the university relocating from its two existing Carlisle campuses, Fusehill Street and Brampton Road, into one city centre location. The two existing campuses comprise a number of buildings which are largely underutilised. Many teaching rooms are either under or oversized. Institutes and facilities are separated across different sites and buildings, and many spaces are duplicated. A new city centre campus will provide an opportunity to reduce duplication of services, increase collaboration and interdisciplinary working through co-location and improve utilisation of spaces.
- 3.9 The proposed development will involve the part-demolition and part-retention of the existing buildings on the site. The proposed development will be carried out in two phases:

Phase One will involve the demolition of a few non-listed buildings, the refurbishment of the Citadels buildings along with new build provision. It will introduce a Gateway Building on English Street as the main entrance of the University campus, and a new Teaching Block. All ground floor spaces, including the Woolworths and Burton's Building will be re-purposed, and The Crown Court building, the Hospital Wing and Nisi Prius will be renovated. Phase One development will also include external works, car parking around the development and the introduction of an amphitheatrical courtyard area.

Phase Two will allow for future university expansion through the renovation of first and second floors of the Woolworths and Burton's Buildings; a rooftop extension above the Woolworths and Burton's Buildings; additional floor levels and planting to Teaching Block building and additional external rooftop space.

4. Summary of Representations

- 4.1 This application has been advertised by means of press notice, site notices and direct notification to the occupiers of 124 properties.
- 4.2 During the initial consultation, one letter of objection was received during the advertisement period, and the objection raised relates to some inconsistencies between 2 submitted documents by the applicant. Since the receipt of the application, the applicant has revised the drawings.
- 4.3 No verbal or written representations have been received during the re-consultation.

5. Summary of Consultation Responses

Environment Agency - Environmental Crime Team: No comments received

Environment Agency (Planning Liaison Team): No objection subject to the imposition of condition in relation to remediation strategy to deal with the risks associated with contamination of the site

Cumbria County Council - (Highways & Lead Local Flood Authority): no objection subject to conditions

Cumbria Fire & Rescue Service: no objections

Planning - Access Officer: no objections

Northern Gas Networks: no objections

Cumbria County Council - (Archaeological Services): no objection subject to the imposition of conditions

Cumbria Constabulary: no objection but suggested a series of crime prevention measures to be included within the strategies

Natural England: no objection

Local Environment - Environmental Protection:

Noise & vibration

Consideration should be given to limit the permitted hours of work in order to protect any nearby residents or sensitive receptors from possible statutory noise nuisance, this includes vibration. Any other appropriate noise mitigation measures should be considered, for example, the use of noise attenuation barriers, the storage/unloading of aggregates away from sensitive receptors and the use of white noise reversing alarms, where possible. These measures should aim to minimise the overall noise disturbance during the construction works.

Dust

It is necessary to protect any nearby residents or sensitive receptors from statutory nuisance being caused by dust from the site. It would be advisable to consider all appropriate mitigation measures. For example, vehicles carrying materials on and off site must be sheeted or otherwise contained, water suppression equipment should be present on site at all times and used when required, wheel wash facilities should be made available for vehicles leaving site and piles of dusty material should be covered or water suppression used.

Mobile Crusher

If a mobile crusher is to be used on site, Environmental Health would usually be informed of this in advance of operation. Crushers must be operated in line with the Environmental Permit and best practice, in order to limit noise, dust and vibration impacts.

Public Information

It would be advisable for the applicant to write to all residents and businesses within the vicinity of the site, which could be potentially adversely affected by the works. This could include detail of the planned hours of work and duration of the project, prior to commencement of works. The applicant should also distribute details of a suitable contact number which can be used in the event of issues/complaint.

National Highways: no objection

Historic England: supports the principle of the proposal and advises that

many aspects of the scheme are sensitive and well considered but they have made the following comments:

- highly supportive of the principle of accommodating the University campus use on the Citadel site
- Subject to the fixtures and fittings being retained within the Citadel, and Carlisle City Council securing this via condition, this approach to the incorporation of these important spaces within the scheme is considered a pragmatic one.
- the scale and massing of phase 1 would allow the Citadel to maintain this primacy but the massing of phase 2, as currently designed, would challenge the Citadel's primacy.
- consider that the proposed new opening within the Gaol Wall would harm the legibility of the Citadel gateway / English St as the primary entry point and route into the City from the south and its place within the street hierarchy, as well as the character of the conservation area, and thus their significance.
- The new opening within the Gaol wall would also harm the defensive character of the robust and impenetrable Gaol wall, the character of the wider Citadel group and the conservation area, and thus their significance.
- The opening to access and roof terrace at the Crown Court would weaken the defensive character of this bastion, harming its significance.
- recommend that the City Council seek to ensure that there is a synergy between public realm projects and that their impact on the significance of the Citadel buildings and their settings is duly considered in their design.
- welcome the retention and repurposing of the majority of the Woolworths buildings. The loss of building 1 of the 'Woolworths buildings' represents a low level of less than substantial harm to the wider conservation area
- The oriel window or 'pop out' above the new entrance would intrude in views and interrupt the smooth curvature of English Street, detracting from the visual harmony of this positive red sandstone set.

Cumbria County Council - Development Management: No comments received

Network Rail - LNW (North): no objection but advised the applicant that Network Rail Asset Protection involvement through a BAPA (basic asset protection agreement) will be required for all elements from Design through to Construction - and engagement is advised at the earliest opportunity.

United Utilities: no objection subject to condition

6. Officer's Report

Assessment

- 6.1 Section 70 (2) of the Town and Country Planning Act 1990/Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application for planning permission is determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise.
- 6.2 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF), the Planning Practice Guidance (PPG) together with Policies SP1, SP2, SP4, SP5, SP6, SP7, SP9, SP10, EC3, EC7, EC8, EC9, CM4, CM5, CC3, CC4, CC5, IP1, IP2, IP3, IP4, IP6, HE2, HE3, HE6, HE7, GI1, GI3, GI5 and GI6 of the

Carlisle District Local Plan (CDLP) 2015-2030. Sections 66 and 72 of the Planning (Listed Building) Act 1990 (LBA), National Design Guide, Urban Design Guide and Public Realm Framework SPD (2009), Carlisle City Council Development Framework (2015) (CCDF) and Cumbria Development Design Guide are also material planning considerations.

The proposal raises the following planning issues:

1. The Principle Of The Development

- 6.3 The overarching aim of the proposal is to create a new campus development for the University of Cumbria that will allow them to consolidate their operations into a visible, accessible and high-quality campus within the city centre of Carlisle. The new campus will replace the two existing poorly located and dated campuses at Fusehill Street and Brampton Road. The proposal also seeks to revitalise Carlisle and the City Centre by improving the access route to the City Centre and enhancing the environmental infrastructure on site, including energy conservation, green infrastructure and landscaping. The Proposal seeks to attract more people to study, work and live in Carlisle, and contribute to the improvement of productivity across Carlisle and the Borderlands region.
- 6.4 Section 6 of the NPPF states that planning decisions should help create the conditions in which businesses can invest, expand and adapt, adding that 'significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development'. Paragraph 80 of the NPPF states that the approach taken should encourage each area to build on its strengths, counter any weaknesses and address future challenges. This is particularly important where Britain can be a global leader in driving innovation, and in areas with high levels of productivity, which should be able to capitalise on their performance and potential.
- 6.5 Section 7 of the NPPF states that planning decisions should support the role that town centres play at the heart of communities, by taking a positive approach to their growth, management and adaptation.
- 6.6 Meanwhile, planning decisions should also promote an effective use of land by giving substantial weight to the value of using suitable brownfield land to support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land. Planning decisions should aim to promote and support the development of under-utilised land and buildings, especially if this would allow available sites to be used more effectively (Paragraph 120 of the NPPF, 2021).
- 6.7 The application site is located adjacent to the Carlisle Railway Station which is a key gateway into the City, and therefore presents one of the most important regeneration opportunities in the Borderlands region. According to the CCDF (2015), the Citadels site is highlighted as an area with 'high potential for change/intervention'. The analysis highlights the importance of the Citadels as a gateway to the city from the station and outlines the

considerable potential for future mixed use redevelopment.

- 6.8 Since the Citadels have ceased to function as a municipal facility in 2016, the buildings and the adjoining land have mostly been left vacant. The principle of reusing the Citadels buildings and adjoining land to form a new campus for the University of Cumbria will bring vacant buildings and associated grounds back into use.
- 6.9 In terms of the principle for mixed-use development on the Citadels site, it is noted that CDLP Policy SP4 supports mixed-use proposals within the City Centre which respect the significance of the heritage assets and enhance the existing public realm. The proposal would facilitate the regeneration of the Citadels site by creating a University campus,. This will relocate students and staff who currently visit the two campus sites at Brampton Old Road and Fusehill Street and bypass the City Centre, bringing additional footfall to English Street and thereby to the wider City Centre. This will encourage the use of retail and other amenities within the Primary Shopping Area and thus increase the vitality and viability of the City Centre. In this regard, the proposal would meet the criteria set out within CDLP Policy SP4 , subject to detailed heritage considerations in Section 4.
- 6.10 It is recognised that the north-western part of the site (Woolworth Buildings; Burton's Building; and 106-114 English Street) is located within the Primary Shopping Area and is designated as Primary Shopping Frontage under CDLP Policy EC3. According to CDLP Policy EC3, the District's Primary Shopping Areas will be the focus for new retail development. That being said, the Policy also states that proposals for the change of use of ground floor shops to non-retail uses within Primary Shopping Areas will be supported providing the proposal:
- a) would not lead to an unacceptable concentration of such uses and/or undermine the vitality and viability of the area; and
 - b) includes provision for views into the building or for a window display in keeping with the character of the frontage, in order to retain active frontages.
- It is also noted that the impacts of proposals for non-retail uses within a designated frontage will be assessed in the context of the defined frontage as well as the wider area.
- 6.11 The proposal seeks to provide a University café and food hall at the ground floor of the Woolworth Buildings. Although it is acknowledged that the proposal will lead to a loss of ground floor retail units at this area, it is noted that when considering the vitality and viability of Carlisle City Centre, the City centre has experienced the same issues as many other centres in recent years. As a consequence, the recently published Town Investment Plan for Carlisle acknowledges that the impact of high street decline and the changing role of retail in town centres nationally means it needs to develop a new role, providing more opportunities for leisure and culture, study, business and jobs, and residential. Investing in new uses will transform the city centre into a vibrant and attractive destination for local people, families and visitors. Developing a new campus for the University of Cumbria, creating greater

vibrancy in the city centre, building higher-level skills, growing the workforce and supporting business productivity and growth is one of the intentional changes to increase the vibrancy and vitality. A recent health check recognised that some of the units at ground floor level are already vacant and others could easily relocate into other available units within the City Centre as the city centre reliance on its retail offer, makes it vulnerable to ongoing change in the sector. There is a need to diversify activities, including more leisure and culture uses. This is also recognised in the City Centre Economic Action Plan which aligns with local planning policies.

- 6.12 Furthermore, the proposed University café will maintain an active frontage by retaining the general façade of the Woolworth and Burton's Buildings which will allow direct views into the buildings. As such, it is considered that the proposal will meet the broad objectives of CDLP Policy EC3.
- 6.13 Part of the proposal seeks to demolish a small proportion of the existing buildings on site to form a new Gateway building (the main entrance for University of Cumbria). The buildings that are proposed to be demolished are the Kramer Building, the late 20th century roof built onto the Hospital Wing serving Kramer House and the building at 106-114 English Street. All these buildings are non-listed, and they have been demonstrated within the submitted Condition Report (Feb 2022) (Ref 003, prepared by Purcell UK) that they are not suitable for re-use. Given that the English Street façade forms a key feature of the townscape and key views to the entrance of the City, it is considered that the proposed demolition of these non-listed buildings which are dated and in poor condition could provide an opportunity for new development to revitalise the street scene and appearance of the area.
- 6.14 The new Gateway building (Main Entrance of University of Cumbria) will form a distinctive and iconic feature on the building which could in turn help to attract and optimise the footfall required to maintain an active frontage along this part of English Street. In addition, this will also help to enhance the sense of place and re-establish English Street as an important thoroughfare and public place within the City. In this regard, it is considered that the proposal will meet the objectives of CDLP Policy EC3.
- 6.15 Overall, the proposal will involve in the redevelopment of a brownfield site and will bring vacant buildings back into beneficial use. The proposed development has an important role in place making and will increase the permeability of the site which will enhance the vitality and viability of the wider Primary Shopping Centre in Carlisle City Centre and the wider areas. In light of this, it is considered that the principle of the development is acceptable.

2. Design And Layout Of The Proposal

- 6.16 Prior to the submission of this application, there had been detailed and comprehensive pre-application discussions between the Applicants, Agents, Architects and Officers from Carlisle City Council (the Local Planning Authority), Cumbria County Council and Historic England. The design of the proposed development has been carefully considered an iterative design

process, and the submitted Design and Access statement has demonstrated in full that a detailed options appraisal was undertaken throughout the course of design development, which has resulted in the current proposed masterplan for the Citadels site.

- 6.17 Since there are a few significant listed building assets on site, the design of the proposal has taken on a zoned approach to the buildings on site. Each building zone is named and listed below:
- a) Nisi Prius Building
 - b) Crown Court Building and Hospital Wing
 - c) Gateway Building
 - d) Woolworth and Burton's Buildings
 - e) Teaching Block

Nisi Prius Building, Crown Court Building and Hospital Wing

- 6.18 Nisi Prius and Crown Court Buildings are the two bastions that form 'The Citadels' and these structures have historically characterised the streetscapes for hundreds of years. Viewing 'The Citadels' directly from the Botchergate approach, the most prominent elements from street level are the two cylindrical buildings which frame the oncoming street.
- 6.19 Given that both buildings are Grade I Listed buildings, minimal intervention is proposed to these buildings. The works proposed at these buildings mainly relate to access improvements and sanitary provisions only.
- 6.20 With regard to the existing courtroom spaces inside the Nisi Prius and Crown Court buildings, it has been proposed that these courtroom spaces will be mainly used for events that involve live streaming and presentations such as graduation and ceremonial events. According to the submitted details, these courtroom spaces would also be available for private function hire. In order to create more open space while keeping the inherent character of the room intact, the applicant proposes to carefully dismantle and relocate the central 'bar table' and a small number of seating of each Court room to a new location within the application site for reuse. The impact of the proposed removal of courtroom furniture will be assessed under Section 5 of this report.
- 6.21 Although there will be a new build located to the rear of the Hospital Wing, the Hospital Wing façade will be retained. Likewise, only minor access improvement will be made to the Hospital Wing to facilitate the day-to-day operation of the proposed campus.

Gateway Building

- 6.22 A concern was raised that the design of the new entrance building will intrude in views and interrupt the smooth curvature of English Street, detracting from the visual harmony of this positive red sandstone set.
- 6.23 The Gateway building will become the main entrance for the University. It will

be the central entrance point for students, staff, visitors and the public. Therefore, it is accepted that the entrance would need to be an articulated, active, vibrant hub of activity. According to the submitted details, there will be a large skylight, referencing the roof of the Citadels buildings, which would help to fill the entrance with light and to draw people and visitors in from English Street. In terms of design, the entrance of the proposed new gateway Building will have an angled glazed pop-out which protrudes into the public realm to increase prominence and to encourage the creation of an active frontage. The entrance will be recessed and the angle of the recessed entrance will mirror the angle of the hospital wall to add detail, which demonstrates a sensitivity to the context. To the side of the entrance will be aluminium cladding fins and sandstone columns, and the resulting design being visually similar to the outside of the portico structure of the British Museum, designed by Sir Robert Smirke, the architect of the Citadels. According to the applicant, the proposed external materials aspire to replicate some of the qualities of the existing façades with contemporary detailing as opposed to heavyweight building materials.

- 6.24 'Trefoil' is a Gothic architectural feature which presents itself as an ornamental foliation and takes the form of a three-lobed leaf. The 'Trefoil' feature can be seen above many of the windows across both the Crown Court and the Nisi Prius Buildings. To further compliment the historic vernacular, the applicant intends to have this motif fritted to both the entrance glazing and external cladding panels.
- 6.25 Overall, the design and layout of the proposed Gateway Building is acceptable. The design of the proposed Gateway Building has been accepted at the design workshop during the pre-application stage. It is not considered that the new entrance building will intrude in views or interrupt the smooth curvature of English Street. Conversely, it is considered that the recessed entrance will provide relief to the public realm in what will be an area with significant footfall. The Council's Urban Design/Conservation Officer has no objection to the design of the Gateway Building.

Woolworth and Burton's Buildings

- 6.26 The current proposal shows that the façade and structural elements of the existing Woolworth and Burton's Buildings will be retained. To improve the appearance of the façade of the building, it is proposed that the existing windows are to be replaced. It is noted that stage 2 of the proposal will involve renovation of first and second floors of the Woolworth and Burton's Buildings; a rooftop extension above the Woolworth and Burton's Buildings. The rooftop extension would be of a lightweight structure and will set back from the existing perimeter parapet to reduce its impact and visual appearance from the street.

Teaching Block

- 6.27 The scale and massing of the proposed Teaching Block building will be consistent with other buildings on site. The proposed Teaching Block will be joined to the Woolworth and Burton's Buildings through a covered connection

point in the form of a bridge which links the two masses together. Using the topography of the site, it is considered that elements such as the car parking will be beneficially concealed from the street scene.

- 6.28 In terms of materials of the proposed Teaching Block, the exterior of the building will comprise protruded glazing, mesh panelling and brick piers. The architecture within the teaching block will contrast with the rest of the site. The design of the Teaching Block will adopt contemporary façade treatments through a modern application of elevational grids. The building skin that wraps around the floor plates varies through the floor levels, with the top floor incorporating a recessed building crown which will be constructed during Stage 2 of the development. Despite the Teaching Block will be contemporary in design and appearance, it will relate well in design with the proposed Gateway Building.

Peristyle garden – The Forum

- 6.29 It can be seen that the layout of the proposed development also seeks to delivery publicly accessible amenity space by centrally locating an amphitheatrical courtyard area, known as ‘The Forum’. According to the submitted details, the arrangement and layout of this publicly accessible amenity space was adopted through the concept of a Roman peristyle garden. This architectural feature also plays a connection with the Roman history of Carlisle City.
- 6.30 The Forum would be paved with granite irregular pavers. In order to address the difference in ground floor levels between the buildings fronting English Street and the Teaching Block, The Forum will incorporate a 1:21 graded route and peristyle feature steps to provide DDA compliant routes for all users across the externals of the campus. The outer ring of The Forum would be paved in granite plank pavers.
- 6.31 Given that the site is positioned along the line of the historic city wall, it has been proposed that the line of the wall is to be reintroduced through an interpretative linear feature within the hardstanding. According to the submitted documents, the former City Wall interpretative feature will run through the proposed site and is proposed to be constructed with red sandstone feature setts. It is recommended that the details of the former City Wall interpretative feature is secured by way of a condition.
- 6.32 The NPPF attaches great importance to the design of the built environment recognising that good design is a key aspect of sustainable development. The NPPF states that planning decisions should ensure developments function well and add to the overall quality of the area; are visually attractive; are sympathetic to local character and history whilst not preventing or discouraging appropriate innovation or change; establish or maintain a strong sense of place; and optimise the potential of the site to accommodate and sustain the appropriate mix of development.
- 6.33 Although some of the proposed elements are contemporary, it is evident that the design of the proposed development has taken into account the special

architectural and historic interests of the site. The proposed new build will increase the prominence of the proposed Campus, in particular, the Gateway Building, which will encourage the creation of an active frontage. Overall, it is considered that the design and layout of the proposed development is acceptable.

3. Impact Of The Proposal Upon The Visual Amenity Of The Area

- 6.34 CDLP Policy SP6 seeks to ensure that proposals respond to the local context in terms of height, scale and massing and by using appropriate materials and detailing. Local landscape character should be respected and development should be fully integrated into its surroundings. Meanwhile, Policy G11 of the CDLP also aims to protect landscapes from excessive, harmful and inappropriate development.
- 6.35 A Townscape Visual Impact Assessment (TVIA), prepared by Urban Green, has been submitted by the applicant in support of the planning application. The TVIA confirms that the proposed development will likely to give rise to some Minimal and Slight impacts in terms of the townscape and heritage character areas as identified within the Urban Design Guide and Public Realm Framework SPD (July 2009).
- 6.36 It is acknowledged that any external alterations will have some degree of impact upon the townscape and visual amenity of the area. The difference between adverse and beneficial impacts is accounted for primarily by whether the proposal will improve the visual amenity of the area.
- 6.37 Overall, it is considered that the proposal would represent an improvement to the townscape. This considers the poor quality of the existing buildings currently on site, and the rationalisation of the site through a considered development of high architectural quality which references the surrounding townscape and vernacular in its scale, massing and materiality.
- 6.38 It is noted that a series of public realm works are proposed, notably the re-erection of the lost perimeter railings to the Citadel Gardens, and the creation of steps to the southeast corner of the Citadels gardens which will integrate with the alignment of a crossing at Borough Street and a primary route from Citadel Station. These works are considered acceptable and will enhance the overall visual amenity of the area.
- 6.39 The applicant has also submitted a soft landscaping plan which shows that the Forum (peristyle garden), Bush Brow, Citadels gardens and the area in front of the Hospital Wing will be planted with a selection of plant species. In addition, two green living walls are proposed; one near Bush Brow and the other one near the opening on Gaol Wall. Overall, it is considered that the proposed soft landscaping plan is acceptable and the proposed soft landscaping will help to visually soften the landscape and enhance the environment. That being said, since no details regarding the composition of the green walls were provided, it is recommended that a condition is to be included to request for a detailed soft landscaping plan to be submitted.

- 6.40 In view of the above, although the proposed development would bring about some change to the appearance of this area, it is not considered that the proposal would give rise to any unacceptable or significant townscape or visual impacts.

4. Impact Upon The Grade I and Grade II Listed Buildings, and Non-Designated Heritage Asset

- 6.41 There are a series of important heritage assets. These are:

- f) The Crown Court
- a) Nisi Prius Court
- b) The Hospital Wing
- c) Statue of Earl of Lonsdale
- d) Goal Wall

The Citadels site is also in close proximity to a number of other designated heritage assets including the Grade II* Citadel Station and buildings fronting Court Square. The portion of the site fronting English Street and Victoria Viaduct also contains the former Woolworth and Burton's Buildings which is considered to be a non-designated heritage asset and designated key townscape frontage in the Carlisle Local Plan.

- 6.42 Below are the list entries and description for each of the listed asset:

a) The Crown Court

Grade: I

Date first listed: 01 Jun 1949

Statutory Address: Crown Court, Adjoining Offices And Gate Arch, English Street

Description: *'Formerly known as: The Citadel. Crown Court and Court Offices on the site of the 1542 Citadel. 1810-17 (interior not completed until 1822) by Sir Robert Smirke. Red sandstone ashlar on chamfered plinth with string courses, machicolated cornice (in part) and battlemented parapets. Hipped lead roofs. Rounded tall tower is completely C19, on the site of the demolished western tower of the Citadel (of the same dimensions); clasping the NW side is a lower 2-storey office block of 6 bays, with mock gate projection into English Street; all in Gothic style and almost a mirror image of the Nisi Prius Court range opposite, with which it forms a pair. Tower has tall 2-light windows in rounded deeply-recessed chamfered arch, over small lancets. Office block has right double plank doors in pointed Gothic arch; similar off-centre doorway projects in a battlemented porch, now fitted with a casement window. Ground-floor stone mullioned windows in double chamfered surrounds. Larger 2-light Gothic windows above with central trefoil heads in pointed arches. Gate projection was formerly a passageway to the court; ends in 2 octagonal turrets flanking central arch under a cross vent; the side walls have been pierced by 2 pointed arches created in 1929 (formerly the pavement went around the turrets). INTERIOR of court retains its original galleried seating of panelled oak. The offices are internally divided on ground floor. Members' room has late C19 monogrammed carved oak fireplace with tiled and engraved slate fireback. Upper floor No.2 Courtroom has plain stone*

fireplace, pointed archways, dado panelling along one wall and rib-panelled plaster ceiling. In an outer corridor the removal of a false ceiling has revealed the earlier painting of the panelled ceiling. Marble statue of Major Aglionby by Musgrave Lewthwaite Watson, 1844, has been moved from the main entrance and temporarily boxed in to prevent damage during renovation work. Staircase has ribbed and traceried wooden ceiling with flat central skylight (void above). Grand Jury Room has dado oak panelling; pointed arches, one an alcove and rib-vaulted plaster ceiling. Some original panelled doors. For further details see J Hughes CWAAS, Trans.NS LXX, Perriam CWAAS, Trans.NS LXXVIII. (Cumb. & West. Antiquarian & Archaeological Soc., New Series: Hughes J: LXX: The building of the Courts, Carlisle 1807-22: 205-20; Cumb. & West. Antiquarian & Archaeological Soc., New Series: Perriam DR: LXXVIII: The dating of the County Gaol: 129-140).'

b) Nisi Prius Court

Grade: I

Date first listed: 01 Jun 1949

Statutory Address: Nisi Prius Courthouse, Associated Offices And Gate Arch, English Street

Description: *'Formerly known as: The Citadel. Citadel, then Court House and Court Offices, now County Council Offices. 1542 by Stephen von Haschenperg with 1809-12 alterations and additions, by Thomas Telford and Sir Robert Smirke. Red sandstone ashlar on chamfered plinth with string courses, machicolated cornice (in part) and battlemented parapets. C20 greenslate roof on offices without chimneys and hipped lead roof on tower. Tower was formerly the Nisi Prius Court and is oval, the core being the former Citadel east tower, heightened and refaced in C19; clasping NW side is a 2-storey (internally 3 storeys) office block of 6 bays, with mock gate projection into English Street; all in Gothic style. The tower has tall 2-light windows in rounded deeply-recessed chamfered archs, over small lancets and 2-light openings. Office block has left double plank doors in pointed Gothic arch; similar off-centre doorway projects in a battlemented porch, now fitted with a casement window. Ground floor 2-, 3- and 4-light stone mullioned windows above with central trefoil heads in pointed arches. Gate projection is basically an elongated passageway to the court; ends in 2 octagonal turrets flanking central arch under a cross vent; the side walls have been pierced by 2 pointed arches created in 1929 (formerly the pavement went round the turrets). Left return has windows similar to the main facade (some are C20) and blind statue niches. Rear has some C20 windows inserted. INTERIOR of tower retains its galleried semicircular court seating and judges bench (ceased to be used 1971). Ceiling replica replaced in 1980s renovation; much external stonework was replaced in same restoration. Office block interior extensively altered.'*

c) The Hospital Wing

Grade: II

Date first listed: 11 Apr 1994

Statutory Address: Hospital Wing Of County Gaol And Gaol Wall, English Street

Description: *'Hospital wing of County Gaol, now offices, and gaol wall. 1824-7*

by Christopher Hodgson. Red sandstone ashlar, extensively restored, with solid parapet, battlemented on the English Street facade. Flat lead roof. 2 storeys, numerous bays. Facing onto English Street is the gaol wall on chamfered plinth with regularly-placed blind lancets with single metal bar. On the top on the angle of the wall, public executions were performed and a cast plaque records the last one in 1862. The wall joins with the Crown Court offices and is an integral part of those offices. The rear of the wall has built against it the hospital wing. 2 off-centre former segmental-arched doorways are now infilled and fitted with casement windows in stone surrounds, some paired. INTERIOR alterations, but the solitary confinement cell is still complete with its iron door and peep hole, now used as a strong room. For further details see Perriam, CWAAS, Trans.NS LXXVII. (Cumb. & West. Antiquarian & Archaeological Soc., New Series: Perriam DR: LXXXVII: The dating of the County Gaol: P.129-140)'

d) Statue of Earl of Lonsdale

Grade: II

Date first listed: 13 Nov 1972

Statutory Address: Statue Of Earl Of Lonsdale, The Crescent

Description: *'Statue. 1846 for the subscribers, signed M.L.WATSON, SCULPTOR. Calcareous sandstone base, plinth and shaft; white marble figure. Rusticated square base and plinth; shaft inscribed at front in six lines WILLIAM EARL OF LONSDALE, LORD LIEUTENANT OF CUMBERLAND AND WESTMORLAND FROM 1802 TO 1844. Larger-than-life figure dressed in robe and costume of the Order of the Garter. A competition for the statue was held in 1845. Its original location was in English Street between the Courthouses, where the foundation stone was laid in 1846, but because of a dispute it was not erected until a year later, (see Carlisle Journal 1845, 6 and 7). A photograph of the statue being moved on 25 July 1929 is in Cumberland News, 19 September 1986. It was placed in its present location in the Courthouse Gardens in 1930. For an illustration of the statue and details of the sculptor, see Marshall Hall (1979). (Carlisle Journal: 8 March 1845; Carlisle Journal: 24 October 1846; Carlisle Journal: 13 August 1847; Cumberland News: 19 September 1986; Marshall Hall: The Artists of Cumbria: 1979-: P.93)'*

e) Gaol Wall

Grade: II

Date first listed: 11 Apr 1994

Statutory Address: Gaol Wall, West Of Crown Court, Borough Street

Description: *'County Gaol wall. 1824-7 by Christopher Hodgson. High sneaked red sandstone wall without plinth, with rounded coping. Extends from the Crown Court down Court Square Brow, along Borough Street and up Bush Brow, enclosing the former gaol yard. Nearest the Crown Court the wall stands to its full original height of almost 10 metres, with the blocked archway into the former stone yard. Along Borough Street and Bush Brow its height has been reduced. The squared gate piers on Bush Brow are not 1820s but are included for group value. Christopher Hodgson's original drawings for the gaol and this wall, dated 1824, are in Carlisle Library. For a further section of*

this wall, see Hospital Wing of County Gaol and Gaol Wall, English Street (qv)'

- 6.43 Section 66 (1) of the Planning (Listed Building and Conservation Areas) Act 1990 highlights the statutory duties of Local Planning Authorities whilst exercising their powers in respect of listed buildings. The aforementioned section states that:

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

- 6.44 Paragraph 201 of the NPPF states "where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- e) the nature of the heritage asset prevents all reasonable uses of the site; and
- a) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- b) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- c) the harm or loss is outweighed by the benefit of bringing the site back into use."

- 6.45 In paragraph 202, the NPPF goes on to say that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

- 6.46 Paragraph 203 states that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

- 6.47 Meanwhile, CDLP Policy HE3 highlights that development within the locality of a listed building should preserve or enhance its character and setting and be sympathetic in scale, character and materials. Any harm to the significance of a listed building will only be justified where the public benefits of the proposal clearly outweigh the significance.

- 6.48 The applicant has submitted the following documents in support of the application:

a Conservation Management Plan (CoMP), prepared by Purcell Heritage Consultants. This is a strategic document intended to guide the future development and conservation of the designated heritage assets on Site by setting out a framework for their management, maintenance and safeguarding, based on a foundation understanding of their history, significance and the issues they face

a Heritage Impact Assessment (HIA), prepared by Purcell Heritage Consultants. This sets out an assessment of the impact of the proposed development upon the designated Heritage Assets of The Crown Court building and The Nisi Prius building, alongside the landscape and setting, and key views

a Visual Structural Condition Appraisal, prepared by Curtins. It is a structural condition appraisal for the designated Nisi Prius Courthouse, Crown Court, Hospital Wing and Gaol Wall Frontage, and Gaol Wall assets, alongside the formation of a Remedial Works schedule

a Condition Survey, prepared by Purcell Heritage Consultants. This provides a description of both the current interior and exterior conditions of the Crown Court, Nisi Prius, Gaol Wall, Retaining Walls and Woolworth Buildings

The details contained within these aforementioned documents have been taken into consideration when assessing the impact of the proposal upon the heritage and archaeological assets.

- 6.49 It is noted that the significance of the site cannot be underestimated, and this significance permeates through to the interior of the buildings, in particular the Grade I Citadels Buildings whose interior retains important court room spaces, and a variety of period interiors richly decorated in keeping with the high status of these former courtrooms and associated spaces. Therefore, whilst the principle of University occupation is very welcome, it is important that this is balanced against the significance of the assets, and that an optimum outcome is achieved both for occupiers and for the heritage assets themselves, in order to sustain their significance and also support their future viability.

Impact of the proposal upon the Crown Court

- 6.50 The applicant proposes to carry out the following works to the Crown Court Building:
- a) Reopen existing external doorway onto Citadels garden
- 6.51 The impact of reopening of a currently infilled former doorway is considered low. It is not considered that the proposed reopening of an existing external doorway will have an adverse impact upon the significance of the Building. Rather, it will have some public benefits as it will facilitate public access to the gallery of the Court.

b) New accessible WC and Floor level raised at the Former Petty Jury Room

- 6.52 This room is located adjacent to the Court Room, and has few historic features of note due to its function as the former Petty Jury Room. The applicant proposes to use this empty room to provide new accessible WC to serve future users of the Building. The historic features of the room will be retained, nevertheless, the installation of the WC will have some low impact upon the historic significance of this room. That being said, the provision of the accessible WC is considered essential given it will facilitate the reuse of the Court room and surrounding vacant rooms as multi-use teaching / events rooms. As for the proposal to raise the floor level, it will facilitate step free access for wheelchair users. As such, this work also considered acceptable as it will allow the effective use of the Building and facilitate access for wheelchair users without any significant harm towards the historic significance of this room.

c) Removal of window to form new opening to terrace at the Former Labour Group Room

- 6.53 The stone mullioned window is proposed for removal to facilitate access onto the terrace above the modern cell block. The window proposed for replacement and removal is original of high significance and it is considered that the loss of this feature will result in some harm to the appearance of the room and the external appearance of the Building. A concern has been raised to the proposed loss of a historic window to create a doorway accessing a roof terrace in the south elevation of the Crown Court might weaken the defensive character of this bastion and harming its significance.
- 6.54 It is noted that the roof terrace in the Crown Court Building will be used as an outdoor breakout and event space, and it will help to revitalise a secluded part of the Citadels Garden. Furthermore, it will also increase the active surveillance of the Citadels gardens space, whose southern end has long been neglected as it is effectively a cul-de-sac. These interventions create a much more active space that minimises anti-social activity and stimulates activity through the site. In this case, it is considered that the public benefits this proposed alteration provides would outweigh the less than substantial harm to the heritage asset. As such, it is considered that the proposal to replace a historic window to form a door opening to access on to a proposed roof terrace is acceptable. To ensure the proposed doorway would not have a detrimental impact upon the listed building, it is recommended that a condition is to be included within the decision notice to request for details of the proposed Corten doorway metal panel to be submitted to and approved by the LPA prior to the window taken down.

d) Removal of central bar table, existing radiators, first row of benches to create stage area and raised timber floor to rear platform to create level access from stair lift

- 6.55 The Crown Court court room is a very high significance space. The removal of the court room furniture and by its nature the no longer complete court room will be harmful to significance as the intactness and integrity of the court

and its significance will be reduced. The submitted HIA considers the magnitude of impact resulting from the proposed development in the Crown Court building, and has categorised this work as 'high adverse' towards the significance of the Building. An objection was received from the Georgian Group stating that the proposed removal of the central bar table and benches would have the potential to cause irreversible and significant harm to the special interest of the court room.

- 6.56 Whilst the impact of the furniture removal is noted, it is also recognised that the court room by its nature is highly prohibitive to an alternative use due to courtroom fixtures, complex circulation routes and the narrow passages between benches. By removing the central bar table and surrounding benches will help to create a more open space that can be used for lectures or ceremonies. If the bar table remains in-situ, it will significantly reduce the functionality of the space and increase the risk of the space becoming unusable on a daily basis. In addition, new stage area would allow for loose furniture to suit ambulant disabled and other users. As such, it is considered that some modest alterations would be necessary to facilitate a new use. This view is also shared by Historic England and the Council's Urban Design/Conservation Officer.
- 6.57 According to the submitted documents, the intention of the proposal is to celebrate the history of the court room whilst invigorating it with new functions such as small concerts, performance speakers and feature events to encourage more people within the University and local community to inhabit the space. The submitted Courtroom Furniture report (prepared by Purcell) has confirmed that the central bar table is not fixed and is therefore easily movable, and the seating is fixed to the floor with visible metal straps which can be unscrewed from the floor. As part of the mitigation measures, it is proposed that the removed central bar table and seating are relocated within the new buildings of the campus and utilised in specialist meeting and presentation spaces.
- 6.58 Relocation of these elements to another part of the site means that they will be visible and available for reinstatement in the future if required. This means that the heritage fabric will not be lost and can continue to be appreciated and used in a different context. This also means that this scheme is reversible and the furniture could be relocated back into the court rooms in the future if necessary. Both Historic England and The Council's Urban Design/Conservation Officer agree that this approach to the incorporation of these important spaces within the scheme is a pragmatic one and have raised no objection to the proposed mitigation measure. It is recommended that a condition is to be included to ensure that the fixtures and fitting will be retained within the Citadels buildings and their uses specified. In this case, given that the relocation of small amount of court room furniture will bring the Building back into beneficial use, and that the furniture can be relocated back to the court room in the future, it is considered that the benefits of this proposed alteration provides would outweigh the less than substantial harm to the heritage asset.
- 6.59 The raised timber floor to the rear platform is an inserted platform as

evidenced by how it cuts across earlier radiators, as such, it is of no significance. In light of this, the proposal removal of this raised platform to create level access from stair lift is considered acceptable.

e) Removal of high-level glazed panels

- 6.60 The applicant proposes to removal the high-level glazed panels on the backs of some benches to improve visibility of the room. These glass panels are a modern addition and therefore, their removal is considered beneficial and will not have an adverse impact upon the significance of the Building.

f) Reconfiguration of timber panel

- 6.61 On the back level where the raised timber platform is being removed to provide level wheelchair access, the applicant proposes to reduce the height of the timber uprights to allow visibility into the space. This will mean an amendment to the existing panelling and some loss of high significance fabric, however, this loss is relatively small, and the integrity of the courtroom will largely be retained. As such, this work is considered acceptable as it will not cause any significant harm to the Building.

g) New stair lift at landings

- 6.62 As a principal circulation space within the building, this space is of high historic interest. The addition of the stairlift will cause some visual harm to the existing landing areas, although the significance largely relates to the historic value which will be largely unaltered. The stairlift is required to bridge the stairs for wheelchairs to access the proposed ceremony space behind. In light of the significance of the landing areas will be largely unaltered, it is considered that the visual harm caused by the new stair lift would be outweighed by the benefits of the proposed works.

h) Various like-for-like repairs throughout the Building

- 6.63 Various repairs are outlined in the accompanying condition survey report. Although some elements may be considered to have moderate impact upon the significance of the building, such as installation of roof access equipment, the majority of the proposals are like for like repairs, along with some elements to be restored. Therefore, the proposed repair works are considered beneficial to significance. The Council's Urban Design/Conservation Officer has raised no objection to the proposed works.

Impact of the proposal upon the Nisi Prius Building

- 6.64 The applicant proposes to carry out the following works to the Nisi Prius Building:

a) Minor alteration to an existing external doorway and two new platform lifts at corridor allow disabled access from street level to basement

- 6.65 The applicant proposes to utilise an existing external doorway as a new

public entrance to the Nisi Prius building. To accommodate that, the applicant would need to remove a step and lower the doorway slightly. Whilst it has a slight impact upon the appearance of the Building, it is considered the proposed alteration is crucial as it will provide a levelled access that can be utilised by the public. In addition, the applicant proposes to install 2 new platform lifts at the corridor adjacent to the court room with an aim to allow disabled access from street level to basement. Whilst it is inevitable that the addition of the platform lifts will lead to some extent of visual harm to the space, it is considered that the platform lifts are essential to bridge the stairs for wheelchairs to access the site. Overall, it is considered that the public benefits of the minor alterations to the external doorway and the installation of two platform lifts at the corridor within the Nisi Prius Building would outweigh the less than substantial harm to this space.

b) New accessible WCs on all floors

- 6.66 Most of the proposed locations for the new WCs are formed of modern partitions and therefore have low or no significance as identified within the submitted HIA. Similar to the new WCs at Crown Court Building, the provision of the accessible WCs is considered essential given it will facilitate the reuse of the Court room and surrounding vacant rooms within the Nisi Prius Building. Since it is not considered that the proposed new accessible WCs will lead to any unacceptable harm to the Building, these works are considered acceptable.

c) Removal of modern subdivisions and modern glazed screens on the back of the benches

- 6.67 It is noted that the building has previously been subject to some unsympathetic alterations, notably during its 1980s refurbishment, a subdivision was built between the offices adjacent to the corridor the court room which was originally a public entrance. The subdivision of this space dates from c.1889 and is not an original feature. Although there is some limited historic interest showing the adaption of the buildings in the 19th century, this wall divides the public entrance and negatively impacts the spatial characteristics of the room. There are other modern subdivisions on the second and third floors within the Building, which the applicant proposes to removal as part of this application. Likewise, the glass panels on the back of some benches are a modern addition that change the aesthetics of the court room. Overall, it is considered that the removal of the modern subdivisions and glazed screens would have a beneficial impact upon the significance of the Building.

d) New platform lift at first floor corridor adjacent to the court room

- 6.68 Whilst the proposed platform lift will have some visual harm to the space, this space is considered to have low significance due to last alterations made to this space. Nevertheless, the significance of this space largely relates to the historic value which will be largely unaltered by the new platform lift. As the proposed platform lift is required to bridge the stairs

e) Removal of central bar table and first row of benches in court room

- 6.69 Similar to the Crown Court court room, the court room in the Nisi Prius is of very high significance. The removal of the court room furnitures and by its nature the no longer complete court room will be harmful to significance as the intactness and integrity of the court and its significance will be reduced. That being said, given that the relocation of small amount of court room furniture will bring the Building back into beneficial use, and that the retention and reuse of the fixtures and fitting can be satisfactorily mitigated for by planning condition, it is considered that the proposed removal and relocation of the courtroom furniture is acceptable, and that the benefits of this proposed work would outweigh the less than substantial harm to the heritage asset.

f) Various like-for-like repairs throughout the Building

- 6.70 Various repairs are outlined in the accompanying condition survey report. Although some elements may be considered to have moderate impact upon the significance of the building, such as installation of roof access equipment, the majority of the proposals are like for like repairs, along with some elements to be restored. Therefore, the proposed repair works are considered beneficial to significance. The Council's Urban Design/Conservation Officer has raised no objection to the proposed works.

Impact of the proposal Upon the Hospital Wing

- 6.71 The applicant proposes to carry out the following works to the Hospital Wing:

a) Removal of external ramp and various internal modern subdivisions

- 6.72 The Hospital Wing façade will be retained. Though, the Hospital Wing has been extensively refurbished in the 20th century and little remains of the historic plan form. Given that the ramp and inserted stud walls are harmful to the significance of the Hospital Wing, the proposed removal of these modern additions would be considered beneficial. The proposed removal of an external ramp and internal subdivisions will allow level access from the new building (the new business interaction centre) without causing adverse harm to the listed building. The Council's Urban Design/Conservation Officer has confirmed that this will help to open up the space into a form which is more in keeping with its original arrangements.

b) Reopen former openings in the Hospital Wing external elevations (on ground floor level)

- 6.73 The Gaol elevation had two large arched openings that are currently infilled with stonework and modern timber windows. It is proposed to reopen these as entry points into the building. Given the historic access will be reinstated, it is not considered that this work will have any adverse impact upon the listed building.

c) New bridges and openings at first floor of the Hospital Wing

- 6.74 Two new openings are proposed in the gaol elevation of the Hospital Wing. This is to facilitate access to the proposed new build (Business Interaction Centre) to the southwest of the Hospital Wing and the Forum, and encourage the integration of the historic assets with the wider site. In addition, the applicant proposes to have a first floor linking bridge, will bring the building into the heart of the scheme and sustains its use and purpose. Overall, it is accepted that the proposed work will result in some harm to the significance of the listed building, however, given the works are proposed in an elevation that is not highly visible from the public realm and that the proposed alteration would allow an effective use of the existing building, it is considered that the proposed works to the Hospital Wing is acceptable. The proposed development will have any detrimental impact upon the character, appearance and historical significance of the listed building. Both Historic England and the Council's Urban Design/Conservation Officer have confirmed that they have no objection to the proposed works at the Hospital Wing.

Impact of the proposal Upon the Statue of Earl of Lonsdale

- 6.75 Given that the external façade of the Nisi Prius building will remain unaltered and that no works are proposed to the statue, cannons or drinking fountain at this site, it is not considered that there will be any introduction of harmful elements into the immediate setting. As such, it is not considered that the proposal will affect the historical significance of the Statue.

Impact of the proposal Upon the Gaol Wall

- 6.76 It has been proposed that an opening is to be created at the Gaol Wall to provide a secondary pedestrian route between the City Centre and Carlisle Railway Station, and a direct access to the University campus.
- 6.77 Whilst creating an opening at the Gaol Wall will help to improve the pedestrian permeability through the site and will have numerous positive knock-on effects to the viability of the City Centre, a concern has been raised that the new opening in the Gaol Wall would harm the legibility of the Citadel gateway/English Street as the primary entry route into the city, and would also harm the defensive character of the robust and impenetrable Gaol wall .
- 6.78 It should be noted that historically English Gate near this location would have been the main route into Carlisle and there is an existing opening in the gaol wall near this location that has been infilled, all adding a precedent for access in this area. Given that there is a historic opening in the Gaol Wall a few metres away from the proposed opening, it demonstrates that the Gaol Wall is not an uninterrupted feature. Nevertheless, it is accepted that a new opening to the Gaol Wall will inevitably have some harm to the significance of the Gaol Wall due to some loss of heritage fabric in the formation of the opening.
- 6.79 In addition, due to the topography of the site, it is required to bridge the height difference either side of the wall. Therefore, the proposed opening at the

Gaol Wall will have some visual impact on the setting of the assets and the gardens from the raised earth as well.

- 6.80 This level difference cannot be bridged internally, and the possibility to reuse the previous Gaol Wall opening at a lower level of the site had been explored during the pre-application stage. It was concluded the previous Gaol Wall opening cannot be reused due to the topography of the site and the requirement for a DDA compliant route. The applicant proposes to mitigate the impact by reducing the size of the earthen bank to the minimum required by landscaping. This design option was considered to have the least impact upon the setting of the listed building, and the harm is considered less than substantial, especially when taking into account that the immediate setting has already been impacted by the 20th century cell block. Previous designs involve the utilisation of a corten ramp, however, this was considered more harmful to the semi-natural setting of the gardens and has therefore been discounted.
- 6.81 Whilst it is acknowledged that the proposal to create an opening at the Gaol Wall would lead to some harm to the Grade II Listed Gaol Wall and the setting of the Grade I listed Crown Court, taking into consideration the Gaol Wall is not an uninterrupted feature, the size of the proposed opening and that the opening is created at a discreet location of the Gaol Wall, it is considered that the harm identified would be within the less than substantial harm category.
- 6.82 Meanwhile, it is acknowledged that this part of the site is currently underused and acts as a dead end. As such, it is considered that by having an opening at the Gaol Wall will encourage more use of the Citadel's garden spaces and encourage better visitor flow through the campus site.
- 6.83 Given that the proposed location of the opening will increase the legibility of the site and the route from the top of the Citadel's Gardens through to the Gaol Wall will be DDA compliant, it is considered that the proposed opening of the Gaol Wall will have great public benefits (please refer to Section 13 for detailed assessment of public benefits from the proposed Gaol Wall opening). The Council's Urban Design/Conservation Officer also has raised no objection to the proposed opening of the Gaol Wall.
- 6.84 Given that the active frontage and the entrance of the University is located on English Street, and that the opening of the Gaol Wall is modest in size and in a discreet location, it is considered that the Gaol Wall opening will only provide a secondary access point to the amphitheatre/courtyard space and improves city centre permeability. It is considered that English Street will remain the primary route into the City Centre and the proposed secondary opening in the Gaol Wall will not detract from that.
- 6.85 Overall, given that the proposed opening in the Gaol Wall would only cause a low level of harm that is justifiable by the wider benefits of the scheme, it is considered that the principle of having an opening in the Gaol Wall is acceptable in this instance and it will not cause a detrimental harm to the listed building to an extent which is significant enough to warrant refusal of

this application.

- 6.86 The creation of an opening in the Gaol Wall is considered acceptable. However, buttressing will probably be required for additional support, and further investigations are recommended to attain the feasibility of this proposal. Given that the applicant would need to investigate whether or not buttress structure will be required for the proposed Gaol Wall opening, and that no details regarding buttressing were provided as part of this application, it is considered that a separate Listed Building Consent would be required in the future (should buttressing is required for the opening of the Gaol Wall), so that the LPA can assess whether or not the proposed buttress structure would be acceptable. This will help to minimise any unnecessary interference with the Gaol wall and to ensure the any proposed buttress structures will not have an adverse visual impact upon the area.

Impact of the proposal upon the Woolworth and Burton's Buildings
(Non-Designated Heritage Asset)

- 6.87 Although the Woolworth and Burton's Buildings are not listed buildings, the fascia of the Woolworth and Burton's Buildings greatly contribute to the historic character of the area and as such, they are considered as a non-designated heritage asset. Therefore, the effect of the application on the significance of these buildings should be taken into account in determining the application.
- 6.88 As stated within the previous sections, the overall façade and structural elements of the existing Woolworth and Burton's Buildings will be retained. That being said, to enhance the appearance of the façade of the building, the University proposes to replace the existing windows as many of those are corroded and in very poor condition. The proposed new double glazing will help achieve energy efficiency improvements for the building and the steel frame windows will maintain the visual interest of the existing windows. Although it is acknowledged that by replacing some original steel framed windows of the Woolworth and Burton's Buildings will cause some less than substantial harm to the buildings, it is considered that the proposed works will improve the energy efficiency and visual appearance of the buildings. Therefore, this is considered acceptable.
- 6.89 During Phase 2 of the proposed development, it is proposed that an additional storey is to be added above the Woolworth Buildings. In recognising that the fascia is significant, particularly in the streetscene, the parapet roof line as seen from the street also needs to be understood. Following a series of discussions between the Agent, Architects and Officers, the design for the proposed roof extension has been revised and it now appears to have a lighter visual appearance through the use of slender columns, reduced height and an amended roof edge detail.
- 6.90 Given that the proposed roof extension would be of a lightweight construction and will be set back from the existing perimeter parapet of the building, it will not detract from the overall fascia of the Woolworth Buildings which is of significance. It is also noted that the relatively steep viewing angle along

English Street means that much of this extension would not be visible from street level. Overall, whilst it is acknowledged that the proposed roof extension will have a visual impact, it will not constitute substantial harm and will not detrimentally harm the appearance or historical significance of the Woolworth and Burton's Buildings.

- 6.91 With regard to the shop frontages at the Woolworth Buildings, the applicant proposes to replace the glazing and change the materials of the store risers and pillars from granite, steel and tile to sandstone. The Council's Urban Design/Conservation Officer considers that the existing granite fascias, stallrisers and pillars have the potential to contribute to the character of the buildings. That being said, given the sandstone is the dominant material in the fascia of the Woolworth Buildings, it is considered that the use of sandstone at this location will ensure the ground floor frontage of the building is in keeping with the upper sections of the building. Given that the surrounding buildings also have a sandstone finish, it is considered that the proposed change in material for the fascia, store riser and pillar at Woolworth and Burton's Buildings to sandstone is acceptable.

Impact of the Teaching Block and Phase 2 Development upon the setting of the listed buildings

- 6.92 Concerns were received regarding that massing of the Teaching Block and rooftop extensions from the Phase 2 massing would affect the Citadel's primacy, in particular from Victoria Viaduct.
- 6.93 According to the applicant, the Phase 2 quantum is informed by current floorspace of the existing Brampton Road and Fusehill campuses Centre, along with a review of current operating patterns and future requirements. The AUDE Higher Education Estates report sets out that the University of Cumbria is currently operating with between 5-10m² per full time student / staff member. As such, the suggested floor space will be required at Phase 2 to accommodate the University's need for expansion.
- 6.94 It is recognised that the design has had to accommodate not only the floorspace to meet the project brief to make the scheme viable, but also minimise heritage impact on setting and key views and to minimise harm to architecture and archaeology, which means that massing is pushed more towards the Victoria Viaduct end of the site, which was agreed in the early stages of the design with the LPA. This protects the setting of the more prominent views around The Crescent and English Street and minimises archaeological disturbance.
- 6.95 It is noted that Victoria Viaduct was a product of the evolution of the Citadel railway, because of this the views provided by Victoria Viaduct are a product of the Victorian era. The original Citadel's building was never constructed with such intentional vantage points to appreciate the building. Therefore, it is considered that this view of the Citadel is not a long standing historic view. It is also noted that the view of the Citadel from Victoria Viaduct is a walking view which in itself has been interrupted by other buildings over time. The view of the Citadel from Victoria Viaduct is already partially obstructed by the

existing/previous buildings (Paton House, the Kramer Building and the Crown Court toilet block). Whilst it is accepted that the proposal will result in a building that would have a greater mass than the Paton House, and thus will screen the view of the Citadels from certain viewpoints along Victoria Viaduct, the scale of the Citadels Buildings can still be recognised and appreciated from Victoria Viaduct. As such, it is not considered that the Phase 2 development will lead to such a degree of harm that would warrant refusal of this application.

- 6.96 Notwithstanding this, to reduce its impact, the Architects have reduced the proposed height and massing of the elevations of the Phase 2 proposed structures at the parapet level and the façade treatment has also been adjusted to lighten and visually reduce the height. In addition, the colonnade has been omitted on the Southern elevation of Phase 2. It is noted that the proposed Teaching Block will be a stepped structure. The stepping feature has been introduced to respect the visual primacy of the Citadels Buildings. It is considered that these combined amendments will open up the viewpoint to the Citadels from Victoria Viaduct. In light of this, it is considered that the proposed massing of Phase 2 is acceptable within the context of the public benefits of the application being weighed against the 'less than substantial' harm generated by the proposed development.
- 6.97 Overall, it is considered that the proposal will not lead to any significant harm to any of the listed buildings, non-designated heritage asset nor their settings. Whilst less than substantial harm to the significance of the listed buildings were identified, the above assessment has demonstrated that the public benefits of the application will outweigh the less than substantial harm caused by the proposed development, in accordance with paragraph 202 of the NPPF.

5. Impact Upon The Character Of the Carlisle City Centre Conservation Area

- 6.98 In addition to the nationally and internationally important historical designations, the site also sits within the Carlisle City Centre Conservation Area.
- 6.99 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that '*special attention be paid to the desirability of preserving or enhancing the character or appearance of [the Conservation Area]*'.
- 6.100 This duty is also reflected in Policy HE 7 of the Carlisle District Local Plan 2015-2030. CDLP Policy HE 7 states that any new development and/or alterations to buildings in conservation areas should preserve or enhance the special character and appearance of the conservation area and its setting. Development which would result in harm to a public or private open space that contributes positively to the character of a conservation area will be permitted only where this harm is outweighed by the public benefits of the proposals.
- 6.101 The accompanying TVIA confirms that, in terms of heritage assets and

designations, the proposed development would give rise to a number of beneficial effects on the Carlisle City Conservation Area. Overall, the design of the proposed development has taken on a landscape-led approach and will provide numerous benefits through the scheme's design, taking into account the site's sensitivities as well as the needs of the University. It is not considered that the proposal would have an unacceptable impact on the historic street patterns/ boundaries, roofscape, skyline and setting of the conservation area. It is not envisaged that the proposal will generate a significant increase in traffic movements, heavy vehicles or excessive parking demands where these would be prejudicial to the character of the conservation area.

- 6.102 The upper section of Bush Brow is currently surfaced with Basalt setts. According to the submitted details, the applicant intends to change the surfacing material to Granite pavers to create a smoother surface for access. Whilst the Council's Urban Design/Conservation Officer considers that Basalt setts contribute strongly to the character of this part of the conservation area, and therefore subsequently raised a concern regarding the hard surfacing materials for the upper section of Bush Brow, it is considered that this issue can be mitigated with by the appropriate hard landscaping planning conditions.
- 6.103 Overall, it is considered that the proposal will not lead to any significant harm to the character or appearance of the City Centre Conservation Area. The above assessment has demonstrated that the public benefits of the application will outweigh the less than substantial harm caused by the proposed development, in accordance with paragraphs 202 and 203 of the NPPF.

6. Impact Of The Proposal On The Residential Amenity Of The Area

- 6.104 One of the core planning principles of the NPPF is that planning has an essential role in seeking to secure a good standard of amenity for all existing and future occupants of land and buildings.
- 6.105 The supporting TVIA confirms that the proposed development will give rise to beneficial impacts in terms of the townscape and heritage character areas, and given its city centre location, it is not considered that the scale and massing will cause any adverse overlooking or be imposing upon neighbouring businesses and/or residents.
- 6.106 To mitigate with any unacceptable noise, dust or vibration disturbance during construction, it is suggested that conditions with regard to construction hours limit and construction management plan are to be imposed. The Construction Management Plan condition will be a pre-commencement condition and the management plan will need to include a series of mitigation measures to be implemented during the construction phase in order to ensure that there are no adverse impacts in terms of noise, odour and vibration upon neighbouring residents and businesses.

7. Sustainable Construction

- 6.107 Section 14 of the NPPF stresses the importance of planning and its role in reducing greenhouse gas emissions, minimising vulnerability and providing resilience to the impacts of climate change. It also supports the delivery of renewable and low carbon energy and associated infrastructure.
- 6.108 Meanwhile, CDLP Policy CC3 advocates that new development should make the fullest contribution to creating environments which enable carbon reduction and are resilient to the effects of climate change.
- 6.109 It is noted that the reusing of the existing listed historic assets and buildings will greatly reduce the carbon footprint. Given that Listed assets are involved, the proposed development has been designed through using the Fabric First approach combined with energy efficiency measures and renewable energy generation to achieve a net-zero-ready scheme.
- 6.110 The existing buildings will be upgraded and retrofitted to minimise energy use and carbon emission. For instance, the windows of the Woolworth and Burton's Buildings will be upgraded to improve energy efficiency. Furthermore, the University will opt for all electric system approach, meaning that the operation of the University has the potential to exclude any reliance on fossil fuels. This will allow the building to be Net Zero ready. In addition, the use of low-carbon air source heat pump technology for heating and hot water will also help to increase energy efficiency and lower emissions. The proposal will also include the implementation of low and zero carbon technologies in the form of roof mounted Photovoltaic Cells.
- 6.111 According to the submitted details, the proposed relocation and amalgamation of the two existing campuses into a new, more energy efficient buildings will deliver significant carbon emissions output savings of around 11% and a reduction in energy demand by 10%.
- 6.112 Overall, it is recognised that the energy use and carbon emissions from the operation of the new campus would be less than that of the operation of the existing campuses. The proposal has incorporated the use of renewable technology in the form of a 3kWp PV Array photovoltaic panels, along with other low and zero carbon technologies to help the University buildings to become Net Zero ready. It is also noted that green roofs will be provided as part of the proposal. Not only can green roofs lead to a visual enhancement in this sensitive location, they can also contribute to reducing surface water run-off and provide additional insulation (as a low/zero carbon mechanism for controlling heating and cooling). As such, it is considered that the proposal will meet the objectives and criteria of the NPPF and CDLP Policy CC3.
- 6.113 That being said, it is recommended that the mechanisms for achieving the objectives of CDLP Policy CC3 should be secured through planning condition requesting a sustainable construction report to be submitted and approved prior to the commencement of the development.

8. Access, Parking, Sustainable Travel and Impact Upon Highways Safety

Access

- 6.114 In terms of access, the main pedestrian access point will be provided via the Gateway Building on English Street. Other access points include new opening in the former Gaol Wall which facilitates new access into the site from the south, existing accesses off Borough Street and Bush Brow. Each pedestrian access point is proposed to meet within The Forum (the centrally located publicly accessible communal courtyard area).
- 6.115 In relation to the access at Bush Brow, it is noted that this is an existing ramped access. Currently, Bush Brow is a road, however this design proposes to close the road and make it a pedestrian access to the site, with the ability to allow deliveries and servicing into The Forum. Whilst this route will provide an alternative route through the Citadels site, this will be maintained by the University and will be closed during the evening. As such, this will be a secondary route to the main primary pedestrian route at English Street.
- 6.116 At the lower ground level, the site can be accessed off Borough Street, via the lower retained stub road Bush Brow. This access point will mainly provide vehicular access to the service yard and to the car park. The Teaching Block can be accessed at the lower ground level to authorised personnel.
- 6.117 The other external access points into the site are the individual entrance points for Nisi Prius and the Crown Court Building; these locations already exist and will be retained.

Parking

- 6.118 The Proposed Development will comprise limited on-site parking due to the sustainable location of the Site. The proposed car park is to include 71 parking bays, 11 of which will be accessible spaces. It is proposed that this car park will be reserved for eligible students and staff, and visitors and therefore is considered sufficient for any new vehicle trips associated with the development proposals.
- 6.119 Vehicular access for the proposed undercroft car parking provision will be provided via Bush Brow (Borough Street access).

Sustainable Travel

- 6.120 It is noted that the site is centrally located in Carlisle City Centre adjacent to Carlisle Railway Station. It is therefore sustainably located and is easily accessible by public transport links. There are a number of bus stops which surround the site along English Street and The Crescent, and Carlisle Bus Station is located approximately 0.2 miles to the north of the Site along Lowther Street.
- 6.121 According to the submitted Transport Assessment (TA), prepared by Curtins, the best incentive the University can provide to promote sustainable travel

(amongst students) is a zero-student parking provision. Nevertheless, there will be some exceptions to this principle and therefore, the University has agreed that up to approximately 10% of the parking provision could be permitted to students with blue badges or those in exceptional circumstance such as childcare needs, a very rural or inaccessible home address where sustainable travel is not achievable or where a student has experienced a temporary injury. This will be managed by the University, with students required to detail their case and include supporting evidence of an essential need before any parking permit is issued.

6.122 In addition, amongst the proposed 71 parking bays, 10% of the proposed electric vehicle car parking bays will be 'active' upon the opening of the site, with an additional 40% passive EV provision is proposed, whereby bays will be 'future proofed' with ducting and cabling so that EV infrastructure can readily be provided if future demand arises on Site.

6.123 Furthermore, cycle parking will be provided in safe and secure locations across the development site. Upon completion of the scheme, it is proposed that 80 cycle parking spaces will be provided on site.

Impact Of The Proposal Upon The Highway Network And Highway Safety

6.124 Paragraph 111 of the NPPF states that "development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe."

6.125 Cumbria County Council as the Highways Authority has confirmed that the submitted TA is acceptable. The submitted TA concludes that the additional traffic arise from the proposed development would not have a significantly detrimental impact upon the surrounding highway network . Furthermore, it is considered the impact on car parking throughout the city centre would be insignificant as it has demonstrated that there is significant residual capacity at a number of Carlisle Council car parks, and any potential car parking demand could be captured via student and staff permitting.

6.126 Based on the submitted details, it is not considered that the proposal will lead to unacceptable highway safety issues nor will the proposal affect the existing condition of the highway network. Cumbria County Council as the Highways Authority were consulted and they have raised no objection to the application. Overall, it is considered that the proposed development will accord with NPPF paragraph 111 and the objectives of CDLP Policies IP1, IP2 and IP3.

9. Flood Risk and Drainage

6.127 In order to protect against pollution, CDLP Policies IP6 and CC5 seek to ensure that development proposals have adequate provision for the disposal of foul and surface water.

6.128 The application is accompanied by a Flood Risk Assessment (FRA) and Drainage Strategy in support of the application. According to the submitted

FRA, it confirms that the risk to the Site from fluvial, surface water, reservoir and groundwater flooding is very low. It also confirms that the risk from public sewers and drainage flooding to the Site is low, and that there is no risk from tidal or historic flooding.

- 6.129 In order to ensure no flood risk will be increased due to the development of the proposal, it is proposed that a sustainable drainage system is designed for the site, following the hierarchy of sustainable drainage principles. The Drainage Strategy proposes that runoff from the site is collected, treated and attenuated by SuDS before discharging via a vortex flow control into the combined sewer. Total attenuation volumes have been calculated for the proposed discharge rate of a 50% betterment on the existing brownfield rate, and the Greenfield rate for context.
- 6.130 The SuDS scheme is proposed to incorporate the following features which are appropriate for the urban setting:
- d) Rainwater harvesting
 - Green roofs
 - Bioretention systems
 - Pervious pavements, and
 - Attenuation storage tanks
- 6.131 A separate foul water drainage system is proposed for the site, which will connect to the United Utilities combined sewer.
- 6.132 The FRA and Drainage Strategy has demonstrated that the proposed development would be operated with minimal risk from flooding, and would not increase flood risk elsewhere. Therefore is compliant with the requirements of the NPPF and the objectives and criteria of the NPPF and CDLP policies IP6, CC4 and CC5.
- 6.133 United Utilities and Cumbria County Council, as the Lead Local Flood Authority, were consulted and both parties have raised no objection to the proposal subject to the imposition of appropriate surface water and foul water drainage conditions.

10. Security And Crime Prevention

- 6.134 The NPPF states that planning decisions should aim to achieve healthy, inclusive and safe places. Paragraph 96 of the NPPF states that to ensure faster delivery of other public service infrastructure such as further education colleges, hospitals and criminal justice accommodation, local planning authorities should also work proactively and positively with promoters, delivery partners and statutory bodies to plan for required facilities and resolve key planning issues before applications are submitted. Paragraph 97 states that planning policies and decisions should promote public safety and take into account wider security and defence requirements.
- 6.135 Meanwhile, CDLP Policy CM 4 requires proposals to make a positive

contribution to creating safe and secure environments by integrating measures for security and designing out opportunities for crime.

6.136 The Campus will establish good site security via several provisions which are visible and accessible yet unobtrusive. The areas within the proposed Campus have been categorised into 3 tiers:

- Tier 1 – public accessible areas (members of public, students, staff, visitors)
- Tier 2 – gained access (students, staff)
- Tier 3 – restricted access (Staff and maintenance only)

6.137 There will be secure entrances for Tier 2 and 3 areas which require fob/card to gain access to ensure only authorised persons can access non-public areas. In addition, there will be key/fob access control to all plant/back of house areas to deter any potential anti-social behaviours. As for Tier 1 areas, they will be monitored by CCTV at all times and security gates to public routes will be restricted to authorised personnel only outside of core hours. According to the submitted documents, there will also be security personnel on site to ensure security of the site.

6.138 Gating of the opening of the Gaol Wall outside of core hours is considered acceptable given that this access is new and only opens to improve the permeability of the site during day time. Other the other hand, Bush Brow is a longstanding access route in the City, dating from the construction of the Viaduct in the 1890s, and allowing reasonable access from Irish Damside up to Backhouses Walk and the upper Viaduct, English Street and West Walls. Although it is not envisaged that many people will use the Bush Brow access and staircase during night time, especially that the existing Bush Brow access route is not DDA compliant, it is incontrovertible that gating of this route during out of hours will cause some extent of inconvenience to pedestrians and cyclists, who will be required to walk or cycle a more circuitous route to reach their destinations. That being said, it is accepted that there is a need to have some security control mechanism in place to ensure the Campus is a safe place at night. On balance, given that the gating hours can be controlled by condition, it is not considered that the gating of the Bush Brow access at night is detrimental enough to warrant refusal of this application. Cumbria County Council as the Highways Authority has raised no objection to the gating of the access at Bush Brow during out of hours either.

6.139 It is also recommended that conditions regarding a lighting scheme and detailed design of any proposed gates should be imposed.

6.140 With a combination of CCTV, access control and on-site security personnel, it is considered that proposed measures will assist in maintaining a safe environment at the proposed Campus. Cumbria Constabulary was consulted and the Crime Prevention Officer has confirmed that he has no objection to the proposal.

6.141 Given that the locations and details of the CCTV have not been submitted as

part of the application, a condition is recommended to be attached to the decision notice to request for an operational management plan to outline the proposed security measures in detail, including location of the CCTVs, details of access points and opening/closing time for the gates.

11. Impact Of The Proposal On Biodiversity

- 6.142 The application is accompanied by a Preliminary Ecological Appraisal (PEA), Bat Survey Report and a Biodiversity Net Gain Assessment in support of the application. All three appraisals were undertaken by Urban Green.
- 6.143 The PEA confirms that the site comprises predominantly of hardstanding and buildings, surrounded by areas of amenity grassland, introduced shrub and scattered trees. It identifies the following ecological constraints:
- Nisi Prius, Crown Court and the existing buildings along English Street (including Woolworth and Burton's Buildings, excluding Hospital Wing) was assessed as having high bat roosting potential
 - Paton House was assessed as having moderate bat roosting potential
 - Suitable habitats for notable nesting bird species via scattered trees and buildings
- 6.144 Suitable mitigation is therefore recommended for bats and birds; with no removal of vegetation or demolition permitted during the bird breeding season (March to September inclusive), and any proposed lighting should be designed to minimise potential lighting impacts on bats in the local area. These issues can be mitigated through planning conditions.
- 6.145 The supporting Bat Survey Report confirms that nocturnal bat surveys undertaken identified one non-breeding summer transitional roosts for common pipistrelle at lifted fascia boards above windows on the south-western aspect on the building along English Street which is to be partly demolished. As the proposed works will cause the destruction of these roosts, and a breach of legislation under the Wildlife and Countryside act 1981 (as amended) and the Conservation of Habitats and Species regulations 2017 (as amended), a Bat Mitigation Class Licence or a standard Mitigation Licence would be required for the demolition works to be undertaken lawfully and to minimise the risk of impacting roosting bats. The LPA does not consider there is any obvious reason why a licence would not be granted, and as such planning permission should not be withheld for this reason. Compensatory roost provisions will be implemented before any demolition works take place to provide compensatory habitat for the loss of the roosts. These compensatory roost provisions must be maintained within the site for a minimum of five years. It is recommended that this issue is to be mitigated via a planning condition.
- 6.146 Ecological enhancements are also recommended in the form of bird boxes, and the planting of native species under any soft-landscaping scheme. Likewise, these can be mitigated for through planning conditions.

- 6.147 A Biodiversity Net Gain Assessment (BNG) has also been undertaken by Urban Green which supports the planning application submission. It confirms that, based on the current landscape design, the Proposed Development results in a gain of 100.4% on Site. This illustrates that the proposed development will have a positive impact on the environment with higher quality habitats present post-development and is in line with the relevant National Planning Policy Framework and Local Planning Policies.
- 6.148 The applicant has submitted an Arboricultural Impact Assessment (undertaken by Urban Green) to support the application. The Assessment was carried out in accordance with BS 5837:2012 Trees and it identifies that 8no. trees (1no. moderate quality B category tree and 7no. Low Quality C category trees) will require removal to facilitate the development. These trees are located at the lower section of the Citadel gardens and therefore merit some value given that they are visible from the public realm. That being said, it is considered that the loss of these trees will have low, localised impacts. The impact will be mitigated by the retention of high and moderate quality trees within the site, along with the provision of new trees and extensive landscaping. On balance, it is therefore considered that the removal of these trees will not detrimentally affect the visual amenity of the area.
- 6.149 In view of the above, it is not considered that the proposal would lead to any significant harm to any wildlife or protected species. The proposal will result in significant net gain in biodiversity and therefore it is considered that the proposed development will accord with NPPF paragraph 174 and CDLP policies GI1, GI3 and GI6.

12. Other Matters

- 6.150 With regard to waste management, the applicant has submitted a Servicing Strategy, prepared by Curtins, in support of the application. The Servicing Strategy has considered the potential refuse and recyclable waste volumes for all uses of the proposed development. It also provides details of the collection arrangements. The report concludes that the proposed uses will be served by private refuse collections. The bins will be transported to the presentation area by the management company. The collection point is located at the existing loading bay located along Victoria Viaduct. However, if required, servicing can also occur within the under-croft car parking provision on Bush Brow (Borough Street access) off the public highway. The proposed development is anticipated to be served by three-times-a-week collections. Overall, in terms of waste management, the proposed arrangement is considered acceptable.
- 6.151 It is noted that all signage will be subject to separate advertisement consents application. It is suggested that an advisory note is to be included within the decision notice to explain that no signage will be permitted to be displayed on any of the buildings until advertisement consent is obtained.
- 6.152 There has been a public comment received regarding the paving at the entrance area showing on the general arrangement plan is outside of the red line boundary. This was reflected to the Agent whom has amended the plans

alongside a note to confirm that works shown beyond the red line are indicative and aspirational at this stage, and will be subject to a separate planning application which is due to be submitted for works to English Street.

- 6.153 The preliminary desk study appraisal identifies activities that could have resulted in land contamination from organic pollutants within made ground and natural ground. To mitigate this, it is recommended that a condition is to be included requiring the submission of a remediation strategy.

13. Sustainable Development - Benefits Of The Proposed Development

- 6.154 The redevelopment of the Citadels site has numerous benefits that would help to regenerate the City Centre of Carlisle. According to the NPPF, the purpose of the planning system is to contribute to the achievement of sustainable development. Achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways (so that opportunities can be taken to secure net gains across each of the different objectives):

a) an economic objective - to help build a strong, responsive and competitive economy, by ensuring that sufficient land of the right types is available in the right places and at the right time to support growth, innovation and improved productivity; and by identifying and coordinating the provision of infrastructure;

b) a social objective - to support strong, vibrant and healthy communities, by ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed, beautiful and safe places, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being; and

c) an environmental objective - to protect and enhance our natural, built and historic environment; including making effective use of land, improving biodiversity, using natural resources prudently, minimising waste and pollution, and mitigating and adapting to climate change, including moving to a low carbon economy.

- 6.155 Paragraph 10 of the NPPF states that at the heart of the Framework is a presumption in favour of sustainable development and, in applying this principle, Paragraph 11 goes on to require that decision making should apply this presumption in favour of sustainable development.

- 6.156 This coincides with the objectives of CDLP Policy SP1 which state that Carlisle City Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF, and will work proactively with applicants, and communities, jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions of the District.

Economic Benefits

- 6.157 In terms of Economic benefits of the proposal, it is recognised that the University currently makes a significant contribution towards the local, regional and national economy. According to the submitted documents, its most recent assessment of its economic impact indicated a worth annually of some £120 million to the regional (Cumbrian) economy, and £230 million to the national economy.
- 6.158 Work carried out for the Cumbria Learning Improvement Service (LIS) has identified that Cumbria has, based on current projections, the slowest growing population of any Local Economic Partnership (LEP) area across England. In addition, the LIS evidence base also identified that the workforce in Cumbria has a low proportion with higher levels qualifications, and the lowest absolute number of people educated to NVQ level 4 or better of any LEP area in England. This represents that Cumbria currently has a very thin pool of higher-level skills impacting on productivity.
- 6.159 CDLP Policy SP10 provides a clear commitment that the City Council will work with partners to develop a skilled population and workforce within Carlisle. The policy states that the City Council will support developments which relate to the operational needs of the District's higher, further and specialist education establishments including the University of Cumbria.
- 6.160 One of the major roles of the Citadels project is to attract and retain more workers, especially graduate level workers, which will help address the demographic and thin pool of higher-level skills challenges in Cumbria/Borderlands.
- 6.161 The two existing campuses provide a low presence in the City, nor do they give any indication that Carlisle is a university city. They severely constrain the growth of the University and its ability to provide the best education and training in the following ways:
- a) The campuses are hidden away and have a low profile for visitors and prospective students alike (both younger undergraduates, but also business users).
 - b) There is a lack of high quality business-facing facilities and provision.
 - c) The campuses are poorly located and, in the case of Brampton Road in particular, relatively inaccessible to the city centre (and the train station).
 - d) The buildings are old and not suited to modern HE provision and, in particular, the ability to deliver blended provision using the latest digital technology is constrained.
 - e) The campuses are separate and cannot be run efficiently together creating a significant running cost overhead.
 - f) The spread out nature of facilities means there is a lack of a critical mass of facilities for students in one location

As such, it is recognised that there is a need for a new campus at a centralised and prominent location to accommodate future growth for the University and attract more students, learners and skilled workforce.

- 6.162 According to the submitted details, it has been projected that the new higher education facilities will increase the total number of undergraduate and postgraduate students studying in Carlisle each year by around 1,200 extra full-time equivalent (FTE) students compared to the baseline without the new campus (around 1,900 FTEs). This represents roughly 400 extra new graduate entrants to the labour market each year. As a result, significant productivity benefits will be generated in Cumbria and the Borderlands region.
- 6.163 Apart from students, the submitted documents confirms that the proposal will also improve engagement between the University and employers, and so to help expand the number of people already in the workforce to get involved in higher skills development. Since the proposal will attract more people to enter higher education or engage in higher skills development, it is considered that the proposal will generate significant productivity benefits in Cumbria and the Borderlands region.
- 6.164 In addition, the proposed development will create numerous direct and indirect jobs throughout the construction phase and additional jobs through the operation of the campus. According to the submitted documents, the proposed development has the potential to facilitate the creation of approximately 145 temporary direct full time employment construction jobs and 219 temporary indirect full time employment jobs per annum over the approximate 32 month construction period. During the operation of the University Campus, it is anticipated that an additional circa.164 full time employment university jobs will be created over the 20 years from opening in 2025/26.
- 6.165 It is acknowledged that Carlisle, as with other towns and cities, faces considerable challenges in its high street with declining footfall and increased vacancy rates in the retail sector, which have been accelerated by Covid-19. Therefore, maintaining and boosting the vibrancy of the city centre is critical as part of efforts to ensure Carlisle is an attractive place to live, work and visit.
- 6.166 The proposed development will increase footfall to a key gateway site into Carlisle City Centre, which will consequently have a wider knock-on effect of increasing the vitality, vibrancy and viability of Carlisle City Centre's Primary Shopping Area. This will help to encourage economic activity and revitalisation of the high street and Carlisle City Centre, and will also help to boost the general liveability of Carlisle for current and future residents, visitor and workers. As such, it is considered that the proposal will have significantly benefits to the Carlisle's economy and housing market.

Social Benefits

- 6.167 In terms of social benefits of the proposal, the new campus will deliver a mixture of modern, high quality and innovative educational facilities for use by existing and future University of Cumbria students. These include fully digital enabled teaching spaces, business interaction spaces, and university

administration and support services space.

- 6.168 Apart from that, the proposed development will also generate significant social benefit by opening up cultural facilities run by University of Cumbria. The new cultural facilities right in the city centre at the Citadels site will include the university's centre for digital transformation, a 200 seater multi-purpose lecture theatre and internal and external exhibition areas.
- 6.169 Although these facilities will primarily be for teaching/education purposes, the University has confirmed that they will also be made available to the wider community, members of the public and local groups, particularly through a partnership with Multi Cultural Cumbria (to be based at the Citadels Campus) and as partners of the Carlisle Culture Consortium. The new campus will provide venues that can be used by other cultural organisations and open up the University's own cultural activity more widely. This in turn will support and enhance the cultural sector in the city, and improve the overall attractiveness and liveability of Carlisle as a city.
- 6.170 In addition, the proposal will allow the site to be opened up to the public, increasing permeability and accessibility to the Site, City Centre and the surrounding area through the development of a central publicly accessible space, known as 'The Forum', providing residents and visitors with improved recreational space in a highly sustainable location.

Environmental Benefits

- 6.171 In terms of environmental benefit, the application site is located within a central city centre location which is accessible via a range of sustainable modes of transport. In comparison to the existing campuses, the location of the proposed new campus will facilitate and encourage staff, students and visitors to access by public transport or walking/cycling rather than private vehicles.
- 6.172 The proposed development will incorporate elements of new build construction and the refurbishment of existing buildings on site. Given that Listed assets are involved, the proposed development has been designed through using Fabric First approach combined with energy efficiency measures and renewable energy generation to achieve a net-zero-ready scheme. In addition, the proposal has incorporated electric vehicle charging points. 10% of the proposed electric vehicle car parking bays will be 'active' upon the opening of the site, with additional 40% of parking bays future proofed with ducting and cabling so that EV infrastructure can be readily provided if future demand increases on site.
- 6.173 The proposed development will dramatically reduce the University's energy demand and usage, and will respond positively to all national regional and local energy policies (Please refer to Section 8 of this report for further assessment with regard to sustainable construction).
- 6.174 According to the submitted details, the proposed development will also result in the creation of higher quality habitats post-development which will help to

double the levels of biodiversity present on site, resulting in an extremely positive impact on the environment.

- 6.175 In light of the above, it is considered that the proposal will bring numerous social, economic and environmental benefits to Carlisle. The proposed development is therefore considered to be a sustainable development, in line with the NPPF and objectives of CDLP Policy SP1.

Conclusion

- 6.176 The proposed development will deliver a University campus in a sustainable and central city centre location, and will bring the Citadels Buildings back into beneficial use. The proposal will provide modern and innovative educational facilities for use by existing and future University of Cumbria students, and will also strengthen the University's role as the anchor higher education institution for Cumbria and would hopefully encourage more young people in Cumbria progress into higher education.
- 6.177 The design of the proposal has been engineered to be a low carbon solution, with the ability to help the university become a Net Zero Carbon organisation. It can also be seen that the design of the proposal respects the rich history of the site, which is embedded in the Listed Buildings and non-listed retained buildings, as well as within buried archaeology.
- 6.178 The proposal will facilitate connection, optimise footfall and create an enhanced sense of place by providing alternative routes into the City Centre, and will help to re-establish English Street as an important thoroughfare and public place within the city.
- 6.179 Overall, the application has demonstrated that the proposal has numerous benefits both socially, economically and environmentally.
- 6.180 The assessment of this planning application has taken into account all relevant planning material considerations, including the effect of the application on the significance of all listed and non-designated heritage assets on site and the effect on the Conservation Area. Great weight is afforded to any harm to heritage assets and in particular the listed buildings of greater historical significance which are particularly relevant to this application. It is considered that the proposal will not cause any substantial harm but will cause some less than substantial harm to two Grade I listed buildings (Crown Court and Nisi Pirus) due to the relocation of court room furniture, raising of internal floor levelling and the installation of WCs and platform lifts; Grade II listed Hospital Wing due to some loss of historic fabric from the new openings; Grade II listed Gaol Wall due to the loss of historic fabric from the proposed opening. However, it has been clearly demonstrated within the application that the public benefits of the proposal will outweigh the identified harms.
- 6.181 In light of the above, It is considered that the application is in full accordance with both local and national planning policies. It is recommended that this application is approved with conditions.

7. Planning History

- 7.1 The following planning history relates to the assessment of this planning application:

The 'Offices and Former Nisi Prius Buildings' contains the following significant planning applications:

(Pre 1974) TP1838- Provision of additional 3,500 sq.ft. of office accommodation by construction of three new floors:- Two to Citadel Row Block, one to English Street Block. Granted.

The 'Former Crown Court Buildings' contains the following significant planning applications:

- 99/9009 - Internal alterations, redecoration and re-routing of surface-mounted services to provide a new reception area, disabled WC and disabled access
- 98/9018 - Items of minor alteration in former Grand Jury Room, replacement of glazed ceiling panels in former Courts Entrance Foyer (LBC)
- 93/9022 - Change of use of part of the old Crown Court buildings from Crown Courts to County Council office use (Reg 3 App)
- 01/9011 - Lift installation to access first floor and brass tubular handrailing to grand staircase (LBC) Permission was granted.
- 01/9017 - Remodelling of modern extension including glazed corridor and access ramp (LBC) Permission was granted.

The 'Paton House' building and surrounding area to the rear contains the following significant planning applications:

- 94/0899 - Change of use of vacant garage to public car park. Permission was granted.
- 98/0078 - Renewal of permission for part of former garage for car parking (80 spaces), Permission was granted.
- 01/0232 - Change of use of part of garage to car parking (80 spaces), Permission was granted.
- 14/9002/CTY - Installation Of Cast Iron Downpipe And Hopper To Discharge To New Gulley (LBC), Permission was granted.
- 17/9007/CTY - Demolition Of The Lower Gaol Yard And Lonsdale Buildings. Permission was granted.
- 18/9003/CTY - Change Of Use To A Surface Level Car Park And Erection Of Ancillary Infrastructure
- 20/0867 - Demolition Of Building at Paton House, 9 Victoria Viaduct. Permission was granted.
- 21/0633 - Discharge Of Conditions 3 (Level 2 Survey); 4 (Construction Management Plan) And 5 (Construction Phase Traffic Management Plan) Of Previously Approved Application 20/0867. Permission was granted.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprise:

1. the submitted planning application form, received 29 Mar 2022;
2. Location Plan (Dwg No. DAY-XX-XX-DR-A-04-0100), received 29 Mar 2022;
3. Proposed Site Plan (Dwg No. DAY-XX-XX-DR-A-04-0110), received 29 Mar 2022;
4. Proposed Block Plan (Dwg No. DAY-XX-XX-DR-A-04-0124), received 29 Mar 2022;
5. Section and elevation Key (Dwg No. DAY-XX-XX-DR-A-04-0125), received 29 Mar 2022;
6. Demolition GIA Use Category Plans (Dwg No. DAY-XX-ZZ-DR-A-04-0152), received 29 Mar 2022;
7. Phase 2 GIA Use Category Plan (Dwg No. DAY-XX-ZZ-DR-A-04-0154), received 29 Mar 2022;
8. New Build GEA Plans Phase 2 (Dwg No. DAY-XX-ZZ-DR-A-04-0156), received 29 Mar 2022;
9. Crown Court Demolition Plans (Dwg No. DAY-XX-ZZ-DR-ID-04-0132, Rev A), received 10 Jun 2022;
10. Nisi Pirus Demolition Plans (Dwg No. DAY-XX-ZZ-DR-ID-04-0133, Rev A), received 10 Jun 2022;
11. Site Elevations (Street Scenes) Proposed Phase 1 (Dwg No. DAY-XX-XX-DR-A-04-1105, Rev A), received 10 Jun 2022;
12. Site Elevations (Street Scenes) Proposed Phase 2 (Dwg No. DAY-XX-XX-DR-A-04-1106, Rev A), received 10 Jun 2022;
13. Site Elevations (Central Plaza) Proposed Phase 1 (Dwg No. DAY-XX-XX-DR-A-04-1108, Rev A), received 10 Jun 2022;
14. Site Elevations (Central Plaza) Proposed Phase 2 (Dwg No. DAY-XX-XX-DR-A-04-1109, Rev A), received 10 Jun 2022;

15. Woolworths Elevations Proposed Phase 1 (Dwg No. DAY-XX-ZZ-DR-A-04-1102, Rev A), received 10 Jun 2022;
16. Woolworths Elevations Proposed Phase 2 (Dwg No. DAY-XX-ZZ-DR-A-04-1103, Rev A), received 10 Jun 2022;
17. Site Demolition Plan Phase 1 (Dwg no. DAY-XX-XX-DR-A-04-0130), received 29 Mar 2022;
18. Site Demolition Plan Phase 2 (Dwg no. DAY-XX-XX-DR-A-04-0131), received 29 Mar 2022;
19. General Arrangement Plan - Lower Ground Floor Proposed Phase 1 and 2 (Dwg no. DAY-XX-B1-DR-A-04-0111), received 29 Mar 2022;
20. General Arrangement Plan - Ground Floor Proposed Phase 1 and 2 (Dwg no. DAY-XX-00-DR-A-04-0112 Rev A), received 14 Jul 2022;
21. General Arrangement Plan - First Floor Proposed Phase 1 (Dwg no. DAY-XX-01-DR-A-04-0113), received 29 Mar 2022;
22. General Arrangement Plan - First Floor Proposed Phase 2 (Dwg no. DAY-XX-01-DR-A-04-0114), received 29 Mar 2022;
23. General Arrangement Plan - Second Floor Proposed Phase 1 (Dwg no. DAY-XX-02-DR-A-04-0115), received 29 Mar 2022;
24. General Arrangement Plan - Second Floor Proposed Phase 2 (Dwg no. DAY-XX-02-DR-A-04-0116), received 29 Mar 2022;
25. General Arrangement Plan - Third Floor Proposed Phase 1 (Dwg no. DAY-XX-03-DR-A-04-0117), received 29 Mar 2022;
26. General Arrangement Plan - Third Floor Proposed Phase 2 (Dwg no. DAY-XX-03-DR-A-04-0118), received 29 Mar 2022;
27. General Arrangement Plan - Roof Proposed Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-0119 Rev A), received 10 Jun 2022;
28. General Arrangement Plan - Roof Proposed Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-0120 Rev A), received 10 Jun 2022;
29. General Arrangement Plan - Hospital Wing and Crown Court Building Proposed Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-0121 Rev A), received 10 Jun 2022;
30. General Arrangement Plan - Nisi Prius Proposed Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-0122 Rev A), received 10 Jun 2022;
31. Section Through Site Axis Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2101 Rev A), received 10 Jun 2022;
32. Section Through Site Axis Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2102 Rev A), received 10 Jun 2022;
33. Sections longitudinal Proposed Phase 1 (Dwg no.

- DAY-XX-ZZ-DR-A-04-2103 Rev A), received 10 Jun 2022;
34. Sections longitudinal Proposed Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2104 Rev A), received 10 Jun 2022;
 35. Sections Transverse Proposed Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2105 Rev A), received 10 Jun 2022;
 36. Sections Transverse Proposed Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2106 Rev A), received 10 Jun 2022;
 37. Section Floor Levels Proposed Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2107 Rev A), received 10 Jun 2022;
 38. Section Floor Levels Proposed Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2108 Rev A), received 10 Jun 2022;
 39. 3D Sections A B C Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2117 Rev A), received 10 Jun 2022;
 40. 3D Sections D E F Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2118 Rev A), received 10 Jun 2022;
 41. 3D Sections G H Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2119 Rev A), received 10 Jun 2022;
 42. 3D Sections A B C Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2120 Rev A), received 10 Jun 2022;
 43. 3D Sections D E F Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2121 Rev A), received 10 Jun 2022;
 44. 3D Sections G H Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2122 Rev A), received 10 Jun 2022;
 45. Business Interaction Centre Floor Level Section Plan (Dwg no. DAY-BB-ZZ-DR-A-04-2125), received 10 Jun 2022;
 46. Hospital Wing Floor Level Sections Plan (Pt 1) (Dwg no. DAY-BB-ZZ-DR-A-04-2123), received 10 Jun 2022;
 47. Hospital Wing Floor Level Sections Plan (Pt 2) (Dwg no. DAY-BB-ZZ-DR-A-04-2124), received 10 Jun 2022;
 48. General Arrangement Plan (Dwg no. UG_471_LAN_GA_DRW_001 Rev P16), received 30 Jun 2022;
 49. Gaol Wall Opening (Dwg no. DAY-XX-XX-DR-A-04-2113 Rev A), received 10 Jun 2022;
 50. Facade Study - New Build Phase 1 (Dwg no. DAY-XX-ZZ-DR-A-04-2111 Rev A), received 10 Jun 2022;
 51. Facade Study - New Build Phase 2 (Dwg no. DAY-XX-ZZ-DR-A-04-2112), received 10 Jun 2022;

52. the Notice of Decision; and

53. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. The development shall be undertaken in general accordance with the approved documents for this Planning Permission which comprise:
1. Carlisle Citadels: Archaeological Impact Assessment (undertaken by Oxford Archaeology), received 29 Mar 2022;
 2. Bat Survey Report (undertaken by Urban Green), received 29 Mar 2022;
 3. Biodiversity Net Gain Design Stage Assessment (undertaken by Urban Green), received 29 Mar 2022;
 4. Condition Survey (undertaken by Purcell), received 29 Mar 2022;
 5. Carlisle Citadels Conservation Management Plan (prepared by Purcell), received 29 Mar 2022;
 6. Demolition Statement (Revision: P01, prepared by Curtins), received 29 Mar 2022;
 7. Energy & Sustainability Statement (Ref: 16110-HYD-XX-XX-RP-Y-5002, prepared by Hydrock Consultants Limited), received 29 Mar 2022;
 8. Written Scheme of Investigation for an Archaeological Evaluation and Watching Brief, received 29 Mar 2022;
 9. Heritage Impact Assessment (Issue 02, undertaken by Purcell), received 29 Mar 2022;
 10. Interim Travel Plan (Revision: V04, prepared by Curtins), received 29 Mar 2022;
 11. Phase 1 Preliminary Risk Assessment (Revision: V02, prepared by Curtins), received 29 Mar 2022;
 12. Preliminary Ecological Appraisal (prepared by Urban Green), received 29 Mar 2022;
 13. Servicing Strategy (Revision: V03, prepared by Curtins), received 29 Mar 2022;
 14. Stage I Visual Structural Condition Appraisal (prepared by Curtins), received 29 Mar 2022;
 15. Townscape & Visual Impact Appraisal (prepared by Urban Green), received 29 Mar 2022;
 16. Transport Assessment (Revision: V03, prepared by Curtins), received 29 Mar 2022;

17. Urban Design Framework Statement (prepared by Urban Green), received 29 Mar 2022;
18. Geophysical Survey Report (prepared by SUMO Geophysics Ltd), received 1 Apr 2022;
19. Arboricultural Impact Assessment (AIA) (undertaken by Urban Green), received 10 Jun 2022;
20. Historic Buildings Design and Usage Review (Revision G, prepared by Purcell and Day Architectural Ltd), received 10 Jun 2022;

Reason: To define the permission.

4. Notwithstanding any description of materials in the application, prior to the commencement of the outer façade of each Phase of the development (Phase 1 and 2), excluding demolition, samples or full details of materials to be used externally on the building within the relevant phase, have been submitted to and approved by the Local Planning Authority. Such details shall include the type, colour and texture of the materials.

Reason: To ensure that materials to be used are acceptable and in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

5. Prior to the installation of any vents and drainage apparatus, samples and details of any roof vents, ventilation grilles, flues and soil pipes shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with Policies HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

6. Prior to any stonework being modified and/or rebbed and repointed, including a section of Gaol Wall at Bush Brow, a sample area of stonework measuring not less than 1m x1m shall be erected on site for inspection by the Local Planning Authority, with the stone type and source, bonding pattern, mortar specification, and joint detail and general appearance to be agreed in writing. An area of ashlar repointing to a discrete area of the retained buildings shall be completed for inspection by the Local Planning Authority to be agreed in writing as above. If there are any repairs to stone, brickwork and roofs, a method statement and specification of the repairs and to include samples and details of fixings and mortar mix shall be made available to the Local Planning Authority for their inspection and approval prior to any repairs being undertaken. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed

buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with Policies HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

7. Notwithstanding any information as submitted, prior to the insertion of any new/replacement windows (on any listed buildings and Woolworth and Burton's Buildings), details at a scale of 1:5 of any new windows, including the construction, means of affixing to the walls, the size, glazing, opening mechanisms, cill and lintol arrangement and the depth of the reveal shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with Policies HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

8. Within 6 months of the decision or prior to the commencement on site (excluding demolition)(whichever is sooner), a statement to explain how the WW2 'Emergency Water Supply' (circa 1m high) on the brick return of the Burton's Building at Bush Brow is to be protected and retained, and incorporated into the scheme, is to be submitted to the LPA for written agreement.

Reason: In the interest of the appearance and character of the listed buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with the objectives of Carlisle District Local Plan Policies HE6 and HE7.

9. Notwithstanding the information as submitted, prior to the occupation of the development hereby approved, full details of the proposed soft landscaping, including a phased programme of works, shall be submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved following the completion of the development or in accordance with a programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure a satisfactory landscaping scheme is implemented to fulfil the requirements of policies SP6, GI1 and GI6 of the Carlisle District Local Plan 2015-2030.

10. Notwithstanding the information as submitted, prior to the occupation of the development hereby approved, full details of the proposed hard landscaping, including details of the former City Wall interpretative feature, samples of surfacing materials and a phased programme of works, shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the

development shall not be constructed other than in accordance with the approved details.

Reason: To ensure a satisfactory landscaping scheme is implemented to fulfil the requirements of Policies SP6, HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

11. Details of the paint colour and finish, including manufacturer's specification to be used on the internal (listed buildings only) and external areas of the existing buildings shall be submitted to and approved in writing by the Local Planning Authority prior to any painting work commencing. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with Policies HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

12. Prior to the commencement of any works (excluding demolition and foundation works), full details of all proposed gating, including pedestrian gates, within the application site shall be submitted to and approved in writing by the Local Planning Authority. The submitted details shall include detailed design and size of the gates.

Reason: In the interest of the appearance and character of the listed buildings and conservation area, in accordance with Policies HE3 and HE7 of the Carlisle District Local Plan 2015-2030.

13. Prior to installation of any external lighting, details of the proposed external lighting (inclusive of the design, locations and luminance levels) shall be submitted to the local planning authority for approval in writing. The development shall only be carried out in accordance with the approved details.

Reason: To safeguard the living conditions of the neighbouring residents and to ensure the objectives of Policies CM5 and SP6 of the Carlisle District Local Plan 2015-2030 are met.

14. Prior to the removal of any Court Room furniture in Nisi Prius and the Crown Court Buildings, a programme of works for the court room furniture relocation, and photographs and drawings as existing, and as proposed, shall be submitted to and approved in writing by the Local Planning Authority. The programme of works shall identify how and by whom supervision of the works shall be undertaken and shall include details regarding the exact proposed locations (within the application site) and uses for the removed court room furniture. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings, and in accordance with Policy HE3 of the Carlisle

District Local Plan 2015-2030.

15. Notwithstanding the details that have been submitted with the application, full details including drawings and manufacturers details where appropriate of all boundary treatments shall be submitted to and approved in writing by the Local Planning Authority prior to any works to the boundaries. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings and the retained portions of the Woolworth and Burton's Buildings, in accordance with Policies HE3, HE6 and HE7 of the Carlisle District Local Plan 2015-2030.

16. Prior to the removal of the window at the Former Labour Group Room at the Crown Court Building (as shown on Carlisle Citadels Conservation Management Plan, prepared by Purcell, received 29 Mar 2022), details of the proposed roof terrace access shall be submitted to and approved by the local planning authority. Thereafter the development shall not be constructed other than in accordance with the approved details.

Reason: In the interest of the appearance and character of the listed buildings, in accordance with Policy HE3 of the Carlisle District Local Plan 2015-2030.

17. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a number of written scheme of investigations which have been submitted by the applicant and approved in writing by the Local Planning Authority.

These written schemes of investigation will include the following components:

- i) An archaeological evaluation - in accordance with the submitted 'Written Scheme of Investigation for an Archaeological Evaluation and Watching Brief' dated April 2022;
- ii) An archaeological recording programme the scope of which will be dependant upon the results of the evaluation.

Reason: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the examination and recording of such remains.

18. Where significant archaeological remains are revealed by the programme of archaeological work, there shall be carried out within one year of the completion of that programme on site, or within such timescale as otherwise agreed in writing by the Local Planning Authority: an archaeological post-excavation assessment and analysis, the preparation of a site archive ready for deposition at a store, the completion of an archive report, and the

preparation and submission of a report of the results for publication in a suitable specialist journal.

Reason: To ensure that a permanent and publically-accessible record is made of the archaeological remains that have been disturbed by the development.

19. Prior to the carrying out of any construction work the following buildings and structures affected by the proposed development shall be recorded in accordance with the undermentioned Levels of Survey, as described by Historic England's document Understanding Historic Buildings A Guide to Good Recording Practice, 2016:

The Crown Court - Level 3 Survey;
Nisi Prius Court - Level 3 Survey;
the Hospital Wing - Level 2 Survey;
the Gaol Wall – Level 1 Survey; and
the Woolworth Buildings - Level 1 Survey.

Within 2 months of the commencement of construction works a digital copy of the resultant survey report shall be furnished to the Local Planning Authority.

Reason: To ensure that a permanent record is made of the buildings and structures of architectural and historical interest prior to their alteration as part of the proposed development.

20. Work to the carriageway, footways, footpaths, cycleways etc ,as indicatively shown on the drawings submitted with this application, shall be designed, constructed, drained and lit to a suitable standard and in this respect further details, including longitudinal/cross sections, shall be submitted to the Local Planning Authority for approval before any of the above highways related works commence on site. None of the above highways related works shall be commenced until a full specification has been approved. Any works so approved shall be constructed before the development is occupied.

Reason: To ensure a minimum standard of construction in the interests of highway safety, and to support Local Transport Plan Policies: LD5, LD7, LD8.

21. No development works pursuant to the development hereby approved (including demolition) shall take place outside the hours of 7.30am to 6pm on weekdays and 7.30am to 4pm on Saturdays with no works on any Sundays or statutory holidays. Quieter activities which are carried out inside buildings such as electrical works, plumbing and plastering may take place outside of agreed working times so long as they do not result in significant disturbance to neighbouring occupiers.

Reason: To prevent disturbance to nearby occupants in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.

22. Full details of the surface water drainage system (incorporating SUDs features as far as practicable) and a maintenance schedule (identifying the responsible parties) shall be submitted to the Local Planning Authority for approval prior to development being commenced (excluding demolition). Any approved works shall be implemented prior to the development being completed and shall be maintained thereafter in accordance with the schedule.

Reason: To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution. To ensure the surface water system continues to function as designed and that flood risk is not increased within the site or elsewhere.

23. Prior to the commencement of each phase of the development (Demolition, phase 1 and phase 2), a Demolition and Construction Environment Management Plan (DCEMP) for the relevant phase shall be submitted to and approved in writing by the local planning authority. The DCEMP shall include details of:

1. pre-construction road condition established by a detailed survey for accommodation works within the highways boundary conducted with a Highway Authority representative; with all post repairs carried out to the satisfaction of the Local Highway Authority at the applicants expense;
2. details of proposed crossings of the highway verge;
3. retained areas for vehicle parking, manoeuvring, loading and unloading for their specific purpose during the development;
4. cleaning of site entrances and the adjacent public highway;
5. details of proposed wheel washing facilities;
6. the sheeting of all HGVs taking spoil to/from the site to prevent spillage or deposit of any materials on the highway;
7. provision and use of water suppression equipment;
8. covering of 'dusty' materials;
9. construction vehicle routing;
10. the management of junctions to and crossings of the public highway and other public rights of way/footway;
11. Details of any proposed temporary access points (vehicular / pedestrian)
12. surface water management details during the construction phase; and
13. implementation of noise mitigation measures i.e. use of noise attenuation barriers, storage/unloading of aggregates away from sensitive receptors, use of white noise reversing alarms where possible.

Reason: To ensure the undertaking of the development does not adversely impact upon the fabric or operation of the local highway network and in the interests of highway and pedestrian safety. To support Local Transport Plan Policies: WS3, LD4 and to protect the living conditions of the occupiers of the adjacent residential properties in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.

24. Prior to the commencement of Phase 1 development (excluding demolition), details of cycle storage provisions shall be submitted to and approved in

writing with the Local Planning Authority.

Reason: In accordance with Policies SP1 and IP3 of the Carlisle District Local Plan 2015-2030.

25. Within 6 months of first occupation of the site, a final Travel Plan which includes clear objectives and modal split targets, together with a time-bound programme of implementation, monitoring, regular review and update; and be based on the particulars contained within the development hereby approved, shall be submitted to and approved in writing by the local planning authority and thereafter operated in accordance with the agreed details.

Reason: In accordance with Policies SP1 and IP2 of the Carlisle District Local Plan 2015-2030.

26. Prior to the occupation of the site hereby approved, details and location of the carpark spaces equipped with active and passive EV charging points shall be submitted to and approved in writing by the local planning authority. The details shall include:

1. Location of active and passive charge points;
2. Specification of charging equipment;
3. Operation/management strategy, including details regarding the process to active passive charging points;

The development shall be completed in accordance with the approved details and retained in perpetuity.

Reason: In accordance with Policies SP1 and IP2 of the Carlisle District Local Plan 2015-2030.

27. Prior to the occupation of phase 1 of the development, an Operational Management Plan shall be submitted to and approved in writing by the LPA. The Operational Management Plan shall, as a minimum, cover the following points:

1. The location of all ground/lower ground external access points and how they will be managed
2. How all external access points will be controlled during the day and out of hours i.e. fob/key card
3. The times that the external access gates will be closed to the public
4. The location of CCTV
5. Noise management for any external event at the Forum

Reason: In accordance with Policies CM4 and HE3 of the Carlisle District Local Plan 2015-2030.

28. Prior to the commencement of each phase (1 and 2) of the development (excluding demolition), an updated Sustainability and Energy Statement for the relevant phase, shall be submitted to and approved in writing by the LPA. The updated Sustainability and Energy Statement shall include a detailed

scheme to demonstrate compliance with CDLP Policy CC3 and shall, as a minimum, include:

- 1.. The sustainability credentials of the external build materials
2. The specification and location of renewable energy such as air source heat pump technology and the roof mounted Photovoltaic Cells

Reason: In accordance with Policies SP1, SP6 and CC3 of the Carlisle District Local Plan 2015-2030.

29. For the duration of the development works, the retained trees as shown within the submitted Arboricultural Impact Assessment (undertaken by Urban Green, received 10 Jun 2022) shall be protected by tree protective fencing erected and maintained outwith all root protection areas. The specification for the tree protective fencing must conform to BS5837:2012 Trees in relation to Construction - recommendations, and within all root protection areas, there shall be no excavation, tipping or stacking, nor compaction of the ground by any other means.

Reason: To protect existing trees on site during development works and in accordance with Policy GI6 of the Carlisle District Local Plan 2015-2030.

30. The development hereby approved shall not be carried out otherwise than in complete accordance with the Mitigation Measures contained within the submitted Bat Survey Report (2021) compiled by Urban Green, received 29 Mar 2022.

Compensatory roost provisions shall be implemented before any demolition works take place to provide compensatory habitat for the loss of the roosts. These compensatory roost provisions must be maintained within the site for a minimum of five years.

Reason: In order to ensure no adverse impact on a European Protected Species in accordance with Policy GI3 of the Carlisle District Local Plan 2015-2030.

31. Prior to the commencement of each phase of the development (Demolition, Phase 1 and Phase 2), a detailed Landscape and Ecological Management Plan for the relevant phase shall be submitted to and approved by the local planning authority. Each detailed Landscape and Ecological Management Plan shall include mitigation, compensation and enhancement measures, and the Management Plan shall be in accordance with the principles set out within the submitted Biodiversity Net Gain Assessment (carried out by Urban Green, received on 29 Mar 2022). The development shall be implemented in accordance with the approved details unless otherwise approved in writing by the local planning authority.

Reason: To protect habitats of importance to biodiversity conservation from any loss or damage in accordance with Policy GI3 of the

Carlisle District Local Plan 2015-2030.

32. Prior to the commencement of each Phase of the development (Phase 1 and Phase 2) (excluding demolition), details of measures, to prevent birds from nesting/roosting on the roofs or facades of the buildings, for the relevant phase shall be submitted to and approved in writing with the Local Planning Authority.

Reason: In the interests and amenities of users of the building, nearby residential and business premises in accordance with Policy SP6 of the Carlisle District Local Plan 2015-30.

33. Within 6 months of the development hereby approved being brought into first use, an updated Servicing Strategy including details of the provision of external litter bins; their specifications and planned emptying frequencies, shall be submitted to, and approved in writing by, the Local Planning Authority. Thereafter the development shall be operated in accordance with the approved details.

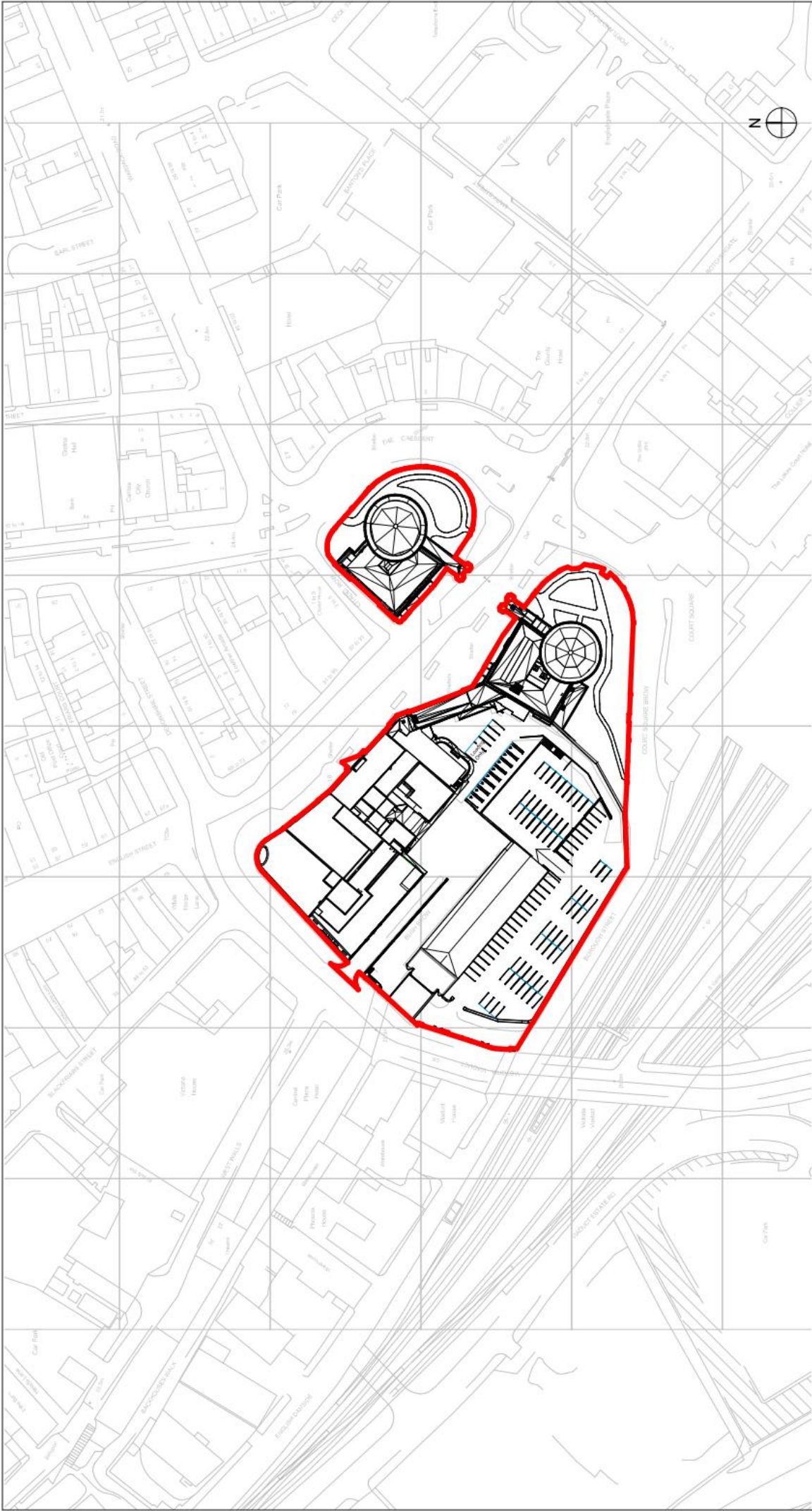
Reason: To ensure that adequate means of litter management is provided in accordance with policy IP5 and SP6 of the Carlisle District Local Plan 2015-2030.

34. No development approved by this planning permission shall commence until a remediation strategy to deal with the risks associated with contamination of the site in respect of the development hereby permitted, has been submitted to, and approved in writing by, the local planning authority. This strategy will include the following components:

1. A site investigation scheme, based on the desk study to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off-site.
2. The results of the site investigation and the detailed risk assessment referred to in (1) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
3. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (2) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the written consent of the local planning authority. The scheme shall be implemented as approved.

Reason To ensure that the development does not contribute to and is not put at unacceptable risk from or adversely affected by, unacceptable levels of water pollution in line with paragraph 170 of the National Planning Policy Framework and Policy CM5 of the Carlisle District Local Plan 2015-2030.



Location Plan Planning
1:1250



GENERAL NOTES

- DAY Architectural Ltd accepts no responsibility for any costs, losses or claims whatsoever arising from these drawings, specifications and related documents unless there is full compliance with the Client or any authorised user of the following:
1. All dimensions, elevations and levels are to be checked on site before construction and any discrepancies reported to the Architect / Designer, prior to the implementation of the design.
 2. Partial Services: Any discrepancies with site or other information is to be advised to the Architect / Designer and direction as to be given prior to the implementation of the design.
 3. Block and site plans are reproduced under license from the Ordnance Survey.
 4. For the purpose of coordination, all relevant parties must check this information prior to implementation and report any discrepancies to the Architect / Designer.

CLIENT
University of Cumbria
PROJECT
The Citadel

DRAWING
Location Plan
SCALE
1:1250 @ A3

PROJECT	DRAWN BY	CHECKED BY	PRINT DATE
1248-21	SL	NE	12/02/21
ORIGINATOR	VOLUME	LEVEL	TYPE
DAY	XX	XX	DR
DRAWING STATUS	NUMBER	REVISION	
PLANNING	04-0100		

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CHKD BY

DATE

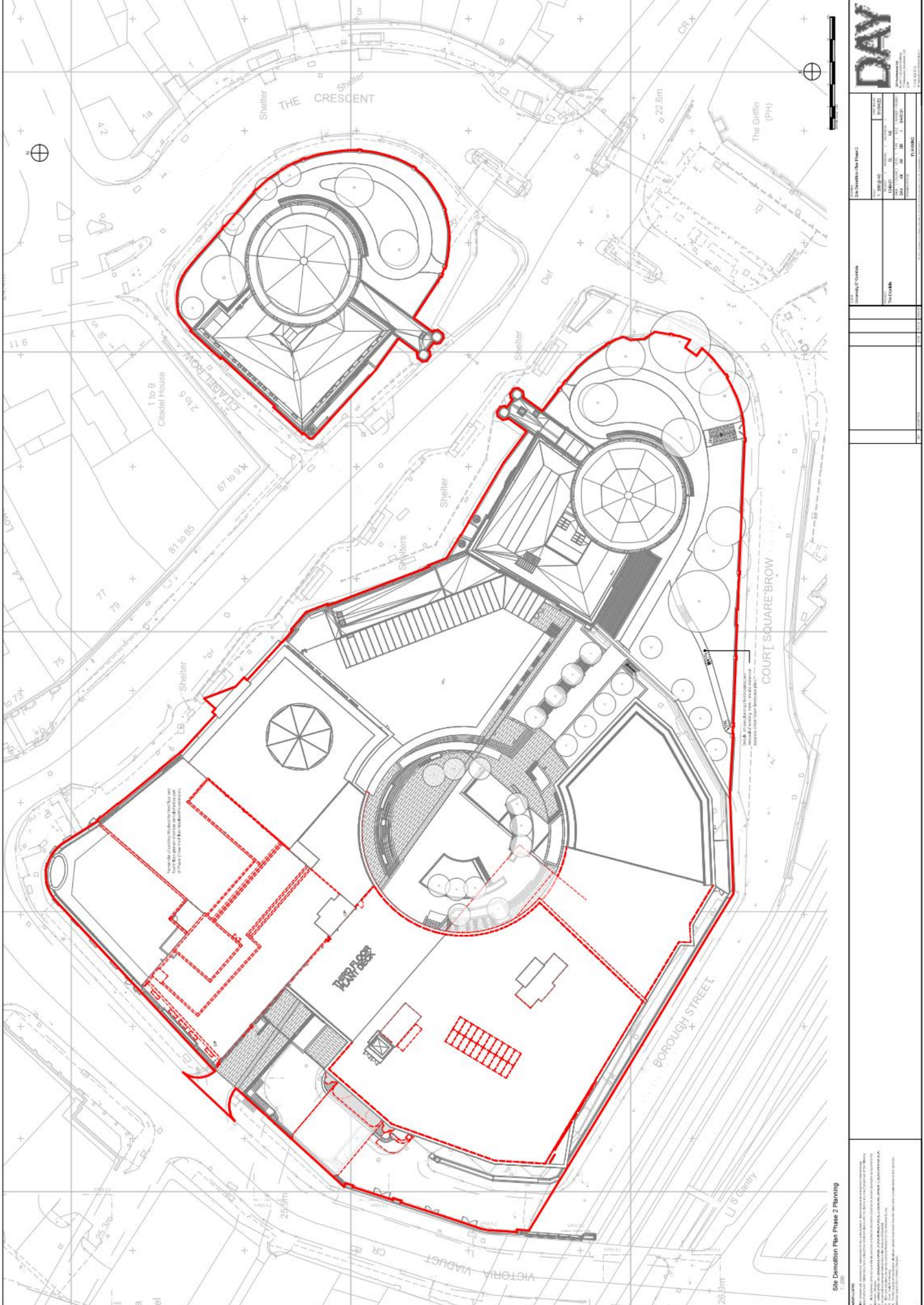
REV BY

DESCRIPTION

REV

DAY

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W: www.day-architect.com



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Tel: 780 441 1000
Fax: 780 441 1001
Email: info@dayarchitects.com
Website: www.dayarchitects.com

Site Demolition Plan Phase 2	
Client	City of Edmonton
Project No.	10000 100th Ave
Project Name	10000 100th Ave
Project Address	10000 100th Ave
Project City	Edmonton
Project State	Alberta
Project Country	Canada
Project Date	2023-10-10
Project Status	Planning

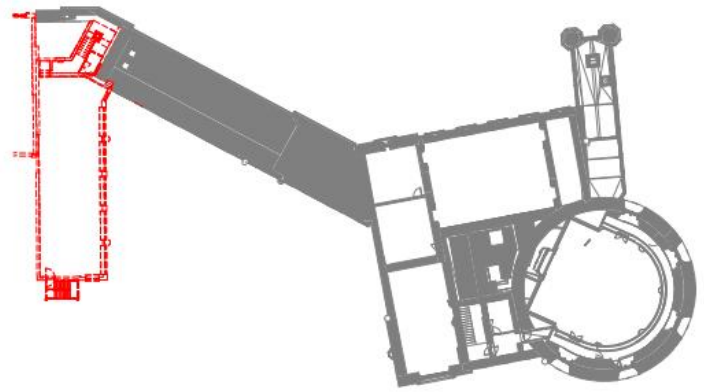
Site Demolition Plan Phase 2

1:200

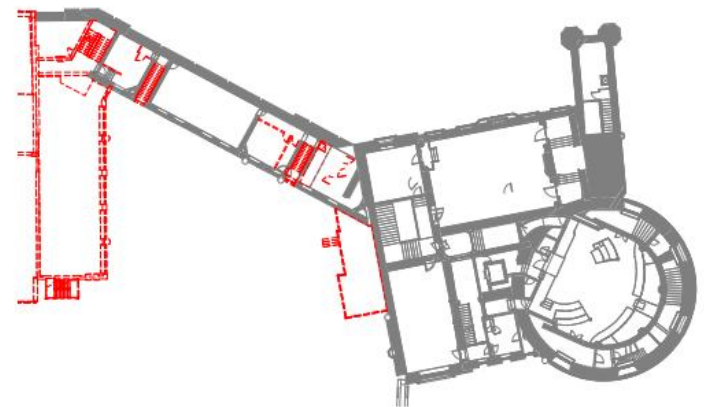
Site Demolition Plan Phase 2

1:200

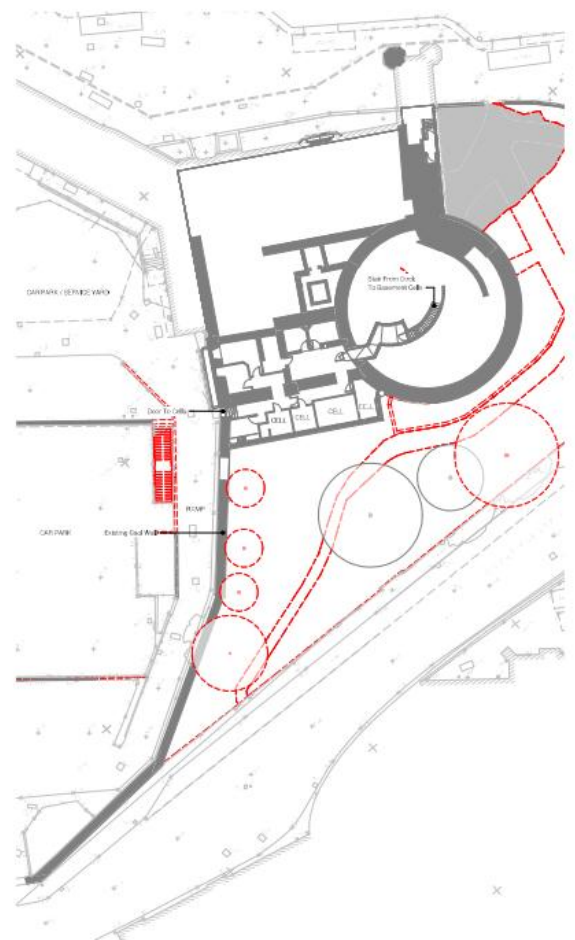
NOTES:
1. This plan shows the proposed demolition of the existing building and the construction of the new building.
2. The demolition of the existing building is shown in red.
3. The construction of the new building is shown in black.
4. The site plan is based on the existing site plan and the proposed demolition and construction.
5. The site plan is subject to the approval of the City of Edmonton.



Crown Court Level 4 - Second Floor Demolition Planning
1/200

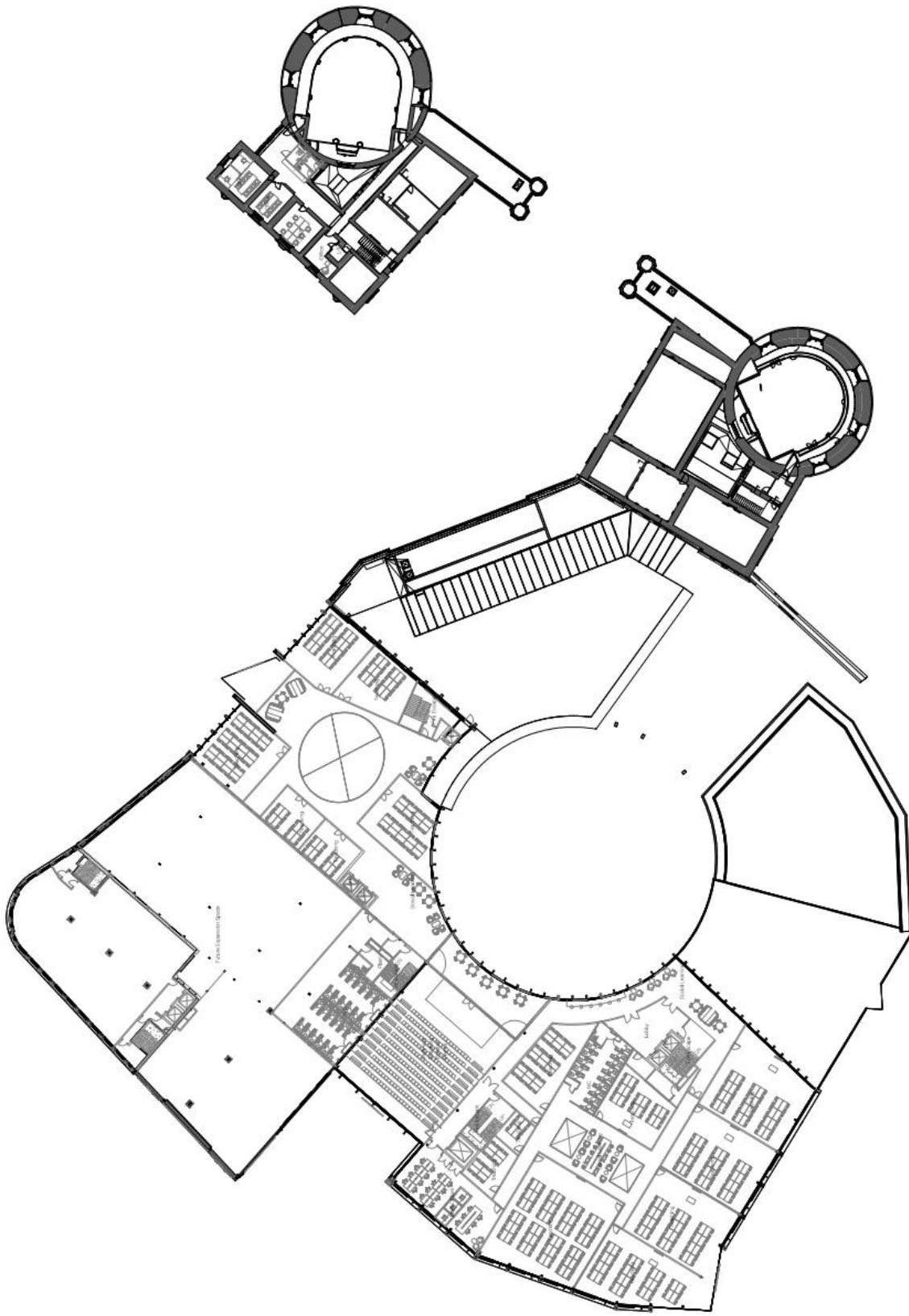


Crown Court Level 2 - Upper First Floor Demolition Planning
1/200



Crown Court Level -1 - Basement Demolition: Planning
1 | 200

[illegible]



Level 2 GA Plan - Second Floor Proposed Phase 1 - Underlay

11/200

NOTES:
1. All dimensions are in millimeters unless otherwise stated.
2. All dimensions are to the centerline of the wall unless otherwise stated.
3. All dimensions are to the centerline of the column unless otherwise stated.
4. All dimensions are to the centerline of the beam unless otherwise stated.
5. All dimensions are to the centerline of the slab unless otherwise stated.
6. All dimensions are to the centerline of the staircase unless otherwise stated.
7. All dimensions are to the centerline of the ramp unless otherwise stated.
8. All dimensions are to the centerline of the lift unless otherwise stated.
9. All dimensions are to the centerline of the elevator unless otherwise stated.
10. All dimensions are to the centerline of the escalator unless otherwise stated.

Project Name		Project Number		Project Date	
Client Name		Client Address		Client Contact	
Architect Name		Architect Address		Architect Contact	
Structural Engineer Name		Structural Engineer Address		Structural Engineer Contact	
Mechanical Engineer Name		Mechanical Engineer Address		Mechanical Engineer Contact	
Electrical Engineer Name		Electrical Engineer Address		Electrical Engineer Contact	
Civil Engineer Name		Civil Engineer Address		Civil Engineer Contact	
Landscape Architect Name		Landscape Architect Address		Landscape Architect Contact	
Interior Designer Name		Interior Designer Address		Interior Designer Contact	
Project Manager Name		Project Manager Address		Project Manager Contact	
Project Status		Project Budget		Project Completion Date	

[illegible]

NAME	NORIN 40		DATE	12/11/21
DOB	12/24/91	SSN	65	
DOB	06	01	08	040717

DATE	TIME	STATION	OFFICER	REMARKS
06-07-80	1900 @ 40	14-027	GA	NF
		14-021	GA	NF
		DAY	KC	DS DS
				Q-0317
FLACONING				

[illegible]

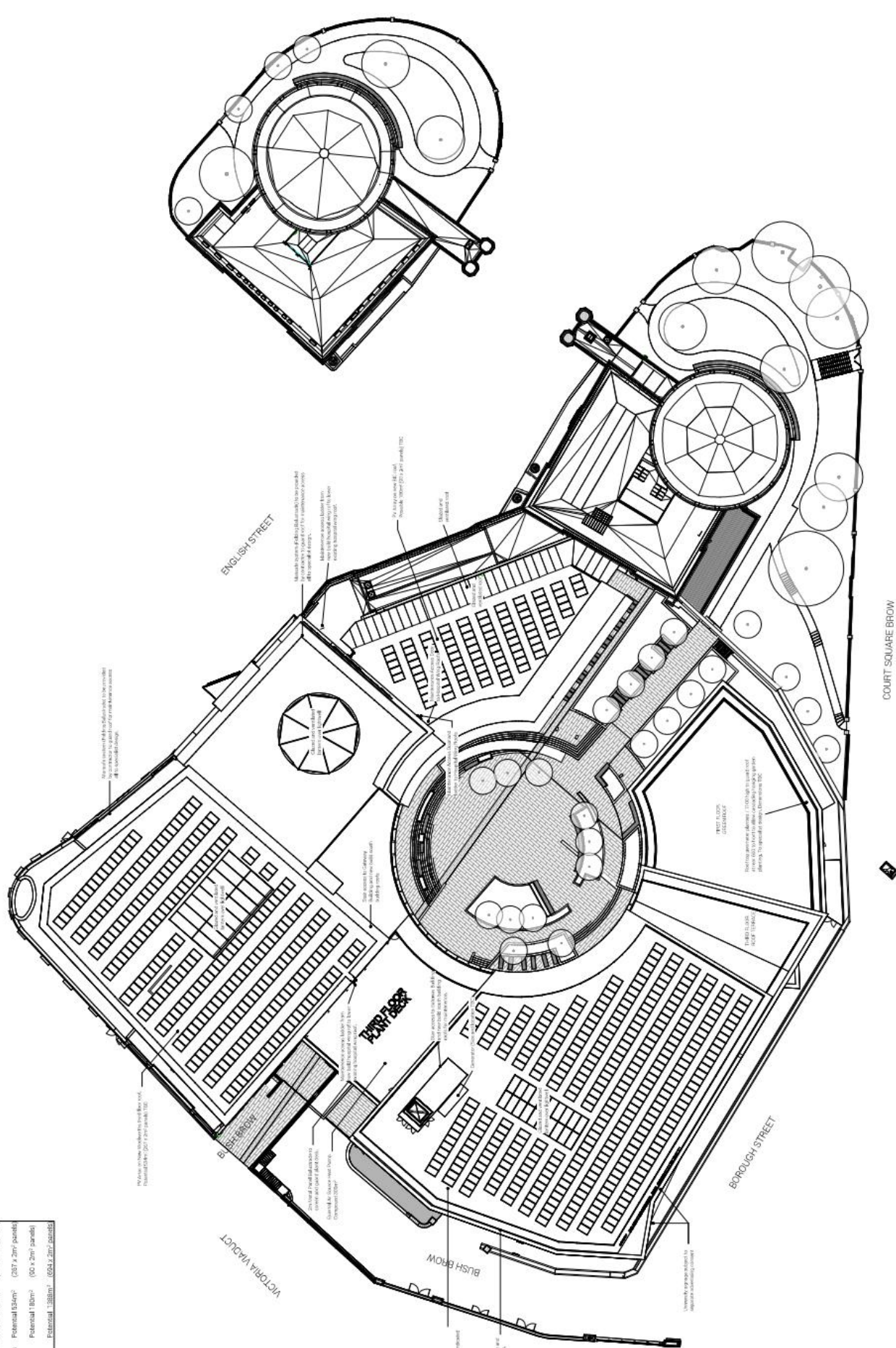
New Bulk Southern Block	Potential 556m ²	(278 x 2m ² panels)
Existing Woodworth's Roofs	Potential 624m ²	(312 x 2m ² panels)
New BIC Roof	Potential 180m ²	(90 x 2m ² panels)
254	Potential 13950m ²	(698 x 2m ² panels)



2002

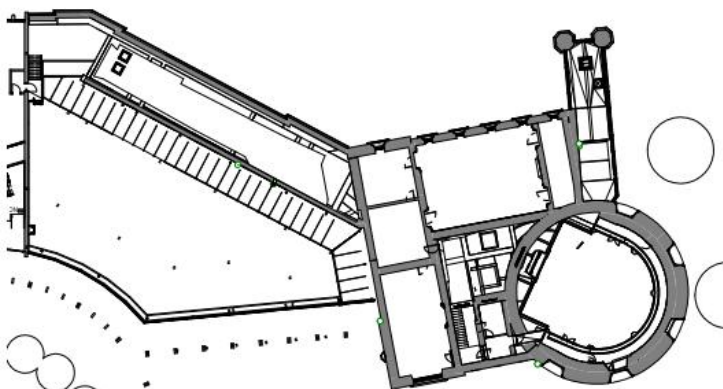
[illegible]

PHASE 2 - POTENTIAL PV ARRAY CAPACITY		
New Build Southern Block	Potential 574m ²	(337 x 2m) ² panels
Existing Woolworths Roofs	Potential 534m ²	(267 x 2m) ² panels
New BIC Roof	Potential 180m ²	(90 x 2m) ² panels
Total	Potential 1288m ²	(694 x 2m) ² panels

GA Plan - Roof Plan Proposed Phase 2 Planning
10/0/00

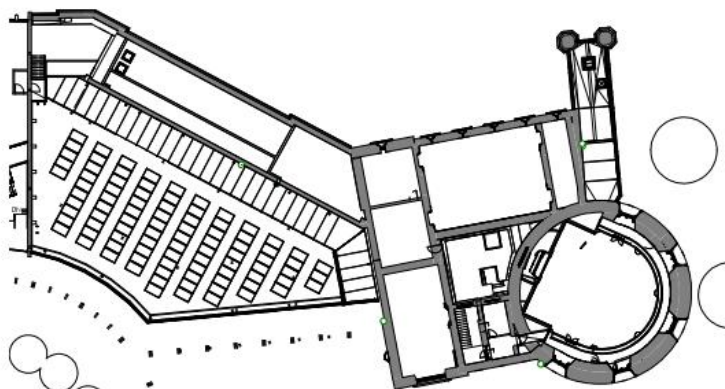
CONCLUSIONS

[illegible]



Crown Court Level 3 GA Plan - Court Mezzanine Proposed Phase 1 Planning

1:200



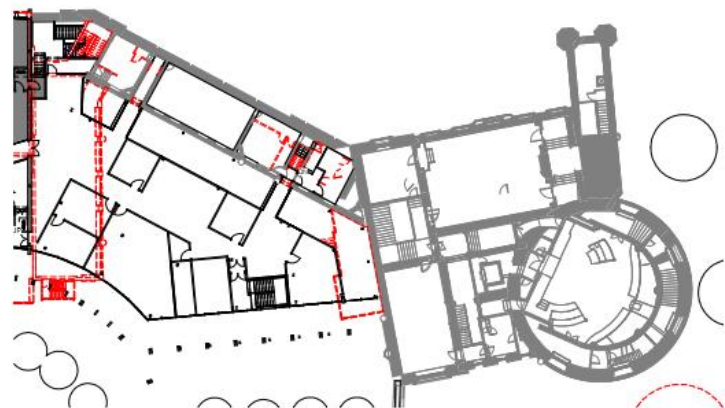
Crown Court Level 4 GA Plan - Second Floor Proposed Phase 1 Planning

1:200



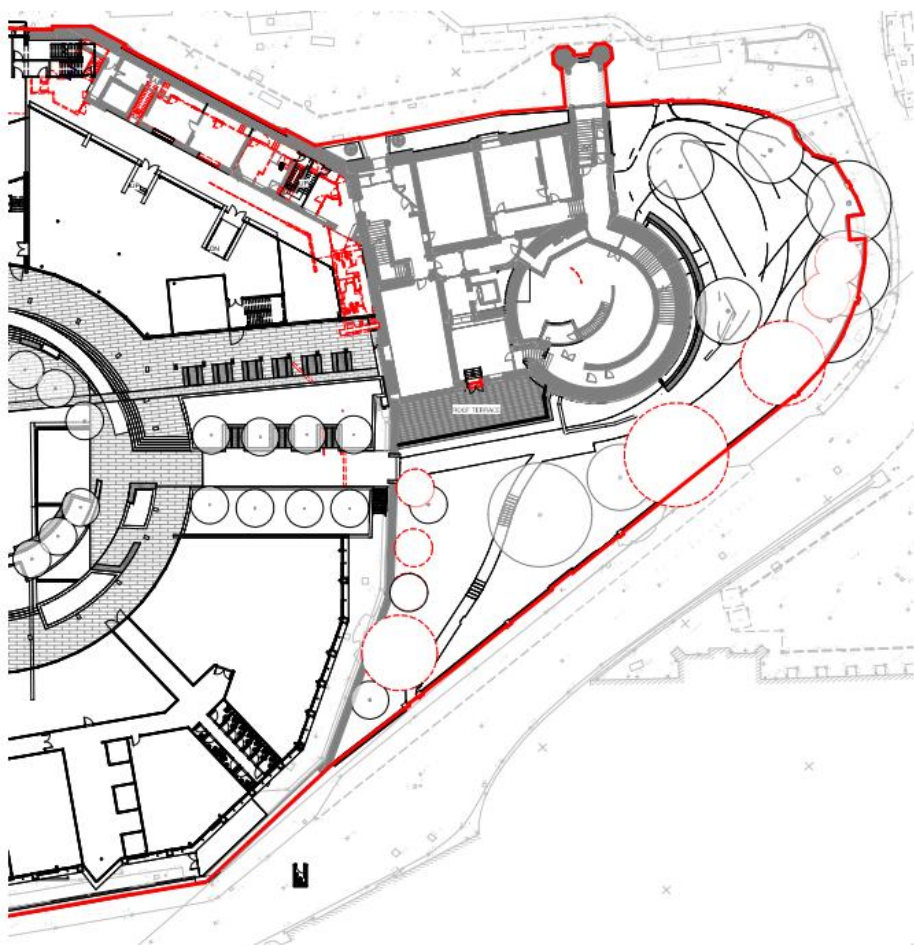
Crown Court Level 1 GA Plan - Lower First Floor Proposed Phase 1 Planning

1:200



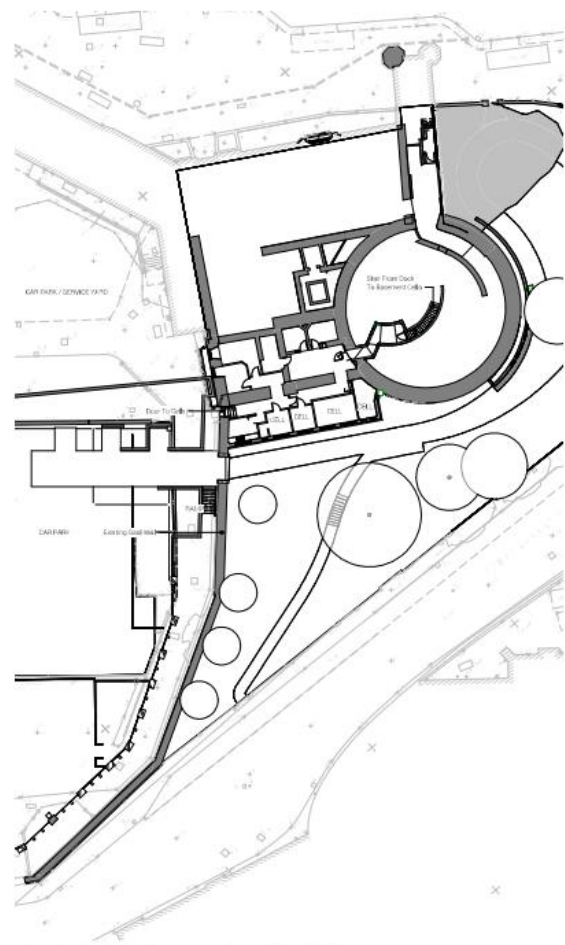
Crown Court Level 2 GA Plan - Upper First Floor Proposed Phase 1 Planning

1:200



Court Level 0 GA Plan - Ground Floor Proposed Phase 1 Planning

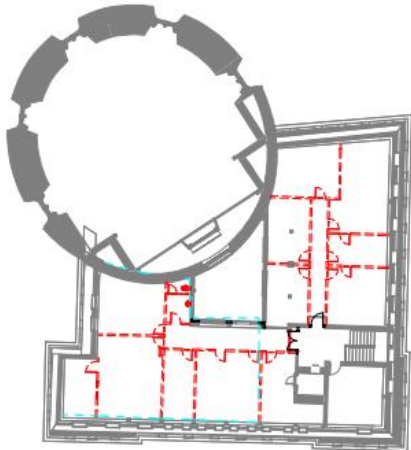
1:200



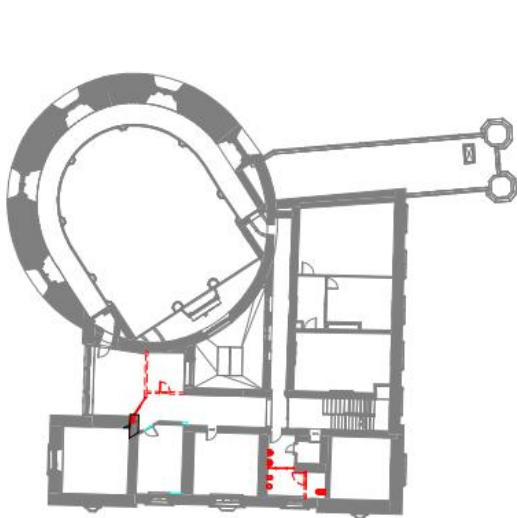
Crown Court Level -1 GA Plan - Basement Proposed Phase 1 Planning

1:200

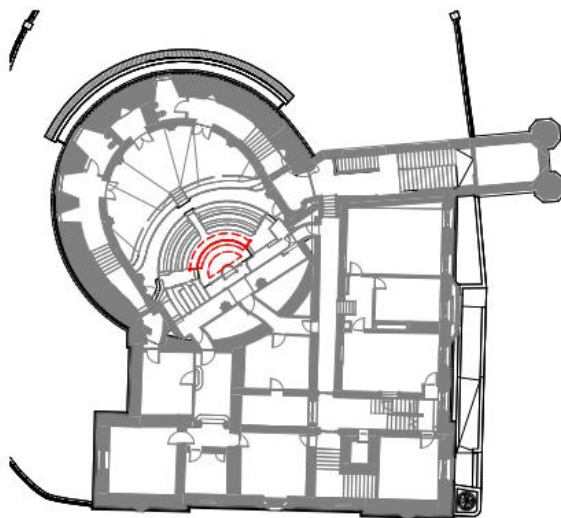
<p>DISCLAIMER</p> <p>This document contains confidential information. It is not to be distributed or used for any purpose other than that for which it was prepared. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information is not intended to be used as a basis for investment decisions. The information is not intended to be used as a basis for investment decisions. The information is not intended to be used as a basis for investment decisions.</p>										<p>University Of Cambridge</p>		<p>Students</p> <p>Cambridge Hospital Wing and Crown Court Building</p> <p>Physical Phase 1</p>		<p>DAY</p> <p>DAY Architecture</p> <p>DAY Architecture</p> <p>DAY Architecture</p>	
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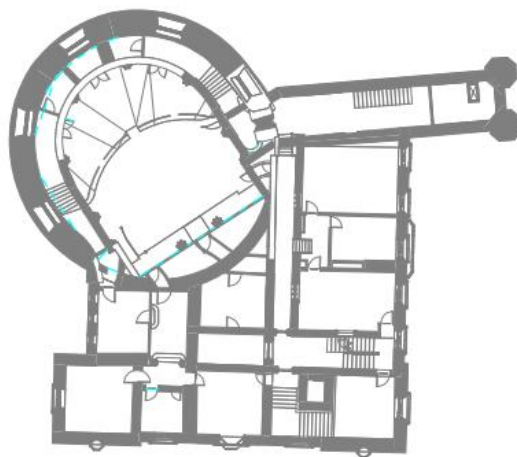
Nisi Prius Level 4 GA Plan - Third Floor Proposed Phase 1 Planning
1 : 200



Nisi Prius Level 3 GA Plan - Second Floor Proposed Phase 1 Planning
1 : 200



Nisi Prius Level 1 GA Plan - Lower First Floor Proposed Phase 1 Planning
1 : 200



Nisi Prius Level 2 GA Plan - Upper First Floor Proposed Phase 1 Planning
1:200



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P15	10/06/22	BUSH BROWN RAMP ADDED	KT	5A
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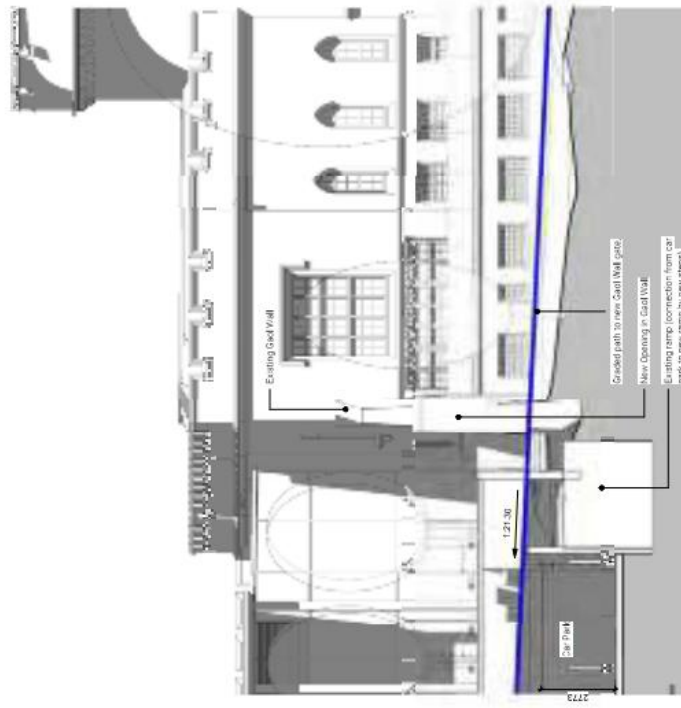
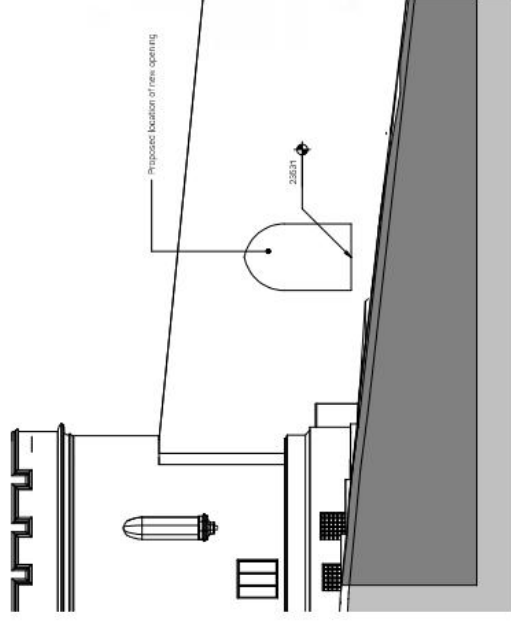
PO9	22/02/22	LAYOUT UPDATED	SA	MT
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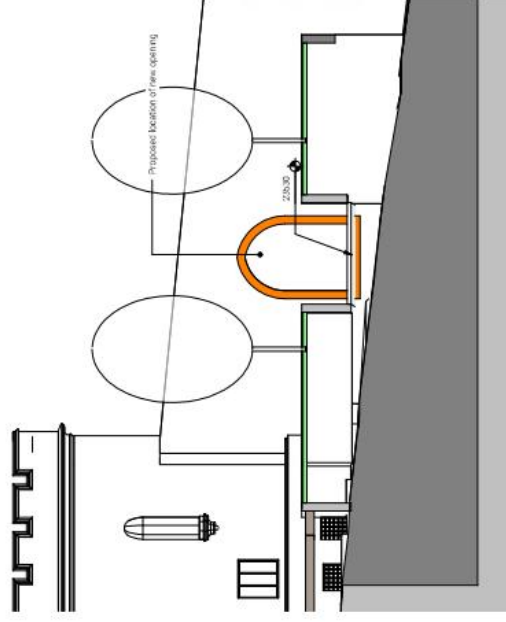
David Gifford Gifford Farm, 11000 Hwy.
Manchester M3 7BF

OF CUMBRIAARRANGEMENT PLAN

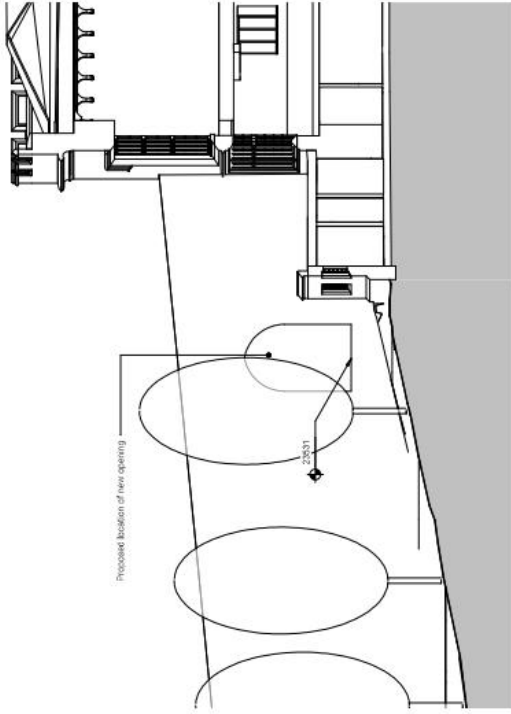
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Section 12 Gaol Wall To Victoria Viaduct Proposed Planning
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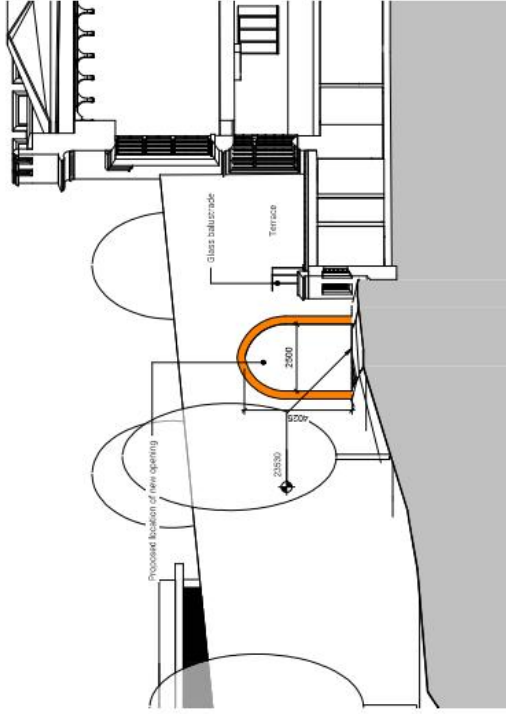
Elevation Gaol Wall Opening Plaza Side - Proposed Planning
1 : 100



Elevation Gao Wall Opening Plaza Side - Proposed Planning 2
1 : 100



Elevation Gaol Wall Opening Gardens Side - Existing Planning
1:100



Elevation Gao Wall Opening Gardens Side - Proposed Planning
1 : 100