

Development Control Committee Main Schedule

Schedule of Applications for
Planning Permission

8th March 2013

Applications Entered on Development Control Committee Schedule

Item No.	Application Number/ Schedule	Location	Case Officer	Page No.
01.	<u>12/0835</u> A	Rickerby Cottage, Rickerby Park, Carlisle, CA3 9AA	<u>SD</u>	1
02.	<u>12/0836</u> A	Rickerby Cottage, Rickerby Park, Carlisle, CA3 9AA	<u>SD</u>	26
03.	<u>12/0610</u> A	Land at Hadrian's Camp, Houghton Road, Houghton, Carlisle, Cumbria, CA3 0LG	<u>ARH</u>	33
04.	<u>12/0710</u> A	Land to the Rear of Scotby Green Steading, Scotby, Carlisle	<u>SE</u>	78
05.	<u>12/0790</u> A	Land at Broomfallen Road, Scotby, CA4 8DE	<u>RJM</u>	140
06.	<u>12/0953</u> A	Irthing Centre, Union Lane, Brampton, CA8 1BX	<u>SD</u>	179
07.	<u>12/1040</u> A	174 - 204 Borland Avenue, Botcherby, Carlisle, Cumbria, CA1 2TJ	<u>RJM</u>	206
08.	<u>12/1041</u> A	174 - 204 Borland Avenue, Botcherby, Carlisle, Cumbria, CA1 2TJ	<u>RJM</u>	230
09.	<u>12/0900</u> A	St Edmunds Social Centre, Newlaithes Avenue, Morton, Carlisle	<u>SD</u>	238
10.	<u>12/0856</u> A	Land adjacent to Beech Cottage, Cumwhinton, Carlisle, CA4 8DL	<u>SE</u>	251
11.	<u>12/0447</u> A	Land To Rear 10 Longtown Road, Brampton, CA8 1SJ	<u>ST</u>	275
12.	<u>12/0845</u> A	Greenfield Farm, The Green, Houghton, Carlisle, CA3 0LP	<u>ST</u>	280
13.	<u>13/0034</u> A	Part OS Field No.0770, Castle Carrock, Cumbria	<u>SD</u>	288
14.	<u>12/0970</u> A	Land to the rear of Park House, Parkett Hill, Scotby, Carlisle, CA4 8BZ	<u>ST</u>	298
15.	<u>12/1014</u> A	Land adjacent North End, Burgh by Sands, Carlisle, CA5 6BD	<u>ST</u>	313

Date of Committee: 08/03/2013

Applications Entered on Development Control Committee Schedule

Item No.	Application Number/ Schedule	Location	Case Officer	Page No.
16.	<u>12/0983</u> A	The Weary Inn and Restaurant, Castle Carrock, Brampton, CA8 9LU	<u>SD</u>	325
17.	<u>13/0030</u> A	Atchin Tan, Low Harker, Carlisle, CA6 2DD	<u>ARH</u>	347
18.	<u>12/1052</u> A	Caldew Bridge And Land Adjacent Caldew Bridge, Carlisle	<u>SD</u>	355
19.	<u>13/0063</u> A	18 Eden Place, Stanwix, Carlisle, Cumbria, CA3 9JH	<u>RJM</u>	372
20.	<u>13/0064</u> A	18 Eden Place, Stanwix, Carlisle, Cumbria, CA3 9JH	<u>RJM</u>	385
21.	<u>12/1051</u> A	1 Inglewood Road, Carlisle, Cumbria, CA2 6JH	<u>SD</u>	391
22.	<u>12/9018</u> C	New Water River, East of Cumrew Fell, Cumrew, Heads Nook, Brampton	<u>SE</u>	401
23.	<u>13/9004</u> C	Inglewood Junior School, Arnside Road, Carlisle, CA1 3QA	<u>BP</u>	410
24.	<u>12/0438</u> C	57 Kingstown Road, Carlisle, Cumbria, CA3 0AB	<u>ST</u>	415
25.	<u>10/1116</u> D	Carlisle Lake District Airport, Carlisle, Cumbria CA6 4NW	<u>ARH</u>	418

The Schedule of Applications

This schedule is set out in five parts:

SCHEDULE A - contains full reports on each application proposal and concludes with a recommendation to the Development Control Committee to assist in the formal determination of the proposal or, in certain cases, to assist Members to formulate the City Council's observations on particular kinds of planning submissions. In common with applications contained in Schedule B, where a verbal recommendation is made to the Committee, Officer recommendations are made, and the Committee's decisions must be based upon, the provisions of the Development Plan in accordance with S54A of the Town and Country Planning Act 1990 unless material considerations indicate otherwise. To assist in reaching a decision on each planning proposal the Committee has regard to:-

- relevant planning policy advice contained in Government Circulars, National Planning Policy Guidance Notes, Development Control Policy Notes and other Statements of Ministerial Policy;
- the adopted provisions of the North West of England and Cumbria and Lake District Joint Structure Plan to 2021 and Cumbria and Lake District Joint Structure Plan;
- the City Council's own statement of approved local planning policies including the Carlisle District Local Plan;
- established case law and the decisions on comparable planning proposals
- including relevant Planning Appeals.

SCHEDULE B - comprises applications for which a full report and recommendation on the proposal is not able to be made when the Schedule is compiled due to the need for further details relating to the proposal or the absence of essential consultation responses or where revisions to the proposal are awaited from the applicant. As the outstanding information and/or amendment is expected to be received prior to the Committee meeting, Officers anticipate being able to make an additional verbal report and recommendations.

SCHEDULE C - provides details of the decisions taken by other authorities in respect of those applications determined by that Authority and upon which this Council has previously made observations.

SCHEDULE D - reports upon applications which have been previously deferred by the Development Control Committee with authority given to Officers to undertake specific action on the proposal, for example the attainment of a legal agreement or to await the completion of consultation responses prior to the issue of a Decision Notice. The Reports confirm these actions and formally record the decision taken by the City Council upon the relevant proposals. Copies of the Decision Notices follow reports, where applicable.

SCHEDULE E - is for information and provides details of those applications which have been determined under powers delegated by the City Council since the previous Committee meeting.

The officer recommendations made in respect of applications included in the Schedule are intended to focus debate and discussions on the planning issues engendered and to guide Members to a decision based on the relevant planning considerations. The recommendations should not therefore be interpreted as an intention to restrict the Committee's discretion to attach greater weight to any planning issue when formulating their decision or observations on a proposal.

If you are in doubt about any of the information or background material referred to in the Schedule you should contact the Development Management Team of the Planning Services section of the Economic Development Directorate.

This Schedule of Applications contains reports produced by the Department up to the 22/02/2013 and related supporting information or representations received up to the Schedule's printing and compilation prior to despatch to the Members of the Development Control Committee on the 27/02/2013.

Any relevant correspondence or further information received subsequent to the printing of this document will be incorporated in a Supplementary Schedule which will be distributed to Members of the Committee 5 working days prior to the day of the meeting.

SCHEDULE A

SCHEDULE A

SCHEDULE A: Applications with Recommendation

12/0835

Item No: 01

Date of Committee: 08/03/2013

Appn Ref No:
12/0835

Applicant:
Daniel Ferguson & Rachel
Salmon

Parish:
Stanwix Rural

Date of Receipt:
08/10/2012

Agent:
RCA Interiors Limited

Ward:
Stanwix Rural

Location:

Rickerby Cottage, Rickerby Park, Carlisle, CA3 9AA

Proposal: Change Of Use Of Part Of A Residential Property Including Part Demolition And Rebuilding. Upgrade Of The Existing Swimming Pool Complex To Form A Spa Facility, Licensed Cafe And Restaurant, Along With Associated Parking And Amenity Space

REPORT

Case Officer: Stephen Daniel

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Proposal Is Acceptable In Principle
- 2.2 Whether The Scale & Design Would Be Acceptable
- 2.3 Impact On The Rickerby Conservation Area
- 2.4 Impact On The Living Conditions Of The Occupiers Of Neighbouring Properties
- 2.5 Highway Issues
- 2.6 Impact on Trees
- 2.7 Flood Risk Issues
- 2.8 Other Matters

3. Application Details

Update

- 3.1 Members will recall that this application was deferred at the last committee so that a site visit could be undertaken.
- 3.2 The application was withdrawn from discussion at the meeting of the Development Control Committee in December 2012, following highway concerns about the use of the existing access. A revised application was then submitted which proposed the creation of a new access, 80m to the west of the existing access. Two letters of objection (which are summarised in Para 4.7) and one letter of support (which is summarised in Para 4.8) have been received to the revised application. The Friends of Rickerby Park has also sent in a further letter of objection, the details of which can be found in Para 4.9. The Environment Agency and County Highways have responded to the new issues raised in these objections and their responses can be found in Paras 6.15 and 6.12 respectively.

The Site

- 3.3 Rickerby Cottage is a substantial two-storey dwelling, which sits in extensive grounds and lies within the Rickerby Conservation Area. A large swimming pool, which measures 17.5m in length by 9.5m in width, and which has a hipped roof, has been erected adjacent to the dwelling. The building contains a swimming pool, a Jacuzzi, a sauna and showers and has been let out as a private swimming pool for over ten years.
- 3.4 A two-storey brick building lies to the front of the swimming pool and is attached to the dwelling. The ground floor of this building contains changing rooms and a lounge that are linked to the swimming pool. A yard lies to the front of this building, which contains some outbuildings, and which is enclosed by a 3.6m high wall. The upper floor of this building is currently unused.
- 3.5 The property has a large front garden, which contains a number of mature trees and an area of hardstanding to the front of the main dwelling. A very large garden is located to the rear of the property, which adjoins Rickerby Park to the west and residential dwellings to the east.
- 3.6 The road that runs through Rickerby Park, that links Brampton Road to Linstock, runs to the front of the dwelling and is adjoined by Hadrian's Wall Path and Hadrian's Cycle Route.
- 3.7 Rickerby House, which is a listed building, and the residential dwellings in Rickerby Gardens, lie to the rear of the application site. Rickerby Lodge adjoins the site to the east and this dwelling directly faces Rickerby Cottage. The garage of Rickerby Lodge, which lies in close proximity to the front garden of Rickerby Cottage, is currently the subject of a planning application to convert it into a dwelling.

Background

- 3.8 The application as originally submitted contained 162 covers in the cafe/restaurant (82 inside and 80 outside) and 12 camping pods, which would have been sited in the rear garden of the property. The revised plans remove the camping pods and remove any reference to the number of

covers, which can be restricted by condition.

- 3.9 Further revised plans have been received which seek to create a new access to the property. County Highways has objected to the use of the existing access due to inadequate visibility. This cannot be improved, as the adjacent hedge, which would need to be removed to improve visibility, is not in the applicant's ownership.

The Proposal

- 3.10 The proposal is seeking to demolish the existing two-storey building, that lies to the front of the swimming pool, and to replace it with a new two-storey building which would sit on the footprint of the existing building and the yard area to the front. This would be constructed of brick and slate and would incorporate a chimney to match those on the main dwelling. A new two-storey glazed entrance would be created to the front of this, which would contain a reception area, a staircase and a lift, which would provide access to the first floor. This would be flanked by single-storey flat roof extensions, which would contain toilets and treatment rooms. The rear section of the ground floor would contain changing rooms and a small gym, which would measure 5.6m by 3.2m. A rendered section, with a glazed roof and a lower ridge height, would connect the new extension with the dwelling.
- 3.11 A new flat roof would be added to the swimming pool and a glazed conservatory would project out 3.5m onto part of this. The conservatory would link to the upper floor of the new two-storey building and this area would contain a cafe/ restaurant. The east elevation of the conservatory would be obscure glazed to ensure that there is no overlooking of Rickerby Lodge, which lies to the east. There would be no access to the swimming pool roof, which would only be used to provide access to a fire escape, which would be attached to the east elevation of the swimming pool building.
- 3.12 It is anticipated that the cafe/ restaurant would be used during the day by people visiting Rickerby Park, people walking the Hadrian's Wall Path, visitors to the leisure facilities and local residents. In the evening, the restaurant would undoubtedly attract some dining customers.
- 3.13 The swimming pool would be refurbished and would include a swimming pool, steam room, sauna and gym. The leisure facilities would be booked in advance, with bookings allowing a maximum of 12 visitors at any one time (6 in the swimming pool and 6 in the gym/ treatment rooms). Historically, visitors to the swimming pool have booked the whole pool and this would be encouraged.
- 3.14 The applicant wants to open the leisure facilities from 6.30am to 9.00pm and the cafe and restaurant from 10.00am, with last orders being taken at 9.30pm. Deliveries would be limited to between 9.30am and 11.45am and 2.00pm and 4.45pm, with staff available to direct deliveries and assist with unloading.
- 3.15 The scheme includes the provision of 25 car parking spaces (including two for staff and two for disabled persons), three motorcycle spaces and four

cycle spaces. Twelve of these spaces would be provided to the east of the cafe/ restaurant, with eleven spaces being provided to the rear of these, adjacent to the swimming pool. The two staff car parking spaces would be provided to the west of the glazed entrance. Additional staff parking would also be available on the existing hardstanding to the front of the main dwelling.

- 3.16 The car park would be served by a new access, which would be created approximately 80m to the west of the existing access. It would be 5.5m in width, with a 1.2m wide footway along its western edge and would run to the front of the property. The new access, which would require the removal of some trees, would be constructed using a 'no-dig' system, which is designed to protect the trees that are to be retained. The existing access would only be used to provide a right of way to the adjacent property (Rickerby Lodge) and would not be used to serve the development.
- 3.17 The Transport Statement that accompanies the application states that on average the leisure element would generate one trip arriving during the morning weekday peak period (8am to 9am) and two trips arriving and one trip departing during the evening peak (5pm to 6pm). The busiest time for the restaurant would be between 7pm and 8pm, when three vehicles would arrive and three would depart.
- 3.18 The existing footpath to the front of the site, which is on the Hadrian's Wall Path and the Hadrian's Cycle Route, is currently separated from the adjacent road by a fence. The proposals are to make a gap in the fence, opposite the proposed new access, to provide pedestrian and cycle access to the proposed development.
- 3.19 New hedging and landscaping would be provided to the front and rear of the car park, adjacent to the new access and the existing access and along the rear boundary of the property. A 2m wall would be erected between the front gardens of Rickerby Cottage and Rickerby Lodge.
- 3.20 The applicant would reside at the property and oversee the business, along with a management team, and this would help to control noise, opening and closing hours and deliveries.

4. Summary of Representations

- 4.1 This application has been advertised by means of site and press notices as well as notification letters sent to twenty-two neighbouring properties. Fifteen letters of objection (including one from the Friends of Rickerby Park), thirteen letters of support and one comment have been received in response to the original plans submitted.
- 4.2 The letters of objections make the following points:
- The primary motivation for the development seems to be to cater for the walkers along Hadrian's Wall. Cannot see the justification for a huge restaurant with a seating capacity of 160 people unless it is to attract the

majority of customers from the greater Carlisle area. The impact of such a large restaurant in the middle of a quiet residential area would be unacceptable;

- There are certainly not enough walkers to support a restaurant of the size proposed;
- There are no public transport facilities in the area and the proposal would rely heavily on access by the private car. A3, A4 & A5 uses should be sited in accessible locations, within or adjacent to existing centres in line with the sequential approach. Such developments in town centres have a positive effect by introducing variety but they have the potential to cause significant disturbance to surrounding residential properties;
- What is the need to have the restaurant open until 12.00 midnight? The noise factor from people and traffic, particularly over weekends, would be unacceptable;
- The proposal will lead to a huge increase in traffic on a road that was not designed for such a use and this will lead to more accidents;
- The road that links Linstock to Brampton Road is single track going over the bridge into Rickerby Park. The road is very narrow in the park itself and not at all suitable for the number of vehicles that would need to access Rickerby Cottage should the development go ahead.
- Before the start of the Hadrian's Wall Path/Cycleway, cyclists and pedestrians often travel along the road. The road also gets narrow from the village of Rickerby to the site of Rickerby Cottage;
- The road system from Brampton Road through Rickerby Park and from Linstock to Rickerby Park has been the subject of discussion with the Council for some time, both from the maintenance point of view and its suitability. This added traffic volume would aggravate the already potentially dangerous situation;
- The access to Rickerby Cottage is on a "blind" corner which already presents another dangerous situation - this would need to be improved;
- Visibility from the existing access is limited. Providing adequate visibility to the east would involve alterations to the existing hedge and trees along the frontage, which are outside the application site. The neighbour who owns this land would not allow these to be reduced in height/ removed;
- Off road driving (yob behaviour) in the Park is already an issue and could well escalate given the late opening hours of the restaurant, coupled with alcohol;
- When the park floods, cars will have to go via Linstock, which would disturb this quiet village;
- The road is not suitable for large delivery vehicles;
- The use would generate a need for 90 car parking spaces, but only 18 are being provided;

- Lack of parking spaces will lead to cars parking in Rickerby Gardens and on surrounding land, including grass areas within the park, which will cut up and destroy the land;
- The developments users may be inclined to park in Rickerby Park itself, potentially significantly reducing car parking for the Parks leisure users;
- The proposal would have an adverse impact on the Rickerby Conservation Area - the extra traffic movements and providing substantial car parking would not preserve or enhance the Conservation Area. The camping pods would detract from the Conservation Area;
- With the potential of having 160 diners, one has to bring into question the added security risk to residents given that alcohol could be served until 12.00 midnight;
- The application calls for 12 Camping Pods to accommodate Hadrian's Wall walkers. Given the number of walkers on any given day this appears to be excessive and to make up the numbers the proposal would have to attract campers from a broader audience;
- It is understood that the location for the Camping Pods is in the vicinity of the swimming pool. Rickerby Cottage's land extends upstream along Brunstock Beck/Eden River and as such borders along Rickerby Gardens and in particular Rickerby Court. If this land were to be utilised for Camping Pods and/or tents they would be within metres of residential properties and therefore totally unacceptable;
- Concerned the site could develop into a general camping site and greatly increase in size;
- Residential properties back onto the site and the noise and lighting from the camping pods could adversely affect people in these dwellings;
- The camping pods would increase the security risks to adjoining properties, as the existing boundary treatment is not robust;
- The camping pods would affect views from the dwellings to the rear of the site and would lead to loss of privacy to the dwellings/ gardens to the rear;
- Local residents don't need the facilities - most residents chose to live in Rickerby because of its quiet location and are not interested in the proposed facilities;
- The catering fans for the kitchens/ air conditioning units will create continuous low-level noise;
- Deliveries to the spa and cafe/ restaurant will create noise nuisance;
- This is not the right facility for this area - it should be in a more public place;
- Proposal would increase light pollution, which would adversely affect the park and affect local residents;
- There is no sub-division at the front of Rickerby Cottage and Rickerby Lodge.

The use of the front garden of Rickerby Lodge will be significantly inhibited by this development, particularly if car parking was increased;

- The external balconies will cause overlooking of Rickerby Lodge and its garden;
- The proposal would change the park, which is currently a tranquil spot which offers walkers, cyclists and runners the open space they need;
- There are plenty of cafes/ pubs/ bed & breakfast accommodation along Hadrian's Wall to satisfy walkers passing through the area;
- Walkers would not be attracted to a formal restaurant. If the proposed application was for a small tea rooms without all the camping pods it may be supported, as this would benefit visitors to the area and local residents;
- To refurbish the pool and have a small cafe would be sufficient;
- The provision of visibility splays to the east from the existing site access is outside the applicant's control and the owner of this land will not allow the hedge to be removed to meet the visibility splays required by County Highways.

4.3 The Friends of Rickerby Park has also objected to the proposals. It is concerned about the extra traffic travelling through the park on narrow unlit roads, which are used by pedestrians and cyclists and which livestock have free range over from March to September. There have been a number of near misses involving vehicles and pedestrians along this route. The number of car parking spaces is woefully low. There are already issues of parking within the park, which has resulted in damage to grass verges and blocking of the road. Those unable to park at Rickerby Cottage will park in the Park, aggravating the problem. The increased traffic passing through the Park can only have a detrimental effect on the peace and tranquility of the Park. Whilst not opposed to development in general terms, the size and nature of the proposals are not in keeping with the existing access and rural amenity of Rickerby Park.

4.4 The letters of support make the following points:

- This is a great idea and there is nothing like this, or of this standard, in Carlisle;
- The proposal will provide local people with several services under one roof which is a unique and exciting prospect for Rickerby and Carlisle;
- This proposal will benefit a lot of people both in and outside Carlisle, including tourists and cyclists;
- The proposal will boost the tourist economy in Carlisle;
- Proposal would bring a classy business to a beautiful part of Carlisle;
- The proposals will open up the natural beauty of Rickerby Park and the River Eden to locals and tourists to enjoy in a tasteful and relaxed setting;
- The proposal will add to the experience of the many people who walk

Hadrian's Wall Path - provide refreshments, accommodation and relaxation therapies;

- It will benefit the local community and users of Rickerby Park by providing leisure, restaurant facilities and beauty treatments;
- The east side of the city is lacking in eating establishments;
- The modern extension enhances the naturally beautiful setting;
- The proposal will give a viable boost to the local economy in providing short-term construction employment and long term jobs in the service industry;
- The land around the property is extensive and could provide sufficient parking and also means that neighbours are some distance from the proposal.

4.5 Four letters of objection have been received to the revised plans that were received in November 2012. These state that:

- there is no need for such a facility;
- the proposal will lead to increased traffic, noise and disturbance to what is a tranquil area;
- if the facility is not be used by walkers (the pods have been removed) and locals, there will be a lot of traffic generated from visitors and this will have an adverse impact on the area, which is already heavily used and dangerous - there will be problems with vehicles entering and leaving the park;
- the proposal is totally out of keeping with the Grade II Listed Buildings in the area;
- the proposal will spoil the peace and tranquility of Rickerby Park and Rickerby Village;
- there are no walkers along the wall from October to April - will the restaurant close during these months?;
- the proposal will involve a considerable capital investment and it is obvious that it will not be viable without increasing the customer base from walkers and users of the park. Concerned about the number of people that would be needed to make the project work;
- Longlands Road Residents' Association has no objection in principle to the less intense revised plan. The principal concern relates to the on-going protection of existing mature trees on the site which form a significant feature in the landscape and provide screening for the proposed development. Consideration should be given to placing a Tree Preservation Order on these trees.

4.6 Cllr Bainbridge has submitted a letter, which makes the following points:

- Rickerby is a small collection of properties and this application falls on the edge of the settlement where it borders Rickerby Park. This property has flooded in the past and lies closest to the Rickerby Park flood plain. I am under no doubt that the applicants realise this and have changed or removed features of the application such as the camping pods which would have caused issues.

- I have received via County Councillor John Mallinson the concerns of the nearest property owner (Mr Gray). These regarded traffic, parking and the impact of a new commercial restaurant on the enjoyment of his property. Mr Gray has engaged the services of a planning consultant and rather than repeat these concerns I feel it would be best to draw the Committee's attention to the letter in their documents, which provides fuller details.

Because both properties exist on the site (a former manor house) which was subdivided at a later date I do recognise that this area of the application does cause a concern and I hope that the committee would wish to look closely at this area of the application.

- the applicant's agent has been in regular communication with ward councillors and interested parties. They have met with some residents and consultative bodies such as Highways during this process. Many of the changes that have taken place to this application have been as a result of these meetings, and I think it would be unfair of me not to say that the applicants and the agent have sought where possible to address concerns that were expressed at the start of the application. The application before you is much reduced from the one that was first submitted, and it is for you to judge whether the concerns expressed at the onset have been addressed in these revisions.

4.7 Two letters of objection have been received to the further revised plans, which show the formation of a new access. These make the following points:

- The occupier of the adjacent property, Rickerby Lodge is concerned that the new access will be liable to flooding and emergency vehicles would not be able to access the property. The new entrance would have been 1.89m below the 2005 flood levels and 1m below the 2009 flood levels. He wants to convert his garage into a dwelling (application has been withdrawn) but has been told by the EA that he has to wait for flood remodelling which is taking place in the spring – this is likely to say that flooding will be deeper and more frequent. Why does the applicant not need to do this?

- Why is the applicant spending hundreds of thousands of pounds enlarging a building which will cater for 162 covers but he is only permitted 48 – in future he will ask to increase the number of covers because he has the space, which will mean more cars, more noise and more disruption for neighbours.

- The neighbours will be left to enforce conditions – which will cause conflict.

- Occupier of Rickerby Cottage is concerned about loss of privacy, noise.

- For the business to be a success it will need to attract people from outside the area - the potential for accidents on the road through the park is very high, even with the new access.

4.8 One further letter of support has been received to the further revised plans, which states that there is a need for this cafe and swimming pool complex for local and for many Hadrian's Wall walkers and for the rural economy.

4.9 The Friends of Rickerby Park has sent in a further letter of objection. They are concerned about the road through Rickerby Park, which is not wide enough for two lorries/ or two delivery vans to pass without going onto the grass verges. The road floods regularly during the winter due to the river and it also floods during heavy rain and lengths of the road are continually under water, which causes a narrowing of the road (which is used by vehicles and walkers as the paths become flooded). The increased traffic from the proposed development will cause a safety problem. The cattle grid is one car width and this is followed by a bridge which is one car width, the road then narrows again and verges are used to pass. This part of the road should be made wider to allow cars waiting to cross the bridge to not have to use the verges and they consider it to be fair and reasonable to expect the applicant to improve this length of road. Has a check been done of the structure of the bridge?

5. Summary of Consultation Responses

Cumbria County Council - (Econ. Dir. Highways & Transportation): - no objections, subject to conditions;

Stanwix Rural Parish Council: - agrees to the development in principle, providing that the conditions proposed are applied i.e. restricted numbers, opening hours etc;

English Heritage - North West Region: - no comments;

Hadrian's Wall Heritage Limited: - comments awaited;

Northern Gas Networks: - no objections;

Planning - Access Officer: - suggested some issues that should be considered to improve access for all;

Local Environment - Drainage Engineer: - comments awaited;

Environment Agency: - no objections to the revised scheme, which removes the camping pods. Recommends the inclusion of SUDS to avoid the creation of impermeable areas. No objections to the creation of a new access - the road into Rickerby Park from the city end would be under water and impassable before the access was affected. Could consider retaining the existing access as an emergency access;

Cumbria Constabulary - North Area Community Safety Unit: - suggested a number of measures that the applicant should consider in order to reduce opportunities for crime;

Food Hygiene: - no objections. If the application is successful, the applicant should contact Environmental Health to obtain guidance on legislative compliance with regard to Food Safety and Health & Safety;

Local Environment - Environmental Protection: - no objections;

Cumbria County Council - (Archaeological Services): - no objection, subject to conditions;

United Utilities: - no objections to the revised plans subject to conditions;
Conservation Area Advisory Committee: - no objections to amended plans.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, CP2, CP3, CP5, CP6, CP12, CP15, CP16, EC16, LE7, LE10, LE19 and T1 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:

1. Whether The Proposal Is Acceptable In Principle

6.2 This proposal is seeking to create a cafe/ restaurant and small leisure facility, at Rickerby Cottage, which lies adjacent to Rickerby Park, Hadrian's Wall Path and the Hadrian's Cycle Trail. The existing swimming pool has been used on a commercial basis for a number of years and this would be expanded to include a small gym and treatment rooms. It is anticipated that the cafe/ restaurant would be used during the day by people visiting Rickerby Park, people walking the Hadrian's Wall Path, people cycling along the Hadrian's Cycle Trail, visitors to the leisure facilities and local residents and on this basis its location is considered to be acceptable. Whilst the restaurant would undoubtedly attract some dining customers in the evening, it would seem unreasonable to prevent it opening in the evenings. Indeed, the National Planning Policy Framework, which was published in March 2012, supports the expansion of businesses in the rural area and promotes the development of local services and community facilities in villages. In light of the above, providing that the cafe/ restaurant is of an acceptable scale, the proposal would be acceptable in principle.

2. Whether The Scale & Design Would Be Acceptable

6.3 The existing two-storey building that lies to the front of the swimming pool would be demolished and replaced by a new two-storey building which would sit on the footprint of the existing building and the yard area to the front. This would be constructed of brick and slate and would incorporate a chimney to match those on the main dwelling. A new two-storey glazed entrance would be created to the front of this, which would be flanked by single-storey flat roof extensions. A rendered section, with a glazed roof and a lower ridge height, would connect the new extension with the dwelling and would provide a visual break between the two.

6.4 A new flat roof would be added to the swimming pool, which would be surrounded by a stainless steel and glass balustrade. A glazed conservatory, with a monopitch roof, would project out 3.5m onto part of this. A fire escape would be added to the east elevation of the swimming pool building but this would not be readily visible from outside the site.

6.5 Whilst new parking areas would be created, these would lie adjacent to the building and would be screened by new planting along the front and rear boundaries. A new 2m wall would also be erected between the front gardens

of Rickerby Cottage and Rickerby Lodge.

- 6.6 In light of the above, the scale and design of the proposals would be acceptable.

3. Impact On The Rickerby Conservation Area

- 6.7 Both the Council's Heritage Officer and the Conservation Area Advisory Committee have no objections to the revised plans, subject to conditions. The scale and design of the new buildings would be acceptable and a condition has been added to ensure that the front boundary wall is acceptable in terms of materials and design. Whilst new car parking areas would be created these would be adjacent to the building and would be screened by existing and new landscaping. Whilst the proposed new access would lead to the removal of some trees, a large number of mature trees would be retained and additional planting would take place adjacent to the new access and the existing access.
- 6.8 Whilst the proposal would lead to an increase in traffic in the Conservation Area, this would not be significant enough to have an adverse impact on the character of the Conservation Area.

4. Impact On The Living Conditions Of The Occupiers Of Neighbouring Properties

- 6.9 Rickerby Lodge adjoins the site to the east and directly faces the proposal but would be over 50m away from the building and 25m from the proposed car park. Rickerby House would be over 80m away from the proposed building, with the nearest dwellings in Rickerby Gardens being over 120m away. There is a current application to convert the garage of Rickerby Lodge, which would lie approximately 28m away from the proposed development but adjacent to the proposed parking areas.
- 6.10 People arriving and leaving the cafe/restaurant and leisure facilities would have the potential to adversely affect the living conditions of the occupiers of adjoining properties. It is proposed to restrict the number of covers to forty-eight in order to reduce the impact of the proposal on neighbours. The applicant is proposing to take last orders in the restaurant at 9.30pm and this could mean people leaving the premises after 11.00pm which is considered to be unreasonable. A closing time of 10.00pm for visitors, with all staff off the premises by 10.30pm, is considered to be more appropriate and this can be ensured by condition.

5. Highway Issues

- 6.11 County Highways has no objections to the revised plans, which include the creation of a new access. The proposed levels of parking are acceptable for the proposed leisure facilities and up to sixty covers in the cafe/ restaurant. Restricting the number of covers to forty-eight should ensure that there is sufficient parking for the proposals. Conditions have been added to the permission to ensure the provision of suitable visibility splays; that the parking is created before the cafe/ restaurant is brought into use; and that prior to the

commencement of development the applicant provides details of where construction traffic would park and materials would be stored.

- 6.12 In relation to the road through Rickerby Park, County Highways accepts that the road is not wide enough for two lorries/ delivery vehicles to pass. However, the need for such vehicles to pass for the scale of development is remote, as deliveries would be infrequent and these would arrive outside peak periods. It is not, therefore, reasonable to require the applicant to pay for road improvements given the level of traffic the proposal would generate. Rickerby Bridge was structurally assessed in 1993 and passed the loading assessment and there are, therefore, no weight restrictions on the bridge. It is inspected every six years and was inspected after the 2005 floods and there are no issues with it.

6. Impact on Trees

- 6.13 The creation of a new access would lead to the removal of some existing trees. The majority of the existing trees would, however, be retained and the access would be constructed using a 'no-dig' system, which would ensure that retained trees would not be damaged. The Council's Tree Officer has been consulted on the application and has raised no objections, subject to the imposition of conditions to ensure that the new access is constructed using a 'no-dig' construction method, suitable Tree Protection barriers are erected during construction works and that new landscaping is provided within the site.

7. Flood Risk Issues

- 6.14 Following the removal of the camping pods, the Environment Agency has removed its objection to the application. It has recommended the inclusion of SUDS to avoid creation of additional impermeable areas.
- 6.15 The Environment Agency has no objections to the creation of a new access to the property. Whilst it accepts that the new access would be nearer to the point where the onset of flooding would occur, the proposal would not increase flood risk. The road into Rickerby Park from the city end would be under water and impassable before the access was affected. It has stated that the applicant should consider retaining the existing access as an emergency access and they are happy to do this.

8. Other Matters

- 6.16 United Utilities has no objections to the proposals subject to the imposition of conditions that require details of proposed foul and surface water drainage.

Conclusion

- 6.17 The proposals are acceptable in principle. The scale and design of the proposals would be acceptable and they would not have an adverse impact on the Rickerby Conservation Area or on the living conditions of the occupiers of any neighbouring properties. The proposed access and parking

arrangements would be acceptable and the proposal would not have an unacceptable impact on trees. In all aspects, the proposal is compliant with the relevant planning policies contained within the Carlisle District Local Plan 2001-2016.

7. Planning History

- 7.1 In June 1984, planning permission was granted for the conversion and extension of existing buildings to form two houses and four flats (84/0289).
- 7.2 In June 1989, planning permission was granted for the erection of a swimming pool (89/0413).
- 7.3 In July 2002, planning permission was granted for an extension with slated roof to provide larger kitchen and dining area (02/0660).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
 1. the submitted planning application form, received 8 October 2012;
 2. Planning Statement, received 9 January 2013;
 3. Arboricultural Report (Ref No C272/R10), received 8 October 2012;
 4. Arboricultural Report (Ref No C272/R11), received 10 January 2013;
 5. Bat Survey Report, received 8 October 2012;
 6. Flood Risk Assessment, received 8 October 2012;
 7. E-mail from Simon Price to the EA, dated 29 November 2012;
 8. Access Statement (Revision 2), received 9 January 2013;
 9. Location Plan, received 8 October 2012;
 10. Existing Floor Plans & Elevations, received 8 October 2012 (Dwg No. PL01);
 11. Proposed Site Plan, received 14 January 2013 (Dwg No. 08E);

12. Proposed Floor Plans & Elevations, received 11 January 2013 (Dwg No. PL02D);
13. Proposed New Entrance Details, received 9 January 2013 (Dwg No. PL10A);
14. Tree Survey Plan, received 8 October 2012 (Dwg No. C272_D10);
15. Tree Constraints Plan Unadjusted, received 8 October 2012 (Dwg No. C272_D11);
16. Tree Constraints Plan Adjusted, received 8 October 2012 (Dwg No. C272_D12);
17. Tree Protection Plan, received 8 October 2012 (Dwg No. C272_D13);
18. Tree Survey Drawing, received 10 January 2013 (Dwg No. C272/D14);
19. Tree Constraints Plan, received 10 January 2013 (Dwg No. C272/D15);
20. Tree Protection Plan, received 10 January 2013 (Dwg No. C272/D16);
21. Cellweb Gravel Standard Detail, received 14 January 2012;
22. the Notice of Decision; and
23. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. No development shall take place until full details of hard and soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle

District Local Plan 2001-2016.

5. No development shall commence until details of any walls, gates, fences and other means of permanent enclosure and/or boundary treatment to be erected have been submitted to and approved, in writing, by the Local Planning Authority.

Reason: To ensure the design and materials to be used are appropriate and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. Prior to commencement of development, details of how foul and surface water shall be drained on a separate system shall be submitted for approval in writing by the Local Planning Authority. The development shall be completed in accordance with the approved details.

Reason: To ensure a satisfactory means of surface water and foul drainage disposal, in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

7. Prior to the commencement of development, a scheme for surface water and foul water drainage (inclusive of how the scheme shall be maintained and managed after completion) shall be submitted to and approved in writing by the Local Planning Authority. The drainage scheme submitted for approval shall be in accordance with the principles set out in the Simon Price's email dated 30 November 2012 proposing surface water runoff from the site discharging directly into the watercourse/beck and foul water discharging into the foul sewer. For the avoidance of doubt, neither surface water, land drainage nor highway drainage shall connect into the public foul/combined sewerage system (directly or indirectly). No part of the development shall be occupied until the drainage scheme has been constructed in accordance with the approved details. The development shall be completed, maintained and managed in accordance with the approved details.

Reason: To ensure a satisfactory means of surface water and foul drainage disposal, in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

8. This permission shall not be exercised by any person other than the occupiers of Rickerby Cottage.

Reason: To protect the living conditions of the occupiers of Rickerby Cottage, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. The restaurant/ cafe hereby approved shall be restricted to a maximum of forty-eight covers at any one time and these covers shall be located within the cafe/ restaurant area, identified on the Proposed Floor Plans & Elevations, received on 5 December 2012 (Drawing No. PL02D)

Reason: To ensure that the proposal does not have an adverse impact

on the living conditions of the occupiers of any neighbouring properties, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

10. The swimming pool, gym and treatment rooms hereby approved shall be used by a maximum of twelve customers at any one time.

Reason: To ensure that the proposal does not have an adverse impact on the living conditions of the occupiers of any neighbouring properties, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

11. The proposed cafe/ restaurant shall not be open for trading except between 10:00 hours and 22.00 hours on Mondays-Sundays. All customers shall leave the premises by 22.00 hours, with all staff leaving the premises by 22.30 hours. The proposed leisure facilities (swimming pool, gym and treatment rooms) shall not be open for trading except between 06:30 hours and 21:00 hours Mondays-Sundays.

Reason: To prevent disturbance to nearby residential occupiers and in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

12. No deliveries shall take place except between 09.00 hours and 17.00 hours.

Reason: To prevent disturbance to nearby residential occupiers and to ensure that delivery vehicles do not arrive/ leave the site during peak periods, in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

13. The glazing in the east elevation of the first floor rear conservatory (located on the swimming roof) shall be obscure glazed and non-opening, in accordance with details to be agreed in writing by the Local Planning Authority and thereafter retained as such to the satisfaction of the Local Planning Authority.

Reason: In order to protect the privacy and amenities of residents in close proximity to the site in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

14. For the duration of the development works, existing trees to be retained shall be protected by suitable barriers erected and maintained in accordance with details to be approved in writing by the Local Planning Authority. The Authority shall be notified at least seven days before work starts on site so that barrier positions can be established. Within this protected area there shall be no excavation, tipping or stacking, nor compaction of the ground by any other means.

Reason: To protect trees and hedges during development works, in accordance with Policy CP3 of the Carlisle District Local Plan

2001-2016.

15. The application shall be undertaken in strict accordance with the details contained within the Mitigation Strategy contained within the Bat Survey Report, produced by Lloyd Bore in August 2012 and received on 8 October 2012.

Reason: In order to enhance the habitat for bats in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

16. An archaeological watching brief shall be undertaken by a qualified archaeologist during the course of the ground works of the permitted development. The archaeological watching brief shall be in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Local Planning Authority in advance of the permitted development. Within two months of the completion of the permitted development, 3 copies of the report shall be furnished to the Local Planning Authority.

Reason: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the investigation and recording of such remains.

17. The development shall not commence until visibility splays providing clear visibility of 50metres measured along the nearside channel lines of the public road from a position 2.4metres inset from the carriageway edge, on the centre line of the access, at a height of 1.05metres, have been provided. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be permitted to grow so as to obstruct the visibility splays.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

18. The use of the café/restaurant, shall not be commenced until the new access road, parking and hardstanding areas have been constructed in accordance with the approved plan. All such provision shall be retained, capable of use when the development is completed and shall not be removed or altered thereafter, without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access and public safety when the development is brought into use.

19. Before any building works commence, a plan shall be submitted for the approval of the Local Planning Authority reserving adequate land for the storage of materials/parking of vehicles /plant engaged in the building operations and such land, including vehicular access thereto, shall be used

for or be kept available for these purposes at all times until completion of the construction works.

Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

20. The whole of the vehicular access area bounded by the carriageway edge and the highway boundary shall be constructed and drained to the specification of the Local Highways Authority.

Reason: In the interests of road safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

21. No development shall take place until an Arboricultural Method Statement, to include details of all works within the root protection area of any retained tree, has been submitted to and agreed in writing by the Local Planning Authority. Thereafter, all works shall be carried out and constructed in accordance with the approved details and shall not be varied without the written consent of the Local Planning Authority.

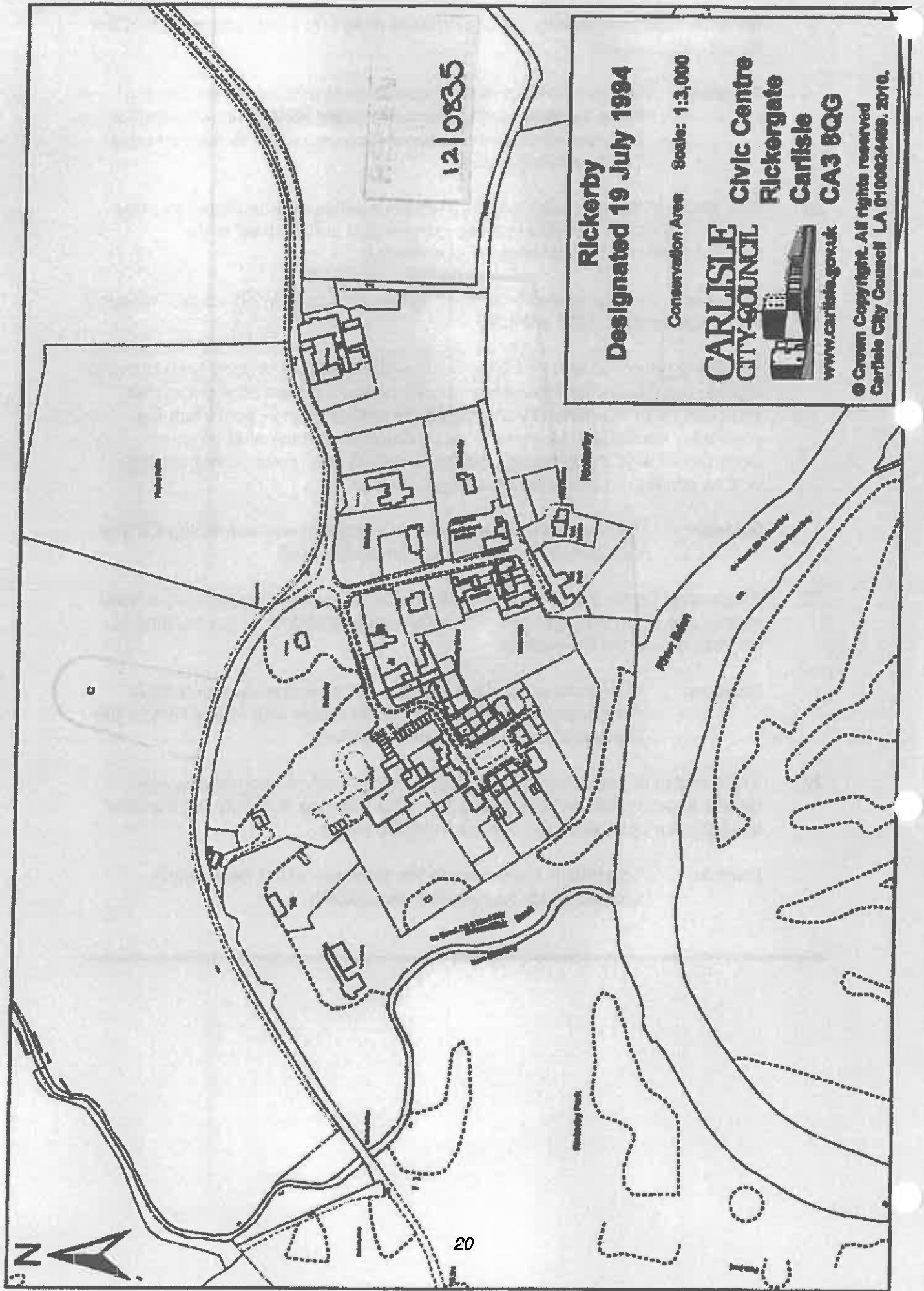
Reason: To protect the existing trees, in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

22. There shall be no public access to the balcony (swimming pool roof) except in the case of an emergency which requires the first floor of the building to be vacated via the fire escape.

Reason: In order to protect the privacy and amenities of residents in close proximity to the site in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

23. The existing access shall be retained but closed off, in accordance with details to be agreed in writing with the Local Planning Authority, so that it is available for use during an emergency flood event.

Reason: To prevent customers to the premises using the existing access, which has inadequate visibility.



Rickerby
Designated 19 July 1994

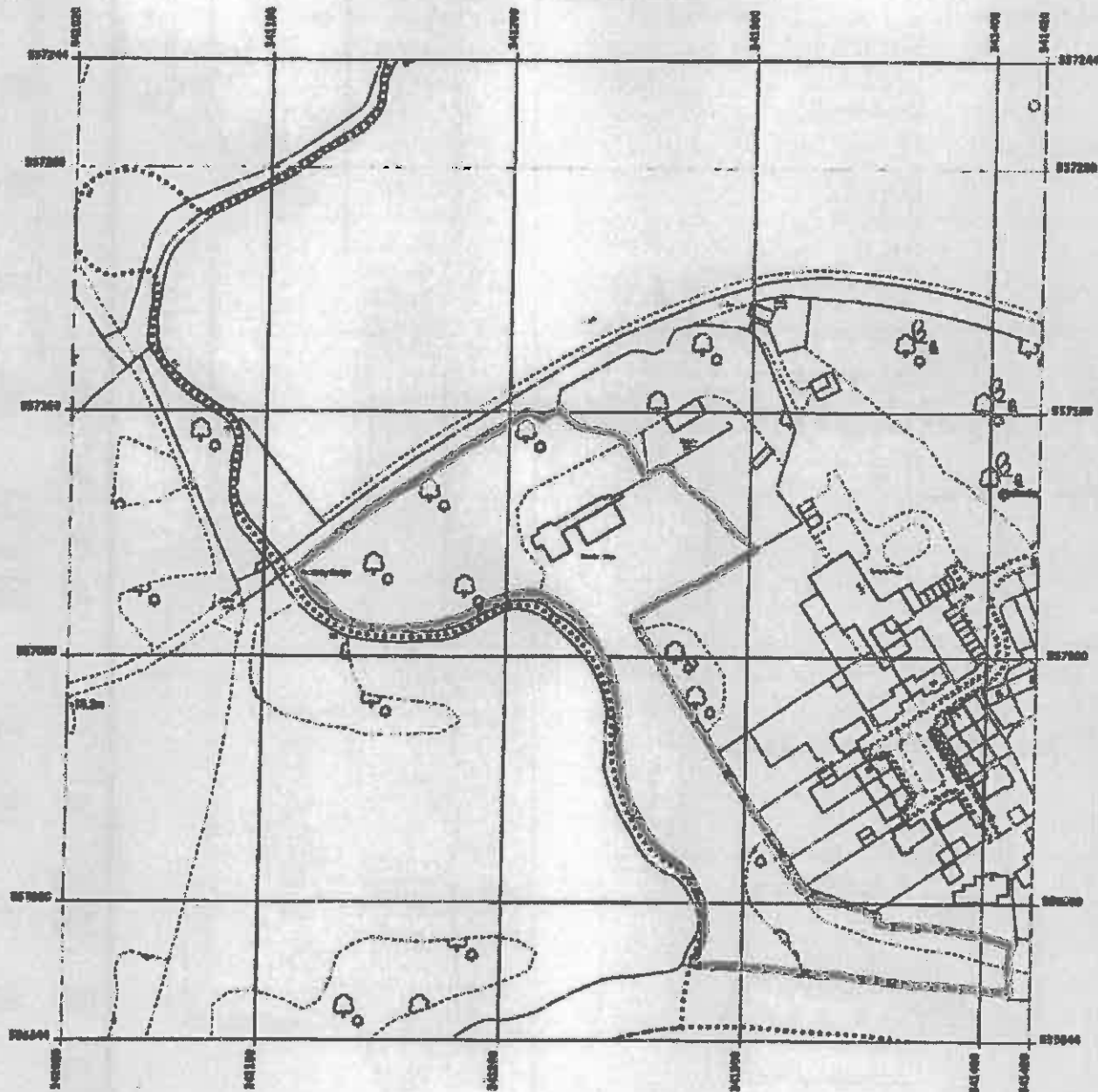
Conservation Area Scale: 1:3,000

CARLISLE
CITY COUNCIL

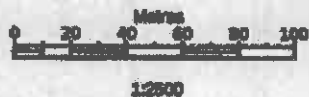


Civic Centre
Rickergate
Carlisle
CA3 8QG

© Crown Copyright. All rights reserved
 Carlisle City Council LA 010024489, 2010.



Produced 02 Oct 2012 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown Copyright 2012.



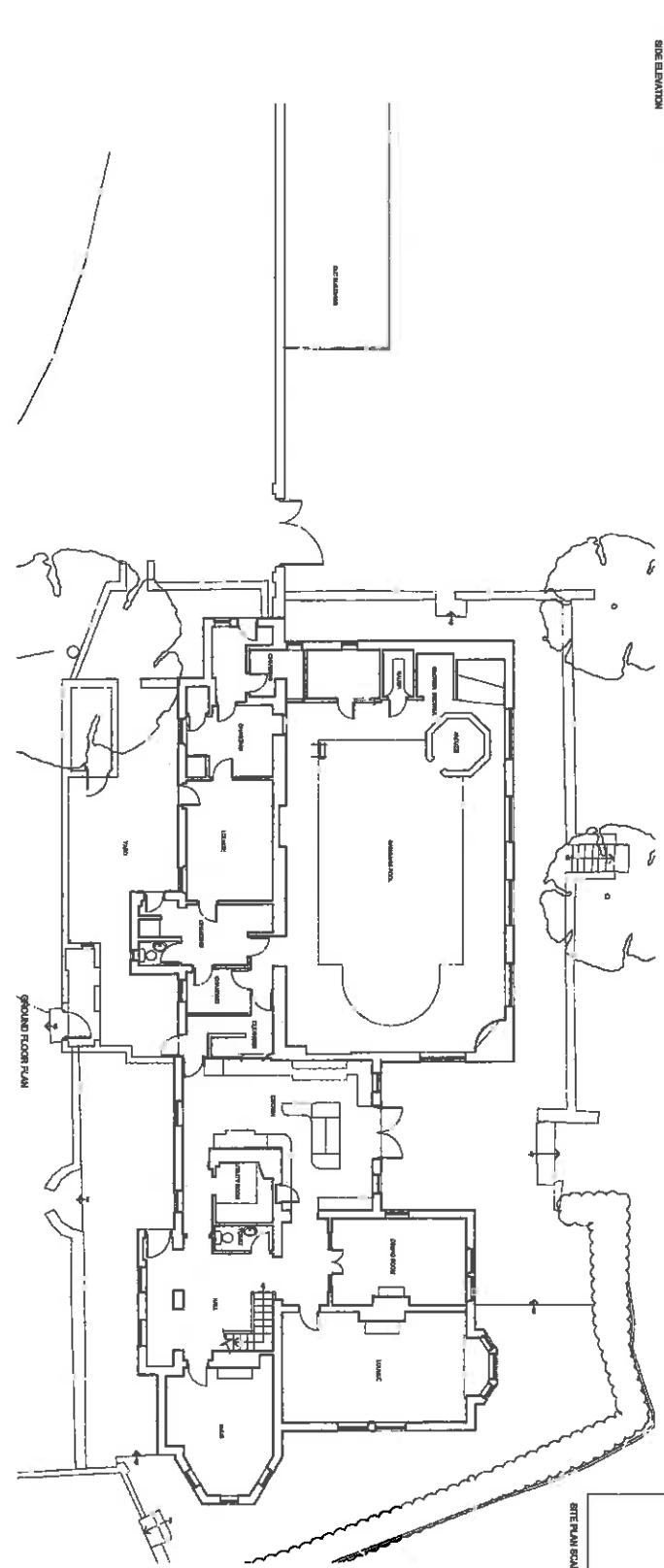
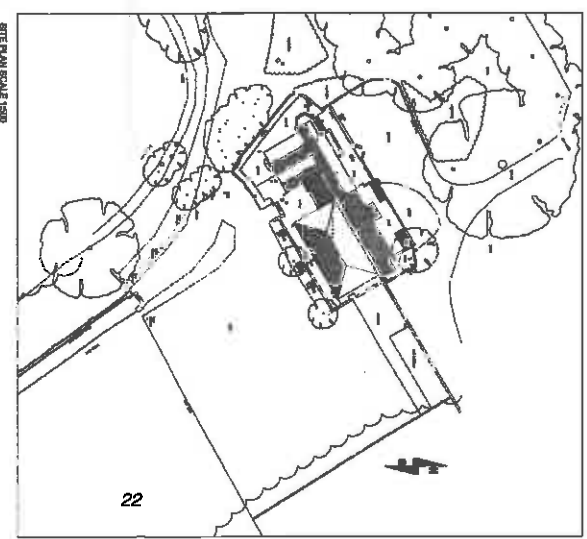
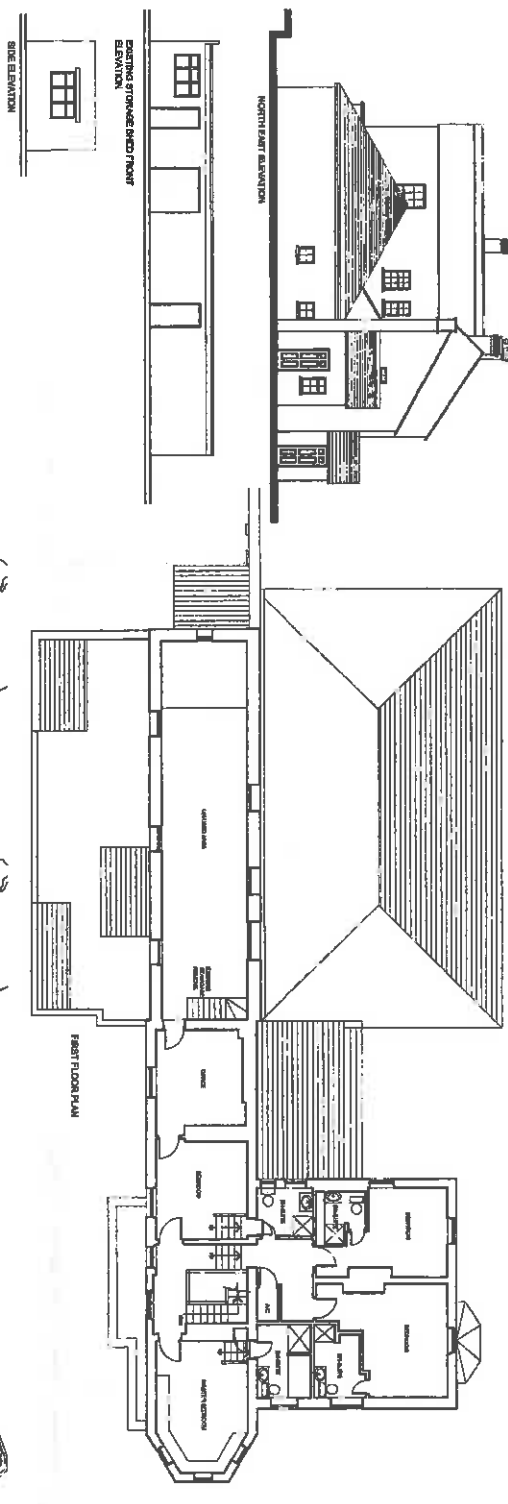
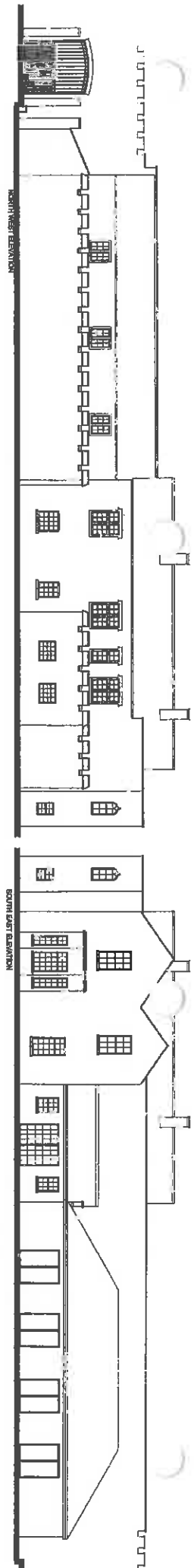
RICKERBY COTTAGE
CARLISLE
CA3 9AA


Ordnance Survey and the OS symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain.

Supplied by: Stanfords
Reference: OSN0375
Centre coordinates: 841220 557044

The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.

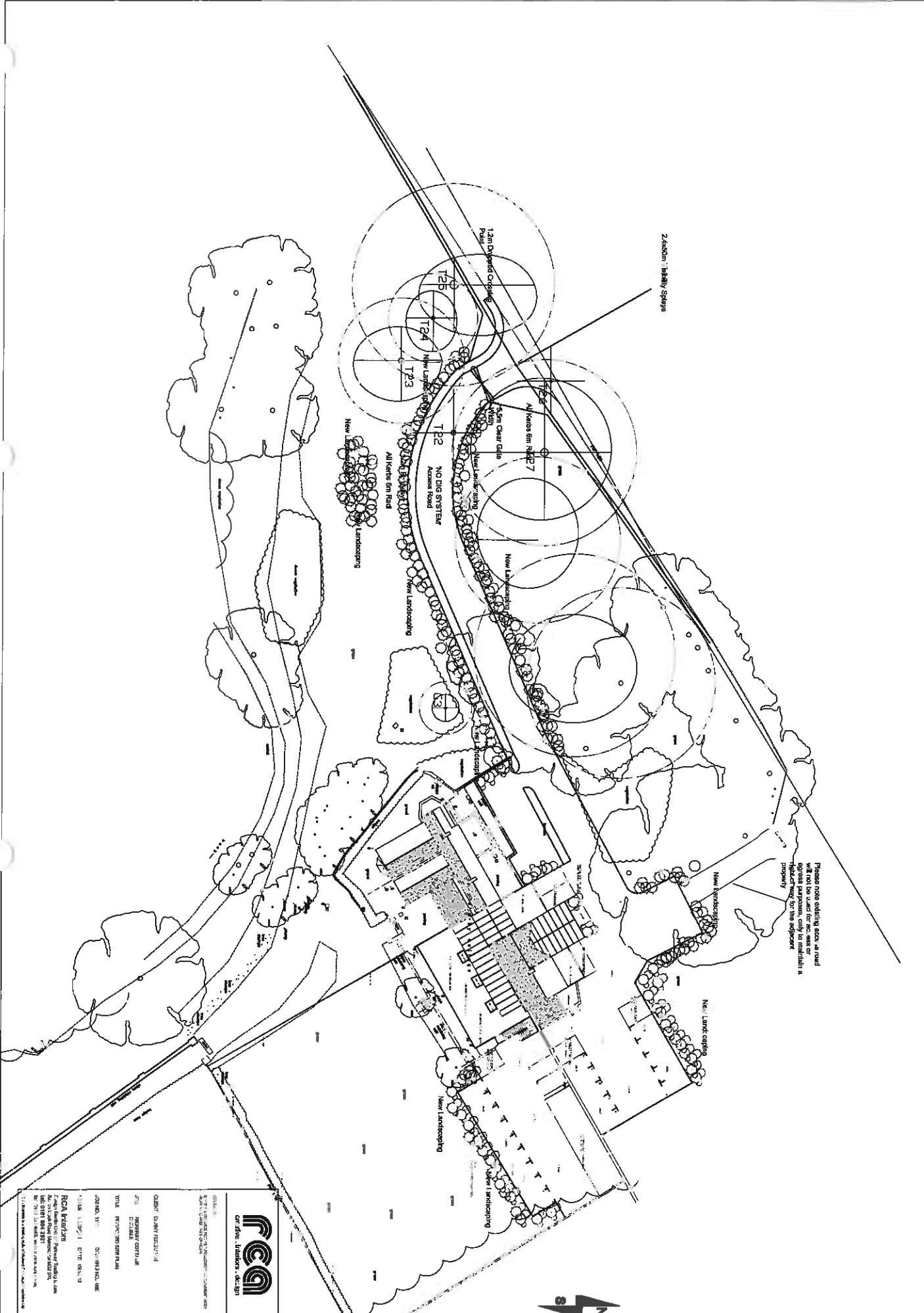
12/0835




rcan
 residential, institutional, design

PROJECT NO. 1000
 CLIENT: CHARLES W. WILSON
 ARCHITECT: RICHARD W. WILSON
 TITLE: EXISTING STORAGE SHED FLOOR ELEVATION
 DATE: 10/17/17
 DRAWING NO.: R. 01

RCA Architects
 1000 North 10th Street, Suite 100
 Chicago, Illinois 60610
 Tel: 312.467.1000
 Fax: 312.467.1001
 www.rcanyc.com



24500m 1st/2nd Spays

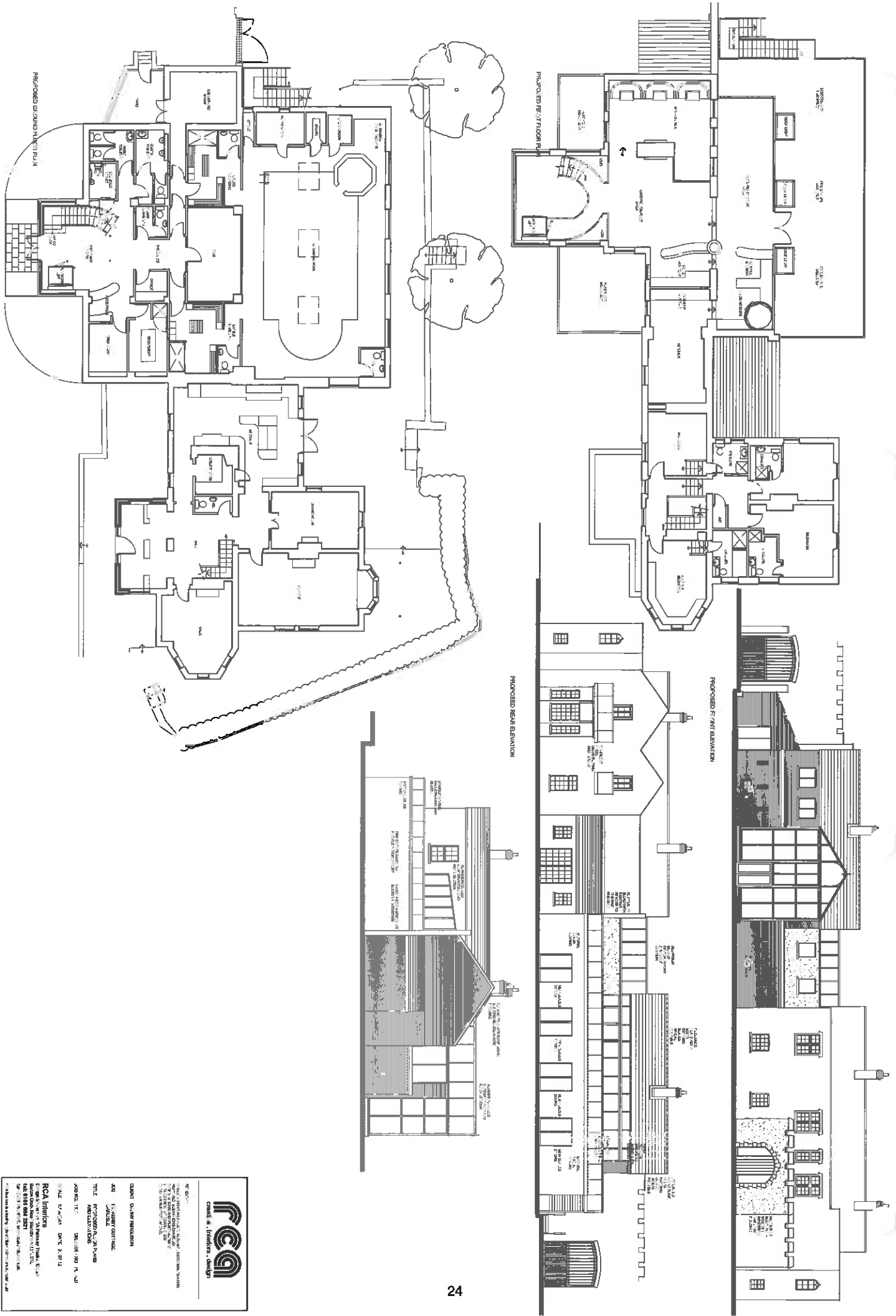
Please note existing trees at road will not be used for access or drainage purposes, only to maintain a landscape for the adjacent property



rcan
 Civil Office - Architects - Dec 1991

RCAN Architects
 100/100 South Road, Margate, SA 4222
 Tel: 031 201 1234 Fax: 031 201 1235
 www.rcan.co.za

CLIENT: DAWN TRUST 1/4
PROJECT: RESIDENTIAL DEVELOPMENT
TITLE: PROJECT 2001/2001/4/1/4
DATE: 1/12/2001
SCALE: 1:200
DATE: 1/12/2001

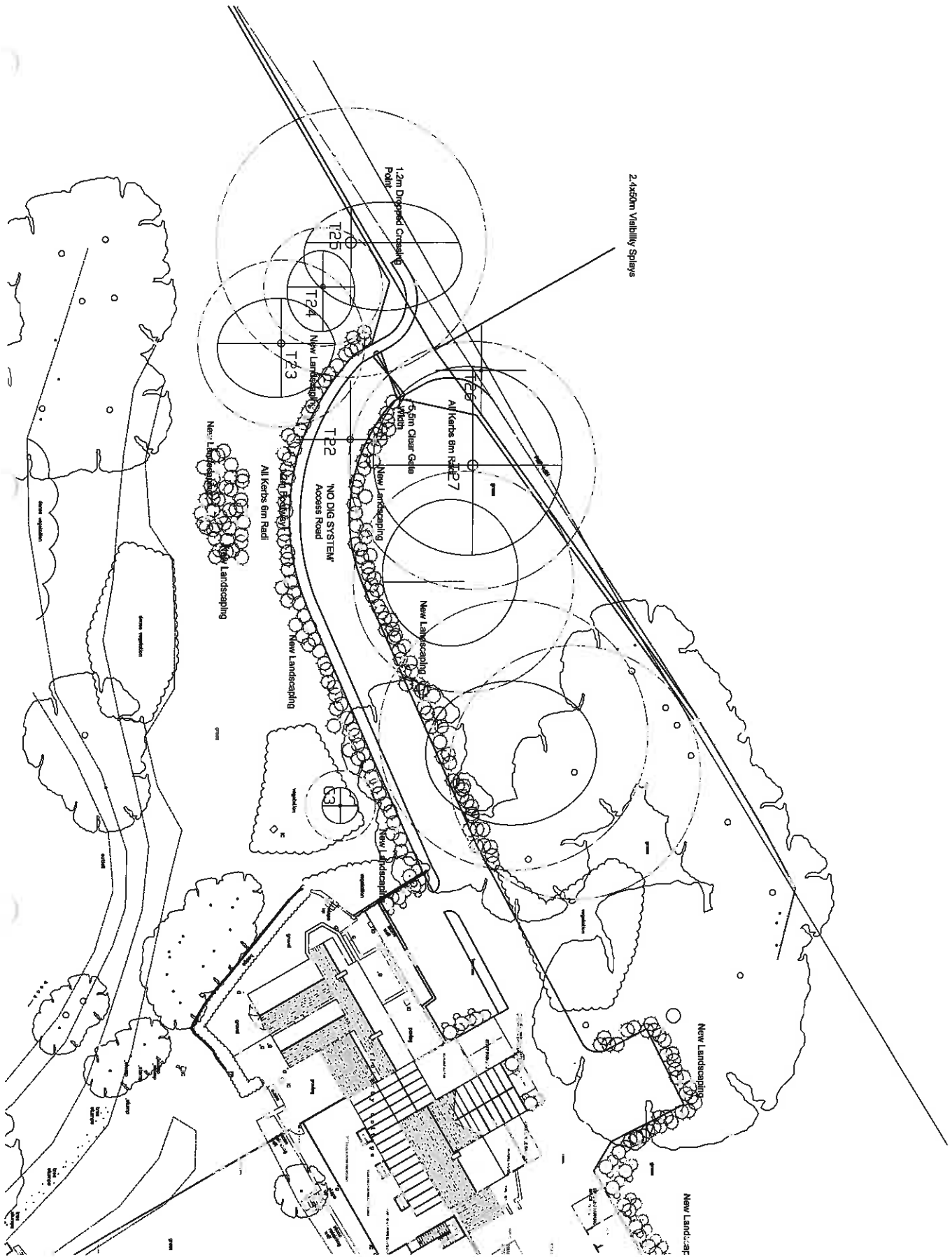


rcan
 credit & facilities • design

RCAN
 1000 UNIVERSITY AVENUE, SUITE 1000, SEASIDE, CALIFORNIA 92138
 TEL: 949.440.1000 FAX: 949.440.1001
 WWW.RCAN.COM

CLIENT: QUANTUM DESIGN
 ARCHITECT
 PROJECT: QUANTUM DESIGN
 TITLE: ARCHITECTURE
 DATE: 08.12.12

RCAN Interiors
 2700 UNIVERSITY AVENUE, SUITE 1000, SEASIDE, CALIFORNIA 92138
 TEL: 949.440.1000 FAX: 949.440.1001
 WWW.RCAN.COM



rcan
Creative Interiors - Design

CLIENT: M. MONTAGNA
 DATE: 17/09/2014
 TITLE: PRO-CONTRACTOR WORK
 DRAWING NO.: 02/14/11
 DATE: 17/09/2014

RCA Interiors
 Design & Construction
 10/10/14
 10/10/14

SCHEDULE A: Applications with Recommendation

12/0836

Item No: 02

Date of Committee: 08/03/2013

Appn Ref No:
12/0836

Applicant:
Mr Daniel Ferguson

Parish:
Stanwix Rural

Date of Receipt:
08/10/2012

Agent:
RCA Interiors Limited

Ward:
Stanwix Rural

Location:

Rickerby Cottage, Rickerby Park, Carlisle, CA3 9AA

Proposal: Demolition Of Redundant Store And First Floor Building (Conservation Area Consent)

REPORT

Case Officer: Stephen Daniel

1. Recommendation

1.1 It is recommended that this application is approved with conditions.

2. Main Issues

2.1 Impact On The Rickerby Conservation Area

3. Application Details

The Site

3.1 Members will recall that this application was deferred at the last committee so that a site visit could be undertaken.

3.2 Rickerby Cottage is a substantial two-storey dwelling, which sits in extensive grounds and lies within the Rickerby Conservation Area. A large swimming pool, which measures 17.5m in length by 9.5m in width, and which has a hipped roof, has been erected adjacent to the dwelling. The building contains a swimming pool, a Jacuzzi, a sauna and showers and has been let out as a private swimming pool for over ten years.

3.3 A two-storey brick building lies to the front of the swimming pool and is attached to the dwelling. The ground floor of this building contains changing

rooms and a lounge that are linked to the swimming pool. A yard lies to the front of this building, which contains some outbuildings, and which is enclosed by a 3.6m high wall. The upper floor of this building is currently unused.

- 3.4 The property has a large front garden, which contains a number of mature trees and an area of hardstanding to the front of the main dwelling. A very large garden is located to the rear of the property, which adjoins Rickerby Park to the west and residential dwellings to the east.
- 3.5 The road that runs through Rickerby Park, that links Brampton Road to Linstock, runs to the front of the dwelling and is adjoined by Hadrian's Wall Path and Hadrian's Cycle Route.
- 3.6 Rickerby House, which is a listed building, and the residential dwellings in Rickerby Gardens, lie to the rear of the application site. Rickerby Lodge adjoins the site to the east and this dwelling directly faces Rickerby Cottage. The garage of Rickerby Lodge, which lies in close proximity to the front garden of Rickerby Cottage, is currently the subject of a planning application to convert it into a dwelling.

The Proposal

- 3.7 The proposal is seeking to demolish the existing two-storey building, that lies to the front of the swimming pool, and to replace it with a new two-storey building which would sit on the footprint of the existing building and the yard area to the front. The high wall that encloses the yard would also be demolished.
- 3.8 The replacement building would be two-storey and would be constructed of brick and slate and would incorporate a chimney to match those on the main dwelling. A new two-storey glazed entrance would be created to the front of this and this would be flanked by single-storey flat roof extensions. A rendered section, with a glazed roof and a lower ridge height, would connect the new extension with the dwelling.

4. Summary of Representations

- 4.1 This application has been advertised by means of site and press notices as well as notification letters sent to twenty-two neighbouring properties. Two letters of objection have been received but these raise issues that are associated with the planning application (12/0835) and these concerns have, therefore, been summarised in that application.

5. Summary of Consultation Responses

Stanwix Rural Parish Council: - agrees to the development in principle, providing that the conditions proposed are applied i.e. restricted numbers, opening hours etc;

English Heritage - North West Region: - no comments.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies LE19 and CP5 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:

1. Impact On The Rickerby Conservation Area

6.2 Both the Council's Heritage Officer and the Conservation Area Advisory Committee have no objections to proposals to demolish the existing building and wall and to replace it with a new two-storey building which would sit on the footprint of the existing building and the yard area to the front. This would be constructed of brick and slate and would incorporate a chimney to match those on the main dwelling. A new two-storey glazed entrance would be created to the front of this, which would be flanked by single-storey flat roof extensions. A rendered section, with a glazed roof and a lower ridge height, would connect the new extension with the dwelling and would provide a break between the existing dwelling and the new extension.

6.3 A condition has been added to the permission to ensure that a contract for the carrying out of works of redevelopment of the site has been made and planning permission has been granted for the redevelopment for which the contract provides.

Conclusion

6.4 The proposal would not have an adverse impact on the Rickerby Conservation Area. In all aspects, the proposal is compliant with the relevant planning policies contained within the Carlisle District Local Plan 2001-2016.

7. Planning History

7.1 In June 1984, planning permission was granted for the conversion and extension of existing buildings to form two houses and four flats (84/0289).

7.2 In June 1989, planning permission was granted for the erection of a swimming pool (89/0413).

7.3 In July 2002, planning permission was granted for an extension with slated roof to provide larger kitchen and dining area (02/0660).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town

and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Conservation Area Consent comprise:
 1. the submitted planning application form, received 8 October 2012;
 2. Planning Statement, received 9th January 2013;
 3. Location Plan, received 8 October 2012;
 4. Existing Floor Plans & Elevations, received 8 October 2012 (Dwg No. PL01);
 5. Proposed Floor Plans & Elevations, received 30 November 2012 (Dwg No. PL02D);
 6. the Notice of Decision; and
 7. any such variation as may subsequently be approved in writing by the Local Planning Authority.

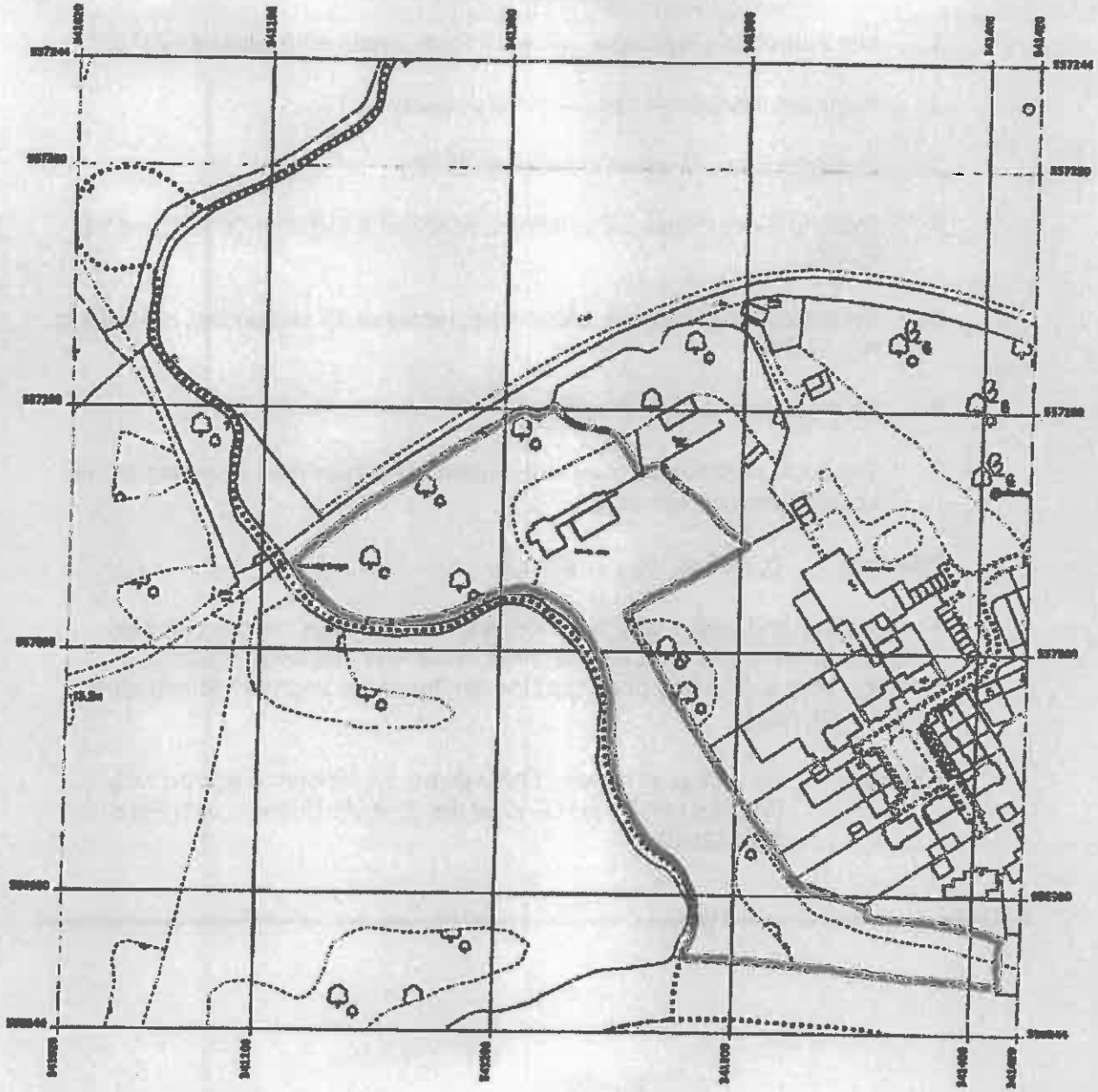
Reason: To define the permission.

3. The building and wall shall not be demolished before a contract for the carrying out of works of redevelopment of the site has been made and planning permission has been granted for the redevelopment for which the contract provides.

Reason: To safeguard against premature demolition in accord with Policies LE17 and LE19 of the Carlisle District Local Plan 2001-2016.



STANF-RDS



Produced 02 Oct 2012 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown Copyright 2012.

Ordnance Survey and the OS Symbol are registered trademarks of Ordnance Survey, the national mapping agency of Great Britain.

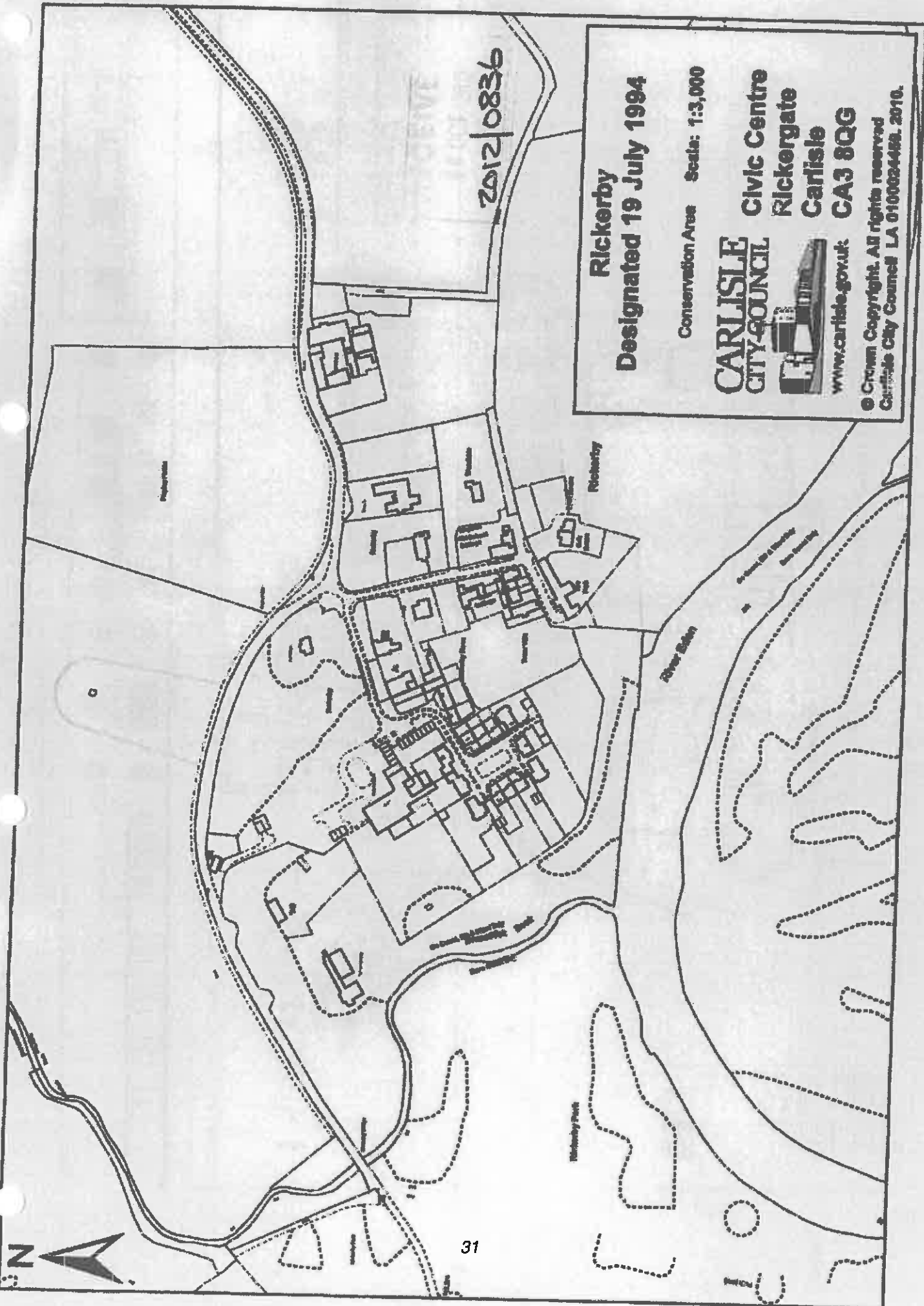
The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.



RICKERBY COTTAGE
CARLISLE
CA3 9AA

Supplied by: Stanlands
 Reference: OS483875
 Centre coordinates: 941220 557044

2012/0836



2012/0836

Rickerby
Designated 19 July 1994

Conservation Area Scale: 1:3,000

CARLISLE
CITY COUNCIL

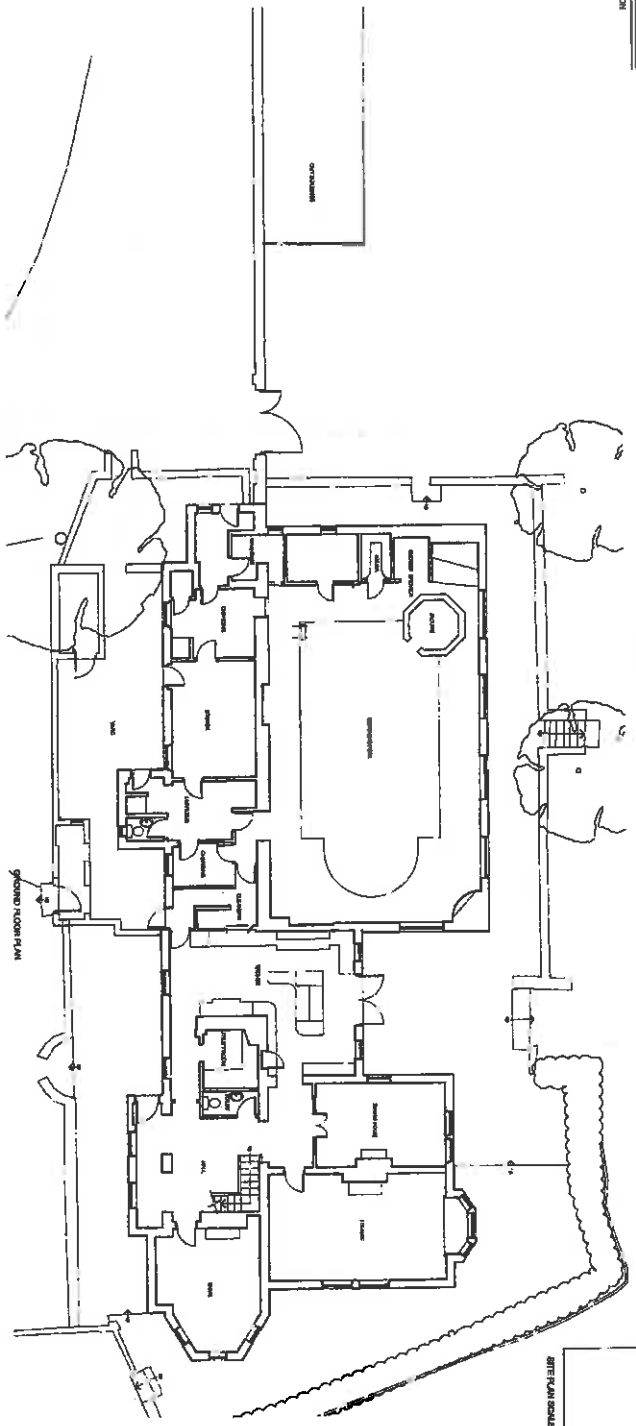
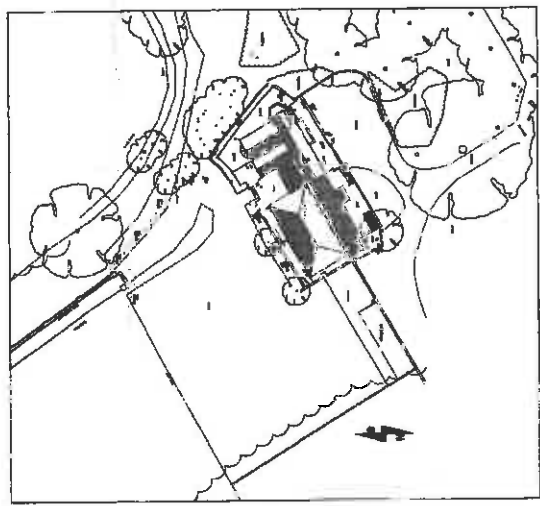
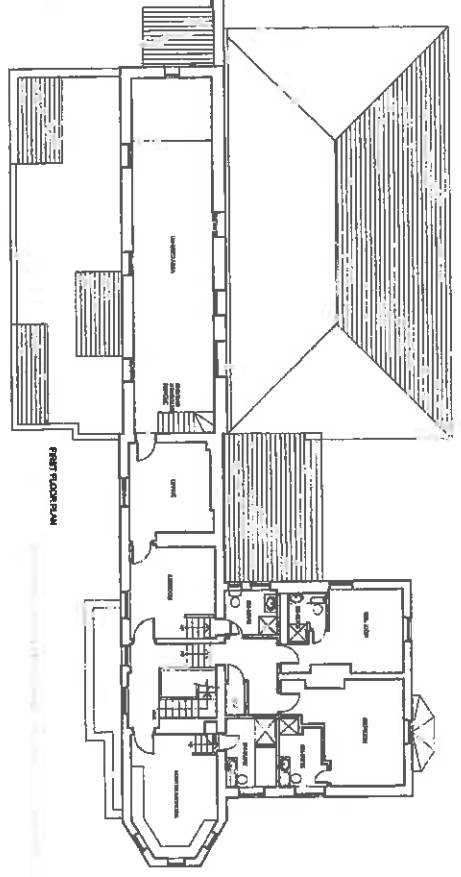
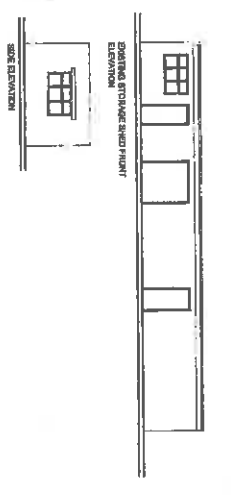
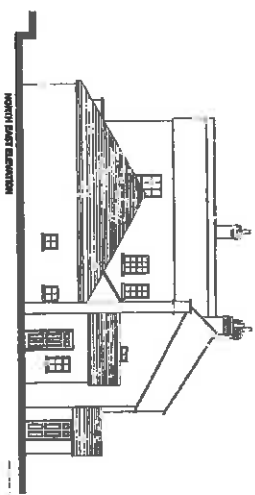
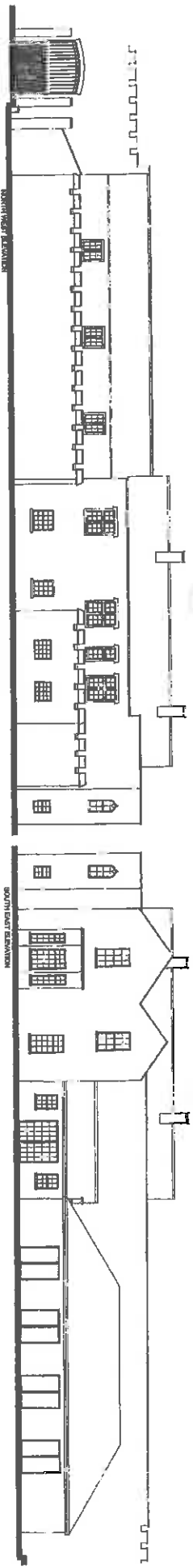


www.carlisle.gov.uk

Civic Centre
Rickergate
Carlisle
CA3 8QG

© Crown Copyright. All rights reserved
 Carlisle City Council LA 0100024489. 2010.





rcn
 CONSULTANTS - DESIGN

CLIENT: DASHWOOD PROPERTIES
 JOB: RESIDENTIAL CONVERSION
 TITLE: RESIDENTIAL CONVERSION AND
 EXTENSION
 ADDRESS: 1177 DUNDAS ST. W. #4
 TORONTO, ONT. M6H 2G3

DATE: 03/20/17 DATE: 04/10/17

RCN Architects
 1000 Bay Street, Suite 1000, Toronto, Ontario M5G 1A2
 Tel: 416-593-8888 Fax: 416-593-8889
 www.rcn.ca

All drawings to include the RCN logo and the following text: RCN Architects Inc. All rights reserved.

SCHEDULE A: Applications with Recommendation

12/0610

Item No: 03

Date of Committee: 08/03/2013

Appn Ref No:
12/0610

Applicant:
North Associates

Parish:
Stanwix Rural

Date of Receipt:
23/07/2012

Agent:
Taylor & Hardy

Ward:
Stanwix Rural

Location:

Land at Hadrian's Camp, Houghton Road,
Houghton, Carlisle, Cumbria, CA3 0LG

Proposal: Residential Development (Outline)

REPORT

Case Officer: Angus Hutchinson

1. Recommendation

1.1 On balance, it is recommended that this application be approved subject to the expiration of the publicity period, the imposition of relevant conditions, and the satisfactory completion of a Section 106 Agreement regarding:

- the implementation and monitoring of a Travel Plan including payment of a contribution/bond (based on the cost of an annual Carlisle Megarider Plus bus ticket multiplied by the proposed reduction in the number of vehicle trips multiplied by five years, plus a fee to cover the County Council's costs incurred in identifying, developing and implementing any potential measures);
- the payment of up to £204,867 to the County Council to provide the required additional school places or (that option failing) a financial contribution of £199,500 (inclusive of an administration fee) for the transportation of the 17 pupil yield;
- the provision of affordable housing in accordance with Policy H5 of the CDLP; and
- payment of £65,000 to enable off-site mitigation for the impacts on the County Wildlife Site.

2. Main Issues

2.1 Whether or not the scale and type of development is appropriate and/or lead to any significant adverse effect on housing policies (the Cumbria Strategic Partnership's Sub Regional Spatial Strategy 2008-28 Development

- Principles; saved JSP Policies ST5 and H19; and CDLP Policies DP1, H1 and H4).
- 2.2 Whether it is sustainable in terms of transport and accessibility (saved JSP Policies T30 and T31; and CDLP Policies DP1, CP1 and CP16).
 - 2.3 Implications for local community infrastructure – education (Cumbria Spatial Strategy 2008-28 Development Principles) and public open space/play equipment (CDLP Policies LC2 and LC4).
 - 2.4 Whether the proposal meets the objectives of Policy H5 of the CDLP regarding the provision of affordable/social housing.
 - 2.5 Whether there are any significant adverse effects on ecology/County Wildlife Site and the historic environment (the NPPF, Circular 06/2005; JSP Policies E35 and E38; CDLP Policies CP2, LE3, LE5 and LE9).
 - 2.6 Whether the proposal would be detrimental to the living conditions and security of local residents, and highway safety/capacity (CDLP Policies CP17 and H1).
 - 2.7 Whether the proposal would be detrimental to the landscape and visual character of the area (saved Policies E34 and E37 of the JSP; and CDLP Policies CP1, CP3, H3 and LE7).
 - 2.8 Whether the proposed residential development is appropriate in the light of Hadrian's Camp former use as a military camp and proximity to Brunstock Beck (drainage) (CDLP Policies LE27, LE29 and LE30).

In undertaking the assessment, the Council commissioned independent advice from Lloyd Bore regarding ecology.

3. Application Details

The Site

- 3.1 This application relates to 4.997 hectares of the former military training base/Army Apprentices School known as "Hadrian's Camp" located on the eastern side of the Houghton Road to the immediate south of residential development at Antonine Way/Tribune Drive associated with the village of Houghton; and north of a transport depot for Cumbria Constabulary and existing ribbon development at 2-48 Houghton Road. To the south of the transport depot there is further residential development at Centurion Walk and Hadrian's Gardens as well as Hadrian's (caravan) Park.
- 3.2 Houghton Road runs southwards through Houghton to the B6264/Brampton Old Road and northwards to the A689. The B6264 and A689 both join the A69 linking Carlisle with Newcastle. The A689 also leads to junction 44 of the M6.
- 3.3 Houghton currently comprises approximately 482 dwellings served by a post office/convenience store, primary school, village green/sports pitch, village hall, and church.
- 3.4 The application site consists of areas of hard-standing and tracks associated with its former use combined with the natural re-colonisation by scrub and

woodland.

- 3.5 The course of Hadrian's Wall runs approximately 150 - 160 metres to the south of the application site. The whole of the application site falls within the "Buffer Zone" of the Hadrian's Wall World Heritage Site. The nearest public footpath runs from Tarraby to Houghton and then under the M6 to Brunstock.
- 3.6 The former Camp is a County Wildlife Site with Brunstock Beck 140 – 180 metres to the north-east of the application site. There is flooding associated with Brunstock Beck but the application site itself falls within Flood Zone 1 (Low Probability suitable for all uses). Brunstock Beck discharges in to the River Eden and Tributaries SSSI and SAC. Adjacent to the site entrance there is a smaller watercourse known as Gosling Sike. The application site lies within the County Council's Landscape Character Type 5b: Low Farmland. Under the Proposals Map of the Carlisle District Local Plan 2001-2016 the application site adjoins the defined settlement boundary for Houghton.

The Proposal

- 3.7 The current application seeks outline planning permission for residential development with all matters reserved for subsequent approval. A letter from the agent dated the 17th October 2012 has confirmed that his clients are continuing negotiations with regional and national house-builders who see the site as being located in an area where people are keen to live; there is significant interest from Registered Social Landlords in respect of the affordable element; his clients are agreeable to the imposition of conditions restricting the height of the dwellings to no greater than two and half storeys and limiting the development to not more than 99 dwellings (i.e. at a density of about 26 dwellings per hectare); and the intention would be for a management company to be established to deal with the areas of public open space.
- 3.8 The submitted indicative plans show vehicular access from Houghton Road; the density of the proposed housing rising from "low" to "medium" as it progresses from the west to the east; the retention of the existing trees as far as possible; and the provision of open space following the route of the main estate road combined with an additional area that directly links to the existing provision serving Antonine Way/Tribune Drive. The intention is also to incorporate a Sustainable Urban Drainage and wildlife pond off site.
- 3.9 The proposal is accompanied by a Design and Access Statement (Eden Environment Ltd); a Flood Risk Statement, a Preliminary Environmental Appraisal, and Phase 2 Ground Investigation Report (Geo Environmental Engineering); a Transport Assessment and Travel Plan Framework (RG Parkins & Partners); Ecological Assessment (Hesketh Ecology); Planning Statement (Taylor & Hardy); a Tree Survey Julian Russell); and a Drainage Statement (RWO Associates).

4. Summary of Representations

- 4.1 This application has been advertised in the form of press and site notices, and the direct notification of the occupiers of 65 neighbouring properties. The application has also been advertised as departure from the Local Plan. In response the Council has received correspondence from 3 individuals commenting on the proposal; 42 formal objections (inclusive of Rory Stewart MP); and 3 letters/e-mails of support.
- 4.2 The main points raised in respect of the comments received centre on what is considered “affordable”, and the following points: the number of houses will significantly increase the size of Houghton; the development will merge Brampton Road into Houghton and thus make it more of a suburb than a village; will there be more houses later on?; the School is up to capacity; if the School was to extend, the “village school” culture would change; the village is already congested, parking around the school and shop is a nightmare – this can make it dangerous at times; more houses would increase the traffic and potential risk to those in the village; and the access onto Houghton Road is potentially dangerous.
- 4.3 The correspondence objecting to the proposal has been summarised below under its respective headings.

Highways

- Lead to increased traffic congestion and safety risks on an already busy main road
- Object to any notion of using Centurions Walk as any type of access road
- The current “botched” traffic calming system through the village would struggle to cope
- Already at peak times the parking of vehicles outside the school/nursery/shop/green is haphazard and dangerous – an accident waiting to happen
- Houghton Road is often used by horses and farm vehicles as well as commuters – used as a “rat run” and for access to Houghton Hall Garden Centre
- At peak times traffic can tailback at the junction of Houghton Road and Whiteclosegate/Brampton Road
- Houghton Road has two blind bends giving limited visibility for all road users - increases the risk of serious injury to horse riders or slow moving traffic
- Inadequacy of public car parking in Houghton

Residential Living Conditions

- The new dwellings will be very near boundary causing loss of light
- Increased noise levels, litter, congestion and pollution
- A route linking it to Tribune Drive/Antonine Way may facilitate crime and lead to anti social behaviour
- The proposed footpath linking the development with Tribune Drive will lead to losses in privacy
- Construction process presents hazards in the form of dust, noise pollution and movement of heavy machinery

Ecology/wildlife

- Lead to loss of wildlife habitat
- A deer has run out from the field opposite Hadrian's Camp onto the road and headed into the Camp – the area attracts many forms of wildlife and deer are already falling low in numbers
- Will affect the Wildlife Trust land on the opposite side of Houghton Road
- Need a more detailed wildlife impact analysis – no mention of birds, hedgehogs, black rabbits
- The submitted ecological survey explains that as a result of the development "there will inevitably be a reduction in the suitability of the site for foraging bats" – hardly ecologically friendly especially towards species protected by law
- Very difficult to relocate wild orchids
- The hedgerow along Houghton Road is considered to be an ancient hedgerow

Housing Need

- Estate agents windows are full of houses for sale and rent that they cannot sell or rent out – who needs more houses built
- With other larger scale housing developments on the outskirts of the City this development is not necessary and could lead to properties remaining empty
- Houghton was almost doubled in the late eighties and early nineties and simply does not need to grow any more
- Can you be certain the project will be completed, has the developer given any guarantees that the project won't be abandoned if the economy dips again
- If the urban allocation is over-subscribed and the rural allocation can only be made in Longtown and Brampton there is no identified need for any development at Houghton
- With the urban allocation being 264 over and the Longtown/Brampton allocation being 292 under the net difference is only 28 dwellings – planning policy is not being followed

Character

- The village would become just another part of the City
- The proposed houses are out-with the village boundary – result in ribbon development and loss of green space

Precedent

- There would be a likelihood of building more housing on the same land if this development goes ahead

Education

- Houghton School and the other closest primary schools (Stanwix and

Kingmoor) are already full

- With the addition of more children it would change the School forever
- Will the School building be increased in size? And if so will that mean the taking away of parts of the School yard and field or even “building up”. Either way, this would be a great deal of unnecessary disruption for the children and their learning
- The impact would not only be felt in the village school but also on the main secondary catchment school – understand that Trinity’s Year 7 intake has been at full capacity in recent years

Flooding/Drainage

- The infrastructure of utilities will be unable to cope with the increase of drainage with an already overloaded system.
- On several occasions Houghton Road close to the proposed access to the site has flooded to hazardous conditions

Hadrian's Wall/Archaeology

- Something should be done in way that more appropriately preserve its place in Roman and modern history

Process

- This development may see the Council facilitating the land owners plans over what’s actually necessary for the village and those who live there
- Poor communication to village residents about this proposed development
- There are numerous conflicts and inaccuracies in the documentation provided e.g. the Travel Plan Framework quotes “190 residential dwellings...”

- 4.4 The letters/e-mails of support centre on the following issues: may help to sustain the viability of the Post Office and The Near Boot PH; best possible use; site currently an eyesore; when Antonine Way/Tribune Drive were constructed people objected with similar points although it is now the occupants of those houses who are objecting; will give more regular business for a small local shop; would be very interested in this development as contrary to what’s been said there is not a lot of houses for sale in the area.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - the access onto Houghton Road which is proposed has restricted visibility to the south due to the overgrown hedgerow, significant pruning/removal of parts will be needed.

The submitted Drainage Statement refers to existing watercourses Gosling Sike and Brunstock Beck. Both are Main Rivers, the former should be ruled out as unsuitable due to existing flow/capacity problems, the latter is shorter but there have been flooding incidents with 2 properties, thus a full hydraulic analysis will be needed from mouth to source and EA discharge Consent will

be required.

It is noted that this site does not cover the full extent of developable land; we normally look to 100 properties being the maximum served by a Minor Access Road/cul-de-sac layout. Thus we would look to limit the number of dwellings to 100.

Parking and servicing to properties, facilities shall be provided to meet the requirements of the Cumbria Parking Standards 1997.

The proposals for the widening of the existing access are very much Outline, as already noted visibility of 120m is needed and I would expect a pedestrian refuge island/crossing point to the immediate north of the right turn lane with footway connectivity to bus stop positions on either side of the road. This works will be subject to a Highways Act 1980 Section 278 agreement with this Authority.

It should be noted Centurion Walk (which is suggested as an Emergency Access) is a Private Street. this would need to be upgraded to adoptable standard as a formal secondary access point for more than 100 dwellings and should form part of a wider masterplan for the 'whole of Hadrian's Camp' site. I understand there are other issues which may preclude the level of housing indicated, so as this is Outline the Conditions provide adequate constraint.

No individual property accesses off Houghton Rd will be permitted, thus the first 3 dwellings proposed will need to take access off either the existing access (pending construction of the new access and stopping up of the existing), or the new access must be constructed to serve them. Up to 5 properties can be served from a Private Shared driveway. No further properties should be allowed to be occupied until the Developer has produced a detailed Estate plan and entered into a Highways Act 1980 Section 38 agreement for the construction of the Estate roads to serve at least the new agreed Phase of the development.

The Traffic generation based on the adjacent Tribune Drive site is considered robust and accepted. The survey work was done on Tuesday 17 April 2012, which was after the Easter school recess and after the Carlisle Northern Distributor Route opened for traffic. Whilst a one day count is somewhat less than we would normally seek, given the close correlation between the site observations and TRICS rates, this is felt adequate. The junction assessments (B6264 Whiteclosegate/Houghton Rd; A689/Houghton Rd; and new Estate Road/Houghton Rd) show that these work well within capacity. It should be noted the Geometric parameter tables have incorrect Minor Road Widths, unless these relate to Lane widths. It is felt, in view of the small percentage additions to existing traffic flows on the A689/B6264, that the Transport Assessment need look no further along the network.

The assessment notes the poor footways on parts of Houghton Rd, for the avoidance of doubt widening/reconstruction to 1.8m for Footway (or 2.4m if 'joint use' cycle-path between Tribune Drive and the access to the southern

part of the ex Hadrian's Camp, should be required, together with DDA compliant ramps at all accesses back to the B6264 junction and as far as Houghton Primary School. The existing street lighting system should also be upgraded to current standards.

Appendix 2 Accident plans is virtually illegible, but it is known that there are accidents between the B6264 junction and Houghton Village and a proper rigorous assessment of causation factors needs to be demonstrated, not a simple bland conclusion, there have been no accidents in the last 5 years at the Hadrian's camp access; and a similar "as can be expected there have been accidents at the Houghton Rd junctions with the A689 and Brampton Old Rd" (B6264).

Whilst there remains significant matters to be addressed for future Reserved Matters Applications, we are content from the information provided there is nothing to sustain a refusal on Highways/Traffic grounds for this development, assuming the appended Conditions area included in any Outline consent

Housing Development Officer: - under Policy H5 of the Carlisle and District Local Plan a contribution to affordable housing of 25% can be requested on large rural sites - 25 or more dwellings. In this instance, that works out at 24 units, however, if the developer was to involve a registered provider and allow some of the units to be for affordable rent then the number of units could be reduced, on the basis, that 2 affordable rented is worth 1 discount sale unit of Carlisle City Council's low cost housing scheme.

The housing strategy team note from the Planning Statement provided indicates that the proposed style of units will primarily consist of 2 to 5 bedroom properties. Still, with the proposed Welfare Reforms coming into effect in April 2013 we would request that the developer consider the inclusion of some 1 bed properties in the affordable housing contribution as existing tenants of social housing may want to downsize from larger properties in an attempt to avoid the bedroom tax.

The Housing Needs and Demand Study 2011 for Carlisle indicated that there's a net shortfall of 101 affordable homes in the Rural East Housing Market Area for the next five years which includes Stanwix Rural ward.

Stanwix Rural Parish Council: - in a letter dated the 13th September the Council confirmed that it had resolved to object to the proposal for the following reasons:

- the area is identified as a wildlife site and is adjacent to a newly created wetland area;
- in a recent survey undertaken by the Parish Council, 58% of respondents to the survey indicated that they were opposed to any further development;
- concerns over infrastructure capacity, safety, local amenities and extension of ribbon development;
- lack of detail in the outline application and what is offered may be different at the final planning stage i.e. the outline proposal is currently

- 96 houses but this may be subject to larger numbers in the future;
- major concerns over the capacity of the school to take any further pupils and a recognition that schools in the adjacent areas do not have spare capacity;
- requirement to meet social housing needs, an area where the Parish Council has long supported the need for development;
- absence of detailed plans relating to services provision and an inadequate travel plan; and
- the evidence of a range of current existing planning approvals and applications across the City to meet local need.

The Council is in support of residents letters of objection and also resolved to include with this response the notes of a public meeting held on the 29th August 2012.

In a letter dated the 24th October, the Parish Council made a further submission in support of its objections on the basis of the impact of the proposal on 1) the County Wildlife Site; 2) conflict with housing policy; 3) the use of previously developed/contaminated land; 4) Hadrian's Wall; 5) overall conflict with policies of the Local Plan; 6) conflict with the National Planning Policy Framework; and 7) problems associated with an outline application.

County Wildlife Site

- Policy LE3 Other Nature Conservation Sites of The Carlisle District Local Plan 2001 – 2016 stresses the importance of County Wildlife Sites as *"...examples of important habitats with uncommon species of plants and animals."*...and continues: *"The importance of sites such as these has become significantly greater in recent years, as changing agricultural practices and the disappearance of traditional management in the countryside have resulted in the loss or alteration of many sites."*
- 1) The applicant's Ecological Assessment fails to mention the ponds and wetlands created by Cumbria Wildlife Trust, at Gosling Sike Farm, stating that no ponds occur within 500m of the proposal site boundary, [Ecological Assessment Para 6.3.13] These ponds and wetlands are intended to provide a habitat for colonisation by various species of protected wildlife, including UK Biodiversity Action Plan (BAP) Priority Species such as Great Crested Newts; Common Toads; Otter; Reed Buntings [Appn No 11/1078 Design & Access Statement].
 - 2) The County Wildlife Site forms a vital corridor between the newly created wetland habitat and Brunstock Beck which, in turn, leads to the River Eden Special Area of Conservation (River Eden SAC). However; the Ecological Assessment fails to identify the presence of Gosling Sike, which traverses the County Wildlife Site, and forms an aquatic conduit linking these same locations.
 - 3) No need has been established which would justify building a 96 unit housing estate on the County Wildlife Site and which would certainly set a precedent for further applications to develop the remainder of the site.

(Ref. paragraphs 1.6 & 2.5 below).

- 4) Carlisle City Councils Strategic Housing Land Availability Assessment Update - September 2012 is dismissive of the County Wildlife Site, referring only once to the existence of “wildlife concerns”. At the same time the document clearly indicates an expectation of further development, the Houghton Settlement Map showing the entire area of the former Hadrian’s Camp to be deliverable within 0-5 years after Local Plan adoption.
- 5) Any major built development on the County Wildlife Site would destroy the cohesion of its environmental integrity; greatly prejudice its value as a habitat; restrict the ability of wildlife to utilise the natural corridor between habitats, and; limit the preservation and enhancement of biodiversity.

Conflict with Housing Policy

- 6) The proposed development site lies outside the defined boundary of the settlement and constitutes a ‘Major Development’. Supporting paragraph 2.27, of Policy DP1, of the Carlisle District Local Plan 2001 – 2016 states:

“The focus for new development proposals should be the urban area of Carlisle, with limited rural development.” Policy DP1 also states that the settlement boundaries are tightly drawn to limit development and; reflect the extent of existing development and; that outside these locations development will be assessed against the need to be in the location specified. Paragraph 5.79 of the Carlisle District Local Plan 2001 – 2016 states: *“Within the rural part of the District housing land allocations will only be made in Longtown and Brampton as Key Service Centres.”*...and: *“Outside those Key Service Centres, new dwellings will be limited to infilling or small scale development in line with Policy H1.”*

- 7) The Local Plan also notes, below paragraph 5.79 that the Brownfield rural target ‘has been exceeded; whilst supporting paragraph 5.80, of Policy H4, states that ...*“The remaining brownfield dwellings can easily be achieved through small-scale windfall during the Plan period.”* As a Major Development outside a Key Service Centre the proposed 96 residential units cannot possibly be considered to be ‘small scale development’; nor ‘limited’; nor ‘infill’; nor ‘small-scale windfall’.
- Supporting paragraph 5.5 of Policy H1, states: *“Proposals which will extend a settlement in such a way as to act as a precedent for the release of other land for development beyond the village limits will not be acceptable.”*
 - The owner of the proposal site also owns the remainder of land edged blue on the site plan, which is described in application documents as being *“...part of a larger scope of development that could incorporate social housing, residential care homes and some light business use”* [Phase 2 Ground Investigation Report, para1.0];

- Whilst the Carlisle City Council Strategic Housing Land Availability Assessment Update - September 2012, also anticipates further development of the site. If permitted, the proposal would, therefore, most certainly act as precedent for the release of other land beyond the village limit and must be considered to be un-acceptable under Policy H1. The proposal site is not within the urban fringe and is **outside** rather than in the Local Service Centre.
 - The site is well screened from the village of Houghton by the tree-line which defines the boundary of the settlement. This significant screening would effectively prevent the proposed development from relating well with the built environment of existing settlement causing it to appear as an intrusive 'stand-alone' housing estate.
 - The development if permitted would also noticeably reduce, the distance between Houghton and the built frontage of Houghton Road, to the south, and which extends from the urban boundary. This, and the precedent for further development, would certainly lead to a loss of clear separation between, and a blending of, the urban and rural parts of the City.
 - The County Wildlife Site contributes greatly to the character of Houghton and complements the neighbouring Gosling Sike wetlands. The proposal would significantly prejudice the character of these local landscape features and impede the integration of the Gosling Sike wetland habitat into the wider ecosystem.
 - No need for the proposed development is evidenced. Local services are already well supported; the proposed development would overburden the village school and add to existing traffic problems around the village shop, and school.
 - Local bus services are limited after 6:00pm, and at weekends, and can sometimes be erratic, often making impractical any realistic alternative to car travel. The proposal is therefore of an inappropriate scale and compromises the objectives of sustainable development.
 - Carlisle Strategic Housing Land Availability Assessment - Update September 2012, states:
"This version of the Carlisle SHLAA currently demonstrates enough deliverable and developable land to support 9,460 new houses over the 15 year plan period of the forthcoming new Local Plan." The SHLAA Update also states that a number of possible housing targets of between 400 to 650 new dwellings per annum were considered i.e. a total of 6,000 to 9,750 new dwellings over the 15 year period of the new Local Plan.
12. The SHLAA Update also points out that available land falls just short of meeting the higher 650 target. This figure does not include a build capacity

in respect of the 245ha developable site, south of Carlisle, identified as OC17 [Appendix B of the SHLAA Update] for which no projected capacity is indicated. 850 houses are approved to be built at Crindledyke (Appn No 09/0617) for which consent was given on 23 April 2012.

- Consent for a further 295 dwellings, including 59 affordable units, is now sought in respect of a site in the Upperby area.
 - A further 45 empty houses are to be brought back into use by Carlisle City Council.
 - An additional 100/150 houses are proposed for a site in Dalston.
 - Further applications for major developments i.e. 46 dwellings at Scotby Green Steading (Appn 12/0710) and; 32 dwellings and Broomfallen Road Scotby (Appn 12/0790); currently await determination.
- These proposals alone are likely to generate 752 new homes, not inclusive of the outstanding 666 at Crindledyke – a total of 1418 units likely to be delivered in the short to medium term. This capacity far exceeds the required 450 unit target of the most recent Housing Need & Demand Study [report PPP 13/12, Policy and Communications Manager 11 Oct 2012] as agreed by the Executive in March 2011 - and even that recently reported of 500 to 600 units per annum [Cumberland News 12 October 2012].
 - The Interim Planning Policy Statement for New Housing Development in Carlisle (adopted 1 May 2012) and which should only be used in the absence of a 5-year supply of housing land allows for the consideration, of proposals for new housing development on land currently excluded from such development. It should be interpreted in conjunction with other saved policies in Local Plan and; proposals are required to demonstrate that the site will be deliverable within the five year supply period relevant to the date of application.
 - As the SHLAA Update identifies sufficient land to accommodate 630 units per year over 15 years a number well in excess of the 450 target of the most recent Housing Need & Demand Study, the Interim Planning Policy Statement for New Housing Development in Carlisle should not be used.
 - Further; the applicant, North Associates, has confirmed that the company acts for the landowner rather than a developer [Stanwix Rural PC consultation response 17 Sept 2012 - notes of public meeting, 29 August 2012]. Thus the application fails to demonstrate with any certainty that the proposal would be deliverable within the supply period relevant to the date of its submission. Therefore, the Interim Planning Policy Statement for New Housing Development in Carlisle is, again, inapplicable.

Previously Developed Land/Contaminated Land

1. The Local Plan's definition of what may constitute 'previously developed land' includes:

"Land that was previously-developed but where the remains of the permanent structure or fixed surface structure have blended into the

landscape in the process of time (to the extent that it can reasonably be considered as part of the natural surroundings)...There is no presumption that land that is previously-developed is necessarily suitable for housing development nor that the whole of the curtilage should be developed."

2. Having reverted extensively to a natural state the County Wildlife Site, where remnant narrow roadways have become extensively degraded and overgrown with many of the disused metalled surfaces being; *"..Well covered with Bryophytes and Sedum sp."* [Ecological Statement Para 6.2.5]. The proposal site now typifies an area that has, *" ...blended into the landscape in the process of time, to the extent that it can reasonably be considered as part of the natural surroundings..."*
3. Asbestos and heavy metal contamination has been recovered from test pits identified as 'hotspots'; one of these, approximately 50 feet from neighbouring residential property, being found to contain *"many/much fragmented asbestos sheets/tiles, some brick and rare metal"* [Phase 2 Ground Investigation Report: GEO2012-187: Area A, Hadrian's Camp, Houghton – TP12]
4. Gosling Sike which links the new wetland habitat with Brunstock Beck, a tributary of the River Eden SAC, provides a contaminant pathway to the SAC as receptor. The contaminants identified above have the potential to cause harm to the SAC, should they enter Gosling Sike. This linkage and the risk accruing from a breach of Gosling Sike's environmental integrity are not addressed by the Ground Investigation Reports.
5. As the ground investigation has, quite literally, only scratched the surface of the entire site, and *"it should always be considered that ground conditions have the potential to vary between the exploratory hole locations to those identified"* [paragraph 2.2 Limitations of Use, of Phase 2: Ground Investigation Report], there may also be a need for an Environmental Statement and/or Environmental Impact Assessment. A full remediation strategy may also require to be submitted prior to the determination of the application.
6. Though contaminated the land very efficiently serves an existing, and highly beneficial, use as County Wildlife Site, which functions as an important biodiversity enabler. These sites are described in the Carlisle City Council Contaminated Land Strategy as *"important nature conservation sites"*, which may contain a rich biodiversity not found in protected sites.
7. The Carlisle City Council Contaminated Land Strategy suggests several ways of remediating contaminated land, but states that *"...these may not always represent the optimum solution for a contaminated site."* The Strategy also states the City Council's belief that: *"land should be made fit for its present use, not fit for any use"* [Paragraph 10.1]. A possible coincident benefit of maintaining the sites present use, should it remain undisturbed, may be the avoidance of need for the remediation of subsurface contamination.

8. The site is in the rural area and therefore is not prioritised for re-development by Carlisle District Local Plan 2001 – 2016. [Para 6.112]. Nor, merely by virtue of its previously developed status, can it, or any part of its curtilage, simply be presumed to be suitable for housing development. The proposal does not constitute an appropriate use of an important County Wildlife Site.

Hadrian's Wall World Heritage Site

1. English Heritage has stated that the site is of high archaeological sensitivity and an outline application makes it difficult to confirm that the proposal would have no unacceptable impact upon the World Heritage Site. It also states that a full planning application for the site would be more appropriate and that even the imposition of binding parameters in respect of heights and materials, at this stage, would not be ideal.

Conflict with Carlisle District Local Plan 2001-2016

1. Having regard to Carlisle District Local Plan 2001 – 2016 Appn No 12/01610 should be refused consent for the following reasons:
2. The proposal conflicts with Policy DP1, Sustainable Development Locations, in that:
 - There is no 'need' for the proposed development to be in the location specified.
 - Infrequent public transport links exist therefore realistic travel alternatives mean the use of a private motor vehicle.
 - The proposed development cannot be considered to be 'Limited,' as it constitutes 'Major Development' as defined by the City Council's Statement of Community Involvement - quoting the Town & Country Planning (General Permitted Development) Order 2010.
 - Local services are already well supported;
 - The proposed development would overburden the village school,
 - The proposed development would exacerbate existing traffic problems around the village shop and school;
 - Poor bus services mean that, for all practical purposes, few journeys can be made by local residents without reliance upon car travel.
 - The proposed development is outside the defined boundary of the village and is not 'limited' but constitutes a 'Major Development' as defined by the City Council's Statement of Community Involvement - quoting the Town & Country Planning (General Permitted Development) Order 2010
 - The Brownfield rural target has been exceeded
3. The proposal conflicts with Policy LE3 Other Nature Conservation Sites, in

that:

- The proposal site is defined by the LPA as an important habitat for uncommon species of plants and animals.
 - The proposal threatens the cohesive integrity of an “important habitat,” the significance of which has greatly increased in recent years.
 - The proposal impacts heavily upon County wildlife Site where replacement /relocation of species is impractical due to the frequent failure of translocation.[Cumbria Wildlife Trust, consultation response]
 - There is no overriding need for the proposed development of an important County Wildlife Site, in order to respect the importance of which permission should not be granted.
 - The proposal site constitutes an important of the County Wildlife Site of local significance which makes an important contribution to nature conservation and bio-diversity.
4. The proposal conflicts with Policy H1, Location of New Housing Development, in that:
- The proposal site lies outside the defined boundary of the village and is not contained by the existing landscape features of the area;
 - being isolated from the village by an existing screen of trees it does not relate well to the form, scale and character of the rest of the village;
 - If permitted the proposed development would have adverse impact upon the neighbourhood amenity of the village through overburdening the village school, and adding to existing traffic problems around the village shop and school.
 - As the applicant owns the remainder of the site (edged blue on the site plan) the proposal, If permitted, would act as precedent for the release of other land beyond the village limit. As such it must be considered to be un-acceptable.
 - Though not an integral part of the village the proposal site constitutes a County Wildlife Site which contributes to the character of Houghton and complements the neighbouring Gosling Sike conservation area.
5. The proposal conflicts with Policy H4, Residential Development on Previously Developed Land and Phasing of Development, in that:
- The proposed development is unsustainable within the context of Policy DP1 - see above.
 - Because of its non-compliance with Policy DP1 the proposed site fails to provide an opportunity for rural brownfield residential development.
6. The proposal conflicts with Proposal H16, Residential Allocations, in that:
- The proposal site is outside a Key Service Centre and is not a small scale infill site but a ‘Major Development’
 - The rural the brownfield target has been exceeded
 - The proposal site is not a small scale windfall site but a ‘Major Development’

7. The proposal conflicts with Policy LE29 Land Affected by Contamination in that:
- The site is in the rural area and therefore is not prioritised for re-development, by Carlisle District Local Plan 2001 – 2016.
 - The land is already serving an existing, very efficient, and highly beneficial use as County Wildlife Site.
 - A remediation strategy is required due to contamination by “*many/much fragmented asbestos sheets/tiles, some brick and rare metal*” proven to exist approximately 50 feet from neighbouring residential property, [Phase 2 Ground Investigation Report: GEO2012-187: Area A, Hadrian’s Camp, Houghton – TP12]
 - Due to proven contamination of the site there may be a need for an Environmental Statement and/or Environmental Impact Assessment.
8. The proposal conflicts with Policy LE30 Derelict Land; in that:
- As a former War Office/MOD site there is high possibility of, perhaps extensive, un-remediated ground contamination. A factor acknowledged at paragraph 2.2 of Geo Environmental Assessment: Phase 2: Ground Investigation Report: “*It should always be considered that ground conditions have the potential to vary between the exploratory hole locations to those identified*”
 - The proposal does not constitute an appropriate use of an important County Wildlife Site.
 - The County Wildlife Site has reverted extensively to a natural state where even the remaining narrow and decaying roadways are becoming extensively degraded and overgrown.
 - As a County Wildlife Site the land constitutes an important enabler of biodiversity and should be safeguarded.
 - Should it remain undisturbed, as a wildlife habitat, extensive remediation of subsurface contamination may not prove necessary.
9. Therefore; Policy LE5 Hadrian’s Wall World Heritage Site, in that:
- The site is of high archaeological sensitivity and;
 - an outline application makes it difficult to confirm that the proposal would have no unacceptable impact upon the World Heritage Site and;
 - that a full planning application for the site would be more appropriate and;
 - that even the imposition of binding parameters in respect of heights and materials, at this stage, could not be relied upon to protect the World Heritage Site from potential unacceptable impact.
10. The proposal conflicts with Policy LE7 Buffer Zone on Hadrian’s Wall World Heritage Site, in that:
- The proposal is not consistent with other important Local Plan policies
 - The proposal site is heavily screened from the village by the trees which define the boundary of the settlement.
 - This significant screening would effectively isolate the proposed development thus preventing it from adequately reflecting the scale and character of the settlement.

Conflict with the National Planning Policy Framework

1. The proposal conflicts with paragraphs 111; 114 and 118 of The National Planning Policy Framework, in that:
 - The site has an existing and effective use as a County Wildlife Site
 - The existing County Wildlife Site has a high environmental value.
 - The existing use is an example of positive planning “for the creation, protection, enhancement and management of networks of biodiversity and green infrastructure”.
 - The proposed mitigation measures are identified as being “wholly inadequate” [Cumbria Wildlife Trust]
 - There exists “abundant evidence” that translocations often fail and should be considered only as a last resort. [Cumbria Wildlife Trust]
 - As a County Wildlife Site, of high environmental value, the proposal site constitutes part of a network of green infrastructure.
 - There is no need or benefit for the proposed development of the County Wildlife Site that would clearly outweigh its loss.
 - The nature of the outline application prohibits the safeguarding of any currently proposed mitigation measures.

Outline Application

1. English Heritage’s material concerns, regarding the outline nature of the application, reflect those voiced by the community and held by the Parish Council. The reasons for these concerns are well evidenced by recent precedent following a recent application to vary a condition of a previously approved permission - Appn No12/0495 This revision allowed houses to be built to a lower sustainability code standard than that specified in the outline application, the developer asserting that the higher standard would be un-viable in the present economic climate.
2. Members expressed dissatisfaction regarding the application to amend the condition, one requesting that a further condition be imposed to ensure that future phases of the scheme remained at higher standard. Another stated that she would not be happy to approve the application; whilst the ward councillor commented that allowing the variation may encourage the applicant to take a similar approach on subsequent phases. Officer advice was that, under the provisions of National Planning Policy Framework, “*Members had to make the concession as requested*” [Development Control Committee minutes Friday 13 July 2012].
3. This concession amply illustrates the inherent risk of ultimate failure when attempting to condition outline applications and; supports the view of English Heritage that a full application should be submitted.
4. In consideration of the precedent outlined above, and; in order to ensure the greatest likelihood of success in enforcing conditions in respect of the County Wildlife Site and the World Heritage Site, Stanwix Rural Parish Council urges that this, and/or any other, proposal for a built development, on any part of the former Hadrian’s Camp, should be made subject of a full application.

Cumbria Constabulary - North Area Community Safety Unit (formerly Crime Prevention): - following observations regarding this application, which have been considered from a crime prevention and community safety perspective.

Layout

Generally, the proposed layout is acceptable from a crime prevention perspective, in that the (indicative) dwellings tend to overlook each other and are orientated to address the vehicular/pedestrian routes. All designated routes should be within clear view so that users shall feel safe and reassured as they move around the development.

Noted from the submitted Design and Access Statement that '....all open spaces are overlooked by housing ensuring that open spaces are safe and feel safe....' Although this is an application for outline permission, this concept needs to be carried through to the final design, in the event of this application being approved.

Permeability

Noted that the intention to link the development to Tribune Drive, via the Public Open Space. Unfortunately, the dwellings in Tribune Drive have their backs to this space (with consequent reduction in passive surveillance opportunities) which compromises overall security. From a community safety perspective, this space should be more formally addressed by new dwellings, thereby enhancing enclosure to this space, yet emphasising the link to Tribune Drive beyond.

The DAS refers to opportunities for further development within the Hadrian's Camp site, referring to 'networks of open spaces, ecological corridors and local and commuting routes'. Care should be taken to avoid excessive permeability, which has been shown to be a crime generator. Vehicle routes, footpaths and cycle-ways must provide direct links to support each development. Superfluous routes that merely provide shortcuts or unrestricted access for non-residents should be avoided.

Site Perimeter

Clarification required regarding the proposed site perimeter treatment, in order to protect the adjacent Cumbria Constabulary asset from intrusion.

Definition of Space (Landscaping)

The use of new and existing hedging to define space is welcomed. Thresholds between public and semi-private space must be obvious, so that householders retain control and ownership of their own curtilage. (Spaces that are not clearly defined are prone to misuse and abuse).

Utilising landscaping elements for this purpose (where appropriate) has

obvious additional benefits in respect of colour, texture, visual interest and wildlife habitat.

However, this method also creates maintenance issues. Regular ground maintenance and trimming of shrubs and trees is required to demonstrate care and ownership. The choice and location of species is essential to maintain passive surveillance opportunities (not just from ground level), complementing street lighting schemes and avoiding the unintentional creation of hiding places.

The DAS highlights the desire 'to provide a green framework for the housing development', but it would be helpful to ascertain how this concept shall be sustained.

Further Consultation

If this application is successful, further consultation would be welcome prior to any application for Full permission. In order to comply with National Planning Policy Framework and Policy CP17 of the Local Plan, the applicant must demonstrate how crime prevention and community safety measures have been incorporated into the design.

Guidance is also available from the Supplementary Planning Documents 'Designing Out Crime' and 'Achieving Well Designed Housing'.

Secured by Design Compliance

The applicant may also wish to consider applying for Secured by Design accreditation. Compliance with the national police initiative could enhance the market appeal of the development, but will also attract credits under the Code for Sustainable Homes scheme.

Natural England - relating to protected species, biodiversity & landscape: - In relation to drainage it is noted that foul water will be drained via the public sewerage system and surface water will be managed either via soakaways or discharge to watercourses. The watercourses - Brunstock Beck and Gosling Sike - both discharge in to the River Eden and Tributaries SSSI and SAC. We advise that sufficient pollution prevention measures will need to be designed into the detailed drainage design, and employed on site during the construction period, in order to not impact on the interest features of the designated river.

The submitted Drainage Statement recognises that a greenfield rate of discharge will be required by the Environment Agency for a new discharge, with suitable levels of treatment prior to discharge. We are satisfied that appropriate avoidance and/or mitigation can be designed in to the drainage scheme, at the reserved matters stage, in order to avoid impacts on the designated site.

In relation to ecology the updated Ecology Report by Hesketh Ecology identifies likely impacts on protected species, and advise that the recommendations and enhancements outlined should be conditioned as part of any planning permission.

Cumbria County Council - (Archaeological Services): - the site lies 160 metres north of Hadrian's Wall and is located in the visual impact zone of the World Heritage Site. However, our advice relates specifically to the heritage assets that survive on the site.

The site has been the subject of an archaeological desk based assessment. The results show that it is unlikely archaeological remains survive below ground due to its location and the extensive disturbance that occurred during the construction of the 20th century military camp. The military camp itself is of some interest however, particularly in reference to the social history of Carlisle, and although much of it has been cleared away, its overall layout and the foundations of some of the buildings do survive.

It is therefore recommended that the remains of the 20th century military camp are photographed and recorded prior to their demolition as part of the proposed development. This programme of work should be commissioned and undertaken at the expense of the developer and advise that it can be secured through the imposition of a relevant condition.

Local Environment (former Community Services) - Drainage Engineer: - no comments received.

Environment Agency (N Area (+ Waste Disp & Planning Liaison Team): - we have considered the Level 1 Flood Risk Statement (dated 09.03.12) produced by GEO Environmental Engineering and can confirm that we agree with Section 5.0 (Conclusions) which states that the site may require the completion of a full Flood Risk Assessment.

We therefore consider that outline planning permission could be granted to the proposed development subject to the imposition of relevant conditions.

English Heritage - North West Region: - originally commented that this application lies in an area of high archaeological sensitivity, 150m to the north of the line of Hadrian's Wall, giving it a potential impact on the archaeology and setting of this World Heritage Site. EH defer in general to the advice of the County Archaeologist with regard to direct archaeological issues, but would ask for details/commitments with reference to services and drainage to either ensure that these do not have any impact on the line of the Roman frontier, or to allow such an issue to be addressed prior to determination. With reference to setting impacts, although it is likely that this site can be developed without unacceptable impact on the World Heritage Site, the outline nature of this application makes it problematical to confirm this. As such, we have to advise a preference for a full planning application for this site, or if this is not supported for parameters to be agreed on issues such as height, to give sufficient confidence as to the acceptability of any impact on setting.

Subsequently, following the suggestion of restricting the height of any development, English Heritage has responded by explaining that the suggestion of limiting development to no higher than 2 1/2 storeys would be

very useful. This parameter would ensure that future reserved matters applications would not be based on unrealistic expectations about the height of development possible in this location only 150m to the north of Hadrian's Wall. Ideally they would like to see some details on the materials to be used, although it does seem likely that a very considerable palette of materials could be used here without impact on the setting of the WHS: on balance they are content for approval of this issue to be a Reserved Matter subject to careful consideration at a later stage.

English Heritage's comments on the need for service/drainage information at pre-determination stage remain.

Hadrians Wall Heritage Limited: - no comments received.

United Utilities Water PLC: - no objection to the proposed development providing specific conditions are included in the planning permission concerning: only foul drainage connected into the foul sewer - foul water must discharge into the manhole located at Brampton Old Road; surface water drainage to discharge into either a soakaway/infiltration or watercourse; land drainage or subsoil drainage water must not be connected into the public sewer; and the connection of highway drainage from the proposed development to the public wastewater network will not be permitted.

A separate metered supply to each unit will be required at the applicant's expense.

Northern Gas Networks: - no objections;

(Former Comm/Env.Services) - Green Spaces - Countryside Officer - the treatment of public open space seems to offer sufficient space and diversity for a range of recreational objectives. From the information available it looks to be adequate to service the development and supportive of the protection of trees and hedgerows indicated on the plan. The Soft Landscape Strategy seems to be suitable for the extent and diversity of the site.

I would prefer to see some natural play facilities provided on a site of this scale, commensurate with the scale of development (Policy LC4 of the Local Plan applies).

It is not envisaged that the public open space will be transferred to the Council.

Local Environment - Environmental Protection (former Comm Env Services- Env Quality): - no objections but should be noted that the site was historically used by the military as a camp. As the site is to be used for a "sensitive development" (residential) the applicant should provide with the application sufficient information to determine the existence or otherwise of contamination and the nature and risks it may pose. The minimum requirement should be a report of a desk study and site reconnaissance (walk over). If this were to indicate the need for further investigation, this should

also be carried out and the information supplied.

Cumbria County Council - Transport & Spatial Planning: - Cumbria County Council's Development Control and Regulation Committee resolved that no objection is raised to the strategic principles of the development, provided that the Local Planning Authority:

- is satisfied that there exists a shortfall of housing land that can be met by the proposal when considered against their housing land requirement;
- secures an appropriate supply of affordable housing proportionate to local needs from the development; ensures that full and detailed consideration of ecological issues are carried out prior to determination;
- is satisfied that the development reflects and protects the character of the site and its surroundings; and
- seek a financial contribution via a S106 agreement for additional capacity at a local school, in order to provide the required additional education facilities, or failing that option funds for the transportation of the 17 pupil yield.

Cumbria Wildlife Trust: - the proposed development is a County Wildlife Site and the development will result in the loss of almost 5 ha of this 40ha site. The mitigation proposed is wholly inadequate. The proposed translocation of grassland and SUDS appears to be on the adjoining land which itself is likely to be developed in a few years time. This is not sustainable and not acceptable. There is also abundant evidence that translocations of this kind often result in failure and should only be used as a last resort. The method proposed gives few details and does not provide any reassurance that the proposed translocation has been considered in a professional way and is likely to be successful. We would also question whether the location of the SUDS requires planning permission in itself?

The applicant provides no information as to how the species rich grassland retained will be managed. Without appropriate management the interest of the grassland will be lost.

There is inadequate mitigation provided for the breeding birds on site. The 2003 survey identified the site as being of high value for birds. Despite this, no systematic survey has been carried out as part of this application and no mitigation proposed.

6. Officer's Report

Assessment

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires

that proposals be determined in accordance with the development plan, unless material considerations indicate otherwise. The development plan currently comprises the Regional Spatial Strategy (RSS), saved policies of the Cumbria and Lake District Joint Structure Plan (2001-2016) (JSP), and the Carlisle District Local Plan 2001-2016 (CDLP). The Localism Act 2011 has now been passed and the revocation of the RSS and JSP is anticipated.

6.2 In April 2012 the government published its National Planning Policy Framework. As up-to-date government advice, this is clearly a highly material consideration in the determination of the application. The NPPF seeks sustainable development/growth in economic, environmental and social respects. The NPPF *“does not change the statutory status of the development plan as the starting point for decision-making. Proposed development that accords with an up-to-date Local Plan should be approved and proposed development that conflicts should be refused unless other material considerations indicate otherwise.”* (para 12).

6.3 Members also need to have regard to the Cumbria Community Strategy 2008-2028; the Cumbria Strategic Partnership Sub-Regional Spatial Strategy; Community County Council Local Transport Plan; “Travel Plans and the Planning Process in Cumbria: Guidance for Developers” (March 2011); Carlisle Strategic Housing Land Availability Assessment (SHLAA); the City Council’s 2011 Housing Needs and Demand Study; and the City Council’s “Five Years Housing Land Supply: Position Statement” (30.09.12).

6.4 When assessing this application there are considered to be eight main issues, namely:

- Whether or not the scale and type of development is appropriate and/or lead to any significant adverse effect on housing policies (the NPPF; the Cumbria Strategic Partnership’s Sub Regional Spatial Strategy 2008-28 Development Principles; saved JSP Policy ST5; and CDLP Policies DP1, H1 and H4).
- Whether it is sustainable in terms of transport and accessibility (saved JSP Policy T31; and CDLP Policies DP1 and CP16).
- Implications for local community infrastructure – education (Cumbria Spatial Strategy 2008-28 Development Principles) and public open space/play equipment (CDLP Policies LC2 and LC4).
- Whether the proposal meets the objectives of saved Policy H19 of the JSP and Policy H5 of the CDLP regarding the provision of affordable/social housing.
- Whether there are any significant adverse effects on ecology/County Wildlife Site and the historic environment (the NPPF, Circular 06/2005; JSP Policies E35 and E38; CDLP Policies CP2, LE3, LE5 and LE9).
- Whether the proposal would be detrimental to the living conditions and security of local residents, and highway safety/capacity (CDLP Policies CP17 and H1).
- Whether the proposal would be detrimental to the landscape and visual

character of the area (saved Policies E34 and E37 of the JSP; and CDLP Policies CP1, CP3, H3 and LE7).

- Whether the proposed residential development is appropriate in the light of Hadrian's Camp former use as a military camp and proximity to Brunstock Beck (drainage) (CDLP Policies LE27, LE29 and LE30).

1) Whether or not the scale and type of development is appropriate and/or lead to any significant adverse effect on housing policies (the NPPF, the Cumbria Strategic Partnership's Sub Regional Spatial Strategy 2008-28 Development Principles; saved JSP Policy ST5; and CDLP Policies DP1, H1 and H4).

6.5 Paragraph 47 (point 2) of the NPPF states that Local Planning Authorities should:

"identify and update annually a supply of specific deliverable sites sufficient to provide five years worth of housing against their housing requirements with an additional buffer of 5% (moved forward from later in the plan period) to ensure choice and competition in the market for land. Where there has been a record of persistent under delivery of housing, local planning authorities should increase the buffer to 20% (moved forward from later in the plan period) to provide a realistic prospect of achieving the planned supply and to ensure choice and competition in the market for land."

6.6 Paragraph 47 (point 3) then adds that Local Planning Authorities should:

"..identify a supply of specific, developable sites or broad locations for growth, for years 6-10 and, where possible, for years 11-15."

6.7 Paragraph 49 of the NPPF states that:

'Housing applications should be considered in the context of the presumption in favour of sustainable development. Relevant policies for the supply of housing should not be considered up-to-date if the Local Planning Authority cannot demonstrate a five-year supply of deliverable housing sites'.

6.8 Under the NPPF "deliverable" means a site that is available now, offer a suitable location for development now, and be achievable with a realistic prospect that housing will be delivered on the site within five years and in particular that the site is viable. To be considered "developable", sites should be in a suitable location for housing development and there should be a reasonable prospect that the site is available and could be viably developed at the point envisaged (Footnotes 11 and 12).

6.9 The NPPF contains a requirement, that where a plan is silent, or there is a shortage deliverable and developable land to meet needs, then a presumption in favour of sustainable development comes into force. In effect, local planning authorities should grant planning permission unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits associated with it.

- 6.10 At the County level the Cumbria Strategic Partnership Sub-Regional Spatial Strategy (SRSS), a supporting document to the Community Strategy for Cumbria 2008-2028, sets out the spatial framework for Cumbria. The Community Strategy and the SRSS recognise that a key challenge is to secure a sustainable level and pattern of development that creates balanced communities and meets need – including the need for jobs. The SRSS Development Principles require that most development is located in designated Key Service Centres and Local Service Centres to assist in reducing the need to travel. When considering sites, the SRSS's Development Principles states that sites should be considered in the following order of priority: (a) the appropriate reuse of existing buildings worthy of retention; (b) the reuse of previously-developed land; and only then (c) the use of previously undeveloped land. Development in the open countryside is to be considered an exception (para. 5.3).
- 6.11 The SRSS states that the role of key and local service centre within Carlisle's rural hinterlands will be sustained by making them the focus of an appropriate scale of housing, local employment, retailing and community development. The SRSS identifies that Carlisle is a major service centre within Cumbria and as such should act as a focal point for development in the County allowing it act as a catalyst for the whole of the Cumbrian economy (para. 4.4).
- 6.12 Saved JSP Policy ST5 requires that new development is focused on key service centres; the scale of development should be appropriate to the size and role of each centre; and that there should be a supply of new housing over the plan period.
- 6.13 Under the current adopted CDLP 2001-2016 it is important to recognise that the application site is not within the Settlement Boundary. Policies DP1 and H1 of the Local Plan identify Houghton as a Local Service Centre.
- 6.14 However, the application site has been identified within the Carlisle Strategic Housing Land Availability Assessment (SHLAA) (September 2012), which forms part of the evidence base for the emerging replacement Carlisle District Local Plan. The SHLAA, whilst not allocating land, identifies that this site would be deliverable within the first five-year period of the Local Plan and thus able to contribute to meeting Carlisle's housing requirements.
- 6.15 Using the 5-year target of the adopted Regional Spatial Strategy (RSS) means that the annual target for Carlisle is 450 net dwellings per year, i.e. 2,250 residential units over 5 years. There is also a requirement to have a 5% (equivalent to 112 dwellings) additional "buffer" unless there has been a record of persistent under delivery of housing when it should be increased to 20% (i.e. equivalent to 450 dwellings). In the case of Carlisle, since 2006/07 there has been an annual shortfall in delivery of target which cumulatively equates to 583 dwellings. This is deemed to be persistent and therefore an additional 20% buffer is required equivalent to 90 dwellings per year. On the basis of the foregoing the annual requirement is 2700 dwellings.
- 6.16 On 1st May 2012 the Council approved an Interim Planning Statement which

sought to address the shortage in five-year housing supply and identified that applications on the edge of existing service centres would be considered favourably provided they could satisfy other planning considerations. This proposal was brought forward as a means of addressing the shortfall in supply of new housing.

- 6.17 The City Council's "Five Years Housing Land Supply: Position Statement - As of 30 September 2012" gives an overall figure of 2,765 dwellings which equates to 6.14 years supply and, against a figure of 2,700, gives 102.4% of requirement. As such there is currently sufficient supply of specific deliverable sites to provide five years worth of housing to meet the housing requirement of 450 dwellings per year with an additional buffer of 20%.
- 6.18 In summary, the current application site is not within the settlement boundary of Houghton and the latest figures indicate that there is six years supply of deliverable sites. Conversely, the site represents a logical extension of Houghton which is a Local Service Centre, and involves the re-development of brownfield land. The SHLAA, whilst not allocating land, identifies that this site would be deliverable, although likely to be at the latter end of the five year period. Considering the existing size and role of Houghton as a Local Service Centre (together with its relationship to Carlisle), the scale of development proposed (i.e. a 20% increase in dwellings) is considered proportional.

2) Whether it is sustainable in terms of transport and accessibility (saved JSP Policy T31; and CDLP Policies DP1 and CP16).

- 6.19 The Local Transport Plan 2006-2011 identifies, amongst other things, the need to improve accessibility by reducing the need to travel by guiding development to Key Service Centres that are accessible by public transport, on foot and by cycle.
- 6.20 Policy T31 of the Structure Plan requires travel plans for "*development that would otherwise generate local traffic problems*". In "Travel Plans and the Planning Process in Cumbria: Guidance for Developers" (March 2011) the County Council stipulate that a travel plan should have a minimum 10% target for reducing private vehicle trips, and that as part of a travel plan there should be a guaranteed travel plan contribution paid upfront but repaid dependent upon whether the modal shift targets are met.
- 6.21 Under the CDLP 2001-2016 Policies DP1 and CP16 are of direct relevance. Policy DP1 identifies Sustainable Development Locations of which Houghton is designated a Local Service Centre. Policy CP16 requires new development to offer a realistic choice of access by public transport, walking and cycling.
- 6.22 Houghton has its own facilities and is only 3km from Carlisle City Centre. The submitted Travel Plan Framework (TPF) highlights the distance of the access to the Camp to the centre of Houghton as approximately 350 metres. The bus routes directly passing the site are: route 64A (Kingstown Asda, The Beeches, City Centre) and routes 179/279 (Carlisle – Annan). Routes 64A and 179/279 are hourly services in each direction Monday to Saturday. The

TPF raises targets regarding walking, cycling, car sharing, and the use of public transport; and the appointment of a Travel Plan Co-ordinator to organise steering group meetings and the monitoring/reporting of targets.

- 6.23 Nevertheless, the submitted TPF is considered to be generic, and does not include any clear objectives, targets or actions that are specific to the development. The TPF is considered unacceptable in its current form; however this can be addressed by the submission and agreement of a revised Travel Plan at the Reserved Matters stage. The revised Travel Plan needing to include a stated target reduction in vehicle trips generated by the development of 10% in accordance with the County Council's "Travel Plans and the Planning Process in Cumbria: Good Practice Guidelines".
- 6.24 In order to ensure that the Travel Plan is implemented effectively, it will also be necessary to secure the following through a S106 Agreement:
- Appointment of a Travel Plan Co-ordinator (with sufficient time, budget and management support available to successfully implement the Travel Plan)
 - A Travel Plan contribution will be required (based on the cost of an annual Carlisle Megarider Plus bus ticket multiplied by the proposed reduction in the number of vehicle trips multiplied by five years, plus a fee to cover the County Council's costs incurred in identifying, developing and implementing any potential measures) in favour of the County Council to be used in the event that the targets have not been achieved. Based on the estimated trip generation set out in the Transport Assessment submitted with the Planning Application, a 96-dwelling development is predicted to generate 58 vehicle trips in the AM peak and 60 vehicle trips in the PM peak, a total of 118 trips. A 10% reduction in the AM and PM peak hour vehicle trips generated by the development would therefore equate to a total of 12 trips. Based on this, therefore, the Travel Plan Contribution would be £54,640 plus an additional contribution of £6,600 in respect of County Council staff administration time.
- 6.25 The level of Travel Plan bond would vary depending on the ultimate scale of development to be provided at this site and at this stage the S106 can set out in detail the calculation used to derive the Travel Plan contribution, with an actual amount to be finalised once the final number of dwellings is known.
- 6.26 In overall terms, the application site is considered to be sustainable in terms of its location, and the proposed development would be capable of contributing to the ongoing sustainability of the area based on the foregoing.
- 3) Implications for local community infrastructure – education (Cumbria Spatial Strategy 2008-28 Development Principles) and public open space/play equipment (CDLP Policies LC2 and LC4)**
- 6.27 The County Council has confirmed that a housing development of 96

dwellings would be projected to yield 20 primary aged pupils. The application site is within the catchment area of Houghton Primary School, which has a Pupil Admission Number of 20 for entry in September 2012. It is projected that a number of classes within the School will be full without any further development, and with this development the School will go over its net capacity. The next nearest school is Stanwix School which has a PAN of 60, but will have no spaces.

- 6.28 The projected pupil yield from this development would mean that on average Houghton Primary School will exceed its capacity by 17 pupils.
- 6.29 The County Council is therefore seeking mitigation of the effects of development through the provision of a financial contribution, which will be used to provide additional school places. Using a DfE based multiplier (£12,051 per pupil); the County Council is requiring the developer to provide a contribution of £204,867.
- 6.30 Options for the use of this money will be looked so as to best meet the needs of the pupils, the school, the community and the County Council. In the event that an expansion of Houghton or other nearby Primary Schools to facilitate the necessary capacity to accommodate the expected yield of primary aged children from this development is not feasible, it will be necessary to provide school transport for children who cannot get a school place locally. If this option was to be pursued it would require the developer to pay a financial contribution of £199,500 (inclusive of an administration fee) for the transportation of the 17 pupil yield.
- 6.31 In relation to the provision of public open space and the provision of play equipment, the City Council's Open Spaces Manager has not raised any objections although this is on the proviso that subsequent maintenance is undertaken by a management company.

4) Whether the proposal meets the objectives of Saved Policy H19 of the JSP and Policy H5 of the CDLP regarding the provision of affordable/social housing.

- 6.32 Saved JSP Policy H19 requires that the provision of affordable housing in the County should meet local need within residential or mixed-use development of sites of more than 0.4ha, or which would contain 10 or more dwellings. Policy H5 of the CDLP explains that in the urban area 30% of the residential units will contribute towards affordable housing; in the rural area 25% will be the contribution towards affordable housing. Where intermediate affordable housing is to be provided at a discounted market value a discount of 25-30% is to be sought.
- 6.33 The City Council's 2011 Housing Needs and Demand Study identified an annual need for 101 affordable homes within the Rural East Housing Market Area in which the application site is located. This figure forms part of a total annual need of 708 across the entire authority area.
- 6.34 The outline details of the application indicate that a mix of 2-5 bed dwelling

types may be provided. In the context that the applicant is agreeable to provide a proportion of affordable housing in accordance with Policy H5 of the CDLP 2001-2016, it is apparent that the proposal will assist in delivering and meeting the recognised needs for the provision of affordable housing.

5) Whether there are any significant adverse effects on ecology/County Wildlife Site and the historic environment (the NPPF, Circular 06/2005; JSP Policies E35 and E38; and CDLP Policies CP2, LE3, LE5 and LE9)

- 6.35 The key issues in this case relate to the possible impacts of the proposal on nature conservation interests “off-site” together with the “on-site” effects upon features and habitats, including protected species. Although the application site does not lie within the major international or nationally designated areas such as the River Eden Special Area of Conservation or either the Whitemoss SSSI or the River Eden & its Tributaries SSSI, Brunstock Beck and Gosling Sike both discharge into the River Eden SAC/SSSI and is directly affected by the former Camp’s non-statutory status as a County Wildlife Site (CWS).
- 6.36 In relation to off-site interests, the Drainage Statement highlights that the intention is for foul water to be drained via the public sewerage system and surface water to be managed either via soakaways or discharge to watercourses. Natural England appreciate that the submitted Drainage Statement recognises that a “Greenfield” rate of discharge will be required with *“with suitable levels of treatment prior to discharge”*. On this basis Natural England are satisfied that appropriate avoidance and/or mitigation can be designed in to the drainage scheme, a reserved matters stage, in order to avoid impacts on the designated site.
- 6.37 In relation to the impacts on the CWS, designated for its mosaic of habitats, including orchid rich grassland, the key concern is the development of the existing grassland resulting in habitat clearance and permanent loss. Policy E35 of the Structure Plan seeks to protect those areas and features of nature conservation importance other than those of national and international conservation importance e.g. CWS, UK Biodiversity Action Plan Priority Habitats that occur in Cumbria and Species of Conservation Importance in the North West Region that occur in Cumbria. Policy E35 clearly states that development that is detrimental to these interests is not permitted *“unless the harm caused to the value of those interests is outweighed by the need for the development”*. It adds that the *“loss of interests should be minimised in any development and where practicable mitigation should be provided”*. Under Policy LE3 of the Local Plan 2001-2016 development that would have a detrimental impact on a County Wildlife Site should be resisted unless, where practical, any feature lost is replaced by an equivalent feature.
- 6.38 The “Ecological Assessment” prepared by Hesketh Ecology on behalf of the applicant recommends that the species rich turfs are relocated to an area to the east of the application site which are currently under metalled road surfaces - the surfaces having been broken up and removed beforehand. In relation to protected species, the Assessment explains that: no bat roosts

have been identified on the site; recommends that a strip of trees is maintained along the northern boundary and mature trees already present on the site maintained where possible to retain foraging habitat and features for any bats; the risk of great crested newts, reptiles and red squirrels occurring on the site is considered to be negligible; and there is a low risk of individual otters and badgers crossing the site but measures can be undertaken during construction to minimise any risks. The Assessment considers that the site offers high potential for breeding birds and recommends that all vegetation is cleared outside of the breeding bird season (March to September inclusive), and the site maintained in a bare condition to deter breeding birds.

- 6.39 Cumbria Wildlife Trust has objected to the proposal on the grounds that part of the CWS will be lost and that inadequate mitigation for the loss has been proposed.
- 6.40 In this context the Council has appointed an independent ecological consultancy (Lloyd Bore) to advise and undertake an "Ecological Mitigation Opinion". The Opinion highlights that the translocation of the species rich grassland to land north-east of the application site is already part of the CWS. On the basis of the information accompanying the application it is considered likely that the CWS would be detrimentally impacted by the proposed development, with 5ha of the CWS being lost, including areas of species rich grassland. Furthermore, it is considered unlikely that the mitigation as proposed would adequately mitigate for the impacts on the CWS. This is because of: the potential failure of grassland translocation; the potential impacts of new residents; potential lack of appropriate long-term management of the retained and translocated grassland; and lack of mitigation for impacts on the CWS due to 5ha being developed.
- 6.41 Lloyd Bore has identified alternative options for mitigation/compensation the most appropriate is considered to be a financial contribution from the developer that could enable Cumbria Wildlife Trust to purchase additional land to extend the nearby Gosling Sike Farm by 5ha (already owned and managed by the Trust as an organic farm) and to restore a species rich grassland on that site. The figure would be dependent upon the current market value but it could be in the region of £60,000 for 5 hectares; and the costs for grassland restoration costing about £1,000 per hectare.
- 6.42 In relation to the potential effect of the development on protected species, as well as other wildlife interest, Lloyd Bore note that bird survey work does not appear to have been undertaken as part of the 2012 ecology survey. The Ecological Assessment by Hesketh Ecology does not mention whether or not the site has potential for any bird species listed on Schedule 1 of the Wildlife and Countryside Act and it does not include reference to any records of Schedule 1 bird species that may have been included in data provided by the Cumbria Biodiversity Data Centre. However, the species observed on the site during previous survey work (in 2003 and 2011) do not include any species listed in Schedule 1, they include one species (song thrush) on the red list of birds of conservation concern and two species (dunnock and whitethroat) on the amber list.

- 6.43 Lloyd Bore, nevertheless, recognise that the proposed open space and native tree/shrub planting, the retention of the existing tree belts/woodland located along the northern and western boundaries, and the creation of gardens are likely to go some way to replace the breeding bird habitat that would be lost. On the basis of the mitigation included in the Ecological Assessment and the landscaping proposals Lloyd Bore consider it unlikely that the proposed development would have a significant impact on breeding birds.
- 6.44 In summary, providing that the Lloyd Bore recommendations are followed and the issues as outlined in this report are adequately conditioned in any planning permission that may be granted and made subject of a Section 106 Agreement, it is concluded that the proposed development is unlikely to significantly impact on the CWS; and populations of protected species and other wildlife.
- 6.45 The Ancient Monuments and Archaeological Areas Act 1979 is the basis for the protection of nationally important archaeological sites. Saved and extended JSP Policy E38 is relevant to the proposal. Policy E38 requires measures to be taken to identify record, protect, conserve or enhance area, sites, buildings and setting of archaeological, historic and architectural importance. Where harm occurs, an exception is made where the harm is outweighed by the need for the development. Policy LE5 of the CDLP seeks to avoid any unacceptable impact on the Hadrian's Wall Military Zone World Heritage Site, and Policy LE9 concerns the preservation or recording of other known sites of archaeological significance.
- 6.46 The Archaeological Desk Based Assessment accompanying the application points out that the former presence of the army camp, in particular its drainage system, may have had a detrimental effect on any archaeological remains that pre-date the early 20th century. It is possible that pockets of land survive between the locations of the former huts that could potentially provide information on the use of land immediately north of Hadrian's Wall.
- 6.47 English Heritage has indicated that the application site appears to lie too far north of the Roman frontier to be likely to have an impact on it. However, and in the absence of specific details on service and drainage provision, there could be a need to bring these into the site from the south, and therefore across the line of the Roman frontier. In response, the applicant's agent has confirmed that the intention is for the site to be developed by utilising the existing infrastructure and therefore should not have any material impact upon the World Heritage Site.
- 6.48 The County Archaeologist/Historic Environment Officer has explained that the military camp itself is of some interest however, particularly in reference to the social history of Carlisle, and although much of it has been cleared, its overall layout and the foundations of some of the buildings do survive. It is therefore recommended that the remains of the 20th century military camp are photographed and recorded prior to their demolition as part of the proposed development. This programme of work should be commissioned and undertaken at the expense of the developer and advise that it can be secured through the inclusion of a condition.

6) Whether the proposal would be detrimental to the living conditions and security of local residents, and highway safety/capacity (CDLP Policies CP17 and H1).

- 6.49 When assessing the impact of the proposal on the living conditions of existing residents Members will appreciate that this is an outline application with subsequent details (such as layout and design) subject to subsequent approval as reserved matters. It is also evident that the existing amenity strip that runs along the southern boundary of Tribune Drive/Antonine Way is retained.
- 6.50 General concerns regarding the large scale imposition of any sort of development on a community seeking to preserve its identity are understandable. The problems associated with the “swamping” of an existing community usually manifest themselves through pressures on existing services/facilities, and/or the creation of social instability. In this case there is no evidence that facilities would be overwhelmed and/or there is an overall lack of community spirit. Furthermore, there is no reason to believe that residents would cause, or make worse, any social discord.
- 6.51 Concerns relating to construction noise and the hours of construction can be addressed through the imposition of relevant conditions.
- 6.52 In relation to highway safety, and based upon the submitted Transport Assessment, the County Highways Authority has (amongst other things) made the following points:
- The proposed widening of the existing access will require visibility of 120m;
 - A pedestrian refuge island/crossing point to the immediate north of the right turn lane with footway connectivity to bus stop positions on either side of the road is required;
 - No individual property accesses off Houghton Rd will be permitted;
 - The Traffic generation based on the adjacent Tribune Drive site is considered robust and accepted; The junction assessments (B6264 Whiteclosegate/Houghton Rd; A689/Houghton Rd, and new Estate Road/Houghton Rd) show that these work well within capacity - It is felt, in view of the small percentage additions to existing traffic flows on the A689/B6264, that the Transport Assessment need look no further along the network;
 - The assessment notes the poor footways on parts of Houghton Rd, for the avoidance of doubt widening/reconstruction to 1.8m for footway (or 2.4m if 'joint use' cycle-path) between Tribune Drive and the access to the southern part of the ex Hadrian's Camp, should be required, together with DDA compliant ramps at all accesses back to the B6264 junction and as far as Houghton Primary school; and
 - The existing street lighting system should also be upgraded to current standards.
- 6.53 In overall terms, the County Highways Authority is aware that there remains matters to be addressed for future reserved matters applications, but is

satisfied from the information provided that there is nothing to sustain a refusal on highways/traffic grounds for this development.

7) Whether the proposal would be detrimental to the landscape and visual character of the area (saved Policies E34 and E37 of the JSP; and CDLP Policies CP1, CP3, H3 and LE7).

- 6.54 In this case a distinction needs to be drawn between three elements, namely the setting of Hadrian's Wall and the ability to appreciate Roman military planning; landscape impacts that relate to the characteristics of the landscape; and visual impacts on receptor points (houses and rights of way etc) effects that relate to individual views within that landscape. The policies of particular relevance are therefore E34 and E37 of the JSP; and CP1, CP3, H3 and LE7 of the Local Plan.
- 6.55 As already identified, the proposal is set within the Buffer Zone of the Hadrian's Wall World Heritage Site. Having assessed the submitted material, English Heritage consider that the main built element, by virtue of its location and scale, will be unlikely to have an adverse impact on the ability to comprehend and appreciate Roman military planning and land use in relation to Hadrian's Wall. This is with the proviso of imposing a condition restricting the height of the dwellings to less than two and half storeys.
- 6.56 The Cumbria Landscape Character Guidance and Toolkit (March 2011) prepared jointly for Local Planning Authorities in Cumbria describes the site as lying within the Cumbria Landscape Character Sub-Type 5b – 'Low Farmland'. The toolkit advises that much of this landscape type is intensively farmed agricultural land with a rolling topography; patchy areas of woodland; and hedges, hedgerow trees and fences bounding the fields. The Toolkit advises that when new development takes place within this landscape area, there will need to be consideration of opportunities to enhance and strengthen green infrastructure to provide a link between urban areas and the wider countryside. Reinforcing woodland belts, enhancing water and soil quality and the provision of green corridors from and between settlements could all help reinforce landscape and biodiversity features. It also seeks to ensure new development respects the historic form and scale of villages creating new focal spaces and using materials that are sympathetic to local vernacular styles.
- 6.57 The submitted Design and Access Statement explains that at the local level the landscape differs from the "Low Farmland" description in the Toolkit (2011) in that the application site's character, although set within agricultural land, is influenced by the adjacent housing, the motorway and its historic use as a military camp. At the local level the site has more an urban fringe character. The intention with the proposal is to retain almost all the significant trees and provide open spaces with footpaths that would provide a strong visual link to the neighbouring development. The Hadrian's Camp Tree Survey considers the site to be of very limited value in terms of landscape character to the wider area because of its flat topography and the screening on all sides by trees. The Planning Statement also states that the density of the proposal will accord with the character of the surrounding area; and would

not result in Houghton merging with Carlisle.

- 6.58 When assessing the impacts on the landscape character of the area, it is appreciated that the proposed development will have a noticeable visual presence. However, in the context of the site already having the hallmarks of an urban fringe character it is considered that the outlined development of this site is generally consistent with the Toolkit (2011). Those elements where potential concerns remain such as the need for the dwellings to provide a frontage to Houghton Road and trying to minimise any road(s) cutting through areas of open space) can be resolved at the reserved matters stage.
- 6.59 In relation to visual amenity, the submitted Design and Access Statement highlights that there is already a band of trees between the houses on Tribune Drive and Antonine Way and the site. These trees are such that views of the proposed development would either be screened or substantially filtered.
- **Whether the proposed residential development is appropriate in the light of Hadrian's Camp former use as a military camp and proximity to Brunstock Beck (drainage) (CDLP Policies LE27, LE29 and LE30).**
- 6.60 The "Preliminary GEO Environmental Appraisal" accompanying this application explains that the Camp was constructed circa 1939 and included self-contained huts, cook houses, baths, gymnasium, and a hall. The site was no longer in use from circa 1969 and the buildings demolished during 1971.
- 6.61 The "Preliminary (Intrusive) GEO Environmental Assessment Phase2: Ground Investigation Report" concludes that no elevated levels of generic contaminants were recorded for the soil and leachate samples screened and therefore the generic made ground materials on site are not considered as posing a significant risk to the proposed end users or to controlled waters. Elevated levels of organic contamination (soil and leachate) were noted in three trial pits that will require delineation and removal to a suitably licensed waste facility. In addition, asbestos containing materials were noted in three trial pits that will require delineation and removal to a suitably licensed waste facility. The Report also recommends that additional investigation works are required when the final proposed layout plan is determined.
- 6.62 The undertaking of the further investigation works and the removal of the identified contaminants can be the subject of an imposed condition(s) should permission be granted.
- 6.63 The application site falls within Flood Zone 1 (Low Probability suitable for all uses). The main risk of flooding from this site is to third party land. The Flood Risk Statement confirms that Brunstock Beck is present approximately 180 metres east/north-east, flowing in a south-easterly direction, and that a small issue is noted as emerging from Houghton Road opposite the site entrance. The beck that is formed then runs away to the south-west away from the site. The Statement concludes by recognising that whilst the proposed

development may result in a slight increase in the potential risk for surface water run-off, it is considered that an appropriate design of SUDS in combination with a surface water management system that could incorporate permeable surfacing for driveways, pavements and access roads may negate any risk to adjacent areas.

- 6.64 The submitted Drainage Statement, having looked at the implications of the proposed residential development, considers there to be two viable options for discharging the surface water either to soakaway or infiltration system; or to a watercourse subject to the prior approval of the Environment Agency. There should not be a need to discharge surface water to the existing public sewerage system.
- 6.65 In response, United Utilities has not raised any objection to the proposed development providing specific conditions are included in the planning permission concerning only foul drainage connected into the foul sewer. The Environment Agency has confirmed their agreement with the conclusion in the Flood Risk Assessment which states that the site may require the completion of a full Flood Risk Assessment but that outline planning permission could be granted subject to the imposition of relevant conditions.

Conclusion

- 6.66 The current application site is not within the settlement boundary of Houghton and the latest figures indicate that there is six years supply of deliverable sites.
- 6.67 Conversely, the site represents a logical extension of Houghton which is a Local Service Centre, and involves the re-development of brownfield land. The SHLAA, whilst not allocating land, identifies that this site would be deliverable, although likely to be at the latter end of the five year period. Considering the existing size and role of Houghton as a Local Service Centre (together with its relationship to Carlisle), the scale of development proposed (i.e. a 20% increase in dwellings) is considered proportional.
- 6.68 The application site is considered to be sustainable in terms of its location, and the proposed development would be capable of contributing to the ongoing sustainability of the area.
- 6.69 In the case of education, the County Council is requiring the developer to make a payment of up to £204,867 to provide the required additional school places or (that option failing) a financial contribution of £199,500 (inclusive of an administration fee) for the transportation of the 17 pupil yield. The City Council's Open Spaces Manager has not raised any objections although this is on the proviso that subsequent maintenance of open space etc is undertaken by a management company.
- 6.70 In this case there is no evidence that facilities would be overwhelmed and/or there is an overall lack of community spirit. Furthermore, there is no reason to believe that residents would cause, or make worse, any social discord. Concerns relating to construction noise and the hours of construction can be

addressed through the imposition of relevant conditions.

- 6.71 The County Highways Authority is aware that there remain matters to be addressed for future reserved matters applications, but is satisfied from the information provided that there is nothing to sustain a refusal on highways/traffic grounds for this development.
- 6.72 Based on the submitted information, the proposal is not considered to be detrimental to the landscape and visual character of the area sufficient to merit the refusal of permission; and will assist in delivering and meeting the recognised needs for the provision of affordable housing.
- 6.73 Those matters relating to contamination and the potential risk of flooding from this site to third party land can be addressed through the imposition of relevant conditions.
- 6.74 On balance, having weighed up the arguments for and against the proposal, it is concluded that any harm is outweighed by the benefits.

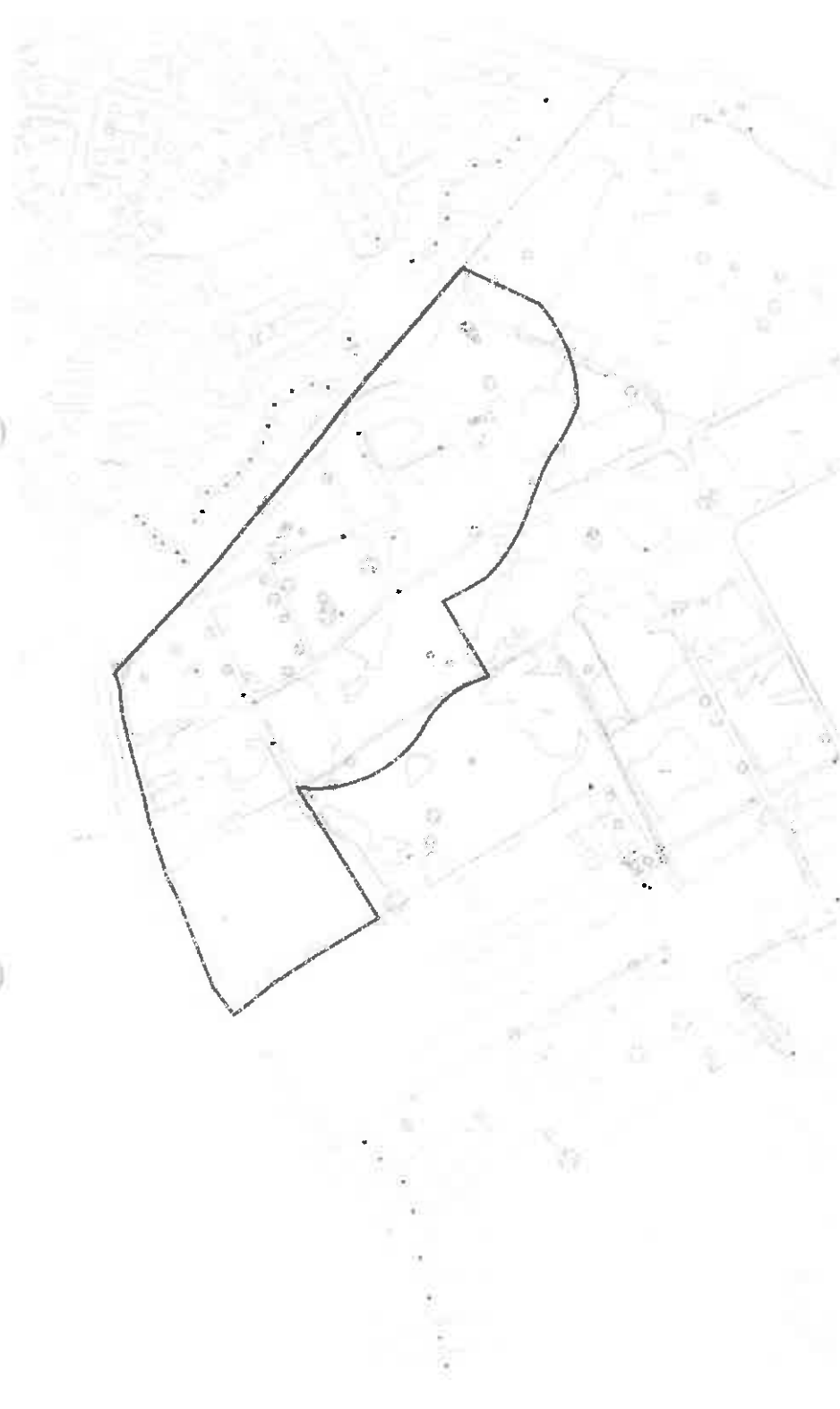
7. Planning History

7.1 The available records indicate that the site has not previously been the subject of an application.

8. Recommendation: Grant Permission

- 1. A copy of the draft decision notice is contained in the Supplementary Schedule.
-

© COPYRIGHT MANNING ELLIOTT ARCHITECTS 2011
 THIS DRAWING IS THE PROPERTY OF MANNING ELLIOTT ARCHITECTS
 IT MUST NOT BE COPIED OR REPRODUCED OR DISPLAYED
 TO ANYONE WITHOUT PERMISSION.
 DO NOT SCALE OFF THIS DRAWING
 ALL DISCREPANCIES TO BE REPORTED TO MANNING ELLIOTT
 ARCHITECTS



SITE AREA
 = 4.997 ha
 = 12.348 acres.



E: 2012-07-12 Boundary Updated
 A: 2012-02-15 First Issue.
 Revisions:



MANNING ELLIOTT

Chartered Architects
 and Designers
 Cumbria House
 Suite 1
 Gilsby Road
 Penrith, Cumbria, CA11 9FF
 Telephone: 01768 894656
 E-mail
 post@manning-elliott.co.uk

**Hadrians Camp,
 Houghton, Carlisle, Cumbria.**














Planning Drawing

LOCATION PLAN

SCALE: 1:2500@A3	DATE: Feb 2012	DRAWN BY: DMC/RJF
---------------------	-------------------	----------------------

11	35	06B
----	----	-----

KEY

-  Site Boundary
-  Existing and proposed open space
-  Existing vegetation
-  Proposed trees
-  Proposed shrubs
-  Proposed hedges
-  Proposed road layout
-  Proposed footpaths, pavements and drives
-  Species rich grassland retained in-situ
-  Translocated species rich grassland
-  Proposed SUDs and wildlife pond (not seen on this detail)
-  Proposed roadside swales
-  Section line AA - see Figure 05

12/0010

Date: 16th July 2012

Scale 1:500 at A3

Eden Environment Ltd

www.edenenvironment.com



North

Bands of trees and hedges subdivide space to provide enclosure, privacy and a green aspect for all

'Pocket Park' provides a meeting place, interconnection and intervisibility

Bands of trees and hedges subdivide space to provide enclosure, privacy and a green aspect for all

Benches provided in pocket park

Diverse mix of open space overlooked by housing green site an airy character and ensures play areas are informally supervised

Band of open space runs along road to create an open and airy link throughout the whole site, avenue trees follow the line and lead to the large open space

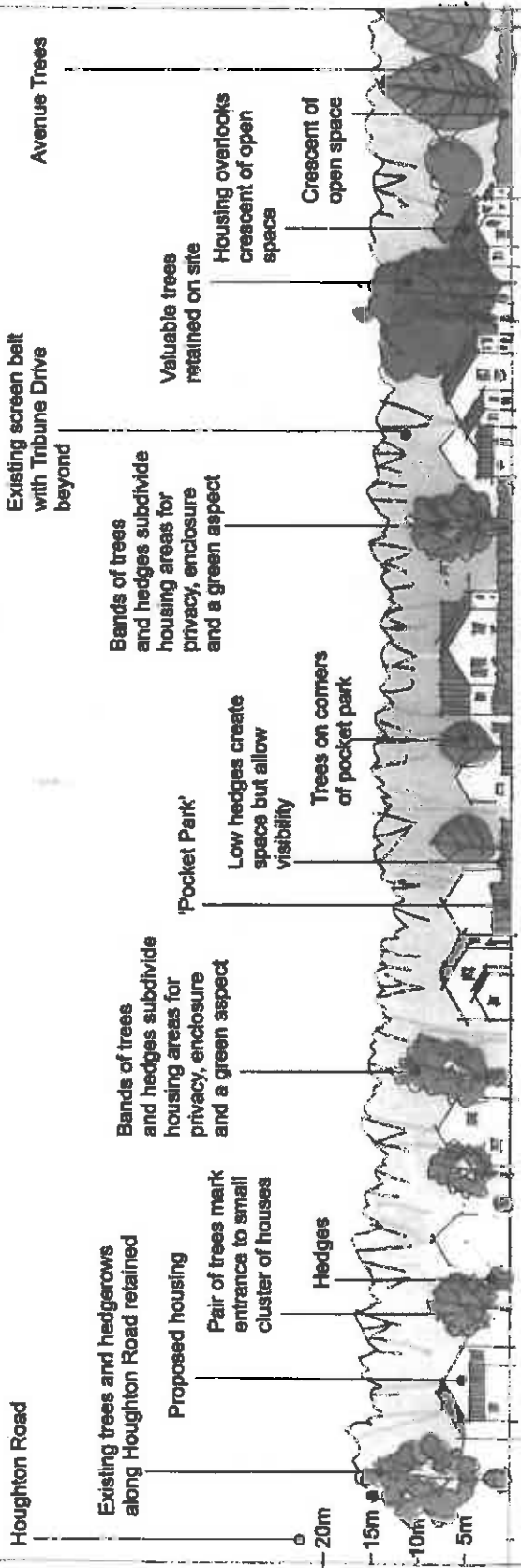
Proposed roadside swales

Avenue trees link different areas together

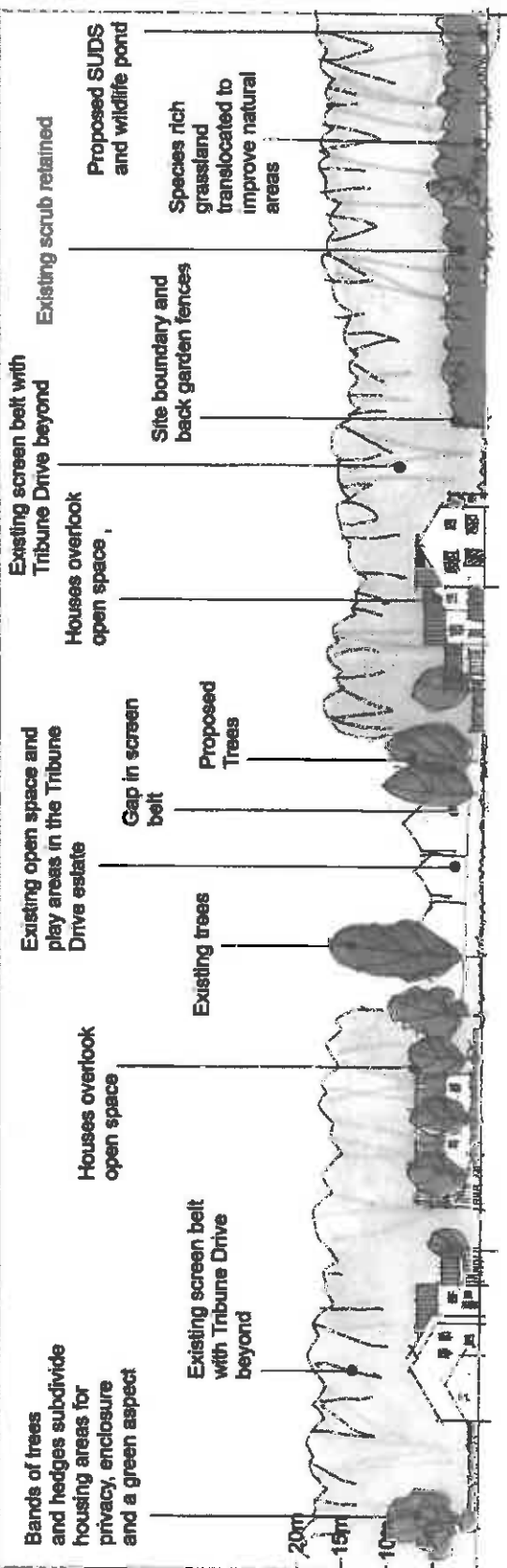
Hedges along road kept low around sight lines

High value existing trees on Houghton Road retained

Tipston Houghton Road retained



Section A - A' from Detail Area A



Section B - B' from Detail Area B











Date: 16th July 2012
Scale 1:500 of A3

Figure 02

Soft Landscape Strategy

KEY

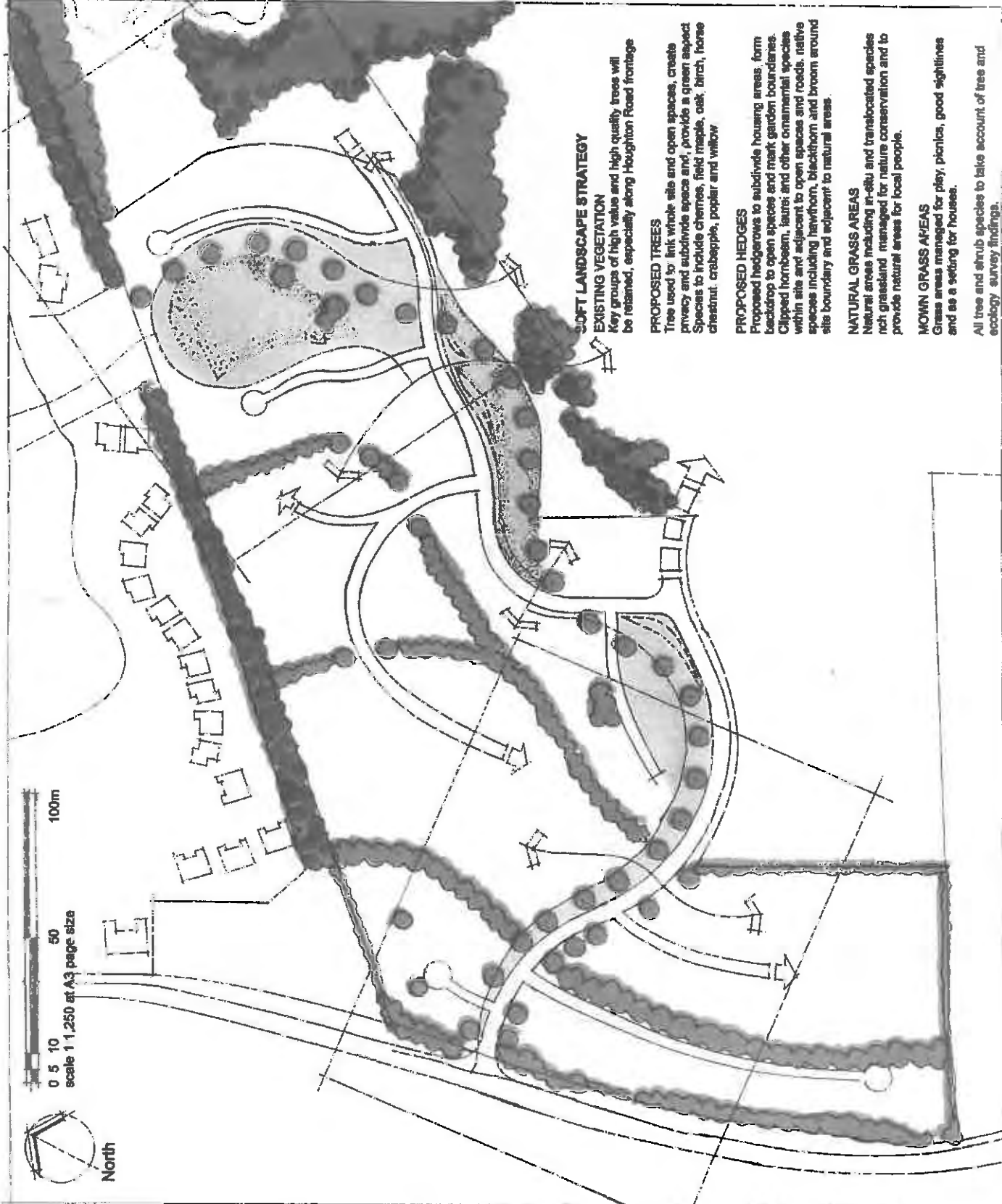
-  Existing off-site trees and scrub
-  Existing on-site trees and hedgerows to be protected
-  Proposed avenue trees
-  Proposed ornamental and garden trees (see Figures 03 and 04)
-  Proposed hedges
-  Proposed shrub planting (see Figures 03 and 04)
-  Proposed natural grass with insect and faunabridged specialist grassland
-  Proposed mown grass

EXISTING SPECIES
(taken from Ecology and Tree Surveys)

- Lambert Poplar
- Ornamental Cherry
- Grey willow
- Field maple
- Hawthorn
- White Birch
- Sycamore
- Blackthorn
- Cornus
- Ash
- Elm
- Gorse
- Brown

121000

Date: 16th July 2012
Scale 1:1250 at A3



SOFT LANDSCAPE STRATEGY

EXISTING VEGETATION
Key groups of high value and high quality trees will be retained, especially along Houghton Road frontage

PROPOSED TREES
Tree used to link whole site and open spaces, create privacy and subdivide space and, provide a green aspect
Species to include cherries, field maple, oak, birch, horse chestnut, crabapple, poplar and willow

PROPOSED HEDGES
Proposed hedgerows to subdivide housing areas, form backdrop to open spaces and mark garden boundaries.
Clipped hornbeam, laurel and other ornamental species within site and adjacent to open spaces and roads, native species including hawthorn, blackthorn and broom around site boundary and adjacent to natural areas.

NATURAL GRASS AREAS
Natural areas including in-situ and translocated species rich grassland managed for nature conservation and to provide natural areas for local people.

MOWN GRASS AREAS
Grass areas managed for play, picnics, good sightlines and as a setting for houses.
All tree and shrub species to take account of tree and ecology survey findings.

North
0 5 10 50 100m
scale 1:1,250 at A3 page size

Hechtan's Camp Housing

Figure 01

Design Concept

KEY

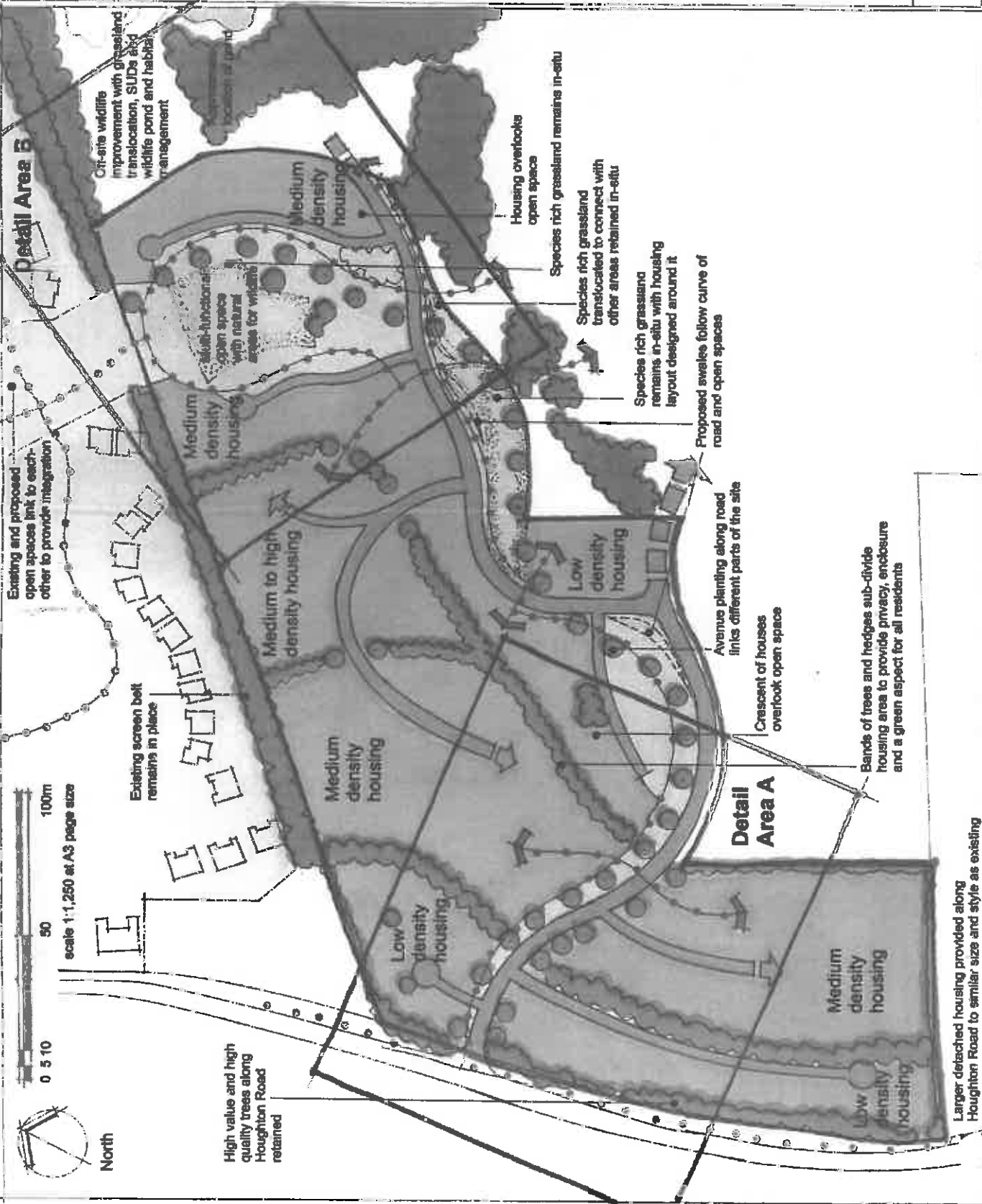
- Site Boundary
- Existing Vegetation
- Proposed Vegetation
- Proposed Housing
- Existing Housing
- Public Open Spaces existing and proposed
- Proposed road layout
- Existing Pedestrian Routes
- Proposed Pedestrian Routes
- Potential Pedestrian Routes
- Species-rich grassland retained in-situ
- Translocated species-rich grassland
- Proposed SUDs and wildlife pond
- Proposed roadside swales

Typical Areas shown in detail on Figs 03 & 04

12/06/10

Date: 16th July 2012
Scale 1:1250 at A3

Eden Environment Ltd
www.edenenvironment.co.uk



Hadrian's Camp Housing

Figure 04

Typical Detail Area B

KEY

-  Site Boundary
-  Existing and proposed open space
-  Existing vegetation
-  Proposed trees
-  Proposed shrubs
-  Proposed hedges
-  Proposed road layout
-  Proposed footpaths, pavements and drives
-  Species rich grassland retained in-situ
-  Translocated species rich grassland
-  Proposed SUDs and wildlife pond
-  Proposed roadsides swales
-  Section line BB - see Figure 05

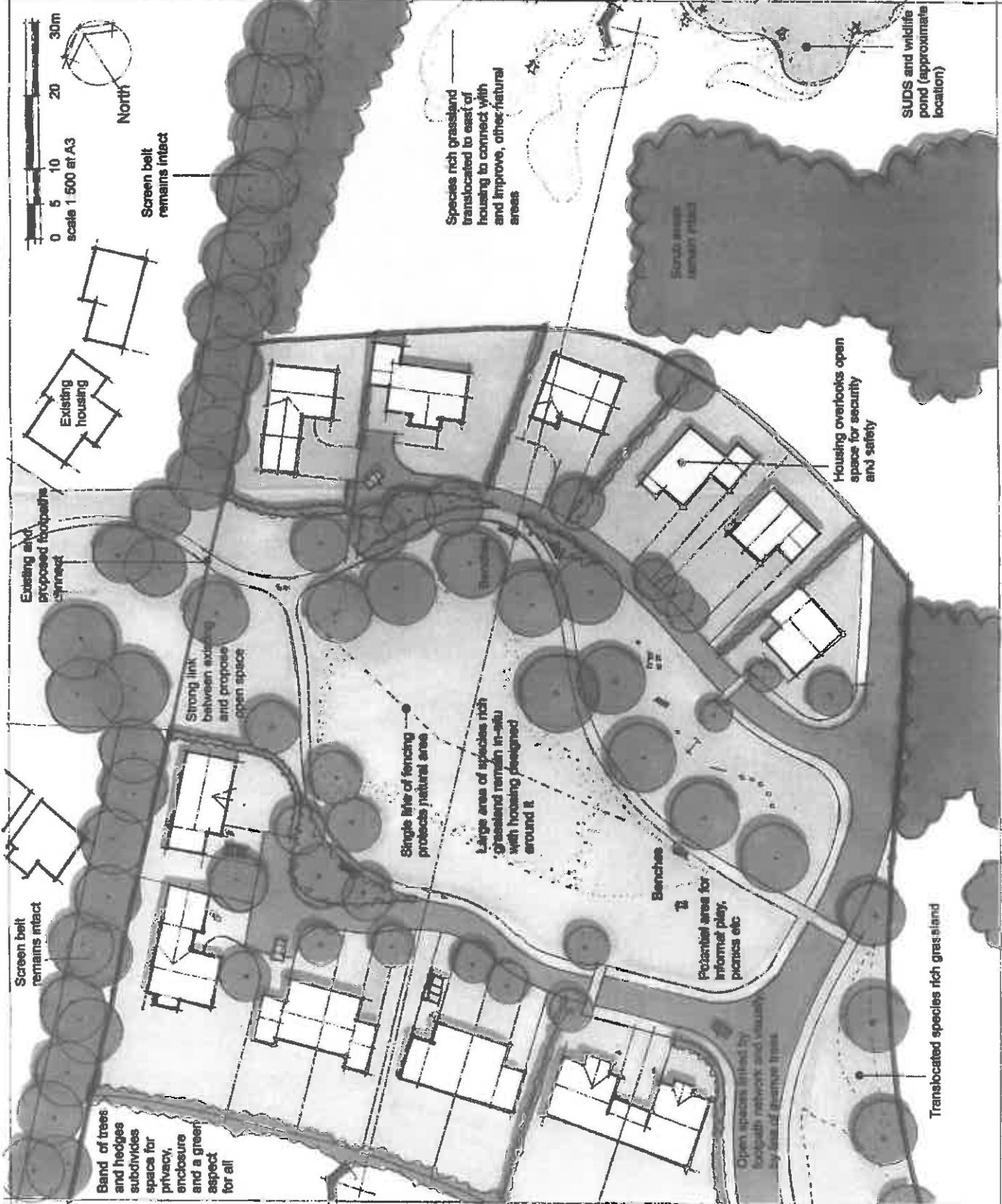
1210010

Date: 16th July 2012

Scale 1:500 at A3

Eden Environment Ltd

www.edenenvironment.com



0 5 10 20 30m
scale 1:500 at A3

North

Screen belt remains intact

Existing housing

Existing and proposed footpaths

Strong link between existing and proposed open space

Single line of fencing protects natural area

Large area of species rich grassland remain in-situ with housing designed around it

Benches

Potential area for informal play, picnics etc

Housing overlooks open space for security and safety

SUDs and wildlife pond (approximate location)

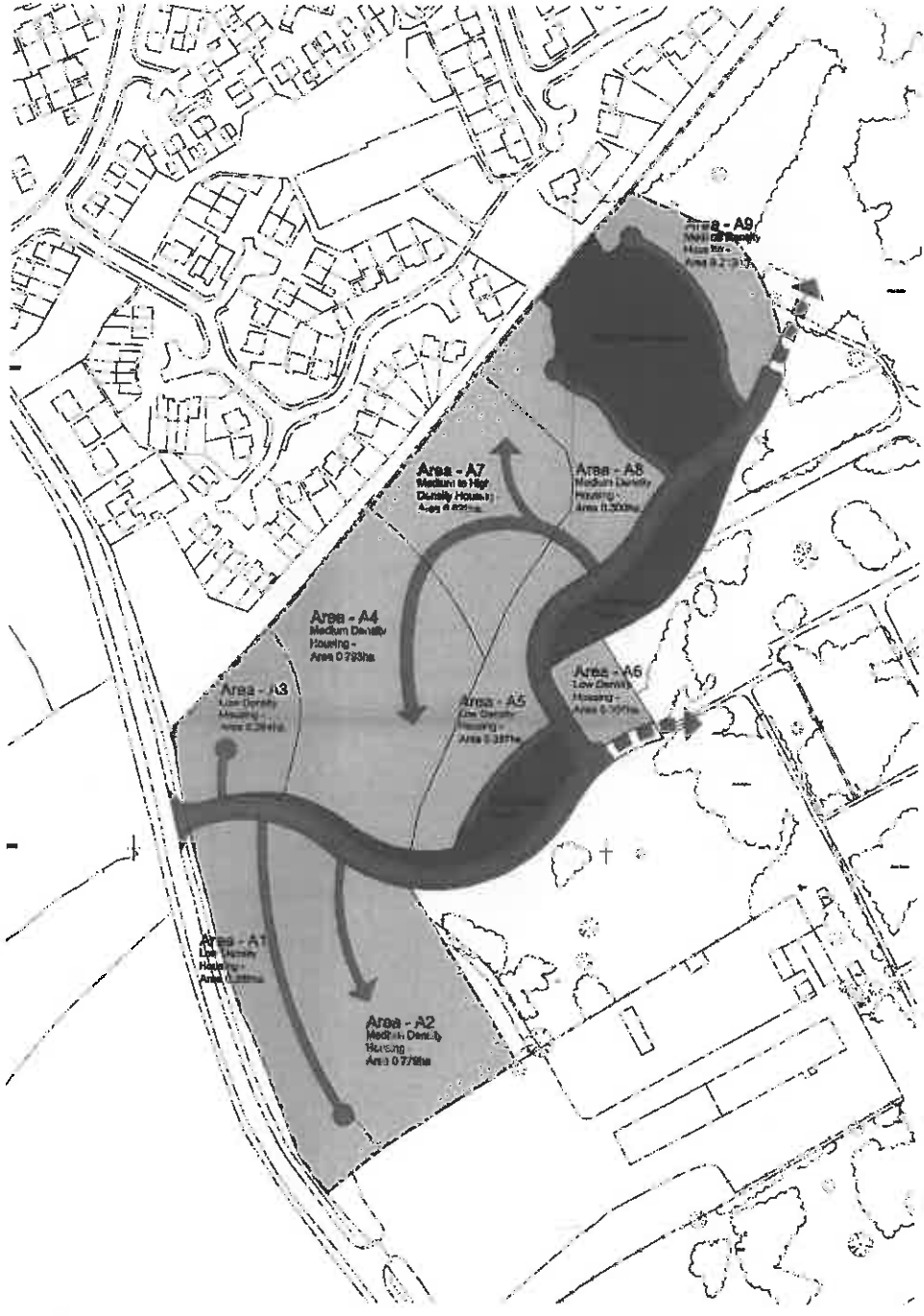
Screen belt remains intact

Band of trees and hedges and subdivides space for privacy, enclosure and a green aspect for all

Translocated species rich grassland

Open spaces defined by footpath network and visually by line of tree line

Screen belt remains intact



DEVELOPMENT DENSITY PLAN



Development Statistics -
 Total Site Area - 4.897ha.
 Area A1 - 0.281ha
 Area A2 - 0.778ha
 Area A3 - 0.281ha
 Area A4 - 0.783ha
 Area A5 - 0.287ha
 Area A6 - 0.597ha
 Area A7 - 0.893ha
 Area A8 - 0.300ha
 Area A9 - 0.213ha
 Total of Developed Areas - 3.653ha.
 Residual area taken up by Public Open Space and main access roads.

09 July 2012, Plan Development
 Working Document

HANNING

Chartered Architects
 and Engineers
 4th Floor
 150, 151, 152, 153, 154, 155, 156, 157
 Fenchurch Street, London, E.C.3 7DF
 Telephone: 020 7388 9999
 Email: info@hanningblair.co.uk

Hadden Camp,
 Houghton, Carlisle, Cumbria

Planning Drawing

DEVELOPMENT DENSITY PLAN

1:1000 A1 Jul 2012 RLF



SCHEDULE A: Applications with Recommendation

12/0710

Item No: 04

Date of Committee: 08/03/2013

Appn Ref No:
12/0710

Applicant:
Story Homes

Parish:
Wetheral

Date of Receipt:
24/08/2012

Agent:
Story Homes

Ward:
Wetheral

Location:

Land to the Rear of Scotby Green Steading, Scotby,
Carlisle

Proposal: Erection Of 45no. Dwellings, Associated Open Space And Infrastructure

REPORT

Case Officer: Suzanne Edgar

Summary

At the heart of the National Planning Policy Framework (NPPF) is a presumption in favour of sustainable development. Paragraph 55 of the NPPF indicates that to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities.

The proposal is in accordance with the principles of the NPPF as the application site is located in a sustainable location close to the centre of Scotby, public transport links and the city of Carlisle. Scotby village has a range of services (school, public house, church, village hall, playing fields etc) and the proposal would create an opportunity to support these existing rural facilities. The site is well contained as it is bounded by residential dwellings to the east and west together with the Carlisle-Newcastle railway line to the north. In such circumstances it is considered that the proposal would not result in a prominent intrusion into the Countryside nor would it result in settlements merging. In such circumstances the principle of additional housing in this location is deemed acceptable and is in accordance with the objectives of the Council's Interim Housing Statement and the National Planning Policy Framework.

The scale, layout and design of the development is acceptable and it is considered that the development would not have a significant impact upon landscape character of the area, the living conditions of existing and future occupiers, crime or the loss of the best and most versatile agricultural land.

Subject to suitably worded planning conditions and a S106 agreement it is considered that the rural character of the area can be safeguarded through an appropriate landscaping scheme and that the proposal would not raise any issues

with regard to highway safety, foul and surface water drainage, flooding, biodiversity, noise, contamination, waste or education provision.

The level of affordable housing is also acceptable in the context of viability assessment submitted by the applicant and the advice contained within the NPPF to ensure viability and deliverability.

On balance, having regard to the Development Plan and all other material planning considerations, the proposal is considered acceptable.

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions and subject to a legal agreement.

2. Main Issues

- 2.1 Principle of development
- 2.2 Scale, layout and design of the development
- 2.3 Impact upon landscape character
- 2.4 Impact upon the living conditions of neighbouring and future residents
- 2.5 Highway issues
- 2.6 Landscaping
- 2.7 Education
- 2.8 Affordable Housing
- 2.9 Foul and surface water drainage
- 2.10 Flooding
- 2.11 Ecological issues
- 2.12 Noise issues
- 2.13 Contamination
- 2.14 Whether the proposal would lead to the loss of the best and most versatile agricultural land
- 2.15 Crime
- 2.16 Waste/Recycling Provision
- 2.17 Other Matters

3. Application Details

The Site

- 3.1 This application seeks "Full" planning permission for the erection of 45no. dwellings, together with associated open space and infrastructure, on land to the rear of Scotby Green Steading, Scotby. The site which is located on the eastern edge of Scotby Village covers an area of 1.7 hectares and is currently used in part for horiculture with the remainder of the site being unused grassland. There is a menage and associated structures on part of

the site (stables, residential caravan) which will be removed in order to facilitate the proposed development.

- 3.2 The site is bounded to the north by the Carlisle-Newcastle railway line, to the south by the Scotby-Wetheral Road and to the east by Pow Maughan Beck. The western extent of the site is partially bound by residential development. There are a small cluster of houses at Pow Maughan Court located on the opposite side of the beck and one residential property (Escott House) situated on the other side of the Scotby-Wetheral Road. The remainder of the land opposite the frontage of the application site is within agricultural use. The topography of the site is varied with the land sloping down from the west/north-western boundary towards the eastern periphery which abuts Pow Maughan Beck. The difference in site levels between the west and eastern boundaries of the site vary between approximately 3 along the site frontage to 12 metres towards the beck.

The Proposal

- 3.3 The application proposes the erection of 45 dwellings. The layout comprises a mix of detached/semi-detached and terraced properties. In total 8 different house types are proposed (excluding 'handed' versions of these units), which comprise a variety of 2-4 bedroom dwellings. The majority of properties within the development are 2 storey except plots 31-33 located adjacent to the railway boundary which will be 2 1/2 storey. The dwellings will be completed in a range of materials including render and stone, although facing brick will be the prevailing finish. All roofs will be black/grey tiles. The dwellings will be positioned so that they follow the topography of the land.
- 3.4 The site will be accessed by a newly created access from the south onto the Scotby-Wetheral Road which will be 4.8 metres in width. An internal road network will be provided on the site with some of these roads classified as "shared surfaces". A footpath is proposed along the frontage of the application site on the northern side of the Scotby-Wetheral road which will provide two links into the site via the main access and via the south-western corner. It is also proposed to provide an off-site footpath, at the request of the Highways Authority, which links the proposed development to the "T" junction of Scotby-Broomfallen Road. Each dwelling will have two dedicated parking spaces with larger properties having an integral or detached garage.
- 3.5 An area of land immediately adjacent to Pow Maughan Beck is to be retained as informal open space which will be maintained by the applicant. The existing vegetation adjacent to this beck is to be kept however there are a number of trees/hedgerows on the site which will be removed in order to facilitate the development. The proposed development incorporates substantial new planting within the public open space, plot frontages (especially along the Scotby-Wetheral Road) and site entrance. General amenity shrub planting will be provided to the plot frontages to define boundary ownership with rear garden areas delineated by 1.8 metre high fencing. The properties adjacent to the western boundary of the site (plots 18-28) will also have sleeper retaining walls within the rear gardens due to the site levels.

- 3.6 It is proposed that foul water will be discharged into the mains sewer. Surface water will be attenuated and discharged into Pow Maughan Beck via a hydro brake reducing the development run off to its greenfield run off.
- 3.7 The application is supported by a suite of drawings and a range of detailed specialist studies. These include a Design and Access Statement, a Planning statement, a Arboricultural Report Impact Assessment & Method Statement, a Noise Assessment Report, a Flood Risk And Drainage Assessment, a Geotechnical Ground Investigation, a Supporting Transport Statement, an Extended Phase 1 Habitat Survey and an Otter And Bat Tree Inspection Survey.

4. Summary of Representations

- 4.1 This application has been advertised by means of site and press notices as well as notification letters sent to 58 neighbouring properties. In response 13 letters/emails of objection and 3 letters/emails of comment have been received.
- 4.2 The objections covered a number of matters which are summarised as follows:

LANDSCAPE AND VISUAL

1. The swift transition from urbanised Scotby to the rural landscape will be lost with the 7 dwellings exiting directly onto the main Scotby/Wetheral road.
2. The character of the village is being eroded by large scale developments and is fast becoming another dormitory village with no character/community left
3. The number of houses is too high for the village
4. Houses are not inkeeping with the look of the village
5. Housing numbers 1-7 will spoil the aesthetics of the village being on the main road
6. Proposal would create a precedent for a similar development on the opposite side of the road
7. The proposal should be viewed as undesirable given its size in relation to the part of the village in which it is to be situated
8. Proposal will destroy important views into and out of the village
9. Design and appearance of the proposal is completely alien to the proposed site
10. Proposal will become a suburb of Carlisle
11. Scheme will not enhance the village
12. Loss of agricultural land
13. Proposal intrudes into open countryside
14. Proposal will have a landscape impact
15. Inappropriate size, scale and density
16. Units of greater than two storeys will be out of keeping with the prevailing housing stock in Scotby

17. The first units should be set back from the Scotby/Wetheral Road with a buffer of trees/vegetation separating the dwellings from the road

HIGHWAYS

1. The 7 dwellings directly accessed off the Scotby/Wetheral is a hazard as there is no turning facilities
2. There is potential for road side parking adjacent to the Scotby/Wetheral road which will reduce visibility and cause traffic problems
3. The road system is unsafe for a large increase in traffic
4. The road system has poor visibility
5. The Scotby/Wetheral road is narrow and is on a bus route
6. There will be an increase in traffic at the junction of the C1020 and C1038 where there has been several minor accidents and is made worse by parked cars accessing the shop/Post Office
7. There are no safe pedestrian crossing points on the busy road, particularly for children
8. Many cars ignore the 30mph speed limit
9. Additional street lighting would turn a village road into a highway
10. The parking conditions outside Scotby School is very bad
11. Traffic in and out of the village is getting heavier

FLOODING/DRAINAGE

1. Surface water drainage from the Scotby/Wetheral is unsatisfactory at present resulting in large flows of water down the slope from Scotby village down to Pow Maughan Court and flooding of the beck into the road
2. Additional water flows from the driveways of the proposed new houses will exacerbate the existing drainage problems
3. Increased hard surfaces will increase the rate of flow into the drainage system and beck increasing the risk of flooding
4. United Utilities advise that the sewer system in the area is currently overloaded

EDUCATION

1. School is not big enough to take another large development
2. The school is at full capacity
3. Some local residents can not get their children into the school whilst there are other pupils in the school not from the village
4. There is no bus service to other schools e.g. Warwick Bridge or Cumwhinton
5. A contribution from the developer to provide transport to other schools is not a viable solution

DEVELOPMENT PLAN POLICIES

6. Proposal is contrary to Policy H1, DP1, the Criteria in the Interim Planning Policy Statement
 1. Proposal is not within the settlement boundary for Scotby
 2. There has been no "need" for the development identified

3. Question the “need” for development when there has been large scale housing developments approved in Carlisle e.g. Crindledyke, Morton etc
4. The Interim Planning Policy Statement should only be taken into account if the Council is unable to demonstrate a 5 Year Supply
5. If there is an adequate supply of housing that is not being delivered due to the economic downturn it is completely illogical to suggest that increasing the supply by granting more planning permissions will reverse the economic downturn and address the shortfall.
6. The site has been identified in the SHLAA however the aim of the SHLAA is to identify available sites with the potential to meet housing requirements. It is questionable that there is such requirements
7. The SHLAA explains that land for development is allocated, not by the SHLAA, but by the emerging Local Plan. The site has not been so identified
8. Proposal is contrary to the settlement policy of 1978 for Scotby
9. There is no need for the development as there are some 20 properties available for purchase in the village
10. No idea what criteria has been used in the SHLAA which would make the land buildable

IMPACT ON LIVING CONDITIONS

11. Proposal will affect the tranquillity of residential properties
 1. Proposal will affect the privacy of neighbouring properties
 2. There is a restrictive covenant on the neighbouring property to “The Hill” requiring non-opening obscured glass windows on the side of “The Hill” to maintain privacy
 3. There will be noise disruption to neighbouring properties
 4. Proposal will invade existing residents rights for children to play safely

BIODIVERSITY

5. The field survey of the site identified protected species e.g. bats, nesting birds, red squirrels and otters
 1. Deer, Otters and Red Squirrels have been seen near the vicinity of the site
 2. The presence of street lighting and additional noise is also likely to inhibit the number of wildlife, especially bats
 3. Proposal will destroy the homes of wildlife

OTHER MATTERS

4. Who will be responsible for the upkeep of the large area of unused space?
 1. There is a lack of consistency between the two housing schemes. Residents were told that the houses on the Wetheral Road looked out to be part of the village yet all the houses on Broomfallen Road looked inwards
 2. Proposal will not provide the type of housing that Scotby is lacking
 3. The proposed development and the housing development on Broomfallen Road will be an increase of over 20% of the dwellings in Scotby

4. The adverse impacts significantly and demonstrably outweigh the benefits associated with the proposed development

4.3 The comments cover a number of matters/concerns which are summarised as follows:

5. Surface water drainage from Scotby/Wetheral road is unsatisfactory and drainage is inadequate to cope with instances of heavy rainfall
 1. Additional water flows from the driveways will exacerbate flooding/drainage problems
 2. A condition should be imposed upgrading the highway drainage along the Scotby/Wetheral road
 3. Road safety on Wetheral/Scotby Road as houses facing the road have no turning facilities; proposal is likely to cause road side parking; there is a bend in the road; visibility of the Wetheral/Scotby road is often impeded by overgrown hedgerow and the road surface on the Scotby/Wetheral road is degraded in places and additional traffic during and after construction will make matters worse
 4. The traffic volumes in the transport guidance letter do not reflect the increased peak time traffic between Wetheral and Scotby in school term time
 5. Pedestrians often walk on the Scotby/Wetheral Road as the path is narrow and the hedge is overgrown
 6. The overgrown hedgerows and the bend in the Scotby/Wetheral road impede visibility
 7. Question the need for the development
 8. Scotby School is at full capacity
 9. Comments have been made with regard to the Broomfallen Road development.

5. Summary of Consultation Responses

Health and Safety Executive: - no objection.

Clerk to Wetheral PC, Downgate Community Centre: - object on the following grounds: scale of the development; this application together with application 12/0790 will be increasing housing development in the village by 16%; impact on the character of the village; question the need for the amount of housing proposed; if application is proposed the Parish would like to see a phased approach to allow integration into the village gradually; question whether the school can cope with increased demand; additional footpath and lighting is needed to link the development to existing village facilities; flood risk adjacent to the beck; safety of children's play ground next to beck; question whether the planned sewage is sufficient; traffic and parking issues in the site due to width of internal roads; impacts on village broadband; impact on local environment; existing hedges should be retained; proposal is urban rather than rural development; and, questions as to what would happen in the event of a power failure to the proposed pumping station.

Local Environment (former Community Services) - Drainage Engineer: - no objection. Aware of a minor issue of surface water seeping onto the highway

along the site however it is unlikely that the development will alter this issue. The Geotechnical Ground Investigation Report indicates that some areas of the site are water logged and this may impact on a residents perception of a useable garden.

Cumbria Constabulary - North Area Community Safety Unit (formerly Crime Prevention): - no objection, recommendations given about open space elements and boundary treatments.

Local Environment - Environmental Protection (former Comm Env Services-Env Quality): - no objections subject to the imposition of two conditions.

Cumbria County Council - (Archaeological Services): - no objections.

Network Rail: - no objection subject to the imposition of relevant conditions and advisory notes.

Environment Agency (N Area (+ Waste Disp & Planning Liaison Team): - no objections subject to the imposition of planning conditions ensuring that 1) the development is in accordance with the submitted Flood Risk Assessment and 2) a scheme to protect the buffer zone round the watercourse is submitted.

Natural England - relating to protected species, biodiversity & landscape: - no objection. Advises that permission should be granted (subject to other constraints) and that the authority should consider requesting enhancements.

United Utilities - (for water & wastewater comment) see UUES for electricity dist.network matters: - no objection subject to conditions imposed within the Decision Notice ensuring that foul and surface water drainage is in accordance with the details submitted.

Open Spaces Society: - no objection;

Northern Gas Networks: - no objection;

Local Environment, Waste Services: - no objection to the proposal but have indicated that in the future that all new developments will be charged for refuse and recycling containers. Waste services have also indicated that it would be their preference for communal recycling banks within the development.

Cumbria County Council - Transport & Spatial Planning: - no objection provided that Carlisle City Council: is satisfied that a shortfall of housing land exists which can be met by the proposal when considered against their housing land requirement; is satisfied that there are no sequentially preferable brown field sites which are deliverable; ensures that full and detailed consideration of ecological and landscape and visual issues are carried out prior to determination; is satisfied that the development reflects and protects the character of the site and its surroundings; and, seeks a financial contribution via a S106 of £132,561 towards the provision of additional primary school places that will be required as a consequence of

this development. Comments with regard to highways see below:

Cumbria County Council - (Highway Authority): - no objection subject to the imposition of five conditions;

Cumbria County Council (Education Department): - as stated above a financial contribution of £132,561 has been requested towards the provision of additional primary school places that will be required as a consequence of this development;

Cumbria County Council - (Highway Authority - Footpaths): - no objection.

Community Engagement - Housing Strategy, 7th Floor: - Policy H5 states on rural schemes with more than 25 dwellings, 25% of the housing should be affordable. There is a need for both intermediate and affordable rented housing in Carlisle with the Housing Need and Demand Study suggesting a 50:50 split in provision. The City Council therefore accepts a lower provision of affordable housing, on the condition that the developer makes available affordable rented properties, each provided at a much higher level of discount than the intermediate affordable housing. Without accepting fewer affordable units on housing schemes, the City will not be able to secure much-needed affordable rented housing.

The original number of discounted sale units and rented units submitted with this application was acceptable.

The developer is able to reduce its provision of affordable housing, subject to a financial viability assessment. It is noted that Story Homes has now calculated that, due to having to fund other section 106 obligations, it can only provide 4 discounted sale homes and 3 rented homes on site. Although this section is disappointed in the reduced provision of affordable housing it would accept the provision offered.

(Former Environmental Services) - Green Spaces: - no objection;

(Former Comm/Env.Services) - Green Spaces - Countryside Officer - RURAL AREA: - no response received.

Cllr Mr BO Earp - Wetheral: - formal request for a site meeting as this application together with application 12/0790 will be increasing housing development in the village by 16%. Comments made with regard to traffic issues, highway visibility, the width of the footpath from the development to the village and the steepness of driveways from the properties facing the main road.

6. Officer's Report

Assessment

6.1 The relevant Planning Policies against which the application is required to be

assessed are Policies DP1, CP1, CP2, CP3, CP4, CP5, CP6, CP10, CP11, CP12, CP14, CP16, CP17, H1, H5, LE4, LE26, T1, LC4 of the Carlisle District Local Plan 2001-2016. The NPPF and The Achieving Well Designed Housing Supplementary Planning Document is also of relevance.

6.2 The proposals raise the following planning issues:

1. The Principle Of Development

6.3 The main issue for Members to establish in consideration of this application is the principle of development. Scotby is identified as a sustainable development location within Policies DP1 and H1 of the Carlisle District Local Plan 2001-2016. Whilst Policy H1 permits small-scale development within Scotby it is noted that the National Planning Policy Framework (NPPF) published in March 2012 is a material consideration for the determination of this application. The NPPF indicates that housing applications should be considered in the context of the presumption in favour of sustainable development and relevant policies for the supply of housing should not be considered up-to-date if the Local Planning Authority cannot demonstrate a five-year supply of deliverable housing sites.

6.4 In the absence of a 5 year supply of housing land, as defined by the National Planning Policy Framework, the Council adopted an Interim Planning Statement - Housing on 1st May 2012, as a material planning consideration to deal with the identified shortfall. This process encouraged a number of applications to come forward and be considered against the criteria set out in the Interim Statement. Given the short notice of the introduction of the Interim Statement and level of detail required from any planning application it is only now that we are in a position to consider applications submitted at that time.

6.5 Since the Interim Statement was introduced another update has been provided and as of 30 September 2012 the Council had a five year supply of housing albeit only an additional 65 units over the NPPF requirement. This change in housing supply is accounted for by the change in delivery of some sites and not through a significant change to the number of dwellings granted permission during the 6 month period the Interim Statement applied. In order to avoid repetition of 6 monthly variations on whether the Council has a 5 year supply or not it would be apposite to make certain that a decent buffer of housing supply is provided. This would ensure that applications were not decided randomly on appeal due to short term lack of housing supply until the Local Plan delivers new allocations.

6.6 This application was submitted at the time when the interim housing statement was still valid therefore this statement should be considered as still a material consideration when determining this application. Members should however note that the interim planning statement does not supersede all saved policies in the Local Plan and should be interpreted in conjunction with them.

6.7 On the basis of the interim statement, the Council considered proposals for

new housing developments on land excluded from housing development either through other designated use or outside existing settlement boundaries which: are well related to the built framework of the existing settlement; would not result in a prominent intrusion into the countryside; would not result in settlements merging; would not detract from the landscape character of the area as contained in the Cumbria Landscape Strategy and would not cause harm to some other overriding policy objective.

- 6.8 Whilst the application site is located outside the settlement boundary for Scotby identified in the local plan, the NPPF does not advocate the use of settlement boundaries and states that in order to promote sustainable development in rural areas, housing should be located where it will enhance and maintain the vitality of rural communities. Members will note from previous paragraphs that the NPPF is a material consideration in the determination of this application and limited weight can therefore be given to the fact that the site is outside the settlement boundary of Scotby.
- 6.9 The application site is located in a sustainable location close to the centre of Scotby, public transport links and the city of Carlisle. Scotby village has a range of services (school, public house, church, village hall, playing fields etc) and the proposal would create an opportunity to support these existing rural facilities. The site is well contained as it is bounded by residential dwellings to the east and west together with the Carlisle-Newcastle Railway Line to the north. There are also no brown field sites available in Scotby. In such circumstances it is considered that the proposal would not result in a prominent intrusion into the Countryside nor would it result in settlements merging. In such circumstances the principle of additional housing in this location is deemed acceptable. The impact on the landscape character and design of the proposal is discussed below.

2. Scale, Layout And Design Of The Development

- 6.10 The proposed development is well laid out and will encourage and promote the creation of a neighbourhood. The properties overlook one another thereby creating a degree of natural surveillance and the distinction between public and semi-public space is clearly defined, both of which will act as a deterrent to potential offenders and reduce the likelihood of crime occurring.
- 6.11 In terms of the units there are a range of differing house types, which, aesthetically, will add variety to the estate and create its own identity. The dwellings incorporate reasonably sized garden areas that are comparable to the size of the units that they serve, thereby ensuring that the development does not appear cramped or overdeveloped. The size of the gardens and the way that the properties are laid out will help create a sense of space within the estate.
- 6.12 The proposed dwellings are all two storeys in height, with the exception of the Yew house type (plots 31-33) which are 2½ storey with a second floor incorporated within the roof space. The scale and design of the proposed dwellings relate well to the size and vernacular of surrounding properties. The 2 ½ storey dwellings will be located to the rear of the site and will be viewed

in the context of the railway embankment. Each property has adequate curtilage parking provision, together with access to the rear gardens for refuse/green recycling bins.

- 6.13 Whilst Policy LC4 of the CDLP encourages the provision of formal and informal areas of public open space within new family housing development of more than 40 units there are instances where the Council has agreed that it would be acceptable for developers to provide a financial contribution towards the provision/improvement of existing facilities off-site.
- 6.14 In respect of this proposal an area of 1686 square metres public open space has been incorporated adjacent to the beck which delineates the eastern boundary of the site. Members should be aware that the original plans for this site showed a play area within the area of open space proposed however this did not achieve the separation distances outlined in Policy LC4. In such circumstances the applicant has offered a financial contribution of £50,000 towards the provision/maintenance of existing facilities off-site in Scotby. The applicant will also maintain the informal open space on site themselves. The Council's Neighbourhoods and Green Spaces Manager has been consulted on the proposal and has raised no objections to the contribution offered and the amount of on site informal open space.

3. Impact Upon Landscape Character

- 6.15 As this development involves building on an open field there will undoubtedly be some impact upon the landscape character of the area. As demonstrated in paragraph 6.12 above this impact has been reduced through the design of a sympathetic scheme with two storey properties located at the front of the development and the larger 2 1/2 storey dwellings together with the terraced properties located further into the site. Where practical existing hedgerows/trees are to be retained and extensive additional landscaping is to be undertaken to soften the edge of the development.
- 6.16 The development will be visible particularly when travelling along the Scotby-Wetheral road however the development is considered to be well contained and related to the village of Scotby and would not result in a prominent intrusion into open countryside. The land in question is not designated as being of any special landscape character and it is the Officers view that there will be no significant adverse impact upon landscape character to warrant refusal of the application.

4. The Impact Of The Proposal On The Living Conditions Of Neighbouring And Future Residents

- 6.17 Adequate separation distances have been maintained between the existing residential properties and those proposed. As such, it is unlikely that the living conditions of the occupiers of these properties will be compromised through loss of light, loss of privacy or over dominance.
- 6.18 In respect of any increase in traffic generated by this proposal it is not anticipated that this factor alone would prejudice the living conditions of local

residents to such an extent that would warrant refusal of the application.

5. Highway Issues

- 6.19 A number of residents have raised objections regarding highway safety. The principle concerns relate to the increase of traffic on the Scotby-Wetheral Road; impacts on highway visibility particularly as there is an existing bend in the road, potential road side parking adjacent to the housing development, the height difference of the site in relation to the road and the safety of the vehicular accesses to plots 1-7 which have no turning facilities. As previously stated the proposed development provides two dedicated parking spaces per dwelling, visitor parking within the scheme and a 4.8 metre wide access road. The accesses to plots 1-7 will be on a slight incline as the application site is higher than the adjacent Scotby-Wetheral Road and all accesses to the development are within the restricted 30mph speed limit.
- 6.20 The Highway Authority have been consulted on the proposed development and has raised no objections to the proposed development in the location planned. The Highways Authority has however requested that the applicants provide a footpath along the northern side of the Scotby-Wetheral Road that extends from Pow Maughan Beck along the full frontage of the application site continuing off-site towards the bellmouth with Scotby/Broomfallen Road. Following a site meeting between the agent and the Highways Authority the submitted site layout plan has been amended to show the extent of the off-site footpath. The proposed footpath will be nominal 1.5 metres wide in order to prevent root damage to the mature trees outwith the highway boundary at the request of the Tree Officer. The 1.5 metre footpath would leave a 5m width carriageway, which currently largely exists between Scotby and Wetheral. The Highway Authority has since clarified that the existing footpath on Scotby Green is 1.5 metres in width and the width of the proposed footpath would be sufficient to allow use by disabled conveyances, twin pushchairs etc. Members will note that the off-site footpath will be located within the existing Highway corridor and all works within Highway corridors only require Highway Authority consent under a section 278 notice. Members should also note that the Highway Authority have indicated that they have been petitioned in the past by residents of Pow Maughan Court about the inadequacy of the road network.
- 6.21 In respect of the concerns raised by residents the Highway Authority has since confirmed that the development frontage is located someway from the slight bend in the road and the carriageway is wide enough for another vehicle to pass a parked vehicle. The Highways Authority also indicated that the direct accesses of the C1038 are so close together there will be a continuous drop kerb, thus on the assumption both "in curtilage" parking spaces are occupied visiting vehicles will be able to partially park off the main carriageway. Given the level of internal parking being provided, it is anticipated that it is only going to be the odd visiting vehicle that would need to park off the main carriageway. Highways have also confirmed that the gradient of the driveways will have to comply with DDA design requirements and these issues are covered by the highway conditions which would be imposed within any consent issued. It is noted that one objector has raised

concerns regarding possible exacerbation of the existing parking problems at Scotby School. Given that there are already a number of children at the School that live outwith the catchment, the reality of this development is that by virtue of the children being resident within the Catchment being within reasonable walking distance, this should in theory displace pupils from out with the catchment, which would ameliorate rather than exacerbate the existing problem.

- 6.22 Whilst the Highway Authority has indicated that the proposal is acceptable from a highways perspective, it has recommended that 5 conditions are imposed on any prospective Decision Notice. The five conditions are standard highway conditions in that they require visibility splays to be achieved and the access to be constructed before development commences, details of road/footpath construction to be provided (including lighting), details of parking area construction to be provided and no occupation of dwellings until vehicular access and parking requirements have been constructed. As the Highway Authority has raised no objections to the proposal it is not considered that there is any policy conflict.

6. Landscaping

- 6.23 There are number of trees/hedgerows within and surrounding the application site. A number of trees (total of 8) which are situated within the application site together with the hawthorn hedgerow and semi-mature deciduous trees which delineate the southern boundary of the site are to be removed in order to facilitate the development. An Arboricultural Report has been submitted with the application which identifies that the majority of trees and hedgerows which are to be removed do not have any significant defects; however, in order to mitigate for the loss of the trees/hedgerows which are to be removed the applicant proposes to plant new hedgerows and trees within the development. The application is supported by a comprehensive landscaping scheme which shows amongst other things the planting of new hedgerows and trees adjacent to the Scotby/Wetheral road.
- 6.24 In order to provide the off-site footpath extending from the proposed development towards the village centre a number of trees/hedgerows which are within the highway verge need to be removed. Members will note that there are a number of TPO trees located beyond the Highway verge which are to remain. It is the Councils Landscape/Tree Officers view that the hedging and trees that are to be removed to facilitate the footpath are not of significance and a 1.5 metre in width footpath would not impact upon the roots of the trees covered by the Tree Prevention Order.
- 6.25 The Councils Landscape Architect/Tree Officer has been consulted on the proposed development and has raised no objections subject to the imposition of conditions within the Decision Notice regarding tree/hedgerow protection together with landscaping completion and maintenance. It is the Officers view that the landscaping scheme proposed is sufficient to compensate for the loss of trees/hedgerows which are to be removed to facilitate the development; and, the additional landscaping particularly along the Scotby/Wetheral Road will help retain the sites rural setting/character.

7. Education

- 6.26 Objectors to the scheme have questioned whether the local primary school has adequate capacity to cater for any increase in demand for pupil school places that might arise as a consequence of this development. The Education Authority have been consulted on the proposed development and have advised that the housing development would yield 11 primary aged pupils and it is predicted that with the proposed development Scotby Primary School would exceed its net capacity. The Education Authority has also indicated that the next nearest school at Cumwhinton also has no spare capacity. To address this increased burden the Education Authority has requested a financial contribution of £132,561 to be used to either provide an extension at Scotby School or to provide school transport if development at Scotby School is not feasible. The Education Authority has since confirmed that there is the potential for Scotby School to be extended subject to a full feasibility study being carried out. The agent has agreed to the contribution requested by the Education Authority.

8. Affordable Housing

- 6.27 Policy H5 of the Carlisle District Local Plan 2001-2016 indicates that for large sites in the rural area the contribution towards affordable housing is 25%. The applicant originally offered 5 discounted sale units and 3 rented units (with increased discount) which was acceptable to housing services. The applicant has however since reduced their affordable housing offer, due to the requirement of the Education Authority for a £132,516 contribution towards primary school provision. A viability assessment has separately been provided to justify the lower figure of affordable housing. The applicant therefore now proposes seven affordable properties (one less than originally proposed). This comprises four units (3x 3 bed and 1x2 bed) that would be made available by discounted sale, with the discount set at 30% below open market value, and three properties available to rent at discounted rates. The applicant has indicated that the rented units would be provided in association with a Registered Provider partner.
- 6.28 The Council's Housing Strategy Officer (HSO) has been consulted on the proposed application and has stated that there is a need for both intermediate and affordable rented housing in Carlisle with the Housing Need and Demand Study suggesting a 50:50 split in provision. The City Council therefore accepts a lower provision of affordable housing, on the condition that the developer makes available affordable rented properties, each provided at a much higher level of discount than the intermediate affordable housing. Without accepting fewer affordable units on housing schemes, the City will not be able to secure much-needed affordable rented housing. The HSO has confirmed that the original number of discounted sale units and rented units submitted with this application was acceptable. The HSO has also indicated that the developer is able to reduce its provision of affordable housing, subject to a financial viability assessment and it is noted that Story Homes has now calculated that, due to having to fund other section 106 obligations, it can only provide 4 discounted sale homes and 3 rented homes

on site. The HSO has stated that although this section is disappointed in the reduced provision of affordable housing it would accept the decision of the DC Committee.

- 6.29 Paragraph 173 of the National Planning Policy Framework advises that to ensure viability, the costs of any requirements likely to be applied to development, such as requirements for affordable housing, standards, infrastructure contributions or other requirements should, when taking account of the normal cost of development and mitigation, provide competitive returns to a willing land owner and willing developer to enable the development to be deliverable. The NPPF provides no advice as to what constitutes a competitive return however it is noted that in a previous appeal decision and the Affordable Housing Economic Viability Assessment for Carlisle that a figure of 20% GDV is reasonable.
- 6.30 Whilst it is acknowledged that providing affordable housing is a key aim of the Council however due to the other financial contributions required (education, maintenance of informal public open space on site, provision/improvement of off-site play equipment, provision of an off-site footpath and money towards waste bins) a balanced approach has to be made. The submitted viability assessment shows that the developers profit will be considerably lower than 20% after the S106 contributions required as part of this development. After comparing the viability assessment submitted with the Affordable Housing Economic Viability Assessment for Carlisle and given the significant amount of S106 contributions that are required it is considered that the developers profit is reasonable and the level of affordable housing proposed in this case is acceptable in order to achieve a viable development.
- 6.31 In relation to the above it is considered that the amount of affordable housing proposed would be appropriate in the context of the viability of the development and the guidance contained within the National Planning Policy Framework.

9. Foul And Surface Water Drainage

- 6.32 It is proposed that surface water drainage will be discharged into the Pow Maughan beck which lies to the east of the site through the construction of a discharge control (hydrobrake) and attenuation system which will be situated under ground below the area of informal public open space. It is proposed to discharge post development surface water to the beck at a rate of the greenfield run off, thereby replicating pre development run off rates with post development run off rates.
- 6.33 The Environment Agency have raised no objection to the proposed drainage strategy however they advocate the use of Sustainable Drainage Systems (SUDS) rather than below ground tanked storage. The NPPF and Policy CP10 of the Local Plan advocates that in the first instance the applicant should explore and give priority to the use of sustainable drainage systems. The applicant has indicated that they have provided a hierarchical approach to the surface water drainage system. The use of SUDS was considered inappropriate for the site due to the impermeable nature of boulder clay drift

deposits present at the site, however they have noted that SUD measures will be into the on site surface water drainage system through the construction of a discharge control (hydrobrake) and attenuation system. Other SUD methods such as grassed swales, green roofs, ponds and wetlands have been discounted given the scale of the development and the size of the site, particularly as the aforementioned measures require larger areas in which they are to be accommodated.

6.34 The applicant has indicated that foul drainage will connect into an existing adopted combined sewer to the west of the site via a new adopted foul water pumping station which will be located within the site. The post development foul water flows will be "off set" through a reduction in surface water discharge to the public sewer. The "off set" (with an associated betterment) has been achieved through the diversion of the existing 1300m² catchment located directly to the west of the development site into the proposed post development surface water drainage system. The "off set" will provide a net betterment by significantly reducing the overall discharge into the combined sewer. The agent has also confirmed that there are open pathway areas in the development plan that will provide an overland flood route for any on site flooding from blocked sewers or from a rainfall event that exceeds the design parameters of the on site drainage system.

6.35 United Utilities have been consulted on the proposed development and have raised no objections to the proposed development subject to the imposition of conditions within the Decision Notice ensuring that the development is completed, maintained and managed in accordance with the details submitted. In relation to the above it is not considered that there is any policy conflict.

10. Flooding

6.36 The application site is located within 8 metres of a main river (Pow Maughan Beck) which delineates the eastern extent of the site. Whilst flood risk is higher immediately adjacent to the beck the proposed dwellings (the more vulnerable uses) have been positioned a considerable distance from the beck. The land immediately adjacent to the beck has been retained as public open space. A Flood Risk Assessment has been submitted to demonstrate that flood risk vulnerability has been taken into account during the design of the scheme. As discussed in section 9 of the report surface water drainage from the scheme is being discharged into the beck via a discharge control (hydrobrake) and attenuation system thus maintaining the sites existing greenfield run off rates. Furthermore all roofed and paved areas within the site are to be formally drained into the on site attenuated surface water drainage system. The Environment Agency has been consulted on the proposed development and have raised no objections with regard to flood risk.

6.37 The Councils former Drainage Engineer has been consulted on the proposal and has raised no objection. The Drainage Engineer did however indicate that she was aware of a minor issue of surface water seeping onto the highway along the site however it is unlikely that the development will alter

this issue. The Drainage Engineer also pointed out that the Geotechnical Ground Investigation Report indicates that some areas of the site are water logged and this may impact on a residents perception of a usable garden. In response it is noted that all highway drainage will go into the new system providing for the proposed development therefore the proposed development should create a better situation than at present. Further information has been received in respect in respect of wet garden areas which provides updated data in respect of ground conditions. It is noted that the new drainage on site will alleviate any existing problems.

- 6.38 In relation to the above it is not considered that the proposal will exacerbate flooding conditions at this site.

11. Ecological Issues

- 6.39 When considering whether the proposal safeguards the biodiversity and ecology of the area it is recognised that Local Planning Authorities must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended), and Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm the favourable conservation of the protected species and their habitat. In this case, the proposal relates to the development of residential dwellings on greenfield land. As such it is inevitable that there will be some impact upon local wildlife.
- 6.40 An Extended Phase 1 Habitat Survey and an Otter And Bat Tree Inspection Survey has been submitted with this application. Natural England have been consulted on the application and has confirmed that the proposal does not appear to affect any statutorily protected sites or landscapes, or have significant impacts on the conservation of soils, nor is the proposal EIA development. Natural England has also confirmed that the development is unlikely to have a significant adverse impact upon protected species; however, they have advised that the Local Planning Authority should consider requesting enhancements. In such circumstances a planning condition has been imposed to ensure that the mitigation measures outlined in the supporting Protected Species surveys are implemented.
- 6.41 With regard to the impact of the proposed development on the existing watercourse the Environment Agency has raised no objections subject to the imposition of a planning condition being imposed ensuring that the development is carried out in accordance with the drainage scheme submitted and a condition regarding a scheme for the provision and management of a buffer zone alongside the existing watercourse.
- 6.42 In relation to the above it is not considered that the proposal would have an adverse impact upon protected species or their habitats.

12. Noise Issues

- 6.43 The site is bounded by an elevated railway line (the Carlisle-Newcastle line) to the north and the Scotby-Wetheral Road to the south. The application is accompanied by a noise assessment report which takes into account the impacts of the aforementioned existing land uses on the proposed dwellings. The report outlines a series of mitigation measures with regard to the design and layout of the dwellings to prevent the existing noise climate causing a constraint to the proposed development. The applicant's agent has confirmed that the layout of the housing scheme has been designed to reflect the constraints as a result of the noise findings. An addendum to the noise assessment submitted on the 24th October 2012 indicates that: good internal noise targets will be achieved with standard double glazing during the daytime and night-time period when windows are closed; when windows are partially open on facades directly facing the railway line "reasonable noise levels should be satisfied"; and, when windows are fully open internal noise targets will be occasionally exceeded within rooms directly facing the railway line however it is anticipated that these levels will be acceptable and do not warrant mechanical ventilation to properties. Following further discussions with Environmental Health the applicant has indicated that noise levels from passing trains can be mitigated by installing acoustically rated window and wall ventilator units to all bedrooms which directly face the railway track.
- 6.44 The Council's Environmental Services team has been consulted on the proposed development and has raised no objection to the proposal subject to a condition being imposed within the Decision Notice requesting a scheme for protecting the proposed dwellings from noise from the railway. Network Rail have been consulted on the proposed development and has raised no objection to the proposed development subject to relevant conditions being imposed within the Decision Notice to ensure the safety, operational needs and integrity of the railway.
- 6.45 In relation to the above it is not considered that the proposal would raise significant noise issues to warrant refusal of the application. In order to safeguard the living conditions of existing residential properties it is recommended that Members impose a condition within the Decision Notice regarding construction times.

13. Contamination

- 6.46 As the site is a greenfield site the likelihood of contamination being present is low. Notwithstanding this fact a condition is recommended that caters for the event that contamination is found during the construction phase.

14. Whether The Proposal Would Lead to The Loss of The Best And Most Versatile Agricultural Land

- 6.47 It is accepted that the proposal would lead to the loss of agricultural land. The Agricultural Land Classification identifies this land as Grade 3, Grades 1 and 2 being of the highest quality. Grade 3 land is common both within the immediate vicinity of the application site and within the District as a whole. As

such, it is not considered that the loss of this area of agricultural land would provide sufficient grounds for refusal of the application.

15. Crime

- 6.48 As previously stated in paragraph 6.10 the proposed development is well laid out and will encourage and promote the creation of a neighbourhood. The properties overlook one another thereby creating a degree of natural surveillance and the distinction between public and semi-public space is clearly defined, both of which will act as a deterrent to potential offenders and reduce the likelihood of crime occurring. The Crime Prevention Officer has been consulted on the proposed development and has raised no objections. Advice with however been provided with regard to physical security measures and boundary treatments. This advice has been forwarded to the applicant.

16. Waste/Recycling Provision

- 6.49 Waste services has been consulted on the proposed application and has raised no objection to the proposal but has indicated that in the future that all new developments will be charged for refuse and recycling containers. Waste services has also indicated that it would be their preference for communal recycling banks within the development. The agent has agreed to provide a commuted sum of £1500 towards waste bin provision (which will be included within the S106 agreement) and has also indicated that the developer will provide each property with a compost bin for garden waste. The agent has confirmed that there is no provision on site for the amount of space required for communal recycling banks. As there is existing recycling banks at Scotby village hall, Waste Services have raised no objection to the proposal. In such circumstances it is not considered that there is any policy conflict.

17. Other Matters

- 6.50 Article 8 and Article 1 Protocol 1 of the Humans Rights Act are relevant but the impact of the development in these respects will be minimal and the separate rights of the individuals under this legislation will not be prejudiced. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.
- 6.51 It is noted that objectors have made comparisons between this application and the housing scheme at Broomfallen Road (application reference 12/0790). Members are reminded that each application has to be dealt with on its own merits.
- 6.52 Objectors have also raised concerns in respect of the need for additional dwellings in Scotby. The planning merits and assessment against the relevant policies are discussed within this report.
- 6.53 Objectors have also raised issues on the impact of the proposed development on broadband provision; however, this is not a planning matter.

Conclusion

- 6.54 The proposal is in accordance with the principles of the NPPF as the application site is located in a sustainable location close to the centre of Scotby, public transport links and the city of Carlisle. Scotby village has a range of services (school, public house, church, village hall, playing fields etc) and the proposal would create an opportunity to support these existing rural facilities. The site is well contained as it is bounded by residential dwellings to the east and west together with the Carlisle-Newcastle Railway Line to the north. In such circumstances it is considered that the proposal would not result in a prominent intrusion into the Countryside nor would it result in settlements merging. In such circumstances the principle of additional housing in this location is deemed acceptable and is in accordance with the objectives of the Council's Interim Housing Statement and the National Planning Policy Framework.
- 6.55 The scale, layout and design of the development is acceptable and it is considered that the development would not have a significant impact upon landscape character of the area, the living conditions of existing and future occupiers, crime or the loss of the best and most versatile agricultural land.
- 6.56 Subject to suitably worded planning conditions and a S106 agreement it is considered that the rural character of the area can be safeguarded through an appropriate landscaping scheme and that the proposal would not raise any issues with regard to highway safety, foul and surface water drainage, flooding, biodiversity, noise, contamination, waste or education.
- 6.57 The level of affordable housing is also considered to be acceptable in the context of viability assessment submitted by the applicant and the advice contained within the NPPF to ensure viability and deliverability.
- 6.58 On balance, having regard to the Development Plan and all other material planning considerations, the proposal is considered acceptable.
- 6.59 If Members are minded to grant planning approval it is requested that "authority to issue" the approval is given subject to the completion of a s106 agreement to secure:
- a) the provision of the proposed level of affordable units (four units that would be made available by discounted sale, with the discount set at 30% below open market value, and three properties transferred to a registered provider to be available for capital affordable rent);
 - b) a financial contribution of £50,000 to be used by the Parish Council towards the provision of children's playing facilities and maintenance of sports pitches/equipped play within the village;
 - c) the maintenance of the informal open space within the site by the developer;
 - d) a financial contribution of £132,561 to Cumbria County Council towards education provision; and
 - e) a financial contribution of £1500 to be used by the City Council towards waste bin provision.

7. Planning History

- 7.1 There is no relevant planning history on this site.

8. Recommendation: Grant Subject to S106 Agreement

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form received 12th December 2012;
2. the Site Location Plan received 16th August 2012 (Drawing No. SL075.90.9.SL.LP);
3. the Planning Layout received 4th February 2013 (Drawing No. SL075.90.9.SL.PL Revision H);
4. the Design And Access Statement received 16th August 2012 and the addendum received 16th November 2012;
5. the Planning Statement received 1st November 2012;
6. the Construction Management Plan received 10th January 2013 (Drawing No. SL075.90.9.SL.CMP Revision A);
7. the Elevation Treatments received 10th January 2013 (Drawing No. SL075.90.9.SL.ET Revision G);
8. the Character Finishes received 10th January 2013 (Drawing No.SL075.90.9.SL.CF Revision G);
9. the Street Scenes received 27th November 2012 (Drawing No. SL075.90.9.SL.SS Revision A);
10. the Site Sections received 10th January 2013 (Drawing No. 003 Revision P4);
11. the External Levels Layout received 10th January 2013 (Drawing No.001 Rev P7);
12. the Floor Plans And Elevations For The Ash House Type received 16th August 2012 (Drawing Nos. TYPE1-PLP4 and TYPE 1- PLE4/5);
13. the Floor Plans And Elevations For The Handed Ash House Type received 12th November 2012 (Drawing Nos. TYPE1-PLP4H and PLE4/5H);
14. the Floor Plans And Elevations For The Alder House Type received 16th August 2012 (Drawing Nos. TYPE2-PLP1, TYPE2-PLE1/2 and TYPE2-PLE1/3);
15. the Floor Plans And Elevations For The Handed Alder House Type received 12th November 2012 (Drawing Nos.TYPE2-PLP1 and TYPE2-PLE1/3);
16. the Floor Plans And Elevations For The Hornbeam House Type received 24th October 2012 (Drawing Nos. TYPE3-PLP1 Revision A

- and TYPE3-PLP1/3);
17. the Floor Plans And Elevations For The Handed Hornbeam House Type received 24th October 2012 (Drawing Nos. TYPE3-PLP1H Revision A and TYPE3 - PLE1/3H);
 18. the Floor Plans And Elevations For The Cypress House Type received 16th August 2012 (Drawing Nos. TYPE6-PLP1 Revision A and TYPE6-PLP1/4 Revision B, TYPE6-PLP1/10 and TYPE 6-PLP1/11);
 19. the Floor Plans And Elevations For The Handed Cypress House Type received 24th October 2012 (Drawing Nos. TYPE6-PLP1H Revision A, TYPE 6 - PLE1/4H Revision C and TYPE6-PLP1/11H Revision A);
 20. the Floor Plans And Elevations For The Aspen House Type received 16th August 2012 (Drawing Nos. TYPE4-2-PLP1, TYPE4-2-PLP1/1 and TYPE 4-2-PLP1/10);
 21. the Floor Plans And Elevations For The Osier House Type received 16th August 2012 (Drawing Nos. TYPE10- PLP2 and TYPE 10- PLE2/1);
 22. the Floor Plans And Elevations For The Beech House Type received 16th August 2012 (Drawing Nos. TYPE 16-PLP1, TYPE16-PLP1/1 and TYPE16 - PLE1/2);
 23. the Floor Plans And Elevations For The Yew House Type received 12th November 2012 (Drawing Nos. TYPE13-PLP7 and TYPE 13-PLP7/1);
 24. the Construction Details Of The Conservatories received 24th October 2012 (Drawing Nos. CON1-CPE1 and CON2-CPE1);
 25. the Floor Plans, Elevations And Sectional Drawings Of The Detached Garages received 16th August 2012 (Drawing No. SG1-EPS1);
 26. the Schedule Of Finishes received 12th November 2012 (Reference SL075/90/12/SF Rev A);
 27. the Development Plot Schedule received 12th November 2012 (Reference SL075.90.12.DPS Rev A);
 28. the Arboricultural Report Impact Assessment & Method Statement received 23rd August 2012 (dated 24th April 2012);
 29. the Tree Retention Plan received 10th January 2013 (Drawing No. SL075.90.9.SL.TRP Revision F);
 30. the Detailed Soft Landscape Proposals received 10th January 2013 (Drawing No. c-870-01 Revision D);
 31. the Plan Showing Trees Which Are To Be Removed received 16th January 2013;
 32. the Extended Phase 1 Habitat Survey received 23rd August 2012 (Dated 22nd April 2012);
 33. the Otter And Bat Tree Inspection Survey received 27th December 2012 (Dated 21st December 2012) including Street Lighting Design and associated documents received 8th February 2013 (Drawing No.AP0000-ED-LV Rev 01);
 34. the Boundary Treatments Plan received 10th January 2013 (Drawing No. SL075.90.9.SL.BT Revision G);
 35. the Boundary Details received 7th November 2012 (Drawing Nos. BD-03, BD-05, BD-15, BD-17 and BD-27 Revision A);
 36. the Flood Risk And Drainage Assessment received 23rd August 2012 (Dated April 2012, including Drainage Layout Drawing No. 002 Rev P7 received 10th January 2013);
 37. the Noise Assessment Report received 16th August 2012 (dated

- August 2012) and the addendum received 24th October 2012 (Dated 17th October 2012);
38. the Geotechnical Ground Investigation Report received 23rd August 2012 (Dated April 2012);
 39. the Transport Statement received 16th August 2012 (Dated 14th August 2012);
 40. the Notice of Decision; and
 41. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Notwithstanding any description of materials in the application no development shall be commenced until samples or full details of materials to be used externally on the buildings have been submitted to and approved by the Local Planning Authority. Such details shall include the type, colour and texture of the materials.

Reason: To ensure that materials to be used are acceptable and in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any other Order revoking and re-enacting that Order), no wall, fence or other means of enclosure shall be erected along the southern boundary of the site (other than those shown in any plans which form part of this application), without the approval of the Local Planning Authority.

Reason: To ensure that any form of enclosure is carried out in a co-ordinated manner in accord with Policies CP1, CP5 and H11 of the Carlisle District Local Plan 2001-2016.

5. Before any development is commenced on the site, including site works of any description, a protective fence in accordance with Fig. 2 in the Arboricultural Report Impact Assessment & Method Statement received 23rd August 2012 shall be erected around the trees and hedges to be retained. The position of the tree protection barriers shall be in accordance with the Construction Management Plan received 10th January 2013 (Drawing No. SL075.90.9.SL.CMP Revision A). Within the areas fenced off no fires should be lit, the existing ground level shall be neither raised nor lowered, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. The fence shall thereafter be retained at all times during construction works on the site to the satisfaction of the Local Planning Authority.

Reason: In order to ensure that adequate protection is afforded to all trees/hedges to be retained on site in support of Policies CP3 and CP5 of the Carlisle District Local Plan 2001-2016.

6. All works comprised in the approved details of landscaping shall be carried out either contemporaneously with the completion of individual plots or, in the alternative, by not later than the end of the planting and seeding season following completion of the development.

Trees, hedges and plants shown in the landscaping scheme to be retained or planted which, during the development works or a period of five years thereafter, are removed without prior written consent from the local planning authority, or die, become diseased or are damaged, shall be replaced in the first available planting season with others of such species and size as the authority may specify.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policies CP3 and CP5 of the Carlisle District Local Plan 2001-2016.

7. No development shall commence until a method statement for any work within the root protection area of those hedges to be retained has been submitted to and agreed, in writing, by the Local Planning Authority. The development shall be carried out in accordance with the approved statement.

Reason: In order to ensure that adequate protection is afforded to all hedges to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. Following completion of construction works and removal of site machinery and materials, protective fencing may be dismantled to permit ground preparation and cultivation works, if required, adjacent to the hedges. Any such ground preparation and cultivation works shall be carried out by hand, taking care not to damage any roots encountered.

Reason: To protect the hedges during development works in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. The proposed surface water drainage shall be in accordance with the Flood Risk and Drainage Assessment written by Integra Consulting Engineers Limited received 23rd August 2012 (Dated April 2012) Including the Drainage Layout Plan in Appendix 5 (Drawing No.002 Rev P7) received 10th January 2013. No part of the development shall be occupied until the surface water drainage scheme has been constructed in accordance with the approved details. For the avoidance of doubt, neither surface water nor highway drainage shall connect into the public sewerage system (directly or indirectly). The development shall be completed, maintained and managed in accordance with the approved details.

Reason: To ensure that adequate means of surface water disposal and to prevent increased risk of flooding in accordance with Policies

10. The foul drainage shall be in accordance with the Flood Risk and Drainage Assessment written by Integra Consulting Engineers Limited received 23rd August 2012 (Dated April 2012) including the Drainage Layout Plan in Appendix 5 (Drawing No.002 Rev P7) received 10th January 2013. For the avoidance of doubt foul water from the site must discharge into the manhole reference number NY44550102 located upstream of 225mm diameter combined sewer along Broomfallen Road. No part of the development shall be occupied until the foul water drainage scheme has been constructed in accordance with the approved details. The development shall be completed, maintained and managed in accordance with the approved details.

Reason: To ensure that adequate drainage facilities are available and to ensure compliance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

11. The surface drainage system of the development will be monitored during the construction phase and for a further two years following completion of the development in accordance with a scheme to be submitted to and approved, in writing, by the Local Planning Authority. The results from the monitoring shall be forwarded to the Local Planning Authority and should the results indicate unforeseen problems caused by the increase of surface water into the nearby Pow Maughan Beck a mitigation scheme shall be submitted to the Local Planning Authority for prior written approval and that mitigation scheme shall be implemented by the developer within 3 months of it having been accepted.

Reason: To ensure an acceptable scheme for surface water disposal in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016 and to protect the safety, operational needs and integrity of the railway to the north of the site.

12. Full details of the proposed pumping station including back up generators must be submitted to and approved by the Local Planning Authority prior to the installation of the agreed scheme.

Reason: To ensure that the proposed development is undertaken in a manner which safeguards the visual amenities of the area and to prevent disturbance to nearby occupants. In accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

13. The carriageways, footways, etc. shall be designed, constructed, drained (and lit) to the standards laid down in the current Cumbria Design Guide, so as to be suitable for adoption and in this respect further detailed drawings including land dedication plan(s) road construction details and levels (including drainage, lighting and other Utilities), shall be submitted to the Local Highways Authority for approval before work commences on site. No

work shall be commenced until a full specification (and phasing) has been approved. (Any works so approved, shall be constructed in accordance with the Highways Act 1980 Section 38 agreement before the development is complete). (In cases where the Highways Act 1980 Advanced Payment Code is applied, no works shall be commenced until the APC Bond/Surety is in Place).

Reason: To ensure a minimum standard of construction in the interests of highway safety. To support Local Transport Plan Policies: LD5, LD7 and LD8.

14. The accesses parking and courtyard area shall be constructed to the satisfaction of the Local Planning Authority and in this respect full constructional details shall be submitted to the Local Planning Authority for approval before work commences on site. No work shall be commenced until a full specification has been approved. Any works so approved shall be substantially complete before the superstructure works commence.

Reason: To ensure a minimum standard of construction in the interests of highway safety. To support Local Transport Plan Policies: LD5, LD7 and LD8.

15. No dwelling shall be occupied until the vehicular access and parking requirements have been constructed in accordance with the approved plan and brought into use. These facilities shall be retained and capable of use at all times thereafter and shall not be removed or altered without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use. To support Local Transport Policies: LD5, LD7 and LD8.

16. The access shall be substantially met before any works other than Site Investigations and Clearance commences on site so constructional traffic is accommodated clear of the highway. It shall include provision for the cleaning of vehicle wheels so mud is not tracked onto the highway. This access and area shall be kept available for such purposes until the end of the Constructional Works.

Reason: Constructing the development without such facilities in place could lead to inconvenience and danger to road users. To support Local Transport Plan Policies LD7 and LD8.

17. The visibility splays from houses with accesses onto the CC1038, Scotby – Wetheral road shall be maintained to provide clear visibility of 33metres

measured along the nearside channel lines of this road from a position 2metres inset from the carriageway edge, on the centre line of the access; and 2.4m at either side of each access x 2.4m in either direction along the highway:property boundary; at a height of 1.05metres. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, the hedges approved as part of this consent shall be regularly pruned so as not to obstruct these visibility splays.

Reason: In the interests of highway safety. To support Local Transport Plan Policies: LD7 and LD8.

18. Notwithstanding the proposed landscaping scheme submitted adjacent to the watercourse (as shown on Drawing No. c-870-01 Revision D) no development shall take place until a scheme for the provision and management of a buffer zone alongside the watercourse shall be submitted to and agreed in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved scheme and any subsequent amendments shall be agreed in writing with the Local Planning Authority. The buffer zone scheme shall be free from built development including lighting, domestic gardens and formal landscaping; and could form a vital part of green infrastructure provision.

The scheme shall include:

10. Plan showing the extent and layout of the buffer zone
- details of any proposed planting scheme (for example, native species)
 - details demonstrating how the buffer zone will be protected during development and managed/maintained over the longer term
 - details of any proposed footpaths, fencing, lighting etc.

Reason: To protect the biodiversity and water quality of the adjacent watercourse. In accordance with Policies CP2 and CP11 of the Carlisle District Local Plan 2001-2016.

19. No site clearance or works to hedges shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

Reason: To protect nesting birds in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

20. No development shall take place until the applicant has demonstrated how the protected species/wildlife mitigation measures set out in Paragraphs 5.6.4, 5.6.5, 5.6.7, 5.6.8, 5.6.9 and 5.6.10 of the "Extended Phase 1 Habitat Survey" prepared by Scott Fitzgerald Tree Consultants (received 23rd August 2012) have been incorporated into the development in accordance with a scheme to be submitted to and approved, in writing, by the Local

Planning Authority. The development shall be implemented in accordance with the approved scheme.

Reason: To mitigate the impact of the development upon wildlife in the vicinity and to ensure compliance with Policies CP2 and CP5 of the Carlisle District Local Plan 2001-2016.

21. Before the development hereby permitted is occupied the two metre high boundary fencing adjacent to Network railways boundary illustrated on the Boundary Treatment Plan received 10th January 2013 (Drawing No. SL075.90.9.SL.BT Revision G) shall be erected and maintained at the height specified on that drawing to the satisfaction of the Local Planning Authority.

Reason: In order to prevent trespass onto the railway.

22. No development shall take place until a method statement (relating to excavation/earthworks/demolition works, details of any vibro-impact machinery and any scaffolding within 10 metres of the railway boundary fence) has been submitted to and agreed in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved scheme and any subsequent amendments shall be agreed in writing with the Local Planning Authority.

Reason: To protect the safety, operational needs and integrity of the railway to the north of the site.

23. Notwithstanding the details of lighting already submitted as part of the Otter and Bat Inspection Survey a scheme for all external lighting within and around the site (including temporary and permanent) shall be submitted to and approved in writing by the Local Planning Authority before any work on the site is commenced. The approved scheme shall be permanently retained and maintained thereafter.

Reason: To ensure there is no interference with the existing habitats, the adjacent watercourse and railway line.

24. For the first three months following the installation and operation of the lighting scheme an assessment will be made to check the effect of the lighting on the nearby railway line. If it is found that there is a problem with driver visibility additional screening/cowling or lighting adjustment will be employed as appropriate to alleviate the problem, to the satisfaction of the Local Planning Authority in association with Network Rail and the train operating companies.

Reason: To protect the safety, operational needs and integrity of the railway to the north of the site.

25. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

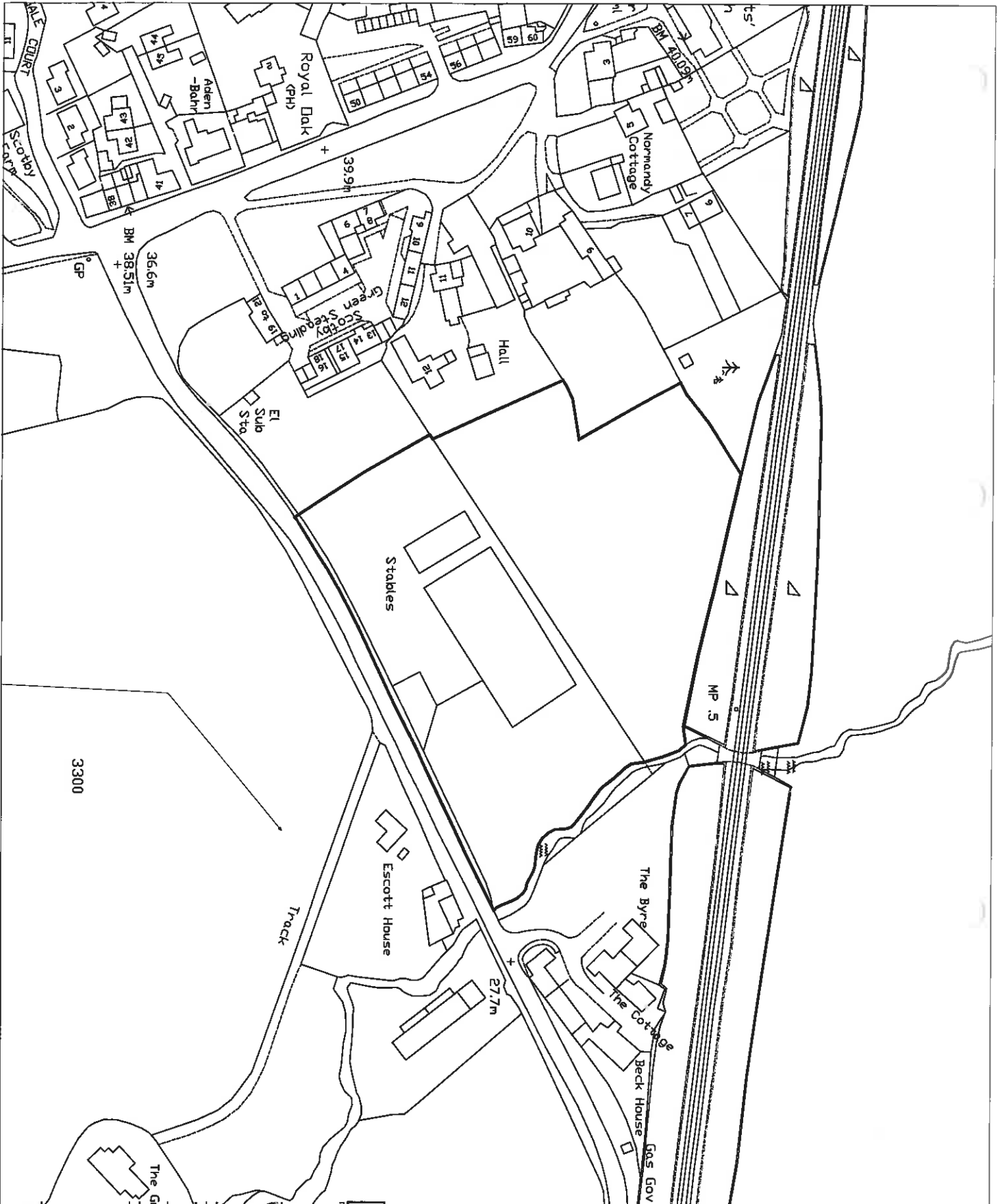
Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

26. No construction work associated with the development hereby approved shall be carried out before 07.30 hours or after 18.00 hours Monday to Friday, before 07.30 hours and 13.00 hours on Saturdays, nor at any times on Sundays or Bank Holidays.

Reason: To prevent disturbance to nearby occupants in accordance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

27. Development shall not begin until a scheme for protecting the proposed dwellings from noise from the adjacent railway has been submitted to and approved by the Local Planning Authority; and all works which form part of the scheme shall be completed before any of the permitted dwellings are occupied. The internal noise levels for each dwelling shall meet the WHO guidelines for LAeq and LMax sound levels.

Reason: So that the externally generated sound level within each dwellings are acceptable in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.



108



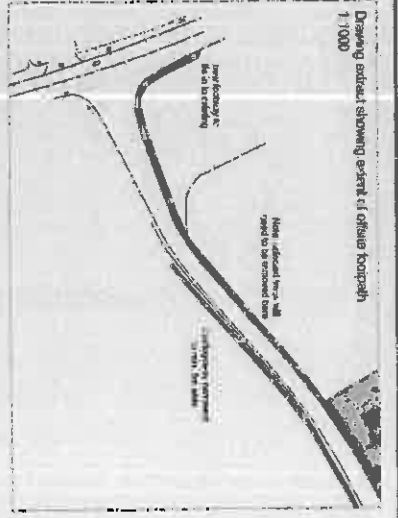
Land adjacent to
Welcome Square, Scotby

Location Plan

PROJECT	DATE	REVISION
SL075.909.SI.LP	15/03/2022	1
SL075		

© Story Construction Ltd.
 5 Highfield Industrial Estate, Cardiff, Carmarthenshire, SA1 1AA.
 Tel: 01222 840450 Fax: 01222 840451

Planning Layout



LEGEND OF DECORATIONS OVERALL

Symbol	Description
[Symbol]	Proposed building
[Symbol]	Proposed parking
[Symbol]	Proposed road
[Symbol]	Proposed landscaping
[Symbol]	Proposed utility
[Symbol]	Proposed boundary
[Symbol]	Proposed fence
[Symbol]	Proposed gate
[Symbol]	Proposed sign
[Symbol]	Proposed lighting
[Symbol]	Proposed water feature
[Symbol]	Proposed tree
[Symbol]	Proposed shrub
[Symbol]	Proposed ground cover
[Symbol]	Proposed lawn
[Symbol]	Proposed path
[Symbol]	Proposed ramp
[Symbol]	Proposed stairs
[Symbol]	Proposed deck
[Symbol]	Proposed pergola
[Symbol]	Proposed gazebo
[Symbol]	Proposed bench
[Symbol]	Proposed table
[Symbol]	Proposed chair
[Symbol]	Proposed fire pit
[Symbol]	Proposed fire hydrant
[Symbol]	Proposed fire alarm
[Symbol]	Proposed fire extinguisher
[Symbol]	Proposed fire hose
[Symbol]	Proposed fire hydrant
[Symbol]	Proposed fire alarm
[Symbol]	Proposed fire extinguisher
[Symbol]	Proposed fire hose

STORY

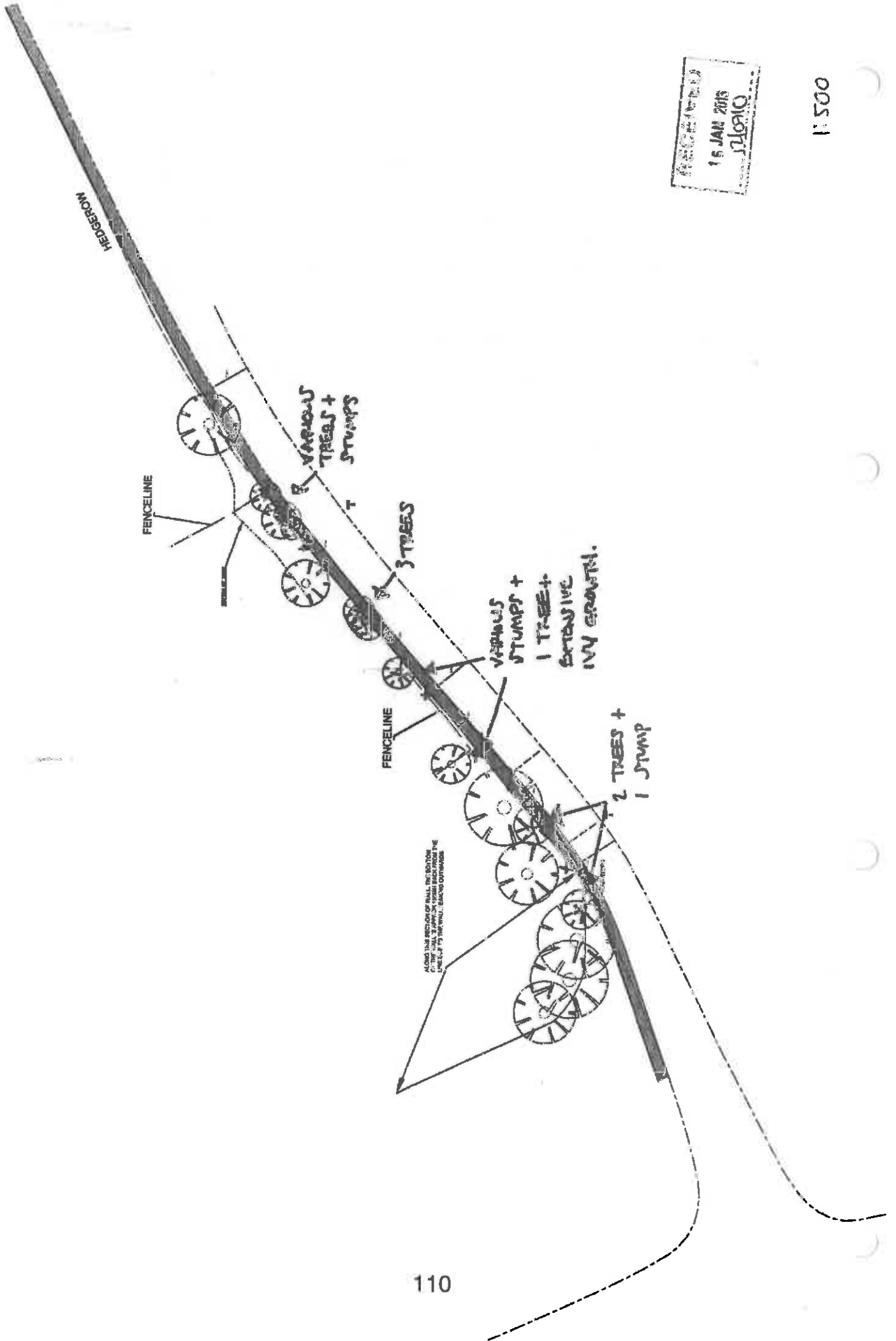
Land ad.
Welcome Square, Scotby
Planning Layout



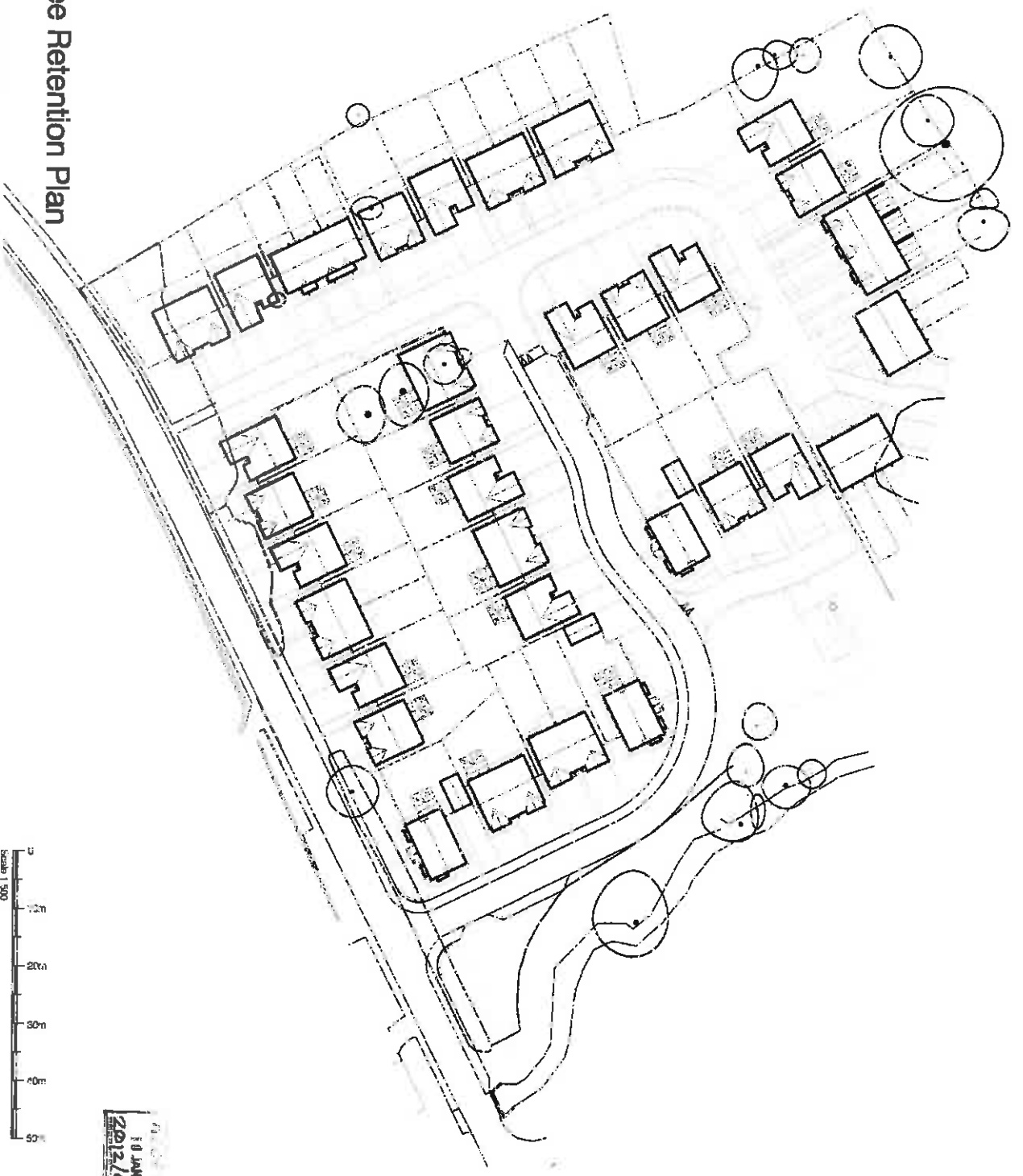
DATE	19/07/20
SCALE	1:500
PROJECT	SL075 90 9 SL PL
REVISION	H
JOB	SL075
DESIGNER	J.L.
PROJECT	<p>1. Site plan, including site location, access, and parking.</p> <p>2. Site plan, including site location, access, and parking.</p> <p>3. Site plan, including site location, access, and parking.</p> <p>4. Site plan, including site location, access, and parking.</p> <p>5. Site plan, including site location, access, and parking.</p> <p>6. Site plan, including site location, access, and parking.</p> <p>7. Site plan, including site location, access, and parking.</p> <p>8. Site plan, including site location, access, and parking.</p> <p>9. Site plan, including site location, access, and parking.</p> <p>10. Site plan, including site location, access, and parking.</p>

Story Construction Ltd.
Brighton Road, Scotby, Carlisle, Cumbria, CA7 7NW
Tel: 01283 666666

Plans showing trees to be removed.



Tree Retention Plan



18 JAN 2013
2012/5710

Key
 ○ Trees removed
 ● Trees retained

N

PLANNING APP

STORY
FORWARD

111

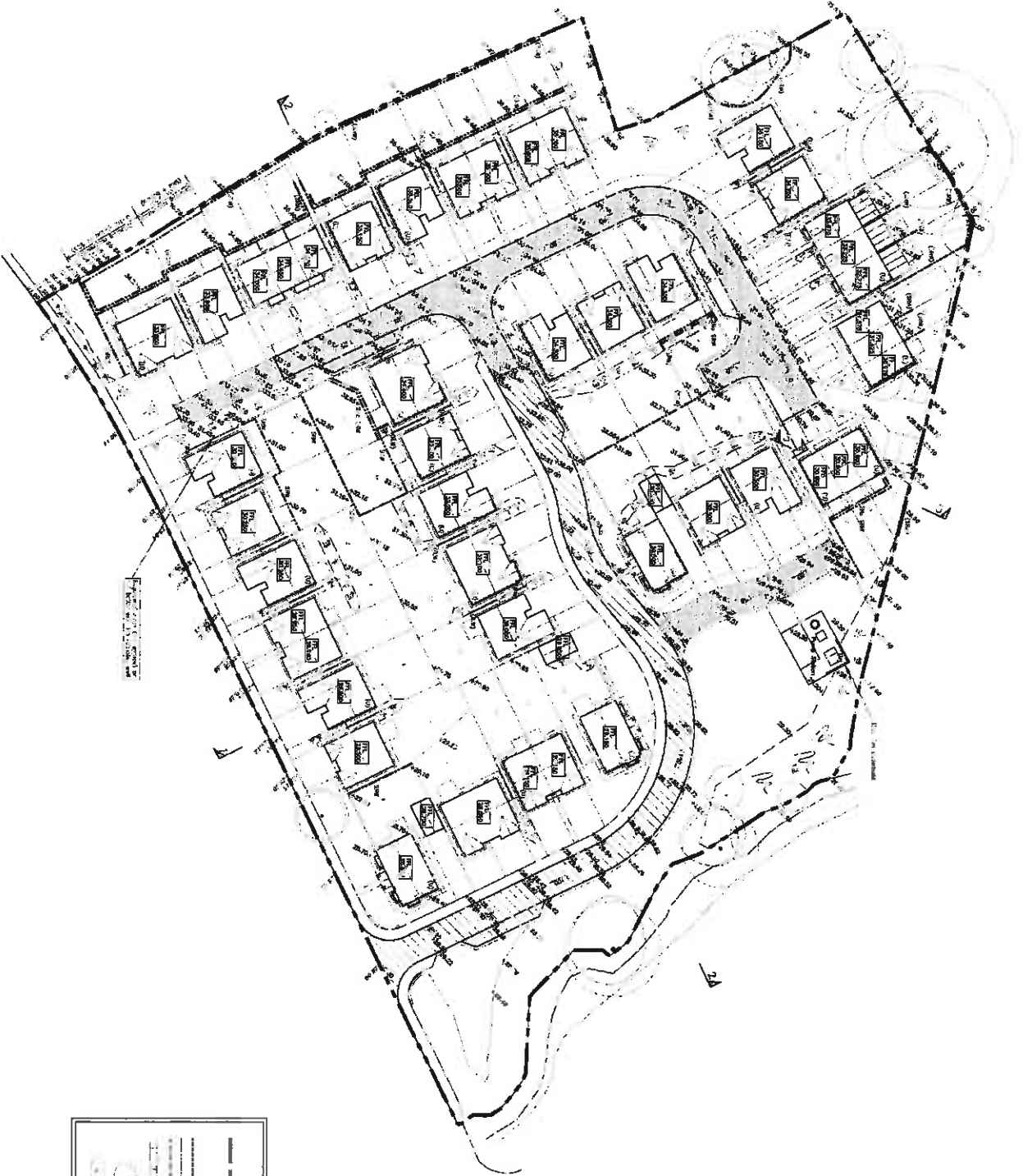
Land adj.
 Welcome Square, Scotby

Tree Retention Plan

DATE	13/01/2013
DESIGNED BY	AS
CHECKED BY	CAE
DATE	13/01/2013
PROJECT	SL075.90.9 SL TRP
CLIENT	F
REFERENCE	SL075

APPROVED FOR CONSTRUCTION
 APPROVED FOR CONSTRUCTION
 APPROVED FOR CONSTRUCTION
 APPROVED FOR CONSTRUCTION

Story Construction Ltd.
 10001 201 Industrial Estate, Cumbria, Lancashire, L24 7PA.
 TEL: 01753 830000



Out and In circulation and layout

- 1. To facilitate the circulation of people and goods between the building and the surrounding area, a network of external paths and walkways has been provided.
- 2. The layout of the external paths and walkways has been designed to provide a safe and convenient means of access to the building.
- 3. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.
- 4. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.
- 5. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.

Out and In design organization

- 1. The design organization for the out and in circulation and layout has been established to provide a safe and convenient means of access to the building.
- 2. The design organization for the out and in circulation and layout has been established to provide a safe and convenient means of access to the building.
- 3. The design organization for the out and in circulation and layout has been established to provide a safe and convenient means of access to the building.
- 4. The design organization for the out and in circulation and layout has been established to provide a safe and convenient means of access to the building.
- 5. The design organization for the out and in circulation and layout has been established to provide a safe and convenient means of access to the building.

Legend

(By Drawing Date: 1981)

- ▬ Proposed New
- ▬ Existing
- ▬ Proposed Level
- ▬ Existing Level
- ▬ Level of Finished Floor (R.F.F.)
- ▬ Level of Finished Ground (F.G.)
- ▬ Level of Proposed Finished Ground
- ▬ Level of Proposed Finished Ground (Proposed)

1:500 Scale



Notes

1. To facilitate the circulation of people and goods between the building and the surrounding area, a network of external paths and walkways has been provided.
2. The layout of the external paths and walkways has been designed to provide a safe and convenient means of access to the building.
3. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.
4. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.
5. The external paths and walkways have been designed to provide a safe and convenient means of access to the building.

PLANNING	STORY HOMES	SCOTT	EXTERNAL LEVELS LAYOUT
1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16
17	18	19	20
21	22	23	24
25	26	27	28
29	30	31	32
33	34	35	36
37	38	39	40
41	42	43	44
45	46	47	48
49	50	51	52
53	54	55	56
57	58	59	60
61	62	63	64
65	66	67	68
69	70	71	72
73	74	75	76
77	78	79	80
81	82	83	84
85	86	87	88
89	90	91	92
93	94	95	96
97	98	99	100

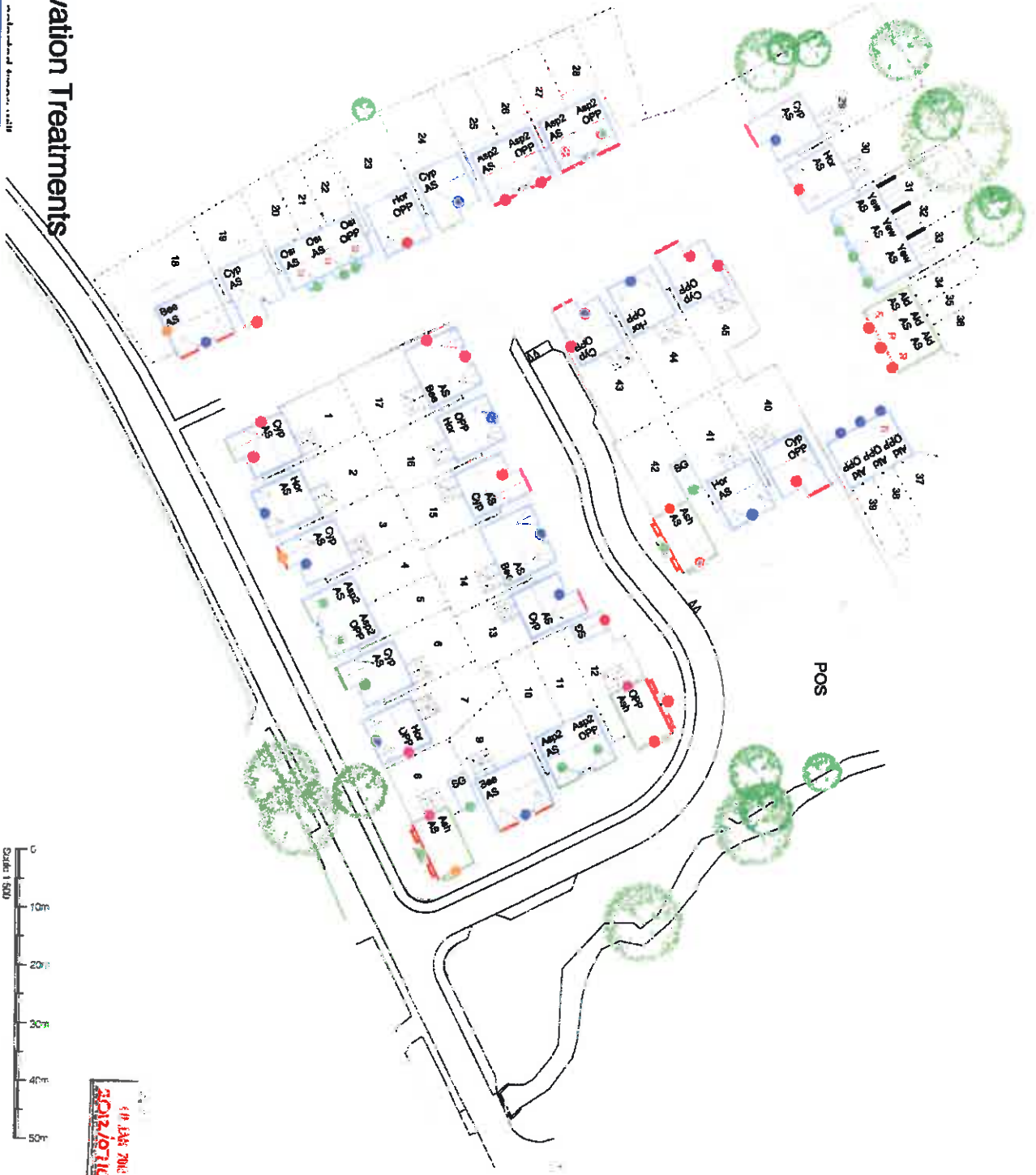
integra consulting

1000 West 10th Avenue
 Suite 1000
 Vancouver, BC V6H 1G7
 Tel: 604-278-8860
 Fax: 604-278-8861
 Email: info@integracanada.com
 Website: www.integracanada.com

Project No.	001
Sheet No.	P7
Scale	1:500
Date	1981
Author	...
Checker	...
Designer	...
Project Manager	...
Client	...

Elevation Treatments

Minimum recommended dimensions: 1000



- Elevation Treatments Key**
- Strawmark
 - Birchmark
 - Pencil
 - Recessed joints, Birchmark surround
 - Dallic Stone
 - Gablic Feature
 - Green Look
 - Blue Diver
 - Red Diver



115

PLANING AREA

STORY

Land adj.
Welcome Square, Scotby

Elevation Treatments

LOC. NO.	48	LOC. TYPE	
LAB. REF.		SCALE	1:500
TERMINUS	SLO75, 90, 9 SLET	REF. MARK	G
REMARKS	SLO75		

REVISION	DESCRIPTION	DATE
A	Approved for construction	12/15/2010
B	Approved for construction	12/15/2010
C	Approved for construction	12/15/2010
D	Approved for construction	12/15/2010
E	Approved for construction	12/15/2010
F	Approved for construction	12/15/2010
G	Approved for construction	12/15/2010

Stary Construction Ltd.
 1000 Highway 100, Scotby, NS
 Tel: 902-539-1111 Fax: 902-539-1111



- Key**
- Full Brick facade
 - Mainly Brick with partial Stone facade & Quoins
 - Mainly Brick with partial Rendered facade & Quoins
 - Mainly Render with partial Stone facade & Quoins
 - Fully Rendered facade



N

116

PLANNING APT

STORY

111 14th Ave

Land adj.
Welcome Square, Scotby

Character Finishes

PROJ. NO.	AB	DEPT.	PROP.
DATE RECEIVED	CASE	FILE NO.	REVISION
NO.	SL075, 90.9, SL, CF		G
SITE NO.	SL075		
APPLICANT	Approved for use as a residential yard		
ADDRESS	111 14th Ave		
DATE	2012/07/15		
BY	[Signature]		
FOR	Approved for use as a residential yard		
DATE	2012/07/15		
BY	[Signature]		

Story Construction Ltd.
 111 14th Ave, Scotby, Cumberland, Cumbria, CVO 7NA.
 Tel: 01223 888888 Fax: 01223 888888

Character Finishes



House Type

TYPE 1

Detached Garage
GF/FF 124.26 sq.m. (1337.53 sq.ft.)

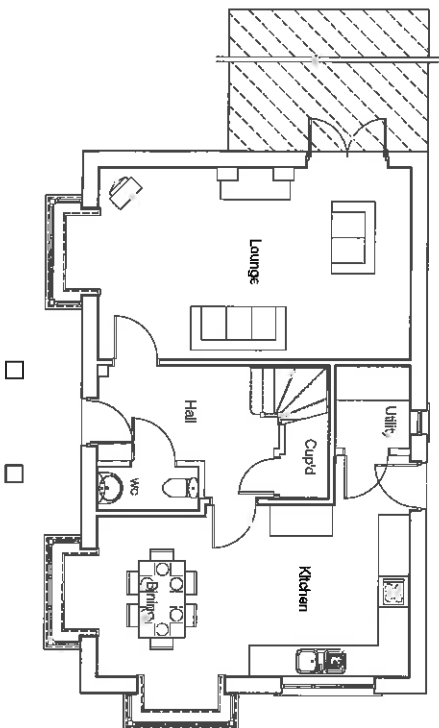
© **Story Homes.**

Burgh Rd Industrial Estate, Carlisle, Cumbria, CA2 7NA.

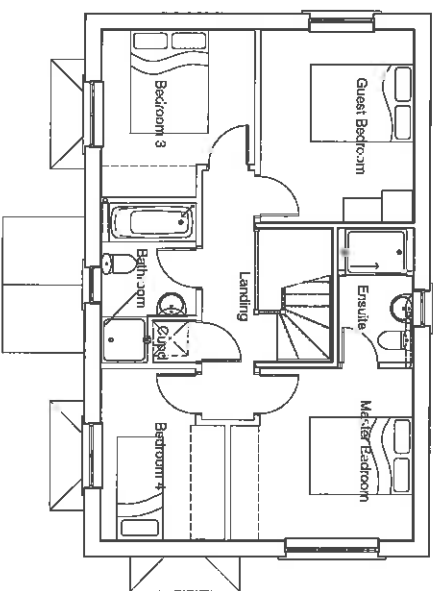
Tel 01228 640850

Fax 01228 640851

Crystal, story Type 1
 External dimensions 4.1m x 3.9m.
 Please refer to conservation / Local Market for
 construction details and site layout plan for plot
 reference.



Ground Floor Plan

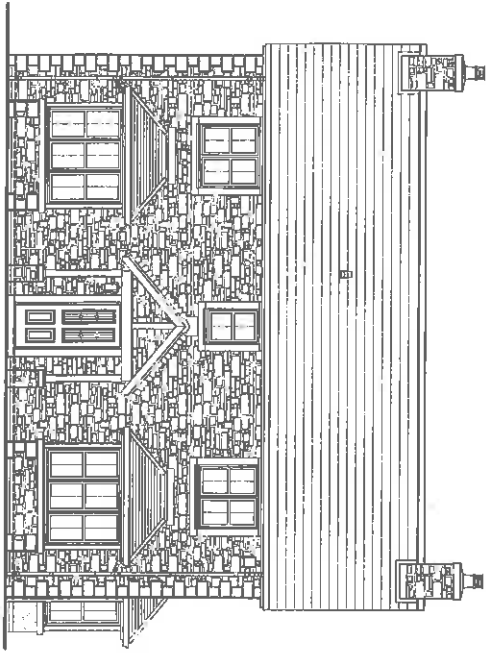


First Floor Plan

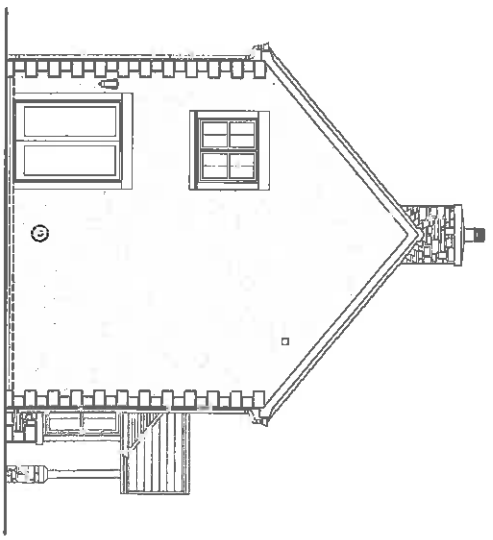

 HOUSE
TYPE 1

Planning Plans 4

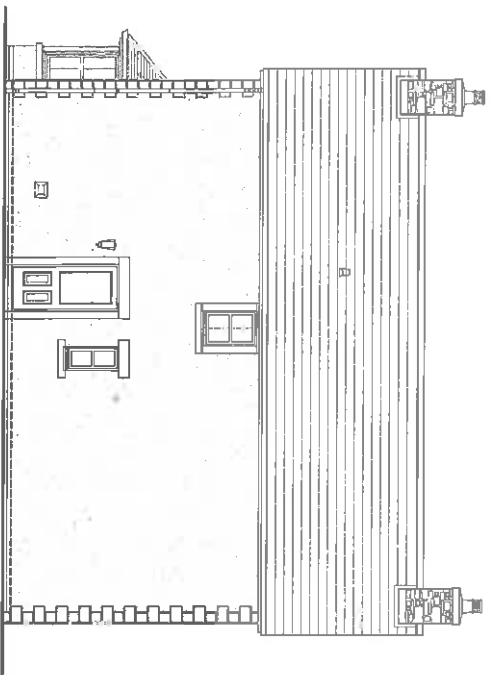
DATE	SCALE	REVISION
11/12/2013	1:100	
DATE	SCALE	REVISION
11/12/2013	1:100	
DATE	SCALE	REVISION
11/12/2013	1:100	



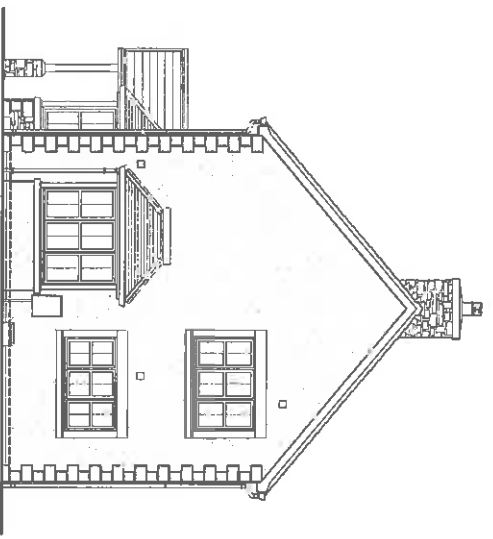
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



TYPE 1

Planning Elevations 4/5

DATE	01/10/2010
FOR NEW OR	REVISION
DESIGNED BY	DATE
PROJECT	ORIGINATOR
(1)	TYPE 1 - PLEA/S
REVISION	REASON

© Story Homes.
 Design Professional Exam. C
 T46 01228 648660
 FROM COUNTRY
 Plan 01228 648661



House Type

TYPE 2

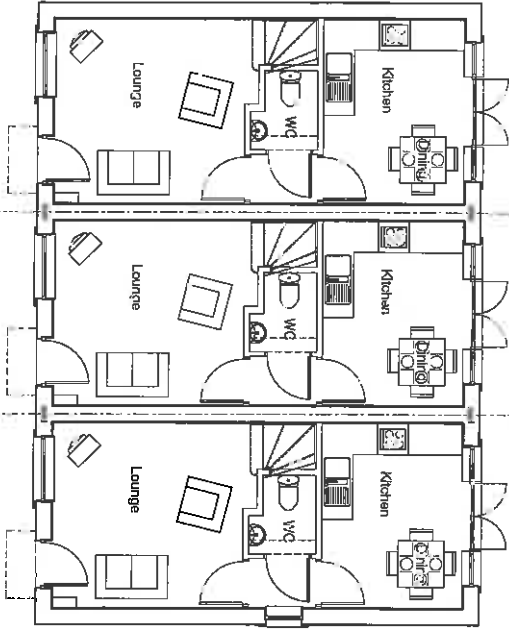
Detached Garage
GF/FF 124.26 sq.m. (1337.53 sq.ft.)

© **Story Homes.**

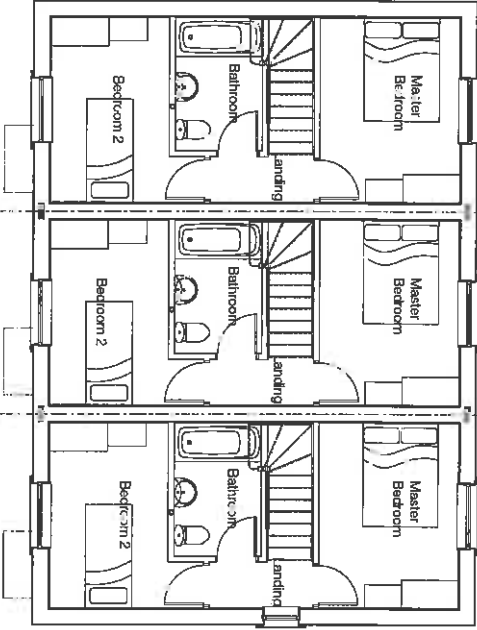
Burgh Rd Industrial Estate, Carlisle, Cumbria, CA2 7NA.

Tel 01228 640850

Fax 01228 640851



Ground Floor Plan



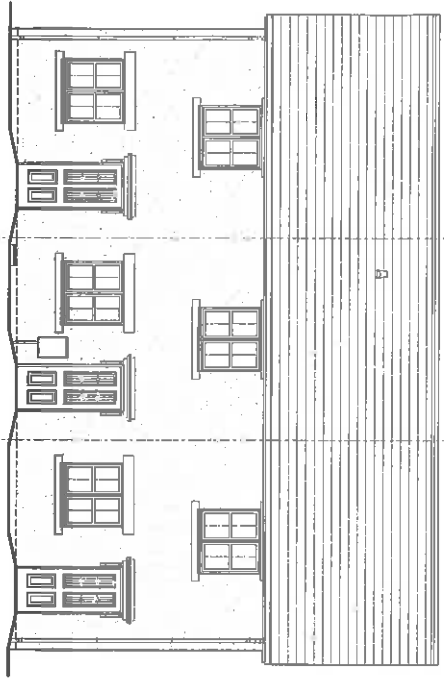
First Floor Plan



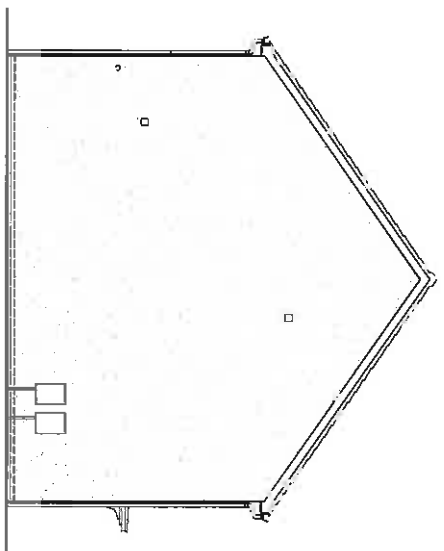
TYPE 2

Planning Plans 1

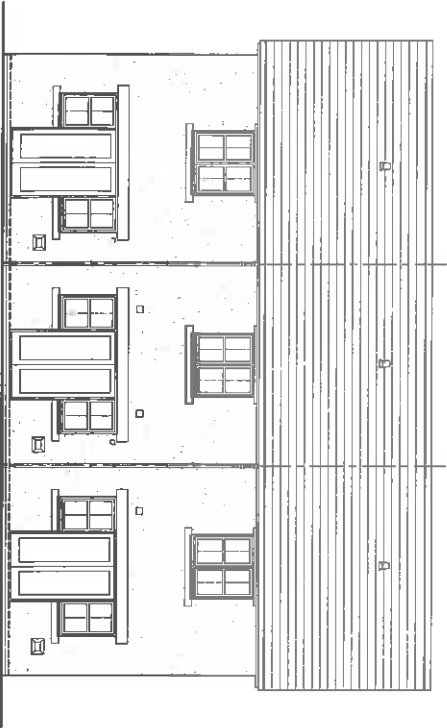
DATE	DATE	DATE
DRW 11/18	DRW 11/18	DRW 11/18
CHECKED BY	CHECKED BY	CHECKED BY
BSSE (1)	BSSE (1)	BSSE (1)
TYPE2 - PLP1	TYPE2 - PLP1	TYPE2 - PLP1
REVISION	REVISION	REVISION



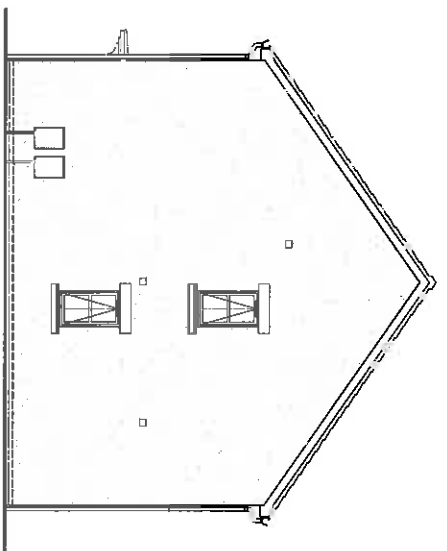
Front Elevation



Side Elevation



Rear Elevation



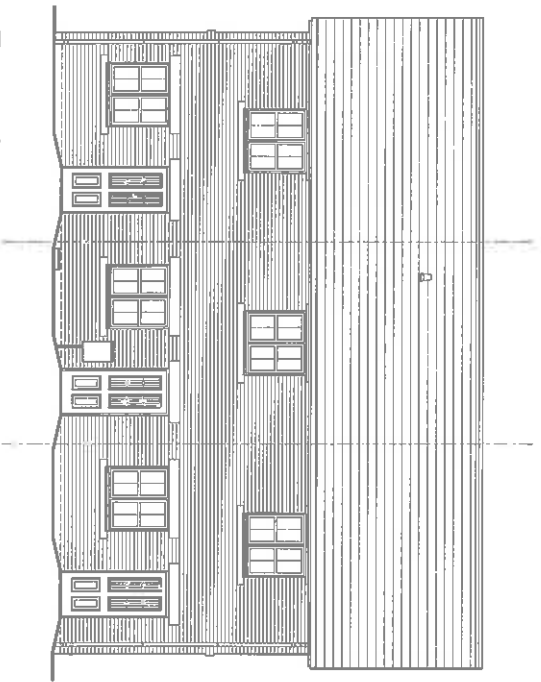
Side Elevation



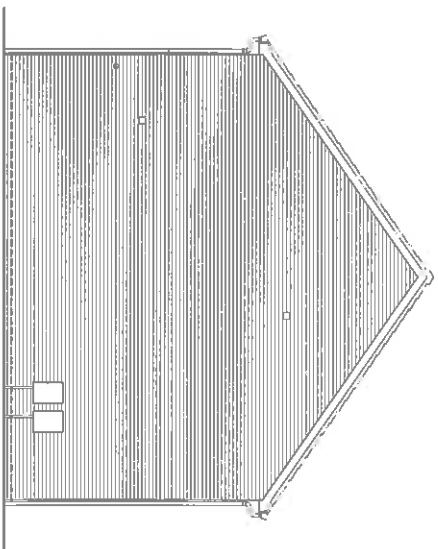
TYPE 2

Planning Elevations 1/2

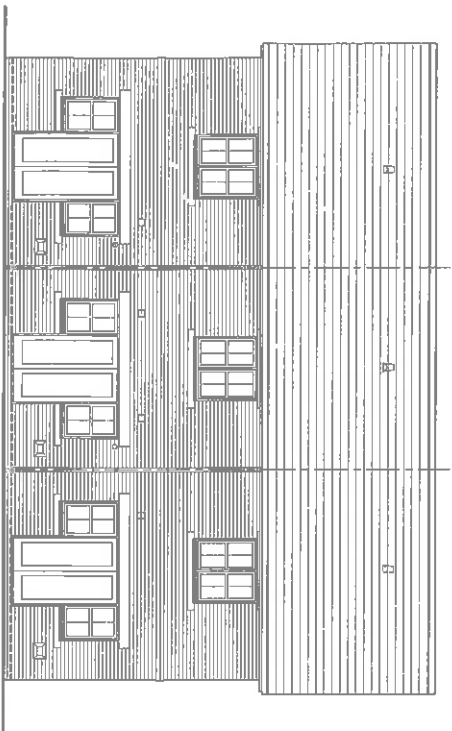
DATE: 08-13	SCALE: 1/2" = 1'-0"	REVISION:
DESIGNED BY: CHL	SCALE: 1/2" = 1'-0"	
CHECKED BY: [Signature]	SCALE: 1/2" = 1'-0"	
DATE: 08-13-2013	SCALE: 1/2" = 1'-0"	
TYPE: PLE1/2	SCALE: 1/2" = 1'-0"	
DATE: 08-13-2013	SCALE: 1/2" = 1'-0"	



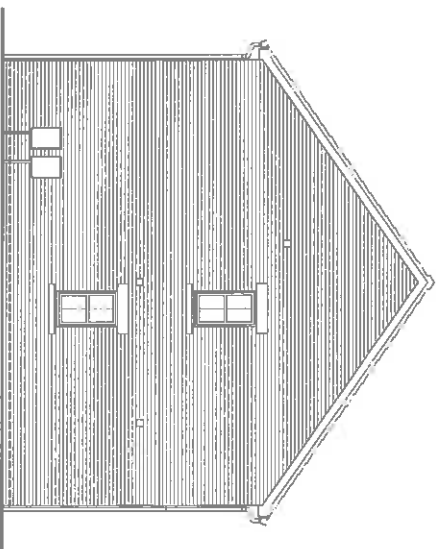
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



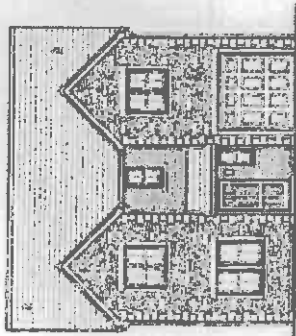
HOUSE TYPE

TYPE 2

DRAWING

Painting Elevations 1/3

DRAWN BY	CHK	DATE	2014.07.15
DESIGNED BY			
PROJECT NUMBER	TYPE2 - PLEN3		
REVISION	(1)		



House Type

The HORNBEAM

GF/FF 117.18 sq.m. (1261.28 sq.ft.)
GARAGE 12.70sq.m. (136.71 sq.ft.)

 **Story Homes.**

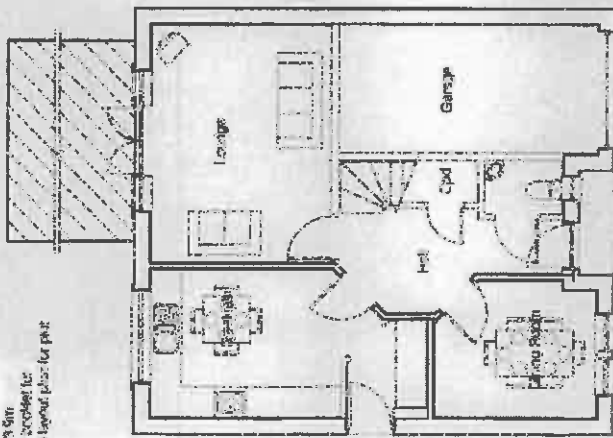
Burgh Rd Industrial Estate, Carlisle Cumbria CA2 7NA

Tel 01228 640850

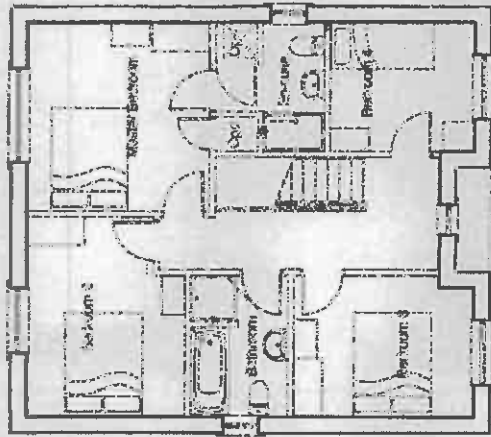
Fax 01228 640651

RECEIVED
21 JUL 2012
2012/0710

Contingency Type 1
 Eaten at 4/19/2012 4:16:13 PM
 Please refer to the assembly schedule for
 construction details and site layout plan for pit
 reference.



Ground Floor Plan



First Floor Plan

RECEIVED
 21 OCT 2012
 2012/10/10

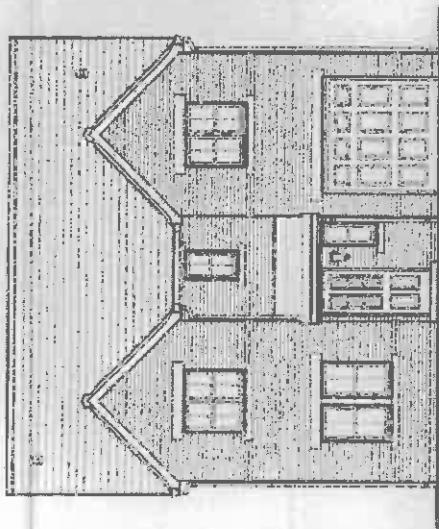


TYPE 3

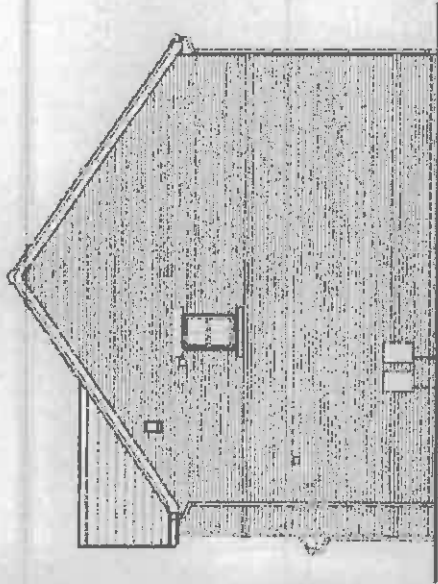
Planning Plans 1

PROJECT NO.	2012-0710
DATE	2012-10-10
TYPE	TYPE 3 - PUP
SCALE	1:1
REVISION	

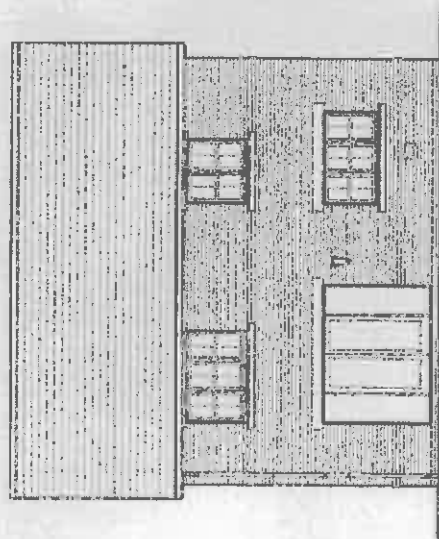
Story Homes
 1000 BIRCHMOUNT ROAD, SUITE 100, BIRMINGHAM, AL 35202
 TEL: 205-988-8888



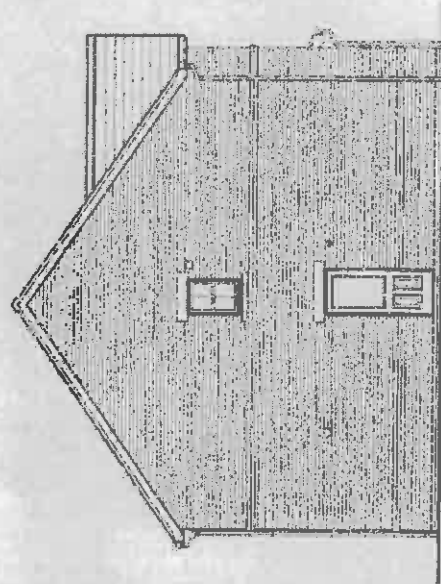
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

RECEIVED
2012 0710



TYPE 3

Planning Elevations 1/3

DATE: 12/11/11	SCALE: 1/8" = 1'-0"
PROJECT: 11-0010	DATE: 12/11/11
NO: 01	TYPE: 3 - P1E1/3

Galaxy Homes,
Architectural Services, Inc. 11/11/11
11-0010-01



House Type

TYPE 6

GF/FF 121.77 sq.m. (1310.69 sq.ft.)
GARAGE 12.99sq.m. (139.86 sq.ft.)

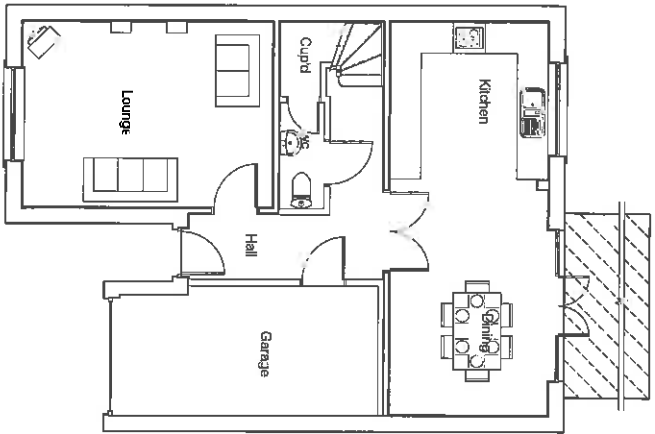
© **Story Homes.**

Burgh Rd Industrial Estate, Carlisle, Cumbria, CA2 7NA.

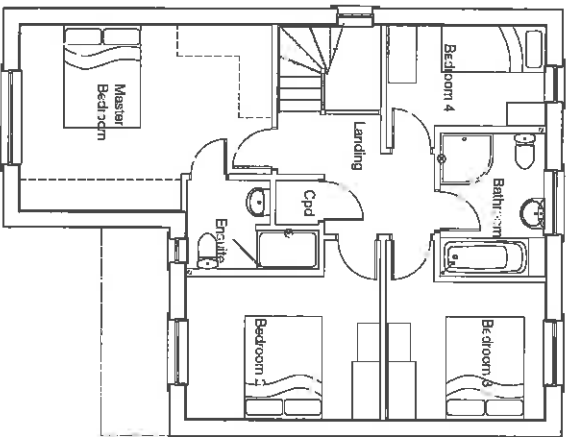
Tel 01228 640850

Fax 01228 640851

Conversion: Type 2
 External dimensions 3.6m x 3.6m.
 Please refer to corner plot booklet
 for construction details and site layout
 plan for plot references.



Ground Floor Plan



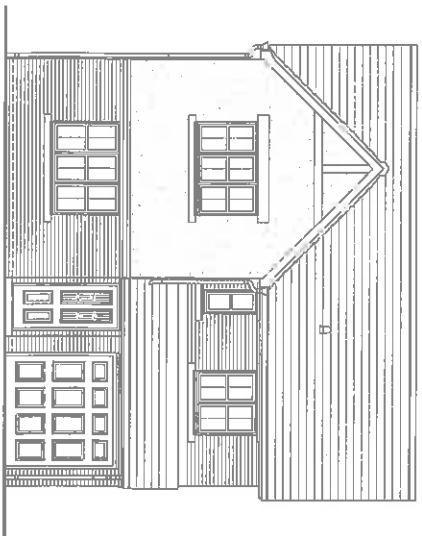
First Floor Plan



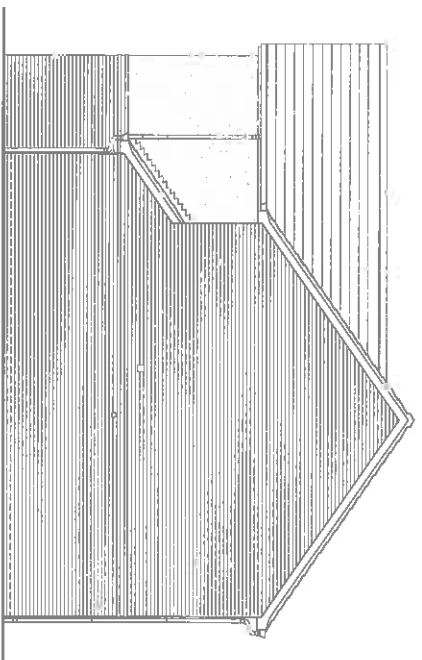
TYPE 6

Planning Plans 1

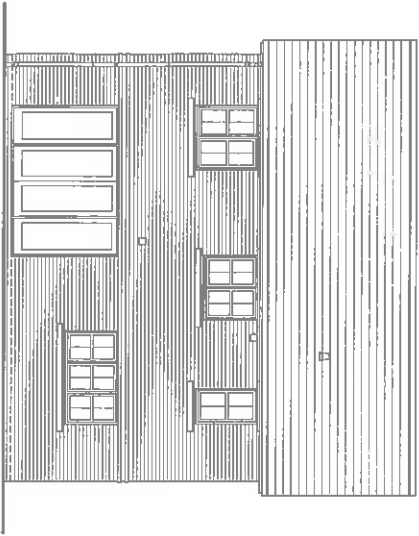
DATE	BY	REVISION
11/04/2016	CPA	1
11/04/2016	CPA	2



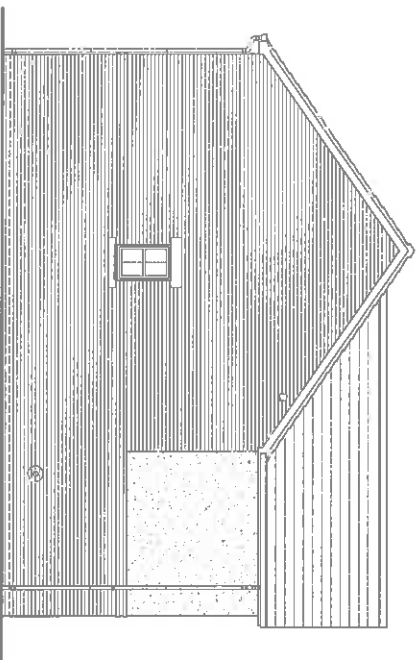
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

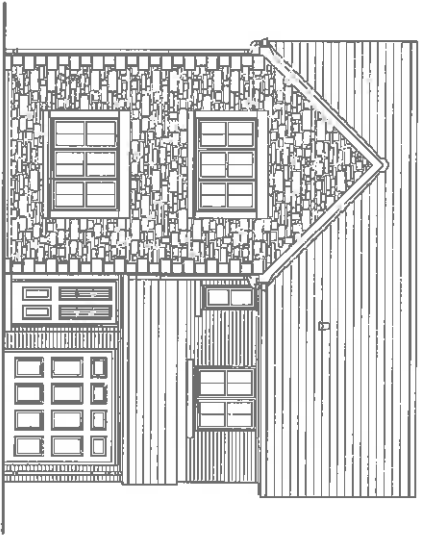


TYPE 6

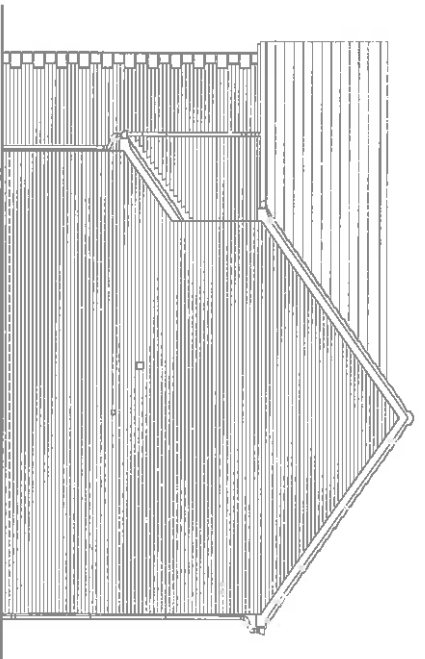
Planning Elevations 1/4

DATE	3/11/2016
DESIGNED BY	DALE TAYLOR
CHECKED BY	DALE TAYLOR
TYPE	TYPE 6 - PLE1/4
REVISION	B

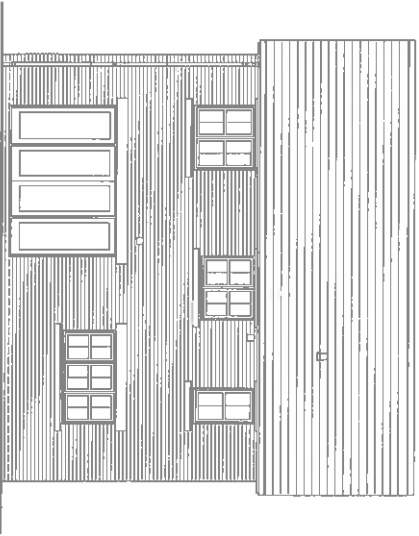
Story Homes.
 Built for Real. Real Estate.
 1714 N. 27th Ave. Phoenix, AZ 85016
 Tel: 602.988.8888 Fax: 602.988.8888



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

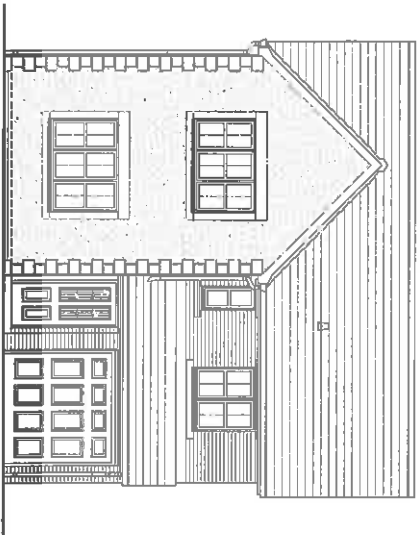


TYPE 6

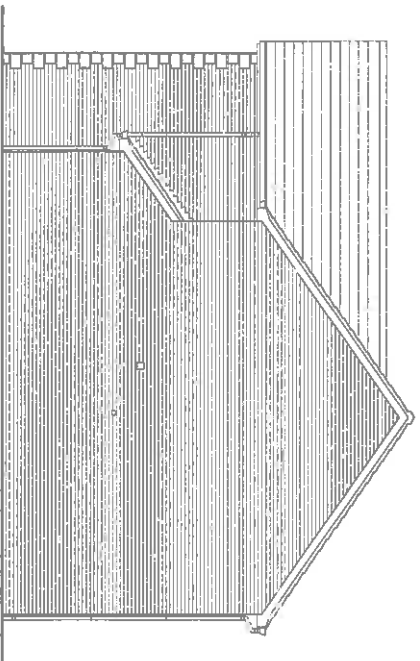
Planning Elevations 1/10

DATE	2004.12.10
SCALE	1/8" = 1'-0"
TYPE	TYPE 6 - PLAN 1/10
NO. OF SHEETS	2
DATE	2004.12.10

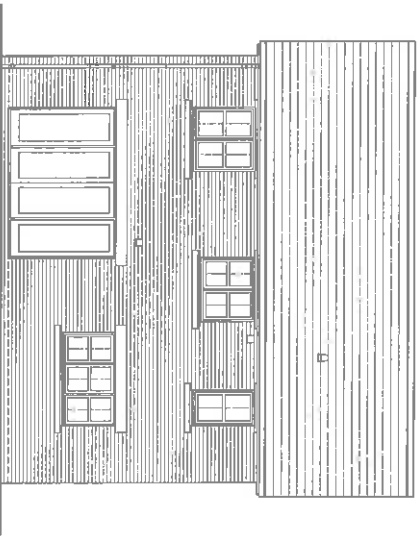
©Story Homes,
 6000 North Central Expressway, Suite 100, Charlotte, NC 28215
 TEL 704.238.8400 FAX 704.238.8401



Front Elevation



Side Elevation



Rear Elevation



Side Elevation



TYPE 6

Planning Elevations 1/11

DATE	24.12.12	REVISED	-
DRAWN BY	CHL	CHECKED BY	SL
PROJECT	TYPE 6 - PLEV/11	REVISION	-
QUANTITY	(2)	SCALE	1:1

Story Homes
 15000 Red Oak Blvd East, C
 Jacksonville, FL 32210
 Tel: 01223 640850 Fax: 01223 640851



House Type

TYPE 4-2

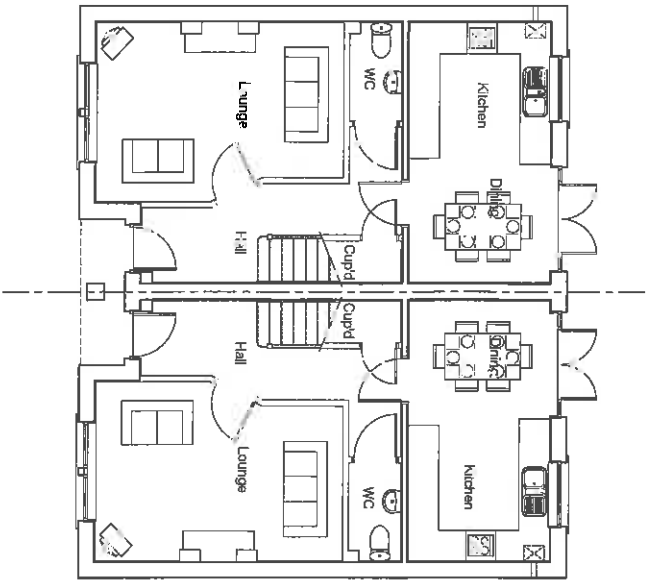
GF/FF 88.02 sq.m. (954.67 sq.ft.)

© **Story Homes.**

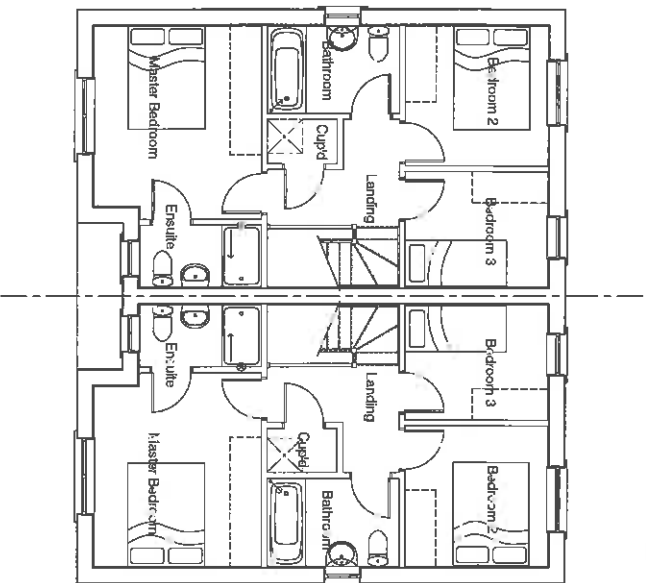
Burgh Rd Industrial Estate, Carlisle, Cumbria, CA2 7NA.

Tel 01228 640850

Fax 01228 640851



Ground Floor Plan



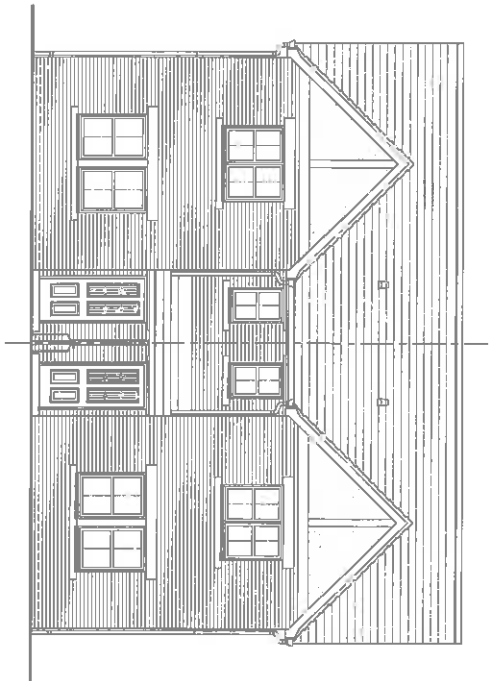
First Floor Plan



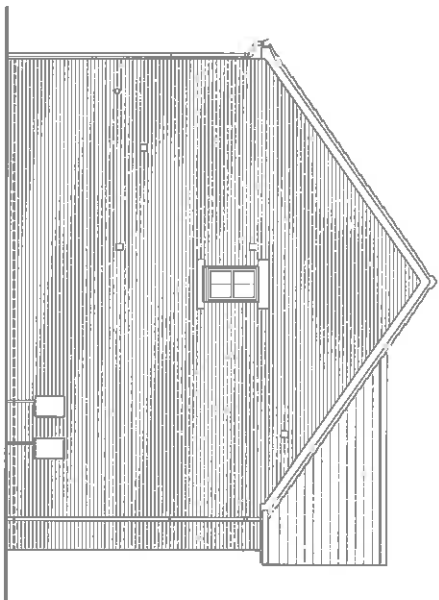
HOUSETYPE
TYPE 4-2

Planning Plans 1

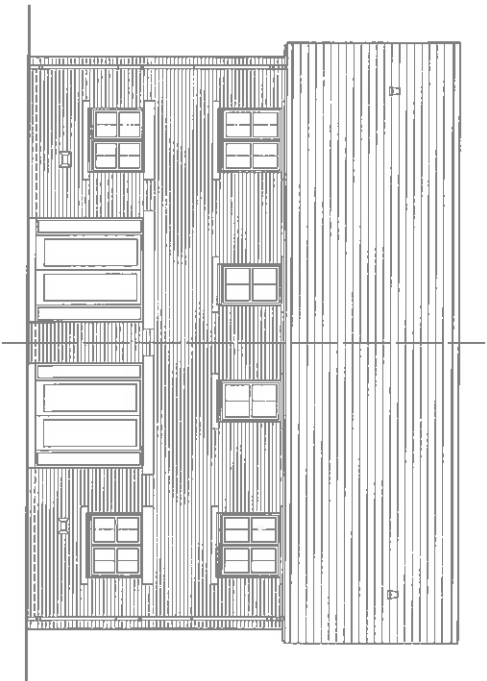
DATE	28.03.12
DESIGNED BY	8.2.12 E. 1107
CHECKED BY	DR. 01/11/2012
REVISION	
1	TYPE 4-2 - PLP1
2	



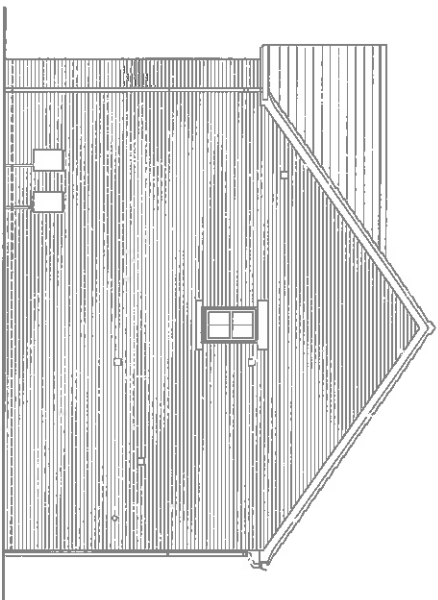
Front Elevation



Side Elevation



Rear Elevation



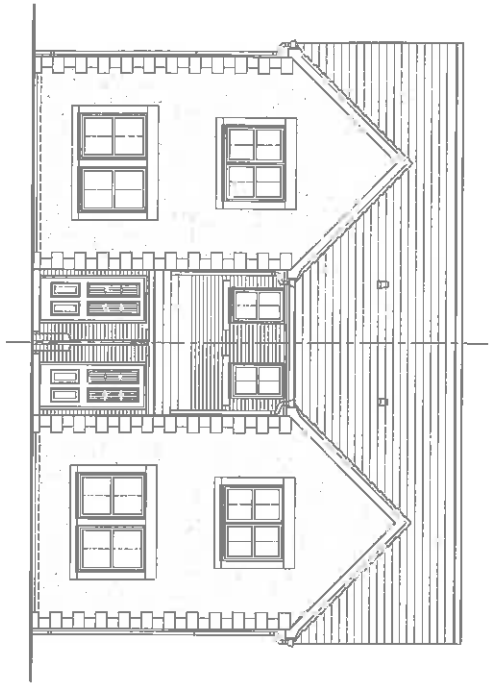
Side Elevation



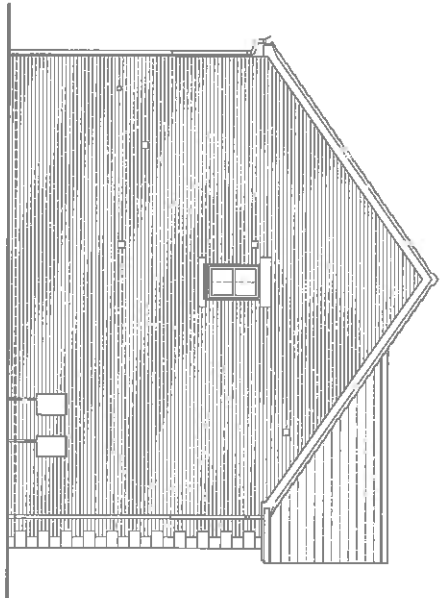
TYPE 4-2

Planning Elevations 1/1

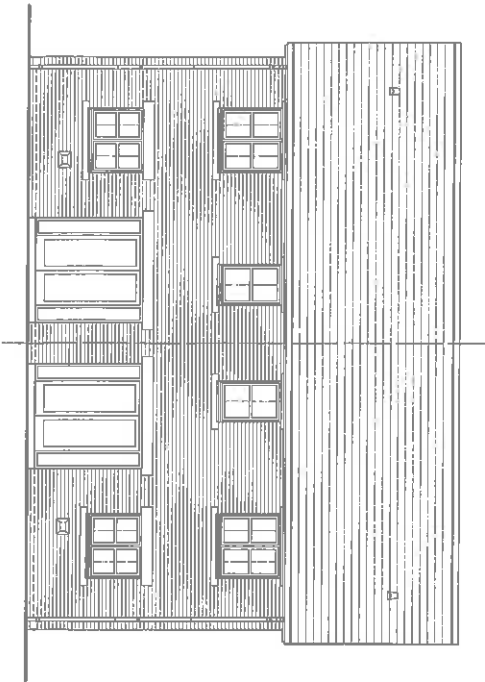
DATE	DATE	DATE	DATE
12/11/11	12/11/11	12/11/11	12/11/11
12/11/11	12/11/11	12/11/11	12/11/11
12/11/11	12/11/11	12/11/11	12/11/11



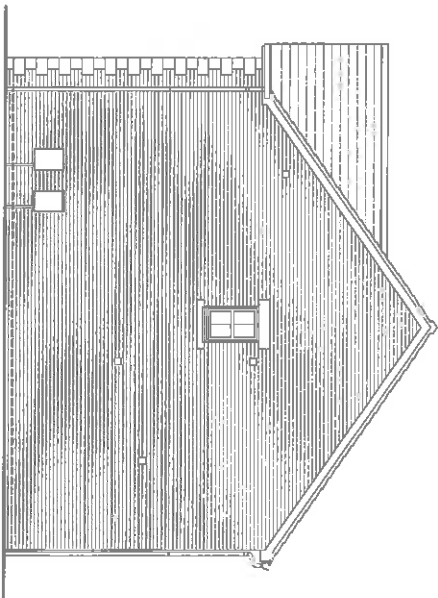
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



TYPE 4-2

Planning Elevations 1/10

DATE	1/10/10	REVISION	-
DESIGNED BY	CHN	DATE	1/10/10
DRAWN BY	CHN	DATE	1/10/10
PROJECT	TYPE 4-2 - PLE1/10	DATE	1/10/10
FILE	(2)	DATE	1/10/10



House Type

Type 16

GF/FF 160.17 sq.m. (1724 sq.ft.)
Garage 18.64 sq.m (200.59sq.ft.)

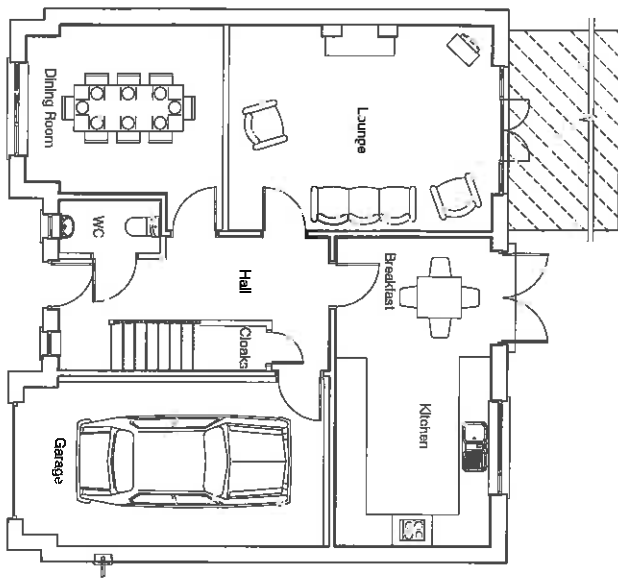
© **Story Homes.**

Burgh Rd Industrial Estate, Carlisle, Cumbria, CA2 7NA.

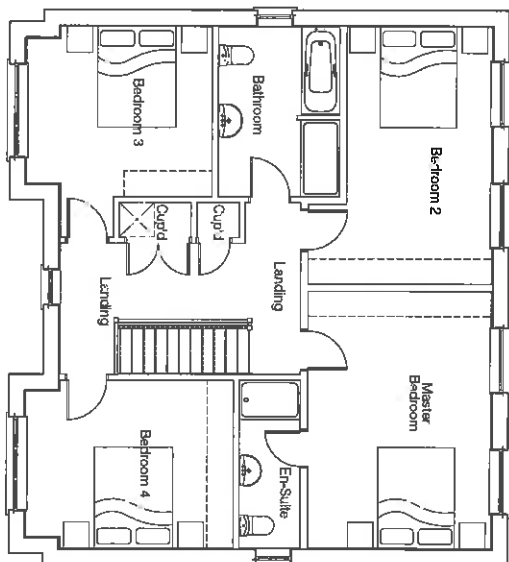
Tel 01228 640850

Fax 01228 640851

Conservatory Type 1
 External dimensions 4.1m x 3.9m.
 Please refer to conservatory booklet for construction
 details and site layout plan for plot references.



Ground Floor Plan



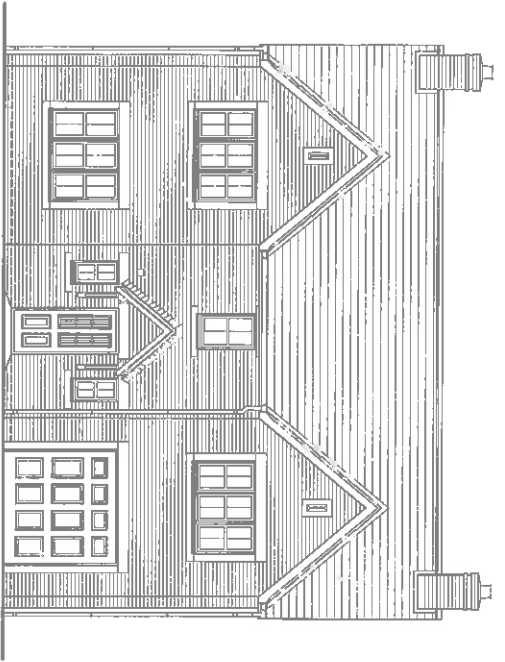
First Floor Plan

3 STORY HOMES

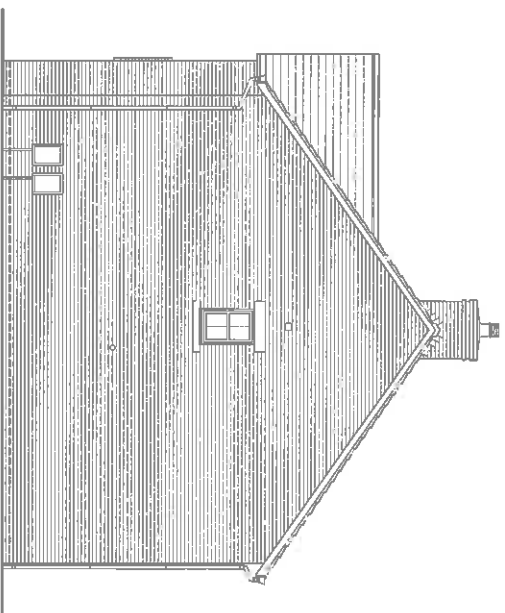
TYPE 16

Planning Plans 1

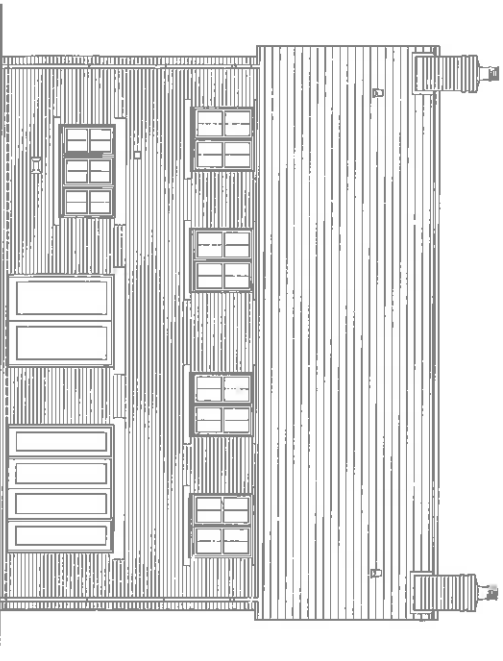
DATE	8/12/11
BY	JWA
FOR	MR & MRS
TYPE	TYPE 16 - PLP1
REVISION	



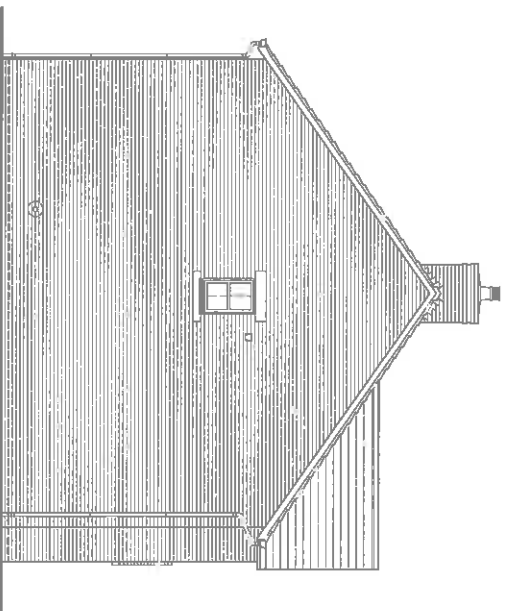
Front Elevation



Side Elevation



Rear Elevation



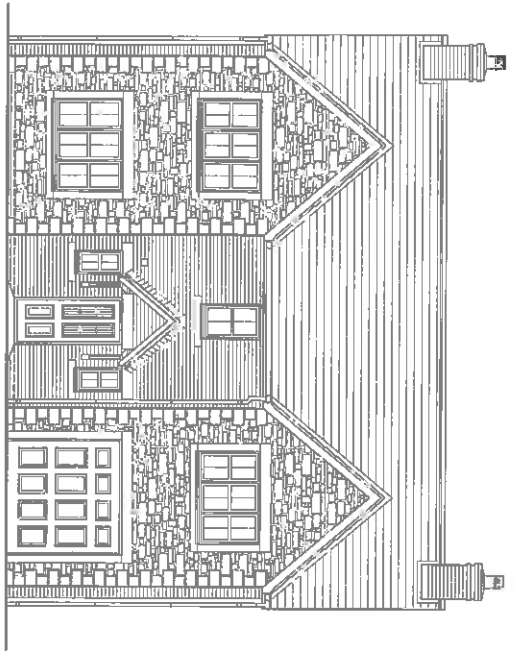
Side Elevation



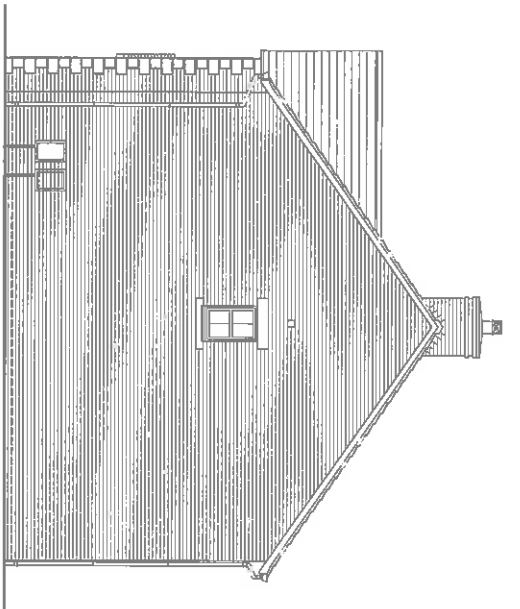
TYPE 16

Planning Elevations 1/1

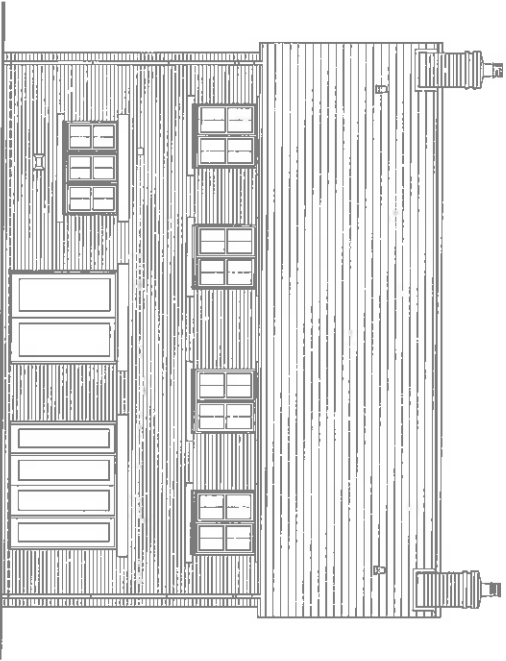
DATE	DATE
2014-04-20	2014-04-20
SCALE	SCALE
1/8" = 1'-0"	1/8" = 1'-0"
TYPE	REVISION
(1) TYPE 16 - PLE1/1	-



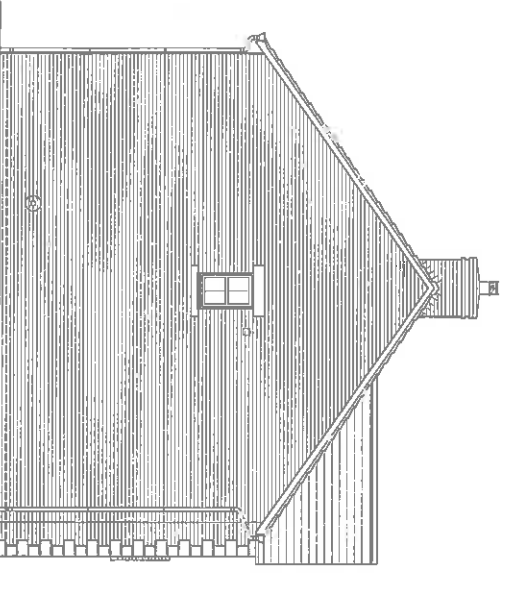
Front Elevation



Side Elevation



Rear Elevation



Side Elevation



TYPE 16

Planning Elevations 1/2

DATE	DATE	DATE	DATE
BY	BY	BY	BY
CHKD BY	CHKD BY	CHKD BY	CHKD BY
SCALE	SCALE	SCALE	SCALE
PROJECT NUMBER	PROJECT NUMBER	PROJECT NUMBER	PROJECT NUMBER
(1)	TYPE 16 - PLE1/2		
SCALE			

SCHEDULE A: Applications with Recommendation

12/0790

Item No: 05

Date of Committee: 08/03/2013

Appn Ref No:
12/0790

Applicant:
Simtor Limited

Parish:
Wetheral

Date of Receipt:
20/09/2012

Agent:
Taylor & Hardy

Ward:
Wetheral

Location:

Land at Broomfallen Road, Scotby, CA4 8DE

Proposal: Erection Of 31No. Dwellings

REPORT

Case Officer: Richard Maunsell

Summary

At the heart of the National Planning Policy Framework (NPPF) is a presumption in favour of sustainable development. Paragraph 55 of the NPPF indicates that to promote sustainable development in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities.

The proposal is in accordance with the principles of the NPPF as the application site is located in a sustainable location close to the centre of Scotby, public transport links and the city of Carlisle. Scotby village has a range of services (school, public house, church, village hall, playing fields etc) and the proposal would create an opportunity to support these existing rural facilities. The site is well contained as it is bounded by residential dwellings to the east and north together with the Public Bridleway to the west. In such circumstances it is considered that the proposal would not result in an unduly prominent intrusion into the countryside nor would it result in settlements merging. In such circumstances the principle of additional housing in this location is deemed acceptable and is in accordance with the objectives of the Council's Interim Housing Statement and the National Planning Policy Framework.

The scale, layout and design of the development is acceptable and it is considered that the development would not have a detrimental impact upon landscape character of the area, the living conditions of existing and future occupiers, crime or the loss of the best and most versatile agricultural land.

Subject to suitably worded planning conditions and a S106 agreement it is considered that the rural character of the area can be safeguarded through an appropriate landscaping scheme and that the proposal would not raise any issues with regard to highway safety, foul and surface water drainage, flooding,

biodiversity, noise, contamination, waste or education provision. The level of affordable housing is also acceptable.

On balance, having regard to the Development Plan and all other material planning considerations, the proposal is considered acceptable.

1. Recommendation

- 1.1 It is recommended that this application is approved subject to legal agreement and the imposition of planning conditions.

2. Main Issues

- 2.1 Whether The Principle Of Development Is Acceptable
- 2.2 Scale, Layout And Design Of The Development
- 2.3 Impact Upon Landscape Character
- 2.4 The Impact Of The Proposal On The Living Conditions Of Neighbouring And Future Residents
- 2.5 Highway Issues
- 2.6 Landscaping
- 2.7 Education
- 2.8 Affordable Housing
- 2.9 Foul And Surface Water Drainage
- 2.10 Flooding
- 2.11 Ecological Issues
- 2.12 Contamination
- 2.13 Whether The Proposal Would Lead to The Loss of The Best And Most Versatile Agricultural Land
- 2.14 Crime
- 2.15 Waste/Recycling Provision

3. Application Details

The Site

- 3.1 The 1.548 hectare site is located at the southern end of Scotby on the approach from Cumwhinton. Within the site, there is an area of marsh and wet land at the western end with broad leaved planting on the north-west area and a substantial band of trees to the south. The land is currently grassland.
- 3.2 The topography of the land is such that it slopes down from east to west with an approximate difference of 6 metres in level and again of a similar height difference from north-east to south-west.
- 3.3 A mature hedgerow bounds the site adjacent to the County highway and also along the route of the Public Bridleway which flanks the land to the north and

then sweeps to the west. Immediately adjacent to the western boundary is Wash Beck.

The Proposal

- 3.4 This application seeks "Full" planning permission for the erection of 31 dwellings, together with associated open space and infrastructure, on land at Broomfallen Road, Scotby. A single vehicular access measuring 4.8 metres in width would be formed part way along the eastern boundary that would then serve 2 cul-de-sacs within the site. A footpath is proposed along one side of the access roads that would measure 1.8 metres in width. A footpath link is also proposed from the north-east corner of the site.
- 3.5 The layout comprises a mix of detached/semi-detached and terraced properties. In total 7 different house types are proposed which comprise a variety of 2-4 bedroom dwellings. The majority of properties within the development are 2 storey except plots 9-14 located centrally within the site which will be 3 storey. The dwellings will be completed in a range of materials including facing brick and painted render. The dwellings will be positioned so that they follow the topography of the land.
- 3.6 Each dwelling will have 2 dedicated parking spaces, 1 of which may be an integral garage.
- 3.7 An area of land immediately adjacent to the Wash Beck is to be retained as informal open space and which will be maintained by the applicant. The existing trees within the site would be unaffected by the development; however, a 2 sections of hedgerow will have to be removed to enable access to the site for vehicles and pedestrians but the remainder of the hedgerow would be unaffected. The proposed development incorporates substantial new planting within the public open space, plot frontages (especially along the Scotby - Cumwhinton Road) and site entrance. General amenity shrub planting will be provided within the site to the plot frontages to define boundary ownership with rear garden areas delineated by 1.8 metre high open boarded fencing.
- 3.8 It is proposed that foul water will be discharged into the mains sewer. Surface water will be attenuated and discharged into Wash Beck. The attenuation scheme will reduce the potential surface water run-off by 50%.

4. Summary of Representations

- 4.1 This application has been advertised by means of 2 site notices, a press notice and direct notification to the occupiers of 18 neighbouring properties. As a result, 23 letters of objection have been received and the main issues raised are summarised as follows:
1. the scheme is far too big for the village and will enlarge the village by 20%;
 2. the scheme will result in Scotby becoming a suburb of Carlisle by the

- back door;
3. there are numerous houses already for sale in Scotby and there is no need for any additional development;
 4. planning permission has already been granted for 1700 new houses which is more than adequate to provide housing for the projected population growth;
 5. the site is outside the local plan area and unrelated to the village
 6. the scheme will not provide the type of housing that is required in Scotby which is social housing
 7. the proposal fails to comply with Policies DP1 and H1 of the Local Plan;
 8. the properties opposite the site are of sandstone construction with slate roofs. The proposed houses are inappropriately designed and will spoil the character of the area;
 9. the proposal will not enhance the village
 10. Broomfallen Road is characterised by ribbon development of low rise well spaced dwellings. The high density estate is out of character;
 11. some of the units are 3 storey in height and the neighbouring properties on Broomfallen Road are bungalows
 12. the development will result in a loss of light and privacy to the neighbouring properties including those which have been granted planning permission adjacent to kennels;
 13. additional vehicles from the development would conflict with other road users which include agricultural vehicles going to the auction mart and animals which are herded along the road;
 14. the entrance to the site will be close to a bend in the road and there will be restricted visibility and would be dangerous
 15. the road leading into the village is narrow with restricted visibility to a junction and passes under a railway bridge which is unacceptable for the additional amount of traffic;
 16. Broomfallen Road is used as a "rat run" and an additional 60 vehicles would pose an added danger;
 17. extra traffic will increase the burden on the road surface which is already in a poor state of repair;
 18. the school is already full and unable to accept any additional children
 19. the construction noise will distress the animals in the nearby kennels and cattery;
 20. the site is adjacent to a working farm and kennels and it would be inappropriate to building houses next to these noises;
 21. the development will result in addition noise levels in this rural area from residents coming and going
 22. the sewer currently serves 7 properties and when there is heavy rain the drains back up and another 32 houses will make this worse;
 23. additional surface water will result in flooding onto the road and into Wash Beck which will cause flooding in the village;
 24. there will be inconvenience with road closures, deliveries etc. during the construction process;
 25. development of the estate will create light pollution;
 26. the development will adversely affect the wildlife on the site;
 27. the land has been used as grazing land to support a local farm business;
 28. approval of this application could create a precedent for development along Broomfallen Road;

29. residents along Broomfallen Road have gates to their properties which are closed when animals are moved. Will the proposed estate have such gates?
30. the development will place additional demand on broadband speeds within the village which are already very slow.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - comments awaited;

Ramblers Association: - comments awaited;

Green Spaces - Countryside Officer: - Public Bridleway 138049 runs along the north and north-west sides of the site. The ownership of the boundary hedges should be clarified and this information recorded to individual properties to avoid future boundary problems;

Northern Gas Networks: - no objection;

Cumbria County Council - (Highway Authority - Footpaths): - comments awaited;

Natural England: - the Local Planning Authority should assess and consider the possible impacts resulting from this proposal;

Cumbria County Council - (Archaeological Services): - no objection subject to the imposition of a condition;

Local Environment - Environmental Protection: - no objection subject to the imposition of a condition;

Local Environment - Drainage Engineer: - comments awaited;

Housing Strategy: - Policy H5 requires developers building large rural schemes to provide an affordable housing contribution of 25%. Based on this policy, it is expected that the developer will provide 8 affordable homes on this site; this figure may be reduced if the developer provides affordable rented properties on the site, as such units require more developer subsidy.

Affordable housing provision on this site can be justified by the large affordable housing need in the rural east of Carlisle. The Carlisle Housing Need and Demand Study, commissioned in 2011, found that in the rural east of Carlisle, 101 affordable homes are required per year over the next five years to meet housing need.

Records show that there are 84 affordable homes in the ward of Wetheral, and, within the ward, only 29 affordable homes local to Scotby itself. There are no discounted sale properties in Scotby;

Cumbria Constabulary - North Area Community Safety Unit: - the Design and Access Statement shows that crime prevention has been considered as part

of the design. The application therefore complies with Policy CP17 of the Local Plan;

Royal Society for the Protection of Birds: - comments awaited;

Wetheral Parish Council: - the Parish Council objects to the scale of the proposed developments. Whilst it is appreciated that to sustain the village shop, post office, pub etc, some housing is needed, it was felt that together with application 12/0710 the impact on the village of an increase by 16% in housing would change the character of the village in this rural area. Should the applications proceed my council would prefer to see a phased approach to any development to allow integration into the village gradually.

Specifically, the concerns of the Parish Council are:

1. Has a need for this amount of housing been identified?
2. The increase in traffic within the already busy village roads, access to and from the site at this point in particular;
3. Could the existing school cope with any additional demand for places. The Parish Council is already aware of local children unable to attend this school owing to lack of available places;
4. Additional footpath and lighting would be required to link the new development to the existing village facilities;
5. It was felt that this type of housing type was not suitable as the surrounding properties are all bungalows;
6. Building a new development alongside existing boarding kennels and local farm, which are situated adjacent to the proposed site, noise from which do not at present cause a problem in the local area. Would new residents be aware of any noise from farm machinery, animals etc prior to living in the area?;
7. The road at this point has been subject to poor drainage / flooding, with higher volumes of traffic this would pose an increased risk of accidents;
8. Would the existing system be able to sustain the increased broadband usage created by the new developments in the village?;
9. The Parish Council would like assurances that existing hedges would be retained;
10. 3 storey terraced properties in this location are not conducive to rural development;

Green Spaces: - a commuted sum would be required for public open space contribution; and

Cumbria County Council - Transport & Spatial Planning: - the following comments have been received:

Highways

There are no fundamental issues with the proposed development. A 1.8m width footway should be provided within the site and a pair of gates provided across the access to prohibit cattle entering the site when herded along the County highway. Appropriate conditions should be attached.

Scheduled Public Transport

The development is not anticipated to produce a significant impact upon the railway network in Cumbria. The development would be 840 metres to the nearest northbound bus stop and 840 metres to the nearest southbound bus stop. These distances are outside of the maximum recommended walking distance to a bus stop in a rural area and the development does not therefore have adequate accessibility to public transport.

Community Transport

Since the proposal is not within walking distance of a regular scheduled bus service, the development is likely to result in increased demand for the Rural Wheels service and a financial contribution to the scheme should be made.

School Transport

Where a school is in a rural location and additional capacity is required but cannot be provided at the school, a contribution may be sought towards the provision of school transport and additional capacity at another nearby school which has capacity or may be expanded to provide such capacity. As part of this process, consideration would be given to the nearest available school and to where children travel to already. However, this is not the desired approach – it should not be considered as appropriate mitigation in every circumstance and should be viewed as a last option. Should this circumstance occur, Cumbria County Council would be able to provide relevant costings at the time.

Education

This development is within the catchment area of Scotby CE Primary School, which has a Pupil Admission Number of 38 for entry in September 2012 and a net capacity of 266. The school is currently full and is projected continue to be so for the foreseeable future; with this development the school will exceed their maximum net capacity; therefore, a contribution would be sought from this development to mitigate against its impact.

Historic Environment

It is therefore recommended that an archaeological evaluation and, where necessary, a scheme of archaeological recording of the site be undertaken in advance of development and it is advised that this work should be commissioned and undertaken at the expense of the developer.

Biodiversity

Whilst the applicant has submitted a trees and hedgerow report, which appears acceptable, the applicant has failed to submit a biodiversity appraisal report. A key issue is that when the identified length of hedgerow is removed, this must be undertaken outside of the bird nesting season. The

area is especially important for protected species such as yellowhammer, spotted flycatcher and tree sparrow. Some form of appropriate compensatory planting should be undertaken so as to avoid a net loss of hedgerow biodiversity;

United Utilities: - object to the application pending the submission of a flow impact assessment.

6. Officer's Report

Assessment

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that applications for planning permission are determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise. In respect of this application, the National Planning Policy Framework (NPPF) together with Policies DP1, CP1, CP2, CP3, CP4, CP5, CP6, CP10, CP11, CP12, CP14, CP16, CP17, H1, H5, LE8, LE29, T1, LC4 and LC8 of the Carlisle District Local Plan 2001-2016. The NPPF and The Achieving Well Designed Housing Supplementary Planning Document is also of relevance. The proposal raises the following planning issues.

1. Whether The Principle Of Development Is Acceptable

6.2 The main issue for Members to establish in consideration of this application is the principle of development. Scotby is identified as a sustainable development location within Policies DP1 and H1 of the Carlisle District Local Plan 2001-2016. Whilst Policy H1 permits small-scale development within Scotby it is noted that the National Planning Policy Framework published in March 2012 is a material consideration for the determination of this application. The NPPF indicates that housing applications should be considered in the context of the presumption in favour of sustainable development and relevant policies for the supply of housing should not be considered up-to-date if the Local Planning Authority cannot demonstrate a five-year supply of deliverable housing sites.

6.3 In the absence of a 5 year supply of housing land, as defined by the National Planning Policy Framework, the Council adopted an Interim Planning Statement - Housing on 1st May 2012, as a material planning consideration to deal with the identified shortfall. This process encouraged a number of applications to come forward and be considered against the criteria set out in the Interim Statement. Given the short notice of the introduction of the Interim Statement and level of detail required from any planning application it is only now that we are in a position to consider applications submitted at that time.

6.4 Since the Interim Statement was introduced another update has been provided and as of 30 September 2012 the Council had a five year supply of housing albeit only an additional 65 units over the NPPF requirement. This change in housing supply is accounted for by the change in delivery of some sites and not through a significant change to the number of dwellings granted

permission during the 6 month period the Interim Statement applied. In order to avoid repetition of 6 monthly variations on whether the Council has a 5 year supply or not it would be apposite to make certain that a decent buffer of housing supply is provided. This would ensure that applications were not decided randomly on appeal due to short term lack of housing supply until the Local Plan delivers new housing allocations.

- 6.5 This application was submitted at the time when the interim housing statement was still valid therefore this statement should be considered as still a material consideration when determining this application. Members should however note that the interim planning statement does not supersede all saved policies in the Local Plan and should be interpreted in conjunction with them.
- 6.6 On the basis of the interim statement, the Council considered proposals for new housing developments on land excluded from housing development either through other designated use or outside existing settlement boundaries which: are well related to the built framework of the existing settlement; would not result in a prominent intrusion into the countryside; would not result in settlements merging; would not detract from the landscape character of the area as contained in the Cumbria Landscape Strategy and would not cause harm to some other overriding policy objective.
- 6.7 Whilst the application site is located outside the settlement boundary for Scotby identified in the local plan, the NPPF does not advocate the use of settlement boundaries and states that in order to promote sustainable development in rural areas, housing should be located where it will enhance and maintain the vitality of rural communities. Members will note from previous paragraphs that the NPPF is a material consideration in the determination of this application and limited weight can therefore be given to the fact that the site is outside the settlement boundary of Scotby.
- 6.8 The application site is located in a sustainable location close to the centre of Scotby, public transport links and the city of Carlisle. Scotby village has a range of services (school, public house, church, village hall, playing fields etc) and the proposal would create an opportunity to support these existing rural facilities. The site is well contained as it is bounded by residential dwellings to the north and east with Wash Beck to the west. In such circumstances it is considered that the proposal would not result in a prominent intrusion into the countryside nor would it result in settlements merging. In such circumstances the principle of additional housing in this location is deemed acceptable.

2. Scale, Layout And Design Of The Development

- 6.9 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policy CP5 of the Local Plan which requires that development proposals should also harmonise

with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. Development of this frontage site will have a significant impact on the character of the area unless it is sympathetically designed.

- 6.10 The site would be laid out in a manner that seeks to make the best use of the land whilst taking into account the varying topography of the land. The finished floor levels of the properties adjacent to the main frontage would vary between 0.3 metres and 1 metre below that of the existing ground level and this trend is largely reflected across the site.
- 6.11 In terms of the units there is a range of differing house types. The frontage buildings would incorporate steeply sloping roof pitches with gables facing the road. Although this couldn't be considered a feature of the area, the style of property along Broomfallen Road is an eclectic mix with no one predominant house style or material. The properties would be well proportioned and appropriate in scale.
- 6.12 Reference is made in the letters of objection that the inclusion of 3 storey properties is inappropriate in this location. There are 6 properties that would be of this height; however, they would be located centrally within the site and given that the ground slopes down, they would be viewed in the context of the adjacent properties.
- 6.13 As in any modern development, the properties would face each other with intervening areas of public and private space together with appropriate access and parking provision. The dwellings incorporate reasonably sized garden areas that are comparable to the size of the units that they serve, thereby ensuring that the development does not appear cramped or overdeveloped. The size of the gardens and the way that the properties are laid out will help create a sense of space within the estate.
- 6.14 Whilst Policy LC4 of the Local Plan encourages the provision of formal and informal areas of public open space within new family housing development of more than 40 units there are instances where the Council has agreed that it would be acceptable for developers to provide a financial contribution towards the provision/improvement of existing facilities off-site.
- 6.15 In respect of this proposal areas of open space would be incorporated adjacent to western boundary and the pedestrian access to the north-east, the beck which delineates the eastern boundary of the site. The applicant will maintain these informal open space areas on site themselves. Subject to the provision and maintenance of these areas, the Council's Neighbourhoods and Green Spaces Manager has raised no objection subject to a financial contribution of £27,253.09 towards the provision/ improvement of existing facilities off-site.

3. Impact Upon Landscape Character

- 6.16 As this development involves building on an open field there will undoubtedly be some impact upon the landscape character of the area. As discussed in

the proceeding paragraphs, this would be limited due to the appropriate design of the properties and the siting within the land taking into account the varying topography. Existing trees and the majority of hedgerow is to remain and would be enhanced through further landscaping. Significantly, the extensive group of trees to the south of the site would provide additional screening and allow greater integration between the more rural landscape to the south and the residential properties to the north.

- 6.17 The development would be visible particularly when travelling along the Scotby-Wetheral road however the development is considered to be well contained and related to the village of Scotby and would not result in a prominent intrusion into open countryside. The land in question is not designated as being of any special landscape character and there would be no significant adverse impact upon landscape character to warrant refusal of the application.

4. The Impact Of The Proposal On The Living Conditions Of Neighbouring And Future Residents

- 6.18 Given the orientation of the application site with adjacent properties, it is not considered that the living conditions of the occupiers would suffer from loss of privacy or unacceptable levels of noise or disturbance. The development would not result in an overall loss of daylight or sunlight due to the distances involved between the application site and the residential properties.

- 6.19 As the proposal involves the introduction of windows that face the neighbouring property, it is appropriate to consider the development against the Supplementary Planning Document "Achieving Well Designed Housing". It requires that a distance of 21 metres is provided between primary windows. The proposed building would be sited adjacent to residential properties; however, there would be no conflict with the minimum distances required by the SPD.

- 6.20 In respect of any increase in traffic generated by this proposal it is not anticipated that this factor alone would prejudice the living conditions of local residents to such an extent that would warrant refusal of the application.

5. Highway Issues

- 6.21 A number of residents have raised objections regarding highway safety. The principle concerns relate to the increase of traffic on the Scotby to Cumwhinton. The access, road and parking arrangements have been designed to the Highway Authority standards. The site itself is within the restricted 30 miles per hour speed limit for Scotby village. The Highway Authority has been consulted and has raised no objection subject to the imposition of appropriate highway conditions. As the Highway Authority has raised no objections to the proposal it is not considered that there is any policy conflict.

- 6.22 The County Council are requesting a commuted sum from the applicant towards the provision of community transport given the distance of the site

from the centre of the village. Although there are 2 bus stops adjacent to the site on Broomfallen Road, the County Council are of the opinion that as the site is only served by 1 bus per day, the nearest alternative bus stops are outside the maximum recommended walking distance for rural areas. Hence, they conclude that the development site is not served by an adequate level of public transport provision and the financial contribution is required to off-set this deficiency.

6. Landscaping

6.23 There are number of trees within the site which itself is bounded by a number of important hedgerows. Although 2 sections of hedgerow will be required to be removed to facilitate the development, the majority will remain. A Tree and Hedge Survey Report has been submitted with the application which identifies that remaining trees and hedgerows would be unaffected by the development; however, it would be appropriate to impose a condition requiring the installation of protective barriers during the course of development to prevent compaction of the soil in these areas.

6.24 The application is supported by a comprehensive landscaping scheme which shows amongst other things the planting of new hedgerows and trees fronting and within the site which will further serve to integrate the development within the locality. The Council's Landscape Officer has raised no objection to the proposal subject to the imposition of conditions. In light of the retention of the existing trees and hedgerows, the extensive landscaping proposals and the support from the Council's Landscape Officer, the proposal is acceptable in these terms.

7. Education

6.25 Objectors to the scheme have questioned whether the local primary school has adequate capacity to cater for any increase in demand for pupil school places that might arise as a consequence of this development. The Education Authority has been consulted on the proposed development and has advised that the housing development would yield 6 primary aged pupils and it is predicted that with the proposed development Scotby Primary School would exceed its net capacity. The Education Authority has also indicated that the next nearest school at Cumwhinton also has no spare capacity. To address this increased burden the Education Authority has requested a financial contribution of £72, 306 to be used to either provide an extension at Scotby School or to provide school transport if development at Scotby School is not feasible. The Education Authority has since confirmed that there is the potential for Scotby School to be extended subject to a full feasibility study being carried out. The provision of this financial contribution therefore would address this issue and would be secured through the S106 agreement.

8. Affordable Housing

6.26 Policy H5 of the Carlisle District Local Plan 2001-2016 indicates that for large sites in the rural area the contribution towards affordable housing is 25%. It is proposed that 8 affordable properties would be provided. This is in

accordance with the requirements of the Council's Housing Strategy Officer and is acceptable.

9. Foul And Surface Water Drainage

- 6.27 The NPPF and Policy CP10 of the Local Plan advocates that in the first instance the applicant should explore and give priority to the use of sustainable drainage systems. It is proposed that 50% of the surface water drainage will be discharged into the Wash Beck to the west of the site and 50% will be discharged into a SUDs system. Notwithstanding the details submitted, it would appropriate to impose a planning condition require the precise details of the surface water drainage scheme.
- 6.28 The applicant has indicated that foul drainage will connect into an existing adopted combined sewer to the west of the site via a new foul water pumping station which will be located within the site. Additional information regarding the flow rate have been submitted by the applicant. Due to the topographical nature of the site and based on the number of proposed dwellings, all the sewage will need to be pumped to the sewage infrastructure and this will allow the flow to be restricted to 2 litres/ second. This information has been sent to United Utilities and a response is currently awaited. Subject to no objection being received, it would be appropriate to impose a condition requiring the details of the foul drainage infrastructure to be approved by the Council.
- 6.29 In relation to the above it is not considered that the proposal will exacerbate flooding conditions at this site.

10. Ecological Issues

- 6.30 When considering whether the proposal safeguards the biodiversity and ecology of the area it is recognised that Local Planning Authorities must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended), and Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm the favourable conservation of the protected species and their habitat. In this case, the proposal relates to the development of residential dwellings on greenfield land. As such it is inevitable that there will be some impact upon local wildlife.
- 6.31 Although the site is within open countryside, the Councils GIS Layer has identified that the site has the potential for breeding birds to be present on or in the vicinity of the site. As the proposed development would only interfere with a small element of the existing hedgerow, the development would not harm a protected species or their habitat; however, it would be appropriate to impose a condition restricting works during the bird breeding season. In addition, an Informative has been included within the decision notice ensuring

that if a protected species is found all work must cease immediately and the Local Planning Authority informed.

11. Contamination

- 6.32 As the site is a greenfield site the likelihood of contamination being present is low a fact supported by an accompanying report with the application entitled "Statement On Land Contamination". Notwithstanding this fact a condition is recommended that caters for the event that contamination is found during the construction phase.

12. Whether The Proposal Would Lead to The Loss of The Best And Most Versatile Agricultural Land

- 6.33 It is accepted that the proposal would lead to the loss of agricultural land. The Agricultural Land Classification identifies this land as Grade 3, Grades 1 and 2 being of the highest quality. Grade 3 land is common both within the immediate vicinity of the application site and within the District as a whole. As such, it is not considered that the loss of this area of agricultural land would provide sufficient grounds for refusal of the application.

13. Crime

- 6.34 Section 17 of the Crime and Disorder Act together with Policy CP17 of the Local Plan requires that the design of all new development must contribute to creating a safe and secure environment, integrating measures for security and crime prevention and minimising the opportunity for crime. As previously the properties overlook one another thereby creating a degree of natural surveillance and the distinction between public and semi-public space is clearly defined, both of which will act as a deterrent to potential offenders and reduce the likelihood of crime occurring. Cumbria Constabulary has been consulted a whilst some comments were received, the revised layout plan seeks to address this.

14. Waste/Recycling Provision

- 6.35 With regard to residential developments, Waste Services have indicated that in the future that all new developments will be charged for refuse and recycling containers. Waste Services have also indicated that it would be their preference for communal recycling banks within the development. The agent has agreed to provide a commuted sum of £1500 towards waste bin provision which will be included within the S106 agreement. There are existing recycling banks at Scotby village hall and in such circumstances it is not considered that there is any policy conflict.

15. Other Matters

- 6.36 Article 8 and Article 1 Protocol 1 of the Humans Rights Act are relevant but the impact of the development in these respects would be minimal and the separate rights of the individuals under this legislation will not be prejudiced. If it was to be alleged that there was conflict it is considered not to be

significant enough to warrant the refusal of permission.

- 6.37 It is noted that objectors have made comparisons between this application and the housing scheme at Broomfallen Road (application reference 12/0710). It is accepted that there are 2 separate planning applications for reasonably large housing schemes in the village; however, each application has to be dealt with on its own merits.
- 6.38 Objectors have also raised concerns in respect of the need for additional dwellings in Scotby. The planning merits and assessment against the relevant policies are discussed within this report.
- 6.39 Objectors have also raised issues on the impact of the proposed development on broadband provision; however, this is not a planning matter.

Conclusion

- 6.40 In overall terms, the principle of the development is acceptable. The dwellings could be accommodated on the site without detriment to the living conditions of the neighbouring properties through loss of light, privacy or over dominance. Adequate amenity space, incurtilage parking provision would be available to serve the dwellings. The new access to be formed and the anticipated level of traffic generated by the proposal would not prejudice highway safety. In all aspects the proposals are considered to be compliant with the objectives of the relevant Local Plan policies.
- 6.41 If Members are minded to grant planning approval it is requested that "authority to issue" the approval is given subject to the completion of a S106 agreement to secure:
- a) the provision of 8 affordable units;
 - b) a financial contribution of £27,253.09 towards the provision and maintenance of public open space within Scotby village;
 - c) the maintenance of the informal open space within the site by the developer;
 - d) a financial contribution of £72,306 towards education contribution;
 - e) a financial contribution of £39,516 together with £1,975 administration costs towards Community Transport;
 - f) a financial contribution of £1500 towards waste bin provision.

7. Planning History

- 7.1 There is no planning history associated with this site.

8. Recommendation: Grant Subject to S106 Agreement

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
1. the Planning Application Form received 20th September 2012;
 2. the Site Location Plan received 20th September 2012 (Drawing no. 12032-01);
 3. the Topographical Survey received 20th September 2012 (Drawing no. 2165/1);
 4. the Block Plan received 20th September 2012 (Drawing no. 12032-02D);
 5. the Site Layout received 1st February 2013 (Drawing no. 12032-03E);
 6. the House Type A received 20th September 2012 (Drawing no. 12032-06);
 7. the House Type B received 20th September 2012 (Drawing no. 12032-07);
 8. the House Type C received 20th September 2012 (Drawing no. 12032-08);
 9. the House Type C1 received 20th September 2012 (Drawing no. 12032-09);
 10. the House Type C2 received 20th September 2012 (Drawing no. 12032-10);
 11. the House Type D received 20th September 2012 (Drawing no. 12032-11);
 12. the House Type E received 20th September 2012 (Drawing no. 12032-12);
 13. the House Type F received 20th September 2012 (Drawing no. 12032-13);
 14. the House Type G received 20th September 2012 (Drawing no. 12032-14);
 15. the Site Sections A, B, C received 20th September 2012 (Drawing no. 12032-04);
 16. the Site Sections D, E, F received 20th September 2012 (Drawing no. 12032-05);
 17. the Landscape Concept Plan received 20th September 2012 (Drawing no. A);
 18. the Planting Plan received 20th September 2012 (Drawing no. B);
 19. the Plant Schedule and Specification received 20th September 2012 (Drawing no. B2);
 20. the Planning Statement received 20th September 2012;
 21. the Design and Access Statement received 20th September 2012;
 22. the Tree and Hedge Survey Report received 20th September 2012;
 23. the Statement On The Means Of Disposing Of Both Foul Drainage And Surface Water received 20th September 2012;
 24. the Statement On Land Contamination received 20th September 2012;
 25. the Archaeological Desk-Based Assessment And Geophysical Survey received 20th September 2012;
 26. the Notice of Decision;
 27. any such variation as may subsequently be approved in writing by the

Local Planning Authority.

Reason: To define the permission.

3. Notwithstanding any description of materials in the application no development shall be commenced until samples or full details of materials to be used externally on the buildings have been submitted to and approved by the Local Planning Authority. Such details shall include the type, colour and texture of the materials. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure that materials to be used are acceptable and in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. Particulars of height and materials of all screen walls and boundary fences shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the development hereby permitted. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure that the appearance of the area is not prejudiced by lack of satisfactory screening which is not carried out in a co-ordinated manner in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. The carriageways, footways, etc: shall be designed, constructed, drained (and lit) to the standards laid down in the current Cumbria Design Guide, so as to be suitable for adoption and in this respect further detailed drawings, including land dedication plan(s) road construction details and levels (including drainage, lighting and other Utilities), shall be submitted to the Local Highways Authority for approval before work commences on site. No work shall be commenced until a full specification (and phasing) has been approved.

Reason: To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies: LD5, LD7, LD8.

6. The development shall not commence until visibility splays providing clear visibility of 70 metres measured along the nearside channel lines of the public road from a position 4.5 metres inset from the carriageway edge, on the centre line of the access road, at a height of 1.05 metres, have been provided. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, or object of any kind shall be erected, or trees, bushes or other plants be permitted to grow, so as to obstruct the visibility splays.

Reason: In the interests of highway safety and to support Local Transport Plan Policies: LD7, LD8.

7. The house accesses, parking and courtyard area shall be constructed to the satisfaction of the Local Planning Authority and, in this respect, full constructional details shall be submitted to the Local Planning Authority for approval before work commences on site. No work shall be commenced until a full specification has been approved. Any works so approved shall be substantially complete before the superstructure works commence.

Reason: To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies: LD5, LD7, LD8.

8. No dwelling shall be occupied until the vehicular access and parking requirements have been constructed in accordance with the approved plan and brought into use. These facilities shall be retained and capable of use at all times thereafter and shall not be removed or altered without the prior written consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies: LD5, LD7, LD8.

9. Footways shall be provided so as to link continuously and conveniently to the nearest existing facility, including the relocated bus stop with boarding platform adjacent to the woodland on the southern boundary of the site.

Reason: To ensure accessibility is available by sustainable transport modes and minimise road hazards and to support Local Transport Plan Policies C2, LD5, LD6, LD7 & LD8 and Structure Plan Policies T25, T27 & L53.

10. The new access shall be substantially complete before any works other than Site Investigations and Clearance commences on site so constructional traffic is accommodated clear of the highway. In addition a Plan shall be prepared of a secure compound for the site offices stores etc. with adequate parking and turning space for vehicles associated with the development, accommodation for site operatives and materials necessary for the Constructional Works. It shall include provision for the cleaning of vehicle wheels so mud is not tracked onto the highway. This access and area shall be kept available for such purposes until the end of the Constructional Works.

Reason: Constructing the development without such facilities in place could lead to inconvenience and danger to road users and to support Local Transport Plan Policies LD7 & LD8.

11. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority.

This written scheme of investigation will include the following components:

- i) An archaeological evaluation;
- ii) An archaeological recording programme the scope of which will be dependant upon the results of the evaluation.

Reason: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the examination and recording of such remains in accordance with Policy LE8 of the Carlisle District Local Plan 2001-2016.

12. Where the results of the programme of archaeological work referred to in the above condition make it appropriate, there shall be carried out within one year of the completion of that programme on site, or within such timescale as otherwise agreed in writing by the Local Planning Authority: an archaeological post-excavation assessment and analysis, the preparation of a site archive ready for deposition at a store, the completion of an archive report, and the preparation and submission of a report of the results for publication in a suitable specialist journal.

Reason: To ensure that a permanent and accessible record by the public is made of the archaeological remains that have been disturbed by the development in accordance with Policy LE8 of the Carlisle District Local Plan 2001-2016.

13. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy LE29 of the Carlisle District Local Plan 2001-2016.

14. The dwellings shall not be occupied until surface water drainage works have been implemented in accordance with details that have been submitted to and approved in writing by the Local Planning Authority. Before these details are submitted an assessment shall be carried out of the potential for

disposing of surface water by means of a sustainable drainage system in accordance with the principles set out in Annex F of PPS25 (or any subsequent version), and the results of the assessment provided to the local planning authority. Where a sustainable drainage scheme is to be provided, the submitted details shall:

- i) provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii) include a timetable for its implementation; and provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

Reason: To ensure a satisfactory means of surface water disposal and in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

15. No development approved by this permission shall be commenced until a scheme for the conveyance of foul drainage has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans.

Reason: To ensure an adequate form of drainage in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

16. Before development commences a scheme of tree and hedge protection shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall show the position and type of barriers to be installed. The barriers shall be erected before development commences and retained for the duration of the development.

Reason: To protect trees and hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

17. Within the tree protection fencing approved by Condition 16:

1. no fires shall be lit within 10 metres of the nearest point of the canopy of any retained tree;
2. no equipment, machinery or structure shall be attached to or supported by a retained tree;
3. no mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area;
4. no alterations or variations to the approved works or tree protection schemes shall be made without prior written consent of the local planning

authority;

5. the tree protection measures shall be retained in good condition and to the satisfaction of the local authority for the duration of the development.

Reason: To protect trees and hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

18. Following completion of construction works and removal of site machinery and materials, protective fencing may be dismantled to permit ground preparation and cultivation works, if required, adjacent to the hedges. Any such ground preparation and cultivation works shall be carried out by hand, taking care not to damage any roots encountered.

Reason: To protect the hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

19. All works comprised in the approved details of landscaping shall be carried out either contemporaneously with the completion of individual plots or, in the alternative, by not later than the end of the planting and seeding season following completion of the development.

Trees, hedges and plants shown in the landscaping scheme to be retained or planted which, during the development works or a period of five years thereafter, are removed without prior written consent from the local planning authority, or die, become diseased or are damaged, shall be replaced in the first available planting season with others of such species and size as the authority may specify.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policies CP3 and CP5 of the Carlisle District Local Plan 2001-2016.

20. No site clearance or works to hedges shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

Reason: To protect nesting birds in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

21. No construction work associated with the development hereby approved shall be carried out before 07.30 hours or after 18.00 hours Monday to Friday, before 07.30 hours and 13.00 hours on Saturdays, nor at any times on Sundays or Bank Holidays.

Reason: To prevent disturbance to nearby occupants in accordance with Policy CP6 of the Carlisle District Local Plan 2001-2016.



The drawing is copyright of Architects Plus. It is not to be used for any other project without the prior written consent of Architects Plus. The drawing is not to be used for any other project without the prior written consent of Architects Plus.

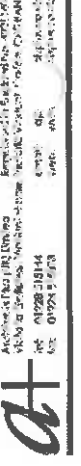
Drawn: [Name] Checked: [Name] Projected by: [Name]

RECEIVED
2012/07/19

PLANNING
ARCHITECTS PLUS

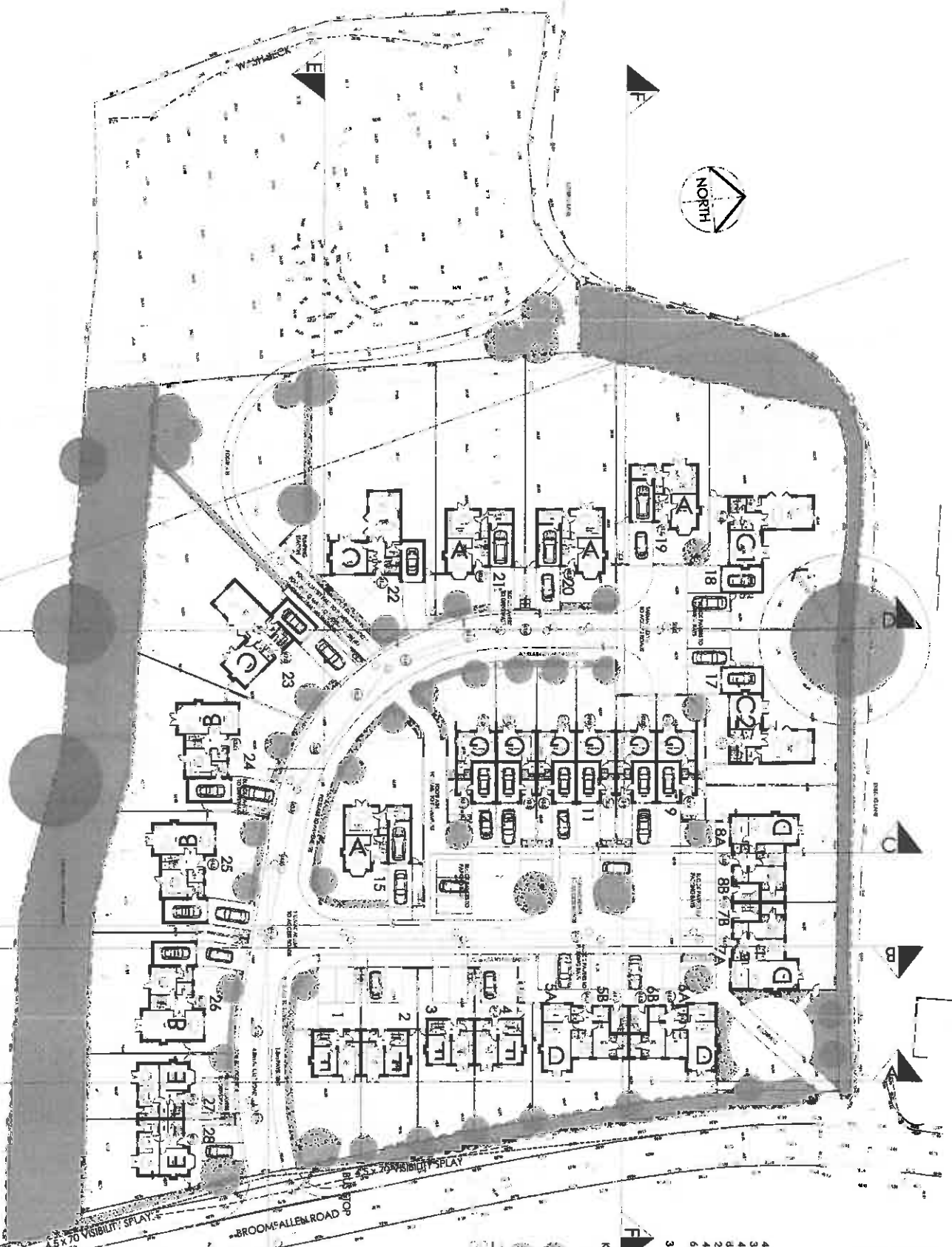
Project: PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY
Client: SIMTOR
Date: 10/10/10
SITE LOCATION

Date	Drawn	Checked	Drawn No.	Number
7/12/08	A/35/12	R/JW	P01	12032-01



544 14m
544
543
162
542
541 14m

544 14m
544
543
542
541 14m
42
442
441
440
440
139



- 3110 RESIDENTIAL UNITS**
- 400 TYPE A 3BRP
 - 300 TYPE B 4BR7P
 - 400 TYPE C 4BRP
 - 200 TYPE D 3BRP
 - 200 TYPE E 3BRF
 - 400 TYPE F 2BRF
 - 600 TYPE G 3BRP

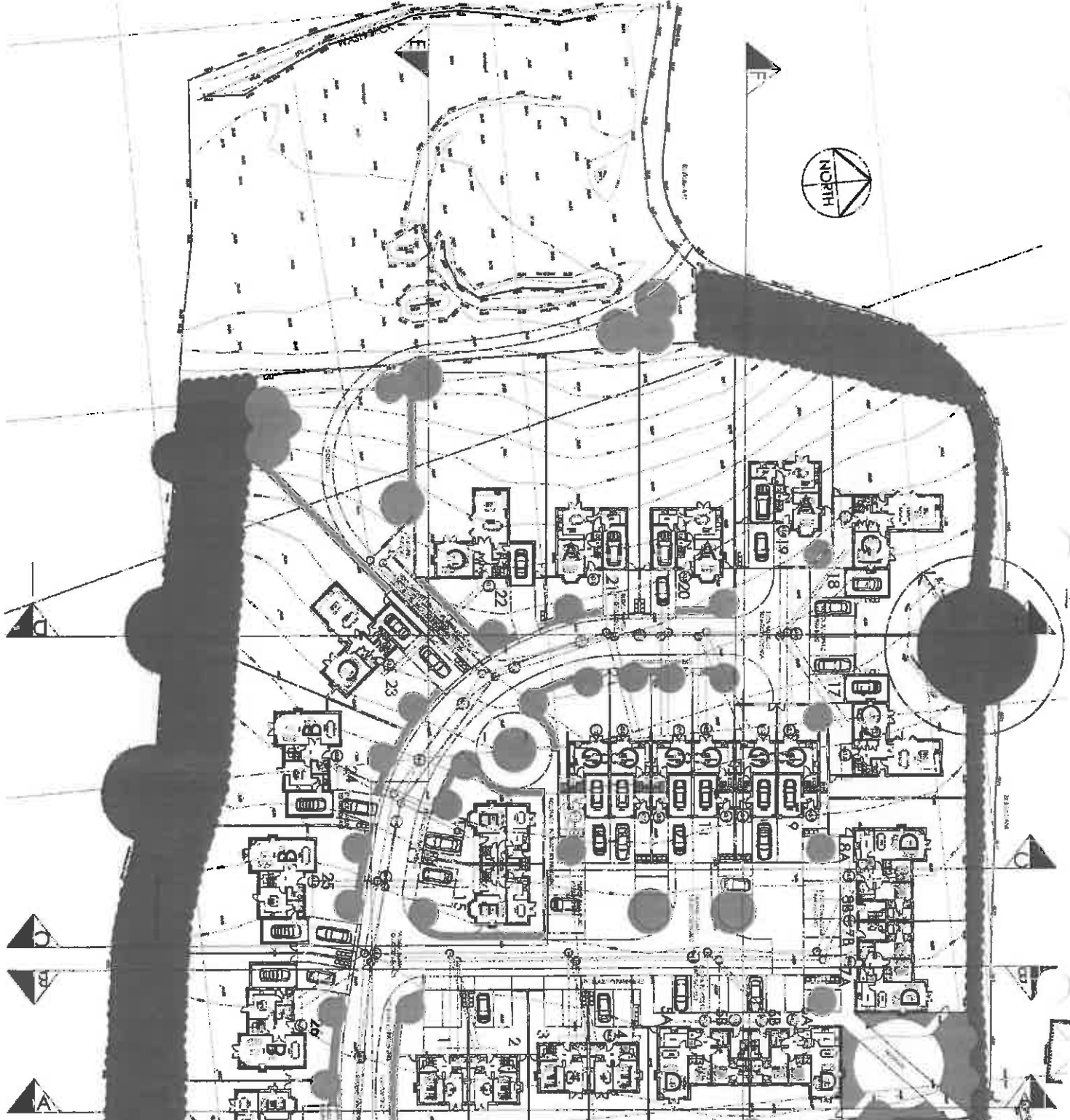
KEY

- 10' SPACED PLANTING
- 15' SPACED PLANTING
- 20' SPACED PLANTING
- 25' SPACED PLANTING
- 30' SPACED PLANTING
- 35' SPACED PLANTING
- 40' SPACED PLANTING
- 45' SPACED PLANTING
- 50' SPACED PLANTING
- 55' SPACED PLANTING
- 60' SPACED PLANTING
- 65' SPACED PLANTING
- 70' SPACED PLANTING
- 75' SPACED PLANTING
- 80' SPACED PLANTING
- 85' SPACED PLANTING
- 90' SPACED PLANTING
- 95' SPACED PLANTING
- 100' SPACED PLANTING

PLANNING ARCHITECTS

PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY
LAND

DATE: 2018.10.15
SCALE: 1:1000
PROJECT NO: 1802-03E



THE DRAWING IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.

DATE: 2012/07/20

- LEGEND
- 300 TYPE A 300P
 - 300 TYPE B 300P
 - 300 TYPE C 300P
 - 300 TYPE D 300P
 - 300 TYPE E 300P
 - 300 TYPE F 300P
 - 300 TYPE G 300P
 - 300 TYPE H 300P
 - 300 TYPE I 300P
 - 300 TYPE J 300P
 - 300 TYPE K 300P
 - 300 TYPE L 300P
 - 300 TYPE M 300P
 - 300 TYPE N 300P
 - 300 TYPE O 300P
 - 300 TYPE P 300P
 - 300 TYPE Q 300P
 - 300 TYPE R 300P
 - 300 TYPE S 300P
 - 300 TYPE T 300P
 - 300 TYPE U 300P
 - 300 TYPE V 300P
 - 300 TYPE W 300P
 - 300 TYPE X 300P
 - 300 TYPE Y 300P
 - 300 TYPE Z 300P

2012/07/20

PROJECTS

ARCHITECTS

12032-02D

AT

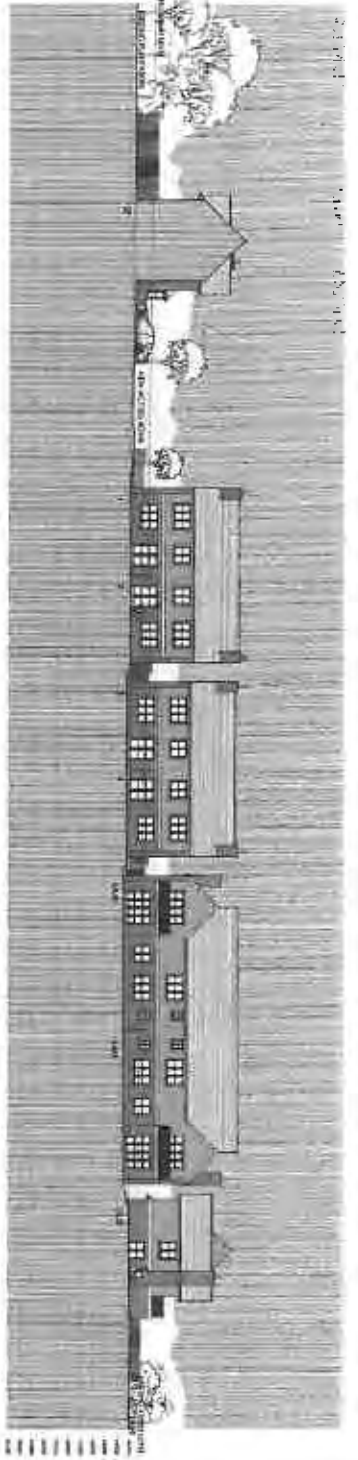
Architectural Firm

12032-02D

12032-02D

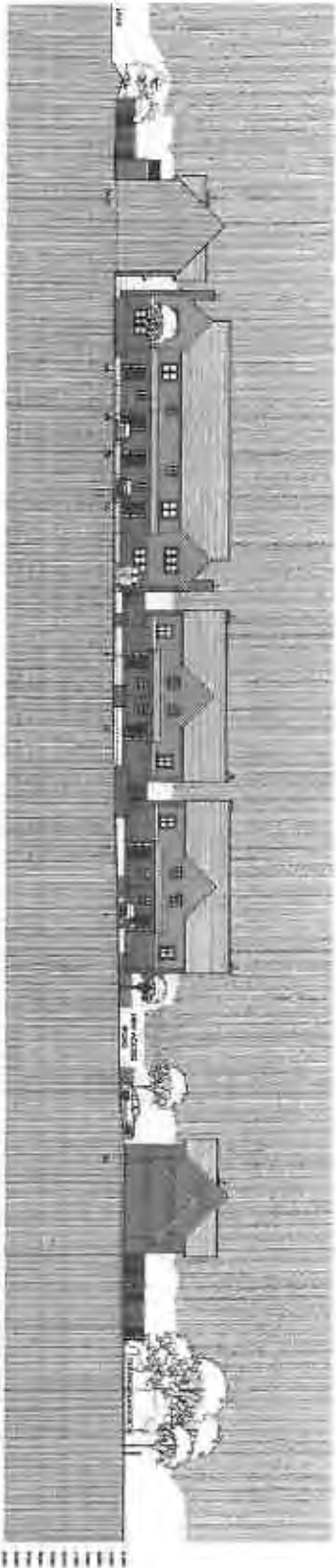
ARCHITECTURAL FIRM


 The drawings are prepared by the Architect in accordance with the provisions of the Building Act 2004 and the Building Regulations 2006. The Architect is not responsible for the accuracy of the information provided by the client. The Architect is not responsible for the accuracy of the information provided by the client.

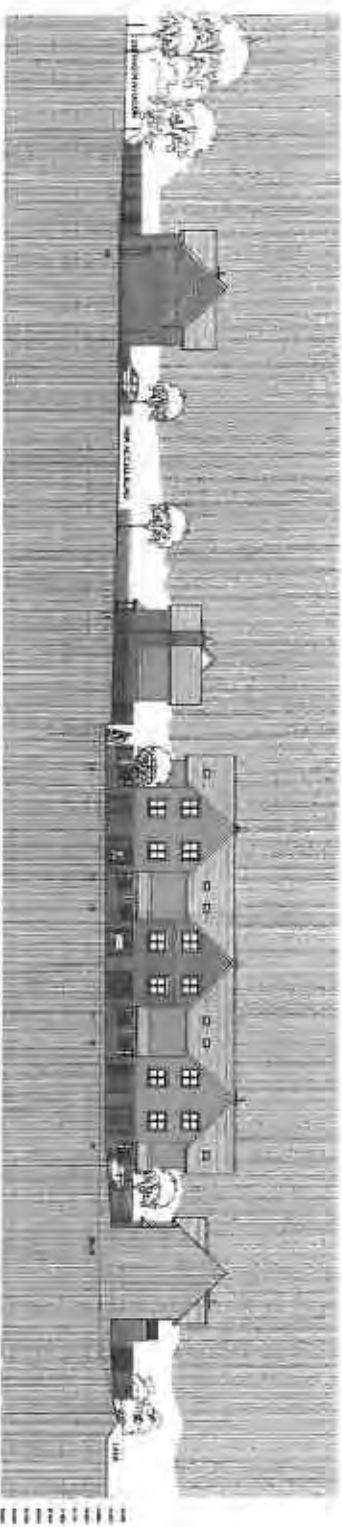


SECTION A-A

- MATERIALS
- ROOF: SLATE/BLACK SLATES
- BRICKWORK: RED BRICK
- WINDOWS: WHITE
- DOORS: DARK WOOD
- FLOORING: POLISHED WOOD
- DRIVEWAYS/PAVING: PAVED
- FENCING: WOODEN
- GROUND LEVEL: FINISHED GROUND LEVEL



SECTION B-B



SECTION C-C

zatzler

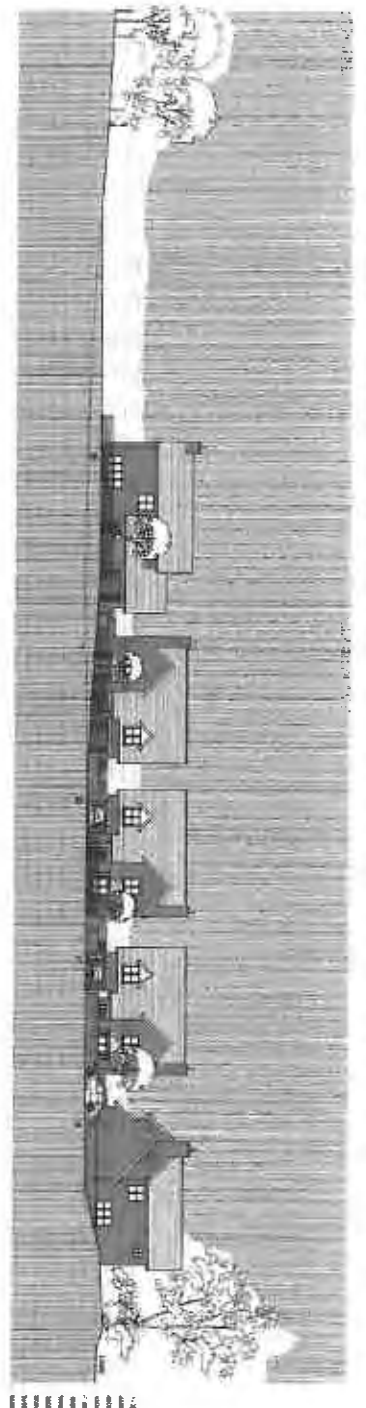
PLANNING
ARCHITECTS
 1000
 1000
 1000

PROPOSED HOUSING
 LAND OFF BIRKOPFALLEN ROAD, SCORBY


CLIENT: SIMTOR
 SITE SECTIONS A, B, C

SCALE: 1:200
 DATE: 07/12/2012
 DRAWN BY: KRM
 CHECKED BY: PDI
 PROJECT NO: 1203204


 zatzler architects
 1000
 1000
 1000

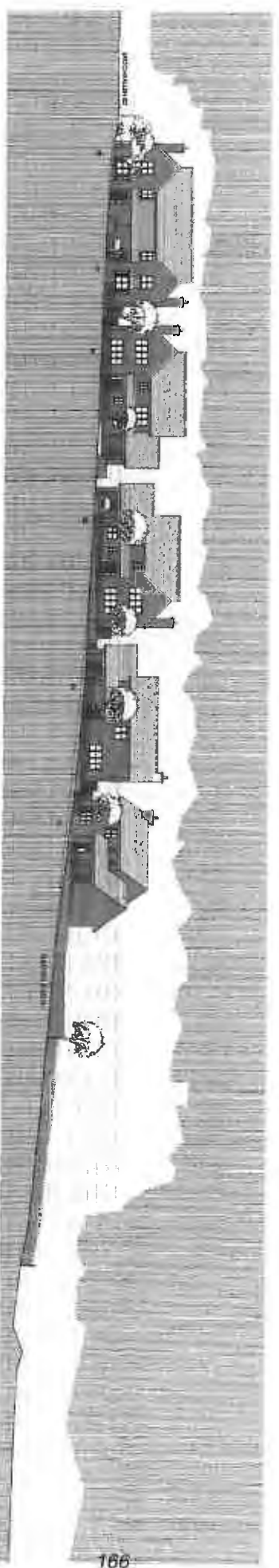


SECTION D-D

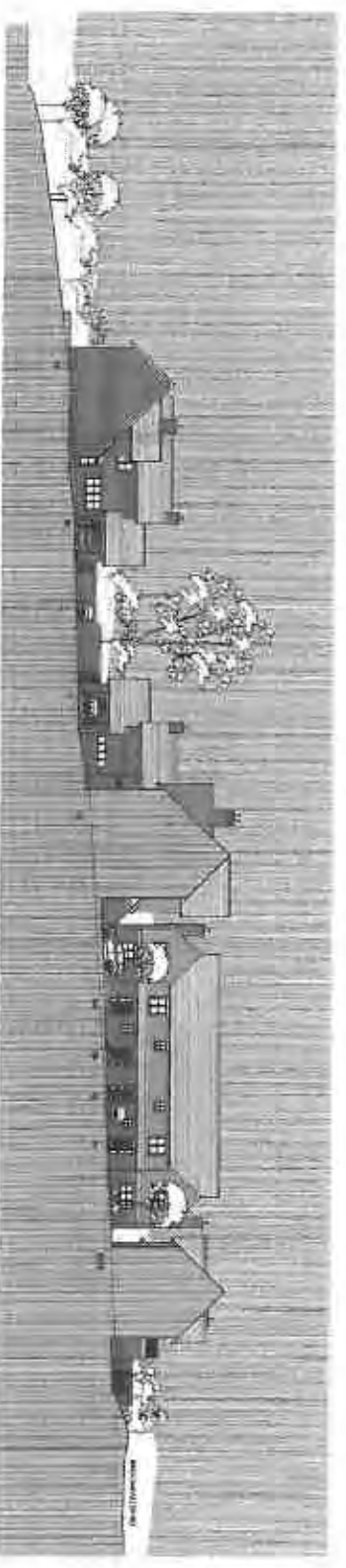

 12100 12th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1210
 Fax: 303.733.1211
 www.planningarchitects.com

PROJECT: PROPOSED HOUSING
 LAND OFF BROOMFALL BLVD, SCOTSDALE, CO
 DATE: 07/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]

MATERIALS
 ROOF: BLUE/BLACK SLATES
 SIPS/WALLS: SLAT & JAPIC
 FLOORS: RED CLAY TILING BACK
 WINDOWS/DOORS: PAINTED WOOD
 WINDOW SURROUNDING/SILLS: PINECAST LUMBER
 BUSHING: GRINGOLITE®



SECTION E-E



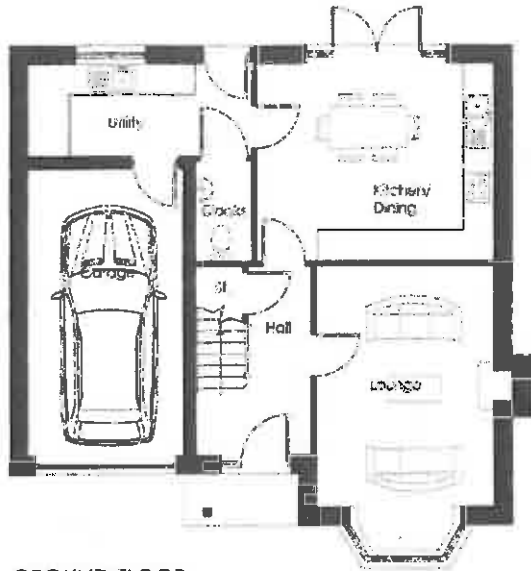
SECTION F-F

PLANNING
ARCHITECTS
 PLANNERS

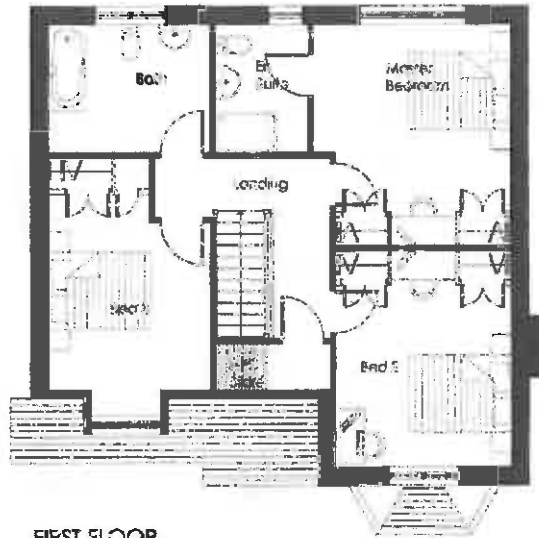
PROJECT: PROPOSED HOUSING
 LAND OFF BROOMFALL BLVD, SCOTSDALE, CO
 DATE: 07/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]

SCALE: 1/2" = 1'-0"
 DATE: 07/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]

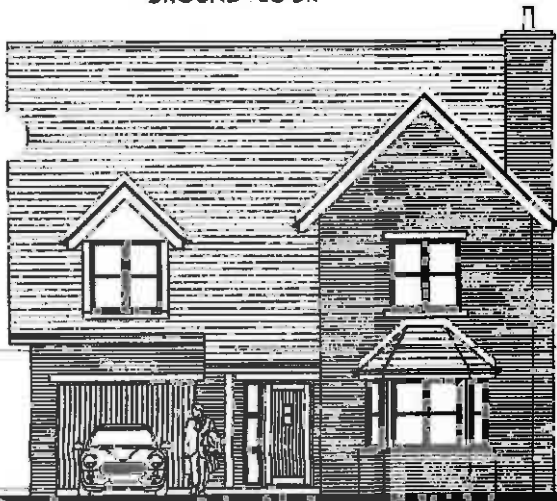
12100 12th Street, Suite 100
 Denver, CO 80202
 Tel: 303.733.1210
 Fax: 303.733.1211
 www.planningarchitects.com



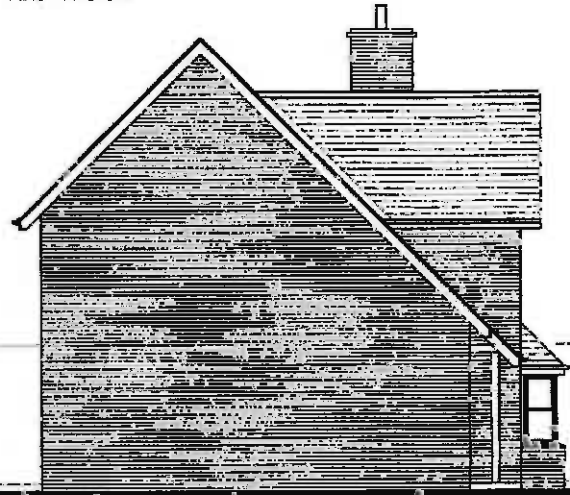
GROUND FLOOR



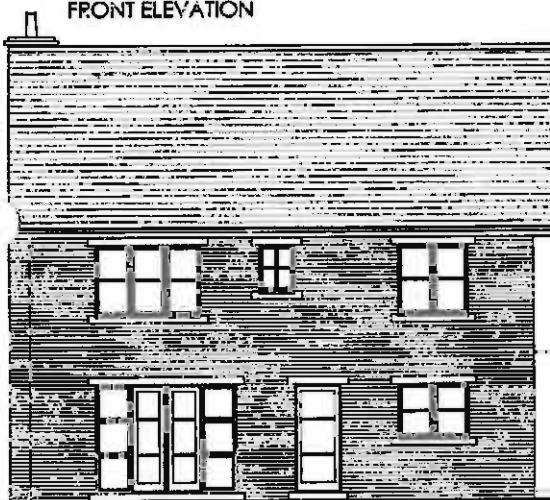
FIRST FLOOR



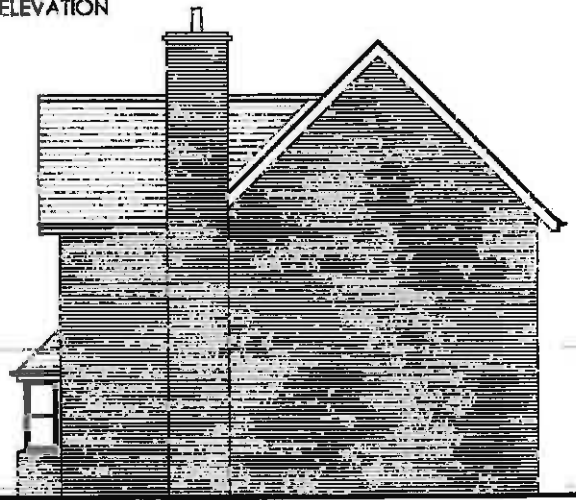
FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

PLANNING

ARCHITECTS
PLUS

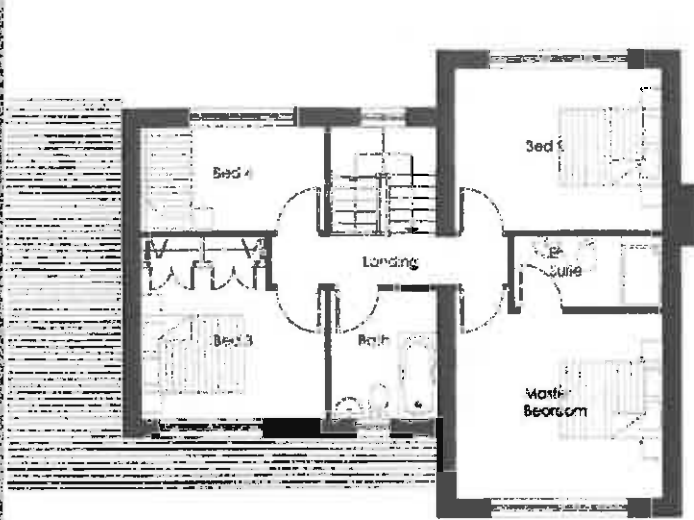
RECEIVED
2012/0790

Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

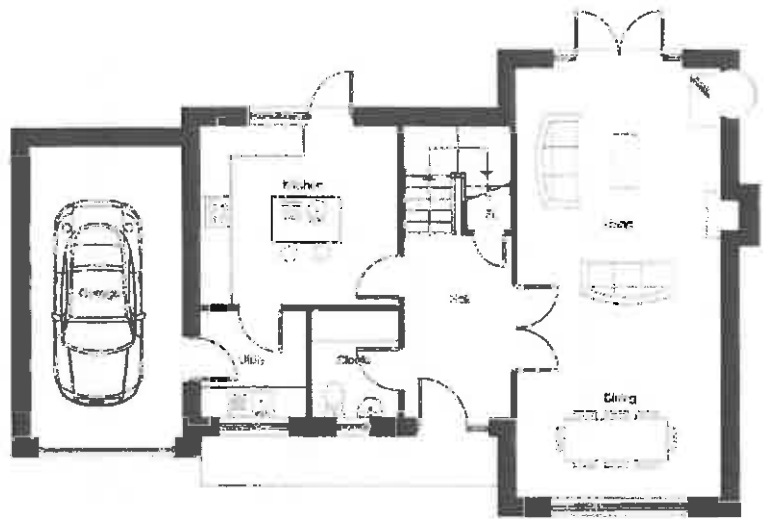
Client
SIMTOR

Drawing
HOUSE TYPE A
3B 6P

Scale	Date	Drawn	Client No.	Number
1/100	09/12	RJV	P01	12382-06



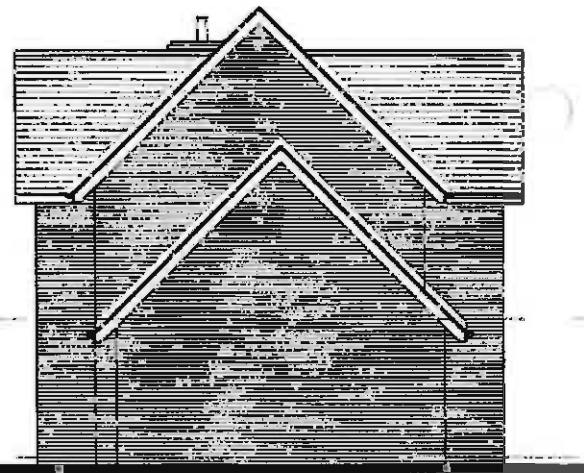
FIRST FLOOR



GROUND FLOOR



FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

PLANNING

ARCHITECTS
PLUS

PROJECT
2012/0790

168

Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

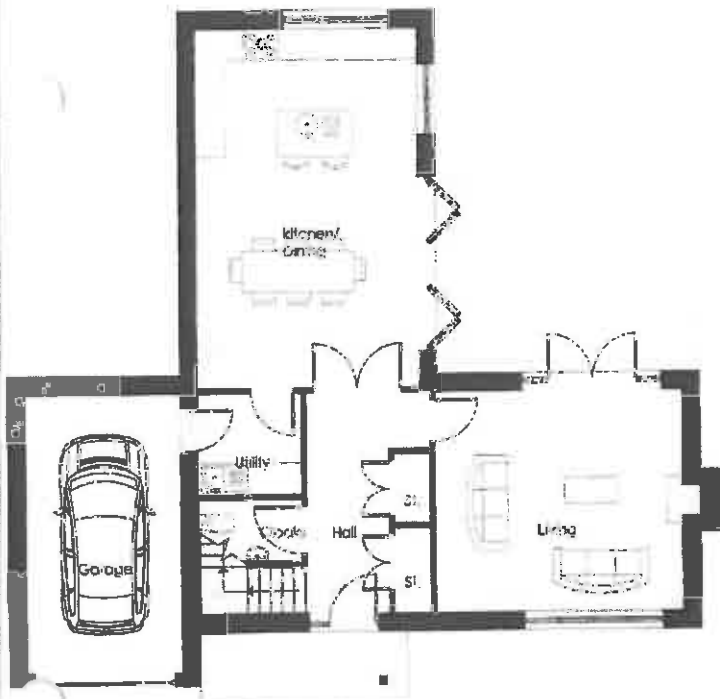
Drawing
HOUSE TYPE B
4B 7P

Scale	Date	Drawn	Client No.	Number
1/100	09/12	RJW	801	12033-07

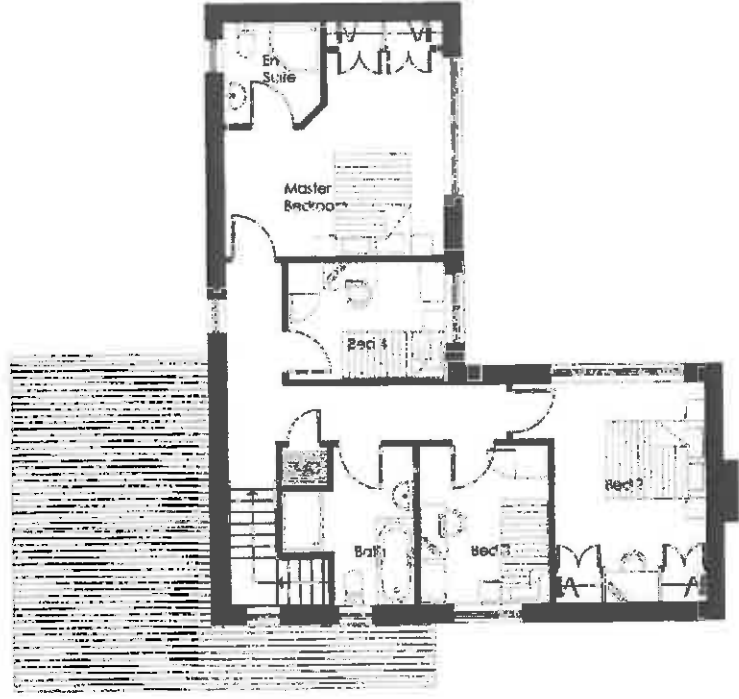


we're not the just the best
we're the best. We're the best.
Tel: 01225 011144
Fax: 01225 011193

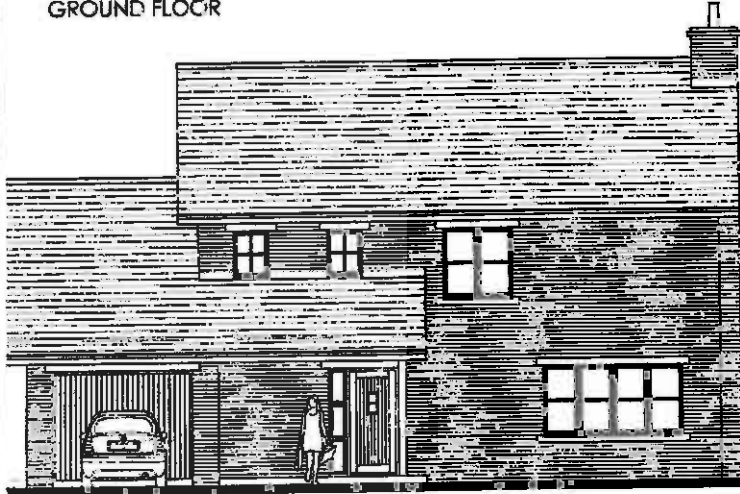
Registered in England No. 429110
Registered Professional Architects
London: 01225 011144
Web: www.architectsplus.co.uk



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

PLANNING
ARCHITECTS
 PLUS

2012/0790 169

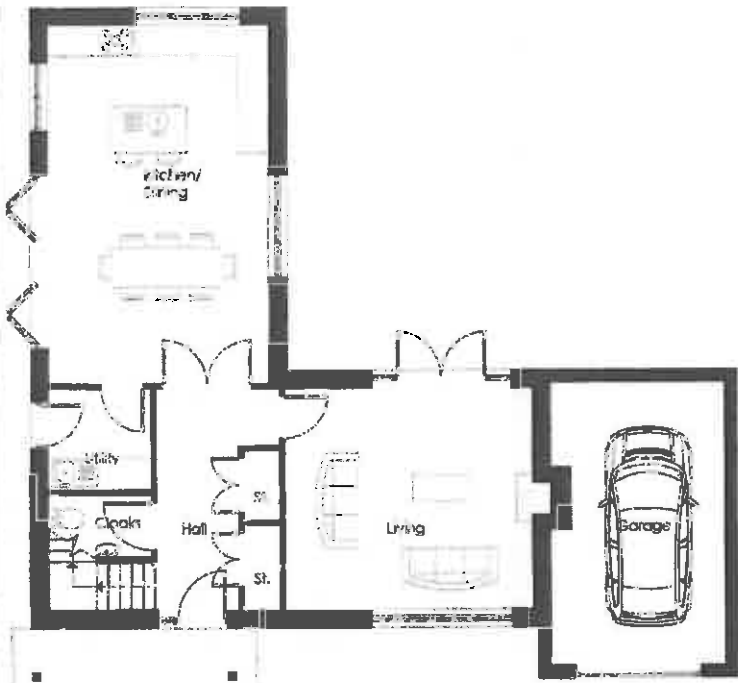
Project
PROPOSED HOUSING
 LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

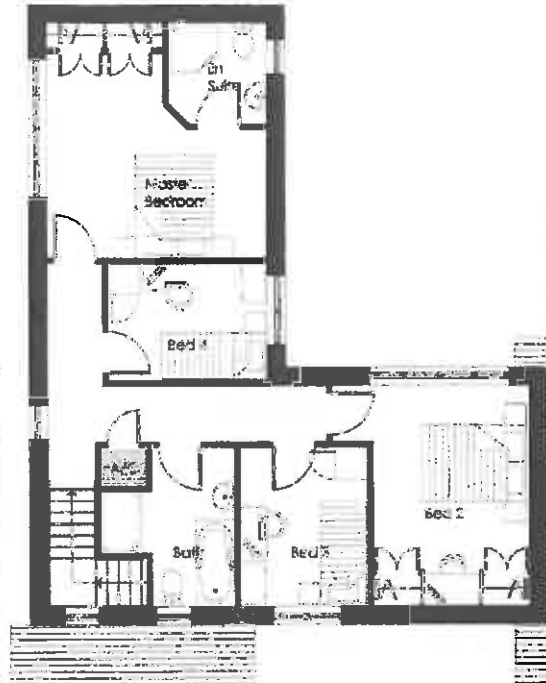
Drawings
HOUSE TYPE C
 4B 6P

Scale	Date	Drawn	Comp. No.	Number
1/100	09/12	RJW	PC/1	1 2032-08

a+ Architects Ltd, 12A Hillier, Registered in England No. 0781143
 Victoria Gardens, Victoria House, 15-20 Old Broad Street, London EC4A 3DF
 Tel: 020 7381 4000 Fax: 020 7381 4001
 Email: info@architectsplus.co.uk Web: www.architectsplus.co.uk



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

PLANNING
ARCHITECTS
 PLUS

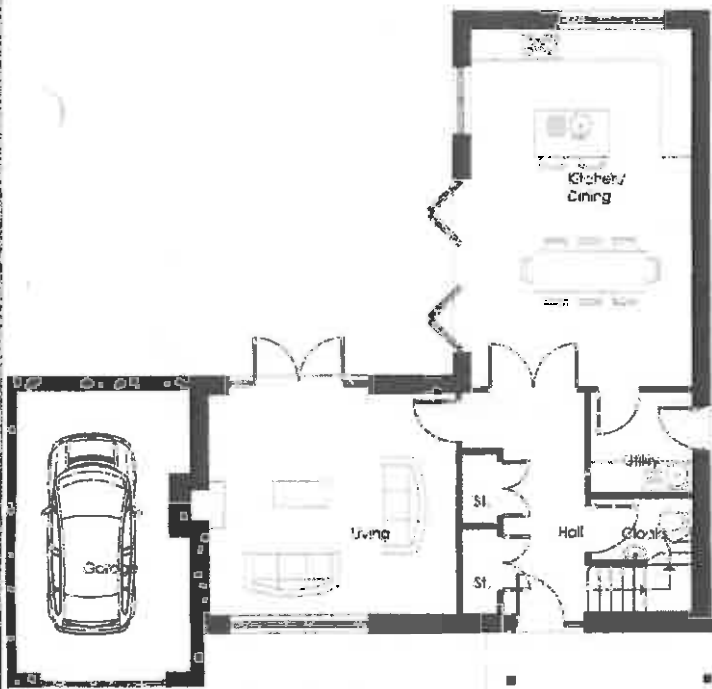
RECEIVED
 2012/0790 170

Proposed
PROPOSED HOUSING
 LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

Drawing
**HOUSE TYPE C1
 4B 6P**

Scale	Date	Drawn	Comp No	Number
1/100	09/12	RJW	PC1	12032-07



GROUND FLOOR



FIRST FLOOR



FRONT ELEVATION



SIDE ELEVATION



BACK ELEVATION



SIDE ELEVATION

PLANNING
ARCHITECTS
 PLUS

RECEIVED
 2012/0790 171

PROPOSED HOUSING
 LAND OFF BROGMFALLEN ROAD, SCOTBY

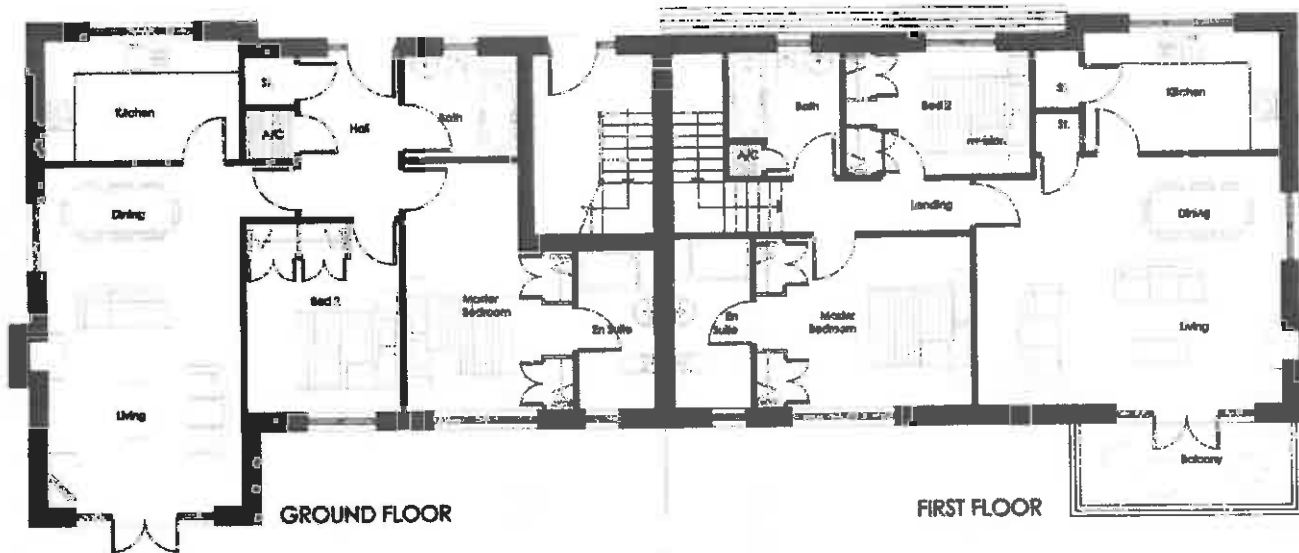
Client:
SIMTOR

Project:
**HOUSE TYPE C2
 4B 6P**

Scale	Date	Drawn	Comp No	Number
1/100	09/12	RJM	P01	12022-10



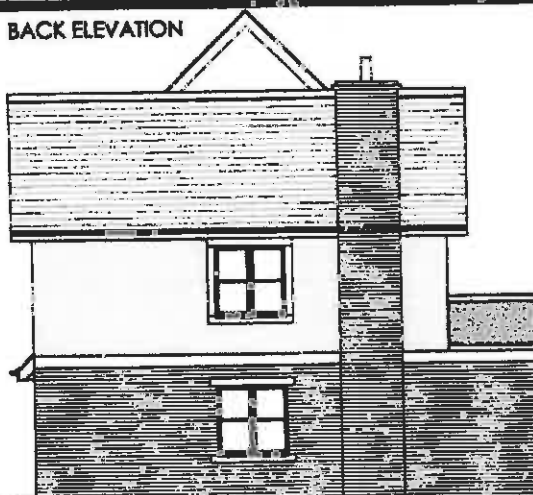
Architects Plus Ltd
 15000 Highway 100, Suite 100, Markham, Ontario L3R 0V4
 Tel: (905) 577-1111
 Fax: (905) 577-1111
 Website: www.architectsplus.ca



FRONT ELEVATION



BACK ELEVATION



SIDE ELEVATION

RECEIVED
2012/0790

172

PLANNING
ARCHITECTS
PLUS

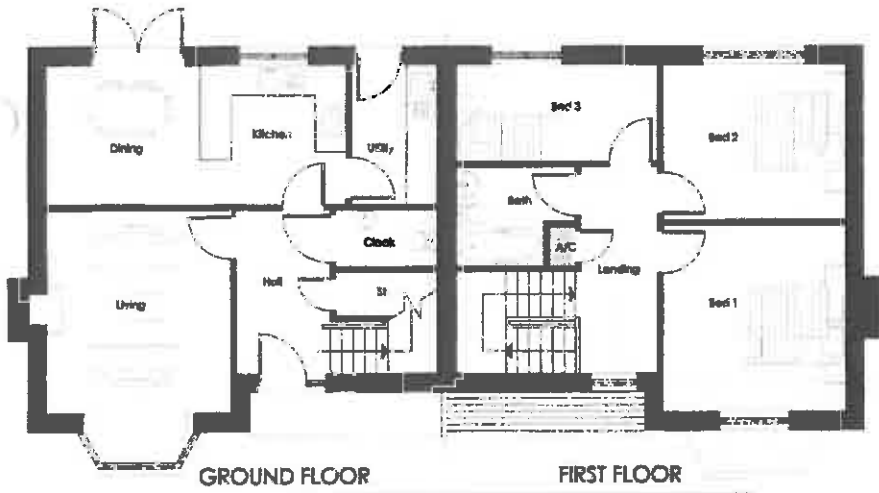
Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

Drawing
HOUSE TYPE D
2B 4P

Scale	Date	Drawn	Comp No	Number
1/100	09/12	RJW	P01	12032-11

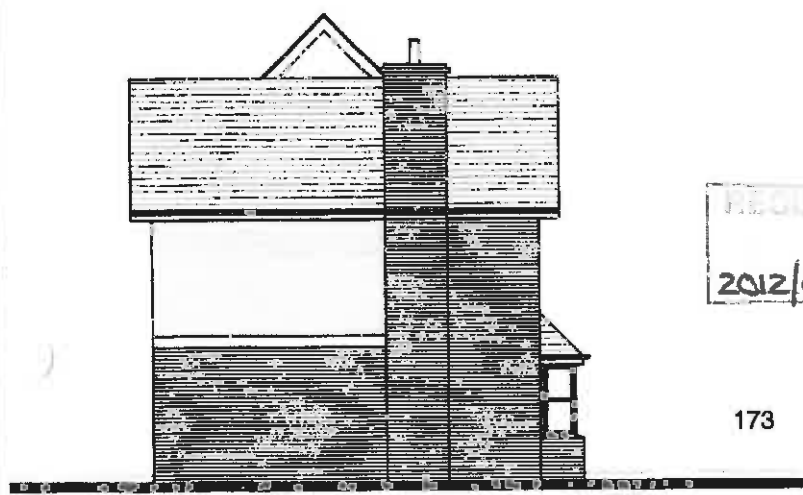
at Architects Plus (UK) Limited
Victoria Gate 1st Floor, Victoria Road, Castle, L43 8AH
Tel: 01228 513144 Fax: 01228 513233
Registered in England No: 4291140
Victoria Road, Castle, L43 8AH
email: ap@architectplus.co.uk
web: www.architectplus.co.uk



FRONT ELEVATION



BACK ELEVATION



SIDE ELEVATION

RESOLVE
2012/0790

173

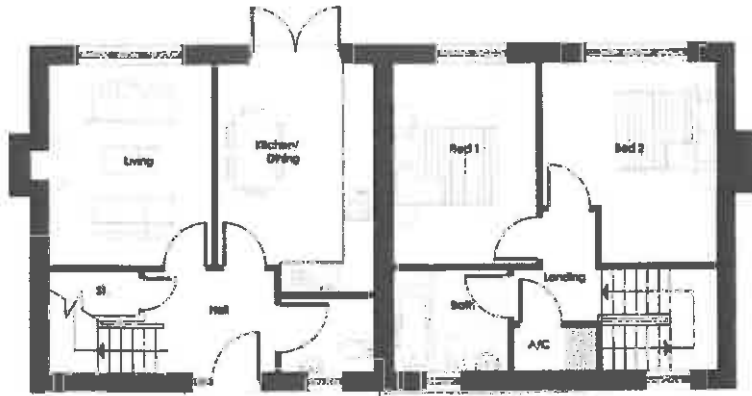
PLANNING
ARCHITECTS
PLUS

Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

Drawing
HOUSE TYPE E
3B 5P

Scale	Date	Drawn	Comp.No	Number
1/100	09/12	RJW	P01	12032-12



GROUND FLOOR

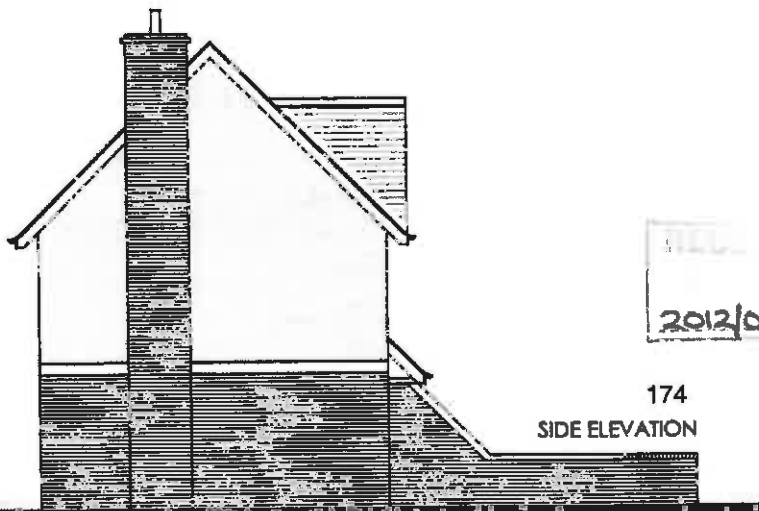
FIRST FLOOR



FRONT ELEVATION



BACK ELEVATION



174
SIDE ELEVATION

PLANNING
ARCHITECTS
P L U S

Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

Drawing
HOUSE TYPE F
2B 4P

Scale	Date	Drawn	Comp.No.	Number
1/100	09/12	RJW	P01	12032-13



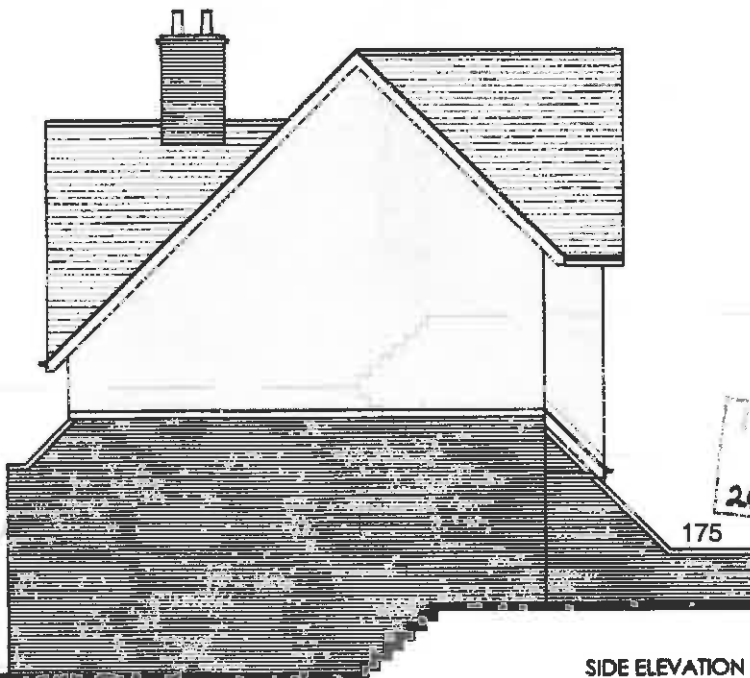
Architects Plus (AP) Limited Registered in England No. 4221140
Victoria Galleries, Victoria House, Victoria Warehouse, Colts, CAS BAN
Tel: 01228 574144 email: ap@architects.plus
Fax: 01228 574005 web: www.architects.plus.co.uk



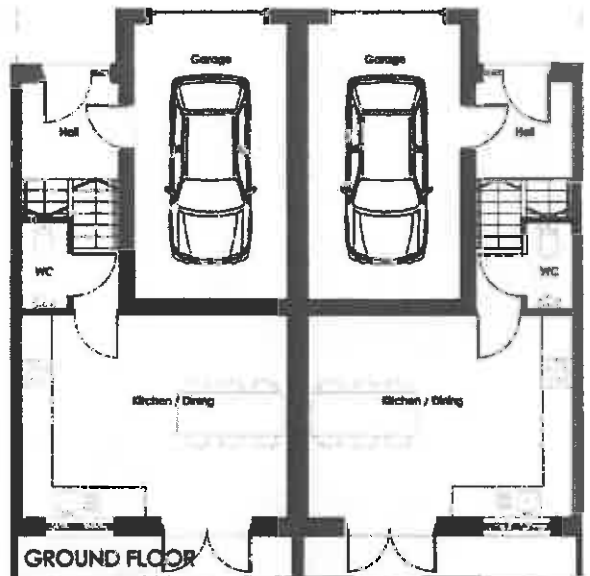
FRONT ELEVATION



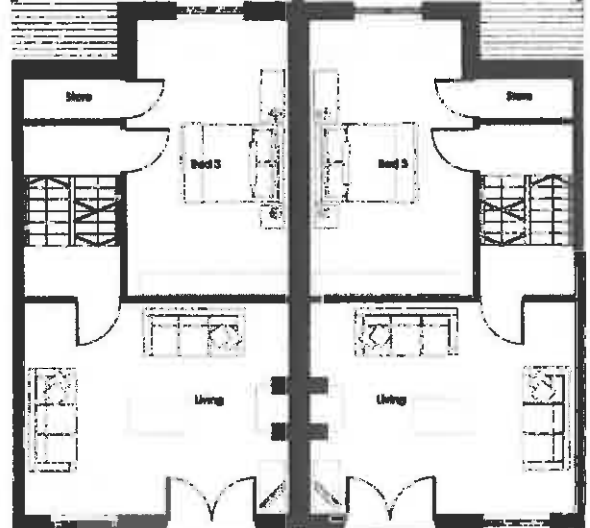
BACK ELEVATION



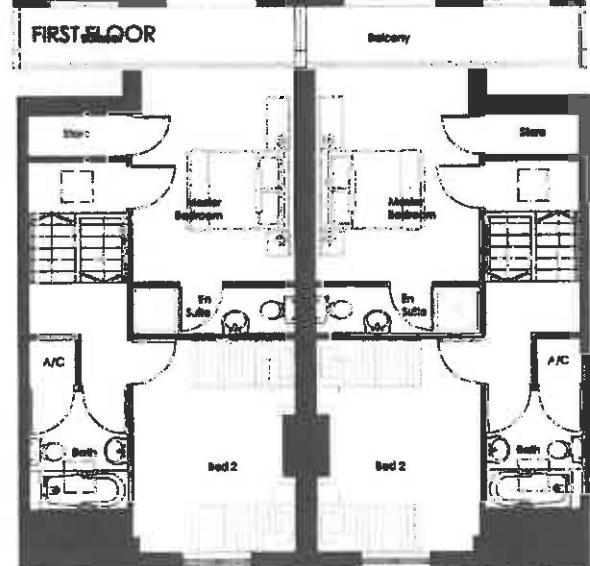
SIDE ELEVATION



GROUND FLOOR



FIRST FLOOR



SECOND FLOOR

ARCHITECTS PLUS

Project
PROPOSED HOUSING
LAND OFF BROOMFALLEN ROAD, SCOTBY

Client
SIMTOR

Drawing
HOUSE TYPE G
3B 6P

Scale	Date	Drawn	Comp.No	Number
1/100	09/12	RJW	P01	12032-14

RECEIVED
2012/0790



Architects Plus (UK) Limited
Victoria Gardens Victoria House
Tel: 01228 515144
Fax: 01228 813093
Registered in England No. 421140
Victoria Victoria, Castle, LA3 6AH
Email: enquiries@architectsplus.co.uk
Web: www.architectsplus.co.uk

**Proposed Housing off
Broomfallen Road, Scotby**

Drawing no B1

17th September 2012

Planting Plan

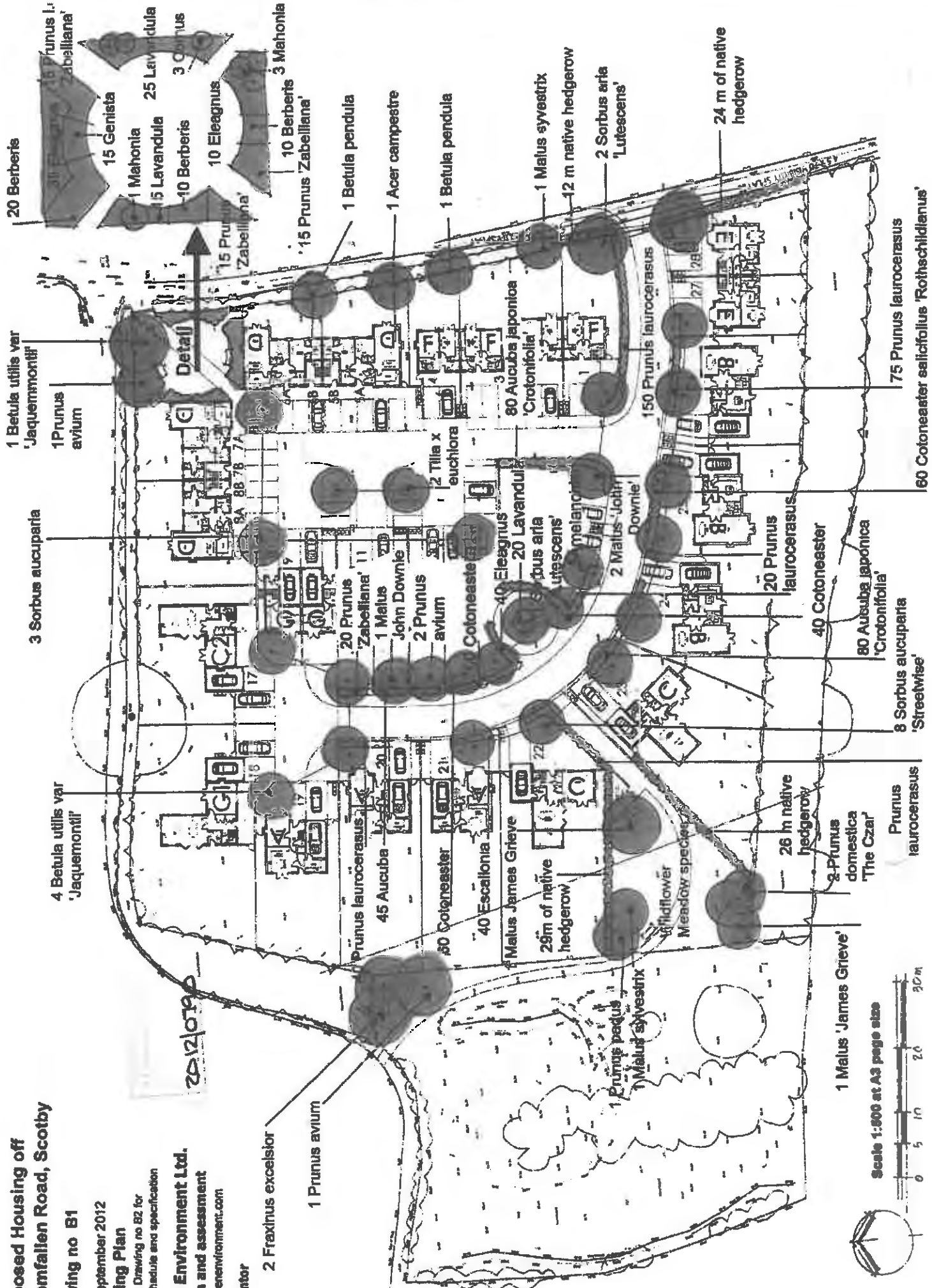
Refer to Drawing no B2 for
plant schedule and specification

Eden Environment Ltd.
design and assessment
www.edenenvironment.com

for Simtor

2 Fraxinus excelsior

1 Prunus avium



1 Malus 'James Grieve'

Scale 1:500 at A3 page size



**Proposed Housing off
Broomfallen Road, Scotby**

Drawing no. A

17th September 2012

Landscape Concept Plan

Eden Environment Ltd.

design and assessment

www.edenenvironment.com

for Simtor

2012/0790

Four birch trees
define the square

Natural Area
and vegetation
remain intact

Terracing and split-level houses
make the most of the slope

Level, shared space

Existing screen
planting remains
intact

Level, shared space

Two lime trees
Rowans on
corners

Small scale
'garden'
Sitting
Area

Main Square

Square

Sitting
Area

Meadow

Existing
Natural
Area

Pair of
'Gateway
Trees

Native hedgerow
replaced at
sight line

Avenue trees
and hedges form
a green corridor

Existing screen planting remains intact

Small, intimate
space

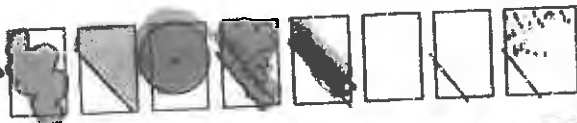
Path through site links with Broomfallen Road and Public Right of Way

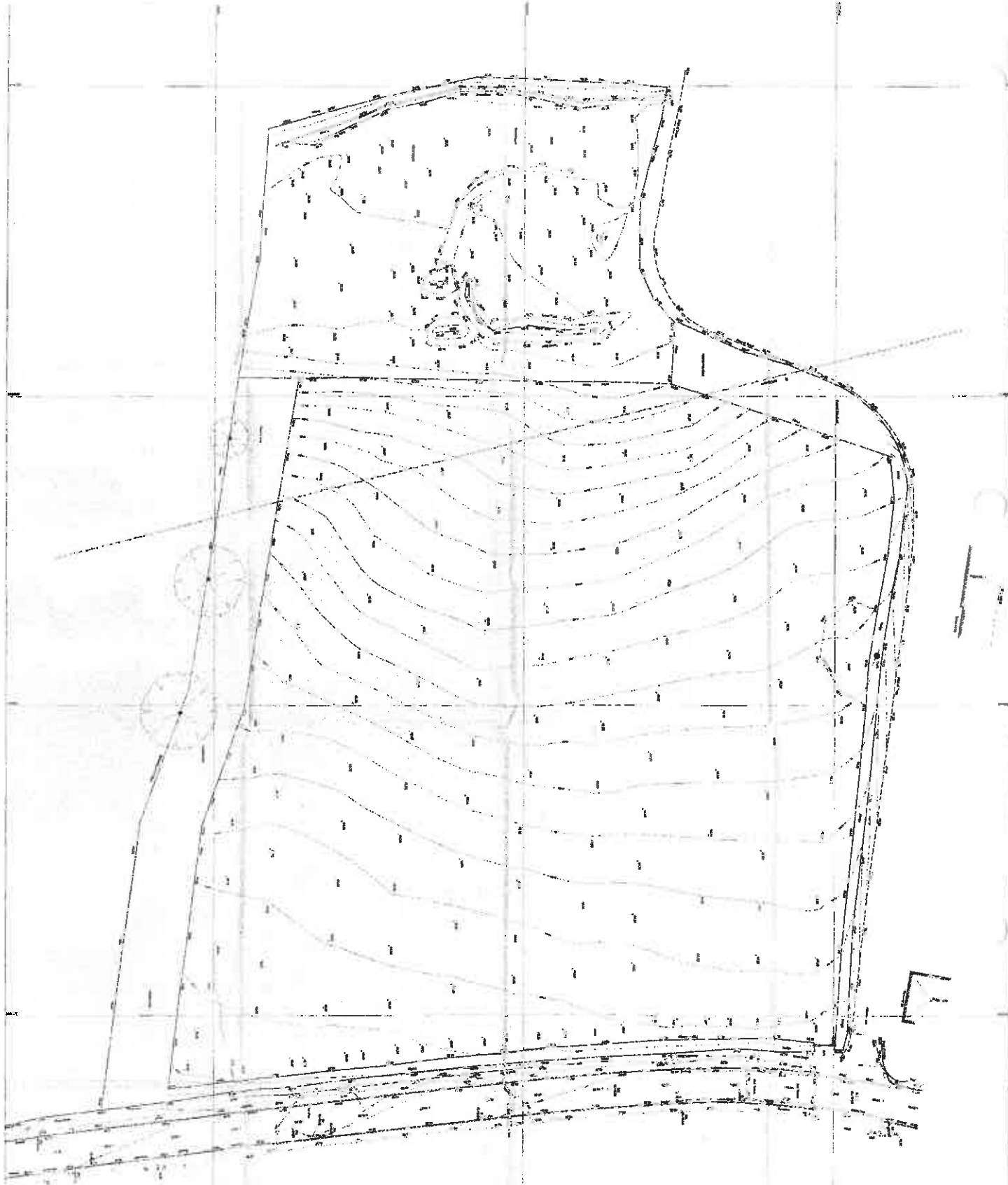
Fruit trees in meadow



Based on layout prepared by Architects Plus

Key





0607/0608

Author:	
Date:	
Scale:	
Projection:	
System:	
Units:	
Version:	
Project:	
Sheet:	
Page:	

Author:	
Date:	
Scale:	
Projection:	
System:	
Units:	
Version:	
Project:	
Sheet:	
Page:	

SCHEDULE A: Applications with Recommendation

12/0953

Item No: 06

Date of Committee: 08/03/2013

Appn Ref No:
12/0953

Applicant:
Brampton and Beyond
Community Trust

Parish:
Brampton

Date of Receipt:
26/11/2012

Agent:
Green Design Architects

Ward:
Brampton

Location:

Irthing Centre, Union Lane, Brampton, CA8 1BX

Proposal: Erection Of 38No. Extra Care Units With Associated Ancillary Facilities

REPORT

Case Officer: Stephen Daniel

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Proposal Would Be Acceptable In Principle
- 2.2 The Need For The Proposal
- 2.3 Whether The Scale & Design Would Be Acceptable
- 2.4 Impact Of The Proposal On The Living Conditions Of The Occupiers Of Any Neighbouring Properties
- 2.5 Impact on Trees
- 2.6 Impact On Brampton Conservation And The Listed Croft House
- 2.7 Highway Matters
- 2.8 Biodiversity Issues

3. Application Details

The Site

- 3.1 The site includes part of the existing Irthing Centre, including the West Wing and Annexe buildings, an unused tennis court that lies to the west of the buildings and a small car park that currently serves the Irthing Centre.

There are a large number of mature trees to the west of the tennis court, a number of which are the subject of Tree Preservation Orders. Further mature, protected trees are also located on the southern boundary of the site.

- 3.2 The retained section of the Irthing Centre would lie to the east of the application site and this would be retained for community use. Two properties on Manor Gardens (nos. 4 & 5) and White House Cottage adjoin the site to the south, together with a piece of land that is currently undeveloped but which has previously had planning permission for a dwelling. Four and five Manor Gardens are large detached properties that sit at a significantly lower level than the application site, the gardens of which rise steeply up to the southern boundary of the site. Croft House, which is listed, adjoins the site to the west and is partly screened by existing trees. This property also lies within the Brampton Conservation Area, which lies to the west of the site. Residential properties on Irthing Park adjoin the site to the north. These properties also sit at a significantly lower level than the application site.

Background

- 3.3 The Irthing Centre is owned by Cumbria County Council and the majority of buildings are used as a community centre, under the control of the Brampton & Beyond Community Trust.
- 3.4 In July 2010, a public exhibition and public meetings were held and a survey was conducted into the future use of Irthing Centre. The proposal that received most support, from both stakeholders and the general public, was the proposal to retain as many of the existing community centre buildings as possible and to develop an extra care housing facility on the tennis court area.
- 3.5 If the application is approved, and subject to funding being confirmed, the ownership of the site would transfer to the Brampton & Beyond Community Trust.

The Proposal

- 3.6 The former West Wing of the Irthing Centre would be incorporated into the scheme and would include the main entrance to the building, together with the plant room, a buggy store, refuse area and offices. This building would then provide access, via a link building, to the main building, which would contain thirty-three extra care units set around a courtyard together with some communal areas. The existing buildings on the site sit approximately 2.5m (about one-storey) higher than the adjacent tennis court, on which the new building would be sited.
- 3.7 Fourteen of the units and the lounge/ hobby room and staff/ visitor overnight accommodation would be provided on the lower ground floor. The units would all face outwards, with corridors and the communal facilities facing the central courtyard. Small patios would be provided adjacent to the units and landscaped areas would be provided around the edge of the building, which

would incorporate a path.

- 3.8 The upper ground floor, which would be level with the ground floor of the main entrance, would contain sixteen units, the vast majority of which would face outwards. The west wing would be wider and would be dual aspect, with two of the units, which would sit above the communal areas, facing into the courtyard.
- 3.9 Three units would be provided at first floor level in the west wing, which would make this section of the building three-storey, with a ridge height of 11.6m. The link building would also be three-storey and would contain five units, a hairdressers, a laundry and a store. The north, south and east wings would be two-storey where they adjoin the boundaries with residential properties and would measure 5.3m to the eaves and 8.8m to the ridge.
- 3.10 The building would be constructed of a mixture of brick and render to the external elevations, with stained timber windows and doors, under a slate roof. It would incorporate sustainable elements, including: a carbon neutral biomass system; photovoltaic roof panels to generate electricity; high levels of thermal insulation; low energy light fittings; and the single aspect of the unit would reduce heat loss. The building also incorporates the principles of 'Secured by Design'.
- 3.11 Access to the site would be via the existing access from Union Lane. The Annexe building would be demolished so that the existing access can be extended into the site and terminate at the new main entrance. Parking would be provided along side the access and to the front of the main entrance, where a turning area would also be provided. A total of twenty-two car parking spaces would be provided within the site, fourteen of which would be new.
- 3.12 The existing community centre includes a range of facilities that might be used by future occupiers of the extra care facility, including: cafe and terrace area; hall which is a venue for dances, concerts, film and plays; computer room; gym; exercise classes; and the 'hut', which is a venue for art classes and adult education.
- 3.13 The building has been developed in conjunction with Impact Housing Association. The Brampton & Beyond Community Trust has entered into a partnership with Impact Housing Association, which has a broad experience and a proven track record on delivering extra care housing schemes in other parts of Cumbria.
- 3.14 The scale of provision has been a major factor in determining the viability of the project, both in capital and operational terms. Discussions between the applicant and Cumbria County Council, Carlisle City Council, with other extra care housing providers, and with potential lenders to the Trust of the capital loans, all suggest that this scale of provision is necessary. The County Council has maintained throughout that a development of about 40 units would be required to make a viable project. This arises from the residential unit cost being affected by the need to provide communal facilities and office accommodation, as required in an extra care housing development. For this reason, as well as more general economies of scale, the overall cost per

residential unit increases as the number of units decreases. This cost will have a direct impact on rent levels, and the Trust's intention, based on the City Council's housing need guidance, is that these units should be available at "affordable rents".

4. Summary of Representations

4.1 This application has been advertised by the posting of a press and site notice, and also the posting of 20 notification letters to neighbouring properties. In response, 7 letters of objection and 9 letters of support have been received.

4.2 The letters of objection make the following points:

- Concerned about scale and layout and its impact on neighbouring properties;
- Trees subject to TPO's will be removed or cut back;
- Suggestions that the scale and layout should be altered so that it fits within the existing space;
- The site is elevated above neighbouring houses on three sides and the development will therefore be very prominent;
- With the removal of the trees, the extensive western elevation will create a significant visual impact on Croft House;
- Single-storey development at the edge of the site, which might be more appropriate for some of the intended residents, would be better;
- The plans misrepresent the height of the land to be built on. The plans show the level at half of what it actually is - it shows it four foot higher than the ground floor level of 27 Irthing Park but it is actually eight to nine foot above ground level;
- It is a three-storey development;
- It will result in a total loss of privacy and total loss of light to neighbouring properties and would adversely affect the amenity of adjacent properties;
- The majority of mature trees to the west and south of the site are subject to TPO's or are protected by virtue of falling within/adjacent to the Brampton Conservation Area;
- The trees are prominent features of the Brampton skyline and can be seen from many parts of the town - any tree loss or crown reduction would adversely impact upon the visual amenity of neighbouring properties but as the wider setting of the Conservation Area;
- Proposal would lead to the felling of 4 trees, pruning/canopy reduction of other trees - construction works could damage other trees - conflicts with Policy

CP3/SPD 'Trees & Development' - development will not be permitted where a habitable room window would be overshadowed or where part of a tree would be within 5m of a habitable room window;

- Even with pruning/canopy reduction, canopies will remain within 2m of many habitable room windows, severely restricting daylight/sunlight to the properties when trees are in leaf;
- Proposal is contrary to Policy CP5 , which seeks to ensure no adverse impact on residential amenity of existing areas or result in unacceptable standards for future owners and occupiers of development;
- Height, scale, massing and configuration of the development would appear as a discordant feature in relation to neighbouring properties and the wider setting of the Conservation Area;
- Neighbouring houses to north (Irthing Park) and south (Manor Gardens) will be significantly overlooked - ground floor levels of existing properties will generally be at least one storey height below that of the development which will be two/three storey;
- Due to lower level of development on Irthing Park, a two-storey building would feel like three storey, three-storey like four;
- Would be a loss of light, overshadowing of properties on Irthing Park;
- Proposals do not consistently achieve the minimum standard of 21m between primary facing windows;
- 38 units is overdevelopment - reducing the number of units and configuring them differently on the site would provide a more harmonious and sympathetic development and a more satisfactory environment for occupants;
- Jenkins Court, Kendal has 20 extra care units in a development of 33 flats, whilst Holker Court, Barrow has 28 extra care flats provided within a large development - size of this could be reduced;
- Unclear how fire services would really gain access to all parts of the building should the need arise;
- Would be a conflict between residents and visitors to the Community Centre;
- Proposal would have a significant adverse impact on 4 Manor Gardens - units will be built so close to and looming over 4 Manor Gardens that privacy will be badly affected - view of the sky from north facing ground floor rooms will be severely restricted and in the case of the kitchen virtually blocked out. Ground floor of the proposed building would be level with bedroom windows at 4 Manor Gardens - first floor windows will look down into bedrooms at a distance of only 15m. Occupiers of this dwelling sit in north-east of the garden to get sun - occupants of the nearest unit would be able to look down in this area from 8m away. Developer has moved the unit 1m back from 14m to 15m away from 4

Manor Gardens but this is inadequate;

- Work on foundations will be close to large Scots Pine in the garden of 5 Manor Gardens - developer should take all possible precautions to safeguard this significant tree which is visible from many parts of Brampton;
- Need to ensure proposal does not adversely affect neighbouring land through changes to drainage;
- Some of the new car parking spaces provided seem to encroach on White House Cottage and one space in particular would appear to block access to White House Cottage. Vehicles frequently park outside White House Cottage in unmarked bays often completely blocking access to the Cottages - extra spaces being provided would greatly add to this existing problem;
- Concerned about three-storey sections which could cause loss of privacy;
- Concerned about future use of building adjacent to White House Cottage - future use could impact on White House Cottage;
- Quality appears to be at the bottom of the agenda in pursuit of an arbitrary development target of around 40 units, which has no regard to site constraints;
- No evidence has been provided by the applicant to substantiate a figure of around 40 units as being a viability threshold for extra care schemes. Other recent extra care schemes in Cumbria have significantly less units. Development of this size will have a significant adverse impact on neighbouring properties and their occupants, the wider environment of Brampton and the setting of the conservation area;
- Occupants of less than a third of the 38 units would enjoy acceptable levels of daylight and sunlight in their homes - such living conditions would not support the well-being and good health of occupants;
- Of the recorded 'neighbour' responses to date, 5 are from residents of the Rowelton/ Kirklington area some 7/8 miles from Brampton. They include current/ past Trustee members of the Board of the Applicant Trust.

4.3 The letters of support make the following points:

- Excellent use of vacant site;
- Need for such accommodation with increase in population ages;
- No similar housing available in Brampton;
- Much needed development as part of the mix of care provision in Brampton;
- Proposal is an impressive low impact sustainable design;
- Proposal is innovative and imaginative and should enable Centre to become

financially independent for first time;

- Shows Brampton Community can take greater responsibility for its future welfare, in which extra care housing will play a vital role;
- If concept is successful it will provide an exemplar from which many other communities could learn;
- Good use for a site near the centre of Brampton;
- Proposals make the most of the site;
- Appropriate to have housing to older people next to Community Centre so these will be mutual benefit;
- Will provide much needed housing in this very rural area;
- Two bed accommodation is a necessity so relatives can come and visit and stay in cases of illness.

5. Summary of Consultation Responses

Cumbria County Council - (Econ. Dir. Highways & Transportation): - no objections, subject to conditions;

Clerk to Brampton PC, Unit 2 - The Old Brewery: - concerned at the lack of car parking provision for the units and staff;

Local Environment (former Community Services) - Drainage Engineer: - comments awaited;

Carlisle Airport: - no objections;

Local Environment - Environmental Protection: - no objections;

Cumbria Constabulary - North Area Community Safety Unit: - suggested measures to reduce the risk of crime;

Community Engagement - Housing Strategy: - supports this proposal as the development will contribute significantly to an identified need which can be robustly evidenced. There is a strong need to extra care housing in the district - there are currently 70 extra care units in the district but none in the Brampton area. The 2009 Planning4care report identified a need for 43 extra care units in Brampton, with this figure rising to 55 units in 2029. The development also provides an important role in meeting affordable housing need - the units would be made available for affordable rent. The proposed scheme, led by the Brampton & Beyond Community Trust, is evidence of a community taking a leading role in addressing its own housing needs;

Conservation Area Advisory Committee: - committee were content over the general location and proposed use. Expressed concern over possible adverse impact on neighbours re separation distances and the scale of the new building. Suggest a sketch-up model would assist in evaluating the overall form of the proposal and its impact on neighbours. Should be recommended for approval, subject to clarification of these points.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, EC1, H1, H13, LE12, LE19, CP2, CP3, CP5, CP6, CP12, CP15, CP16, CP17 and T1 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:
1. Whether The Proposal Would Be Acceptable In Principle
- 6.2 The site is well related to the centre of Brampton, which is identified as a Key Service Centre in the adopted Local Plan and which contains a range of shops and services and access to public transport.
- 6.3 The site is located adjacent to the Irthing Centre, which is a community facility which is run by the Brampton & Beyond Community Trust. The occupiers of the extra care housing scheme would be able to use a number of the facilities on offer at the community centre, which would benefit both them and the community centre.
- 6.4 In light of the above, the proposed site would be a good location for an extra care housing scheme and the proposal would, therefore, be acceptable in principle.
2. The Need For The Proposal
- 6.5 The Council's Housing Strategy Section strongly supports the proposal to build thirty-eight extra care housing units in Brampton. The development would contribute significantly to an identified need, which can be robustly evidenced. The number of elderly people in the district is continuing to grow and a 2009 report by Planning4care predicts a 41% increase in the percentage of people aged 65+ by 2030. This will inevitably lead to an increase in the number of elderly people needing support. Many older people want to remain living independently for as long as possible and extra care housing is now favoured by many. There is, therefore, now a strong need for extra care housing in the district.
- 6.6 There are currently 70 extra care units in the district but none of these are in the Brampton area. The 2009 Planning4care report identified a need for 43 extra care housing units in the Brampton area and this need rises to 55 units by 2029. The development would contribute significantly to meeting local extra care needs. The development will also play an important role in meeting affordable housing need, with the units being made available at an affordable rent. This will meet the need of many people with support needs who are residing in, or are in need of, affordable housing.
- 6.7 The proposed scheme, which is being led by the Brampton & Beyond Community Trust, is evidence of a community taking a leading role in addressing its own housing need and this approach is supported.
- 6.8 Cumbria County Council also supports the proposal, which will offer a much improved range of accommodation with care options for the people of Brampton and the surrounding area. This is underlined by the allocation of £800,000 from the Council's capital programme to support the cost of

developing the scheme, subject to the final grant rate offered by the HCA, and final approval from the County Council following consideration of a business case that identifies the actual amount of capital required. A further financial commitment from the County Council (Adult Social Care) is given with regard to the revenue funding required on an annual basis to purchase on-site care and support services required at the scheme. The cost of on-site care and support is estimated as between £130,000 to £300,000 per annum, depending on the level of need.

- 6.9 In light of the above, there is a clear need for the level of extra care housing proposed to meet an identified need in the Brampton area.

3. Whether The Scale And Design Would Be Acceptable

- 6.10 It is acknowledged that the building would be large, as it needs to accommodate 38 units, which are needed to make the scheme viable. Discussions between the applicant and Cumbria County Council, Carlisle City Council, with other extra care housing providers, and with potential lenders to the Trust of the capital loans, all suggest that this scale of provision is necessary. The County Council has maintained throughout that a development of about 40 units would be required to make a viable project. This arises from the residential unit cost being affected by the need to provide communal facilities and office accommodation, as required in an extra care housing development. For this reason, as well as more general economies of scale, the overall cost per residential unit increases as the number of units decreases. This cost will have a direct impact on rent levels, and the Trust's intention, based on the City Council's housing need guidance, is that these units should be available at "affordable rents".

- 6.11 Whilst the building would be large and the site is significantly higher than the adjoining residential properties, it would be partly screened from a number of views by the existing buildings at the Irthing Centre, by adjacent residential properties and by a number of mature trees. The use of a combination of facing brick and render would help to break up the scale of the building.

- 6.12 Whilst a section of the main building would be three-storey, this would be located in the centre of the site. The sections that would be located in close proximity to neighbouring residential properties would be two-storey, with an eaves level of 5.3m. Whilst the ridge would 8.8m this would be set back further into the site.

- 6.13 The building would be constructed of facing brick and render, with stained timber windows and doors, under a slate roof. Landscaping would be provided around the building, with a number of mature trees along the southern and western site boundaries being retained and additional trees being planted along the western boundary.

- 6.14 In light of the above, the scale and design of the proposal would be acceptable.

4. Impact Of The Proposal On The Living Conditions Of The Occupiers Of Any Neighbouring Properties

- 6.15 The proposed building would be two-storey, where it lies directly to the rear of residential properties. It would have an eaves height of 5.3m and a ridge height of 8.8m, with the ridge being set further back into the site.
- 6.16 Nos 4 & 5 Manor Gardens would lie to the south of the application site. These dwellings sit at a significantly lower level than the application site, with the first floor of the properties being approximately level with ground level of the site. 4 Manor Gardens would have a rear elevation approximately 16m away from a bedroom window in one of the units. This window would not directly face the rear of 4 Manor Gardens but would be at a higher level and so would allow overlooking of a bedroom in the property to occur. The applicant has, therefore, been asked to design a window which would minimise overlooking and this would be ensured by condition. 5 Manor Gardens would have a rear elevation a minimum of 22m away from the nearest windows. Whilst there would be some overlooking of the gardens of both of these properties, this is not uncommon and is not sufficient to warrant refusal of the application.
- 6.17 The nearest elevation of Croft House would lie over 23m from the west elevation of the building. There are a number of trees on this boundary, the majority of which would be retained, and this would help to reduce the impact of the proposal on the occupiers of this dwelling.
- 6.18 A number of properties on Irthing Park would lie to the north of the proposal and these dwellings sit at a significantly lower level than the application site. The nearest of these (35) would be 13m away from a blank gable, whilst others (31 & 33) would have windows 21m away from windows in the proposed units. These distances are considered to be sufficient to ensure that there is no significant loss of privacy to the occupiers of these dwellings.
- 6.19 In light of the above, the proposal would not have a significant adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance.

5. Impact On Trees

- 6.20 The Council's Tree Officer has raised a number of concerns about the application. There are a significant number of large, mature trees both on and off the site that would be adversely affected by the development, many of which are the subject of Tree Preservation Orders. The trees are a significant asset to the location and are major element in views both into and out of the Brampton Conservation Area.
- 6.21 Three of the protected trees would need to be removed and there would be incursion into the root protection area of a number of trees that would remain, which the Tree Officer considers would lead to the decline in the health of these trees and their premature removal. The retained trees would need to be pruned back but even then the trees would be so close to the finished building that the Tree Officer considers that very poor living conditions would be created for the future occupiers of the five units facing these trees. They would be faced with views of large over bearing trees, have the constant fear that a tree could fall onto them and live in constant shade, with inadequate

natural light or sunlight. The Tree Officer considers that this arrangement would inevitably lead to applications to prune or fell these trees.

- 6.22 The applicant's have considered moving the building further to the east away from the trees, but this would mean some of the existing building at the Irthing Centre would need to be demolished. They have also considered reducing the number of units, but around forty units is needed to make the scheme viable (see para 6.10).
- 6.23 The applicant's Tree Consultant accepts that the removal of the trees is regrettable but that the remaining ten trees, that would be located further from the development, will maintain the canopy silhouette, so keeping the visual amenity and wider impact of the trees when viewed from a distance. In order to maintain this tree scene and increase its longevity, new trees would be planted in suitable gaps to provide succession growth for the future. He considers that the proposed layout takes into account all the trees on the site and integrates well with the existing tree stock. He also points out that diseases and storms make our tree-scene a transient landscape feature and establishing new trees can provide a tree-scape for future generations to enjoy.
- 6.24 The Council's Tree Officer also raised concerns about the impact of six proposed car parking spaces, which would have been sited within the root protection areas of a large, mature and prominent protected tree on the southern boundary of the site. This parking has now been relocated outside the root protection area and the new location has no adverse impact on any existing trees.
- 6.25 The loss of the protected trees needs to be assessed against the need for the development. Whilst three protected trees would be lost and the long-term future of other trees might be threatened, there is a clear need for the development, which would bring a number of community benefits. Furthermore, new planting would go some way to mitigating the loss of the trees. It is, therefore, considered that the benefits that the proposal would bring outweigh the negative impact on the existing trees on the western side of the site.

6. Impact On Brampton Conservation And The Listed Croft House

- 6.26 The Brampton Conservation Area adjoins the site to the west, as does the listed Croft House. The proposed building would be of an acceptable scale and design and it would be partially screened in views from the conservation area by a number of existing retained mature trees, which would also lie between the new building and the listed Croft House. The proposal would not, therefore, have an adverse impact on the Brampton Conservation Area or the listed Croft House.

7. Highway Matters

- 6.27 The development would use the existing access to the Irthing Centre off Union Lane, which would be extended further into the site. Fourteen additional car parking spaces would be created within the site and this is sufficient given the proposed use. Both the proposed access arrangements

and level of car parking proposed are acceptable to County Highways.

8. Biodiversity Issues

- 6.28 A Nature Conservation/ Ecological Statement and Bat Report has been submitted with the application. This includes a Mitigation Strategy for bats, which suggests that access should be created to the ridge and under slates in the new building and that three bat boxes should be sited on trees on both the western and southern boundaries. These mitigation measures, which would be enforced by condition, would ensure that the proposal does not have an adverse impact on bats.

Conclusion

- 6.29 The proposal is acceptable in principle and there is a clear need for extra care housing in the Brampton area. The scale and design of the proposal would be acceptable and it would not have a significant adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance. The proposal would not have an adverse impact on the Brampton Conservation Area or the listed Croft House. The proposed access and parking arrangements would be acceptable. Whilst the proposal would have an adverse impact on existing protected trees, three of which would be removed, it is considered that the benefits of the proposal would outweigh the negative impact of the proposal on the existing trees. In all aspects, the proposal is compliant with the relevant planning policies contained within the Carlisle District Local Plan 2001-2016.

7. Planning History

- 7.1 In March 2011, planning permission was granted for the erection of new external timber decking with perimeter fencing 2.4m high; replacement of 3 no. existing single glazed doors with new aluminium clad timber doors; minor internal alterations and re-decoration; concrete ramp to external play area (10/1135).

8. Recommendation:

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
1. the submitted planning application form;
 2. the Location and Block Plan (drawing reference 10/1987/90A) received

30th January 2013;

3. the Proposed Block Plan (drawing reference 10/1987/131A) received 30th January 2013;
4. the Existing Upper Ground Floor Plan (drawing reference 10/1987/91) received 26th November 2012;
5. the Detailed Floor Plans (drawing reference 10/1987/124E) received 26th November 2012;
6. the Proposed Lower Ground Floor Plan (drawing reference 10/1987/120K) received 26th November 2012;
7. the Proposed Upper Ground Floor Plan (drawing reference 10/1987/121K) received 14th February 2013;
8. the Proposed First Floor Plan (drawing reference 10/1987/122H) received 26th November 2012;
9. the Proposed Roof Plan (drawing reference 10/1987/132) received 26th November 2012;
10. the Proposed Elevations/Sections (drawing reference 10/1987/129F) received 26th November 2012;
11. the Proposed Elevations/Sections (drawing reference 10/1987/130E) received 26th November 2012;
12. the Proposed Elevations/Sections (drawing reference 10/1987/123H) received 26th November 2012;
13. the Design, Access and Sustainability Statement received 26th November 2012;
14. the Transport Statement received 26th November 2012;
15. the Desk Top Study for Contamination received 26th November 2012;
16. the Nature Conservation/Ecological Statement and Bat Report received 26th November 2012;
17. the Pre-development Arboricultural Report received 6th December 2012;
18. the Pre-development Tree Report - Addendum received 29th January 2013;
19. the Notice of Decision; and
20. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure a satisfactory external appearance for the completed development, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. No development approved by this permission shall be commenced until a scheme for the provision of surface water drainage works has been approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of surface water disposal and in accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

5. A detailed landscaping scheme must be submitted to and agreed in writing by the Local Planning Authority prior to the commencement of any works on site. The scheme must include a full specification of all proposed planting including the quantity, size, species, and positions or density of all material to be planted, how they will be protected and the proposed time of planting. The scheme must be implemented in full prior to the first occupation of the building. If within a period of 5 years from the date of planting any plant, or replacement for it is removed, uprooted, destroyed or dies or becomes, in the opinion of the Local Planning Authority, seriously damaged or defective, another plant of the same size and species as that originally planted shall be planted at the same place within the first planting season following the removal, uprooting, destruction or death of the original tree unless the Local Planning Authority gives its written consent to any variation.

Reason: To ensure a satisfactory landscaping scheme is incorporated into the development, in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

6. Prior to the commencement of development, a scheme of tree and hedge protection shall be submitted to and approved in writing by the Local Planning Authority Within the fenced off area:
No retained tree or hedgerow shall be cut down, uprooted, destroyed, pruned, cut or damaged in any manner within 3 years from the date of the occupation of the building for its permitted use, other than in accordance with the approved plans and particulars, without the prior written approval of the Local Planning Authority.
No fires shall be lit within 10 metres of the nearest point of the canopy of any retained tree.
No equipment, machinery or structure shall be attached to or supported by a retained tree.
No mixing of cement or use of other contaminating materials or substances

shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area. No alterations or variations to the approved works or tree protection schemes shall be made without prior written consent of the Local Planning Authority.

No alterations to the ground levels shall be made without prior written consent of the Local Planning Authority.

No stacking or storing of materials or the parking of vehicles shall be allowed.

The tree and hedge protection will be maintained to the satisfaction of the Local Planning Authority at all times.

Reason: To ensure that existing trees are protected in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

7. No development shall take place until an Arboricultural Method Statement, appropriate and specific to the approved scheme, to include details of all works within the root protection area, or crown spread whichever is greater, of any retained tree, has been submitted to and agreed in writing by the Local Planning Authority. Thereafter, all works shall be carried out and constructed in accordance with the approved details and shall not be varied without the written consent of the Local Planning Authority.

Reason: To ensure that existing trees are protected in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

8. The access and parking/turning facilities, shown on the Plan, shall be substantially met before any building work commences on site so that constructional traffic can park and turn clear of the highway. Once complete they shall be retained capable of use thereafter and shall not be altered without the prior consent of the Local Planning Authority.

Reason: The carrying out of building works without the provision of these facilities is likely to lead to inconvenience and danger to road users. Retention of the facilities ensures an appropriate standard of parking and access for as long as the use continues and to support Local Transport Policies LD5, 7 & 8.

9. Before any building work takes place, a plan shall be submitted for the prior approval of the Local Planning Authority reserving adequate land for the parking of vehicles/plant, storage of materials and office/welfare accommodation associated with the construction operations and this land, including vehicular access thereto, shall be used for or be kept available for these purposes at all times until completion of the construction works.

Reason: The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

10. The access roads, parking areas etc shall be designed, constructed drained

and lit, to the satisfaction of the Local Planning Authority and in this respect full engineering details, shall be submitted for approval before work commences on site. No work shall be commenced until a full specification has been approved.

Reason: To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

11. The use of the care facilities, shall not be commenced until the access road and associated hardstanding areas have been constructed in accordance with the approved plan. All such provision shall be retained, capable of use when the development is complete and shall not be removed or altered thereafter, without the prior consent of the Local Planning Authority.

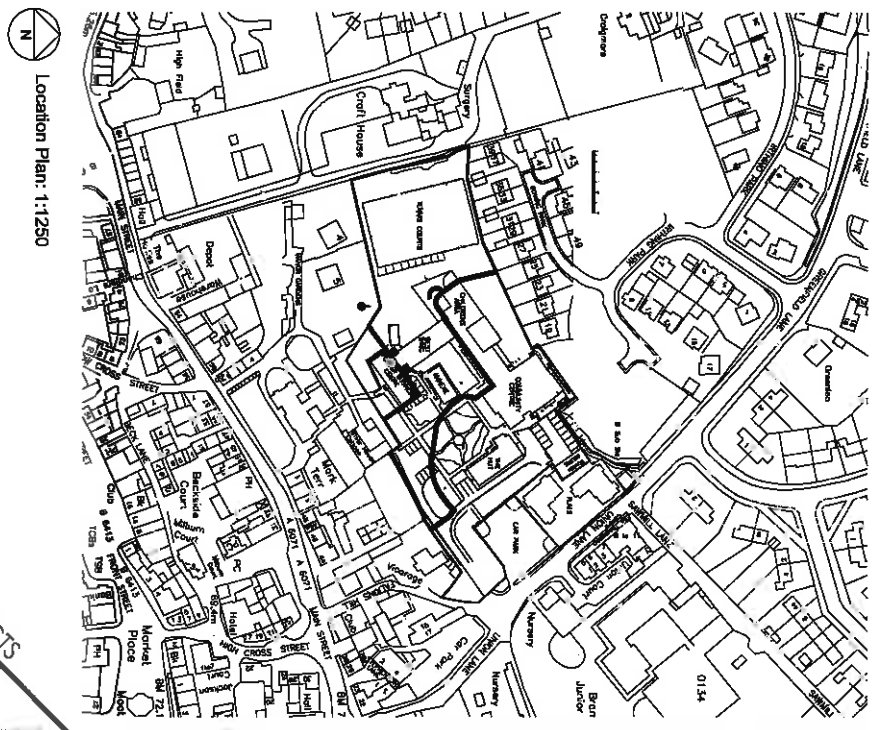
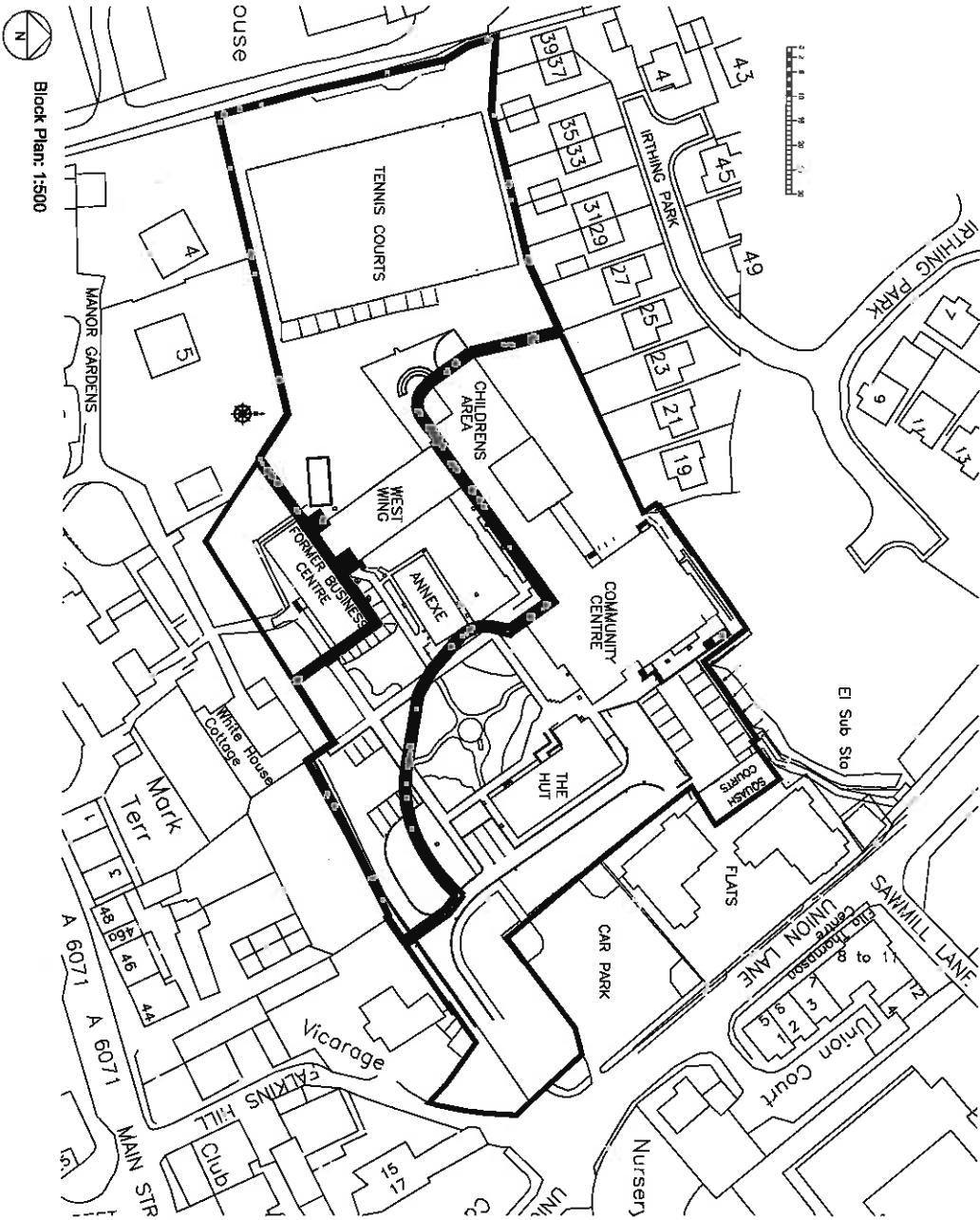
Reason: To ensure a minimum standard of access and public safety/security when the development is brought into use and to support Local Transport Plan Policies LD5, LD7 and LD8.

12. Prior to the commencement of development the applicant shall submit, for approval in writing by the Local Planning Authority, details of the proposed mitigation measures in relation to bats. These shall include details of the design and siting of the proposed bat boxes. The development shall then be carried out in strict accordance with these mitigation measures.

Reason: In order to protect bats, in accordance Policy CP2 of the Carlisle District Local Plan 2001-2016.

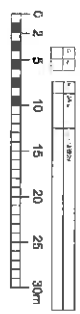
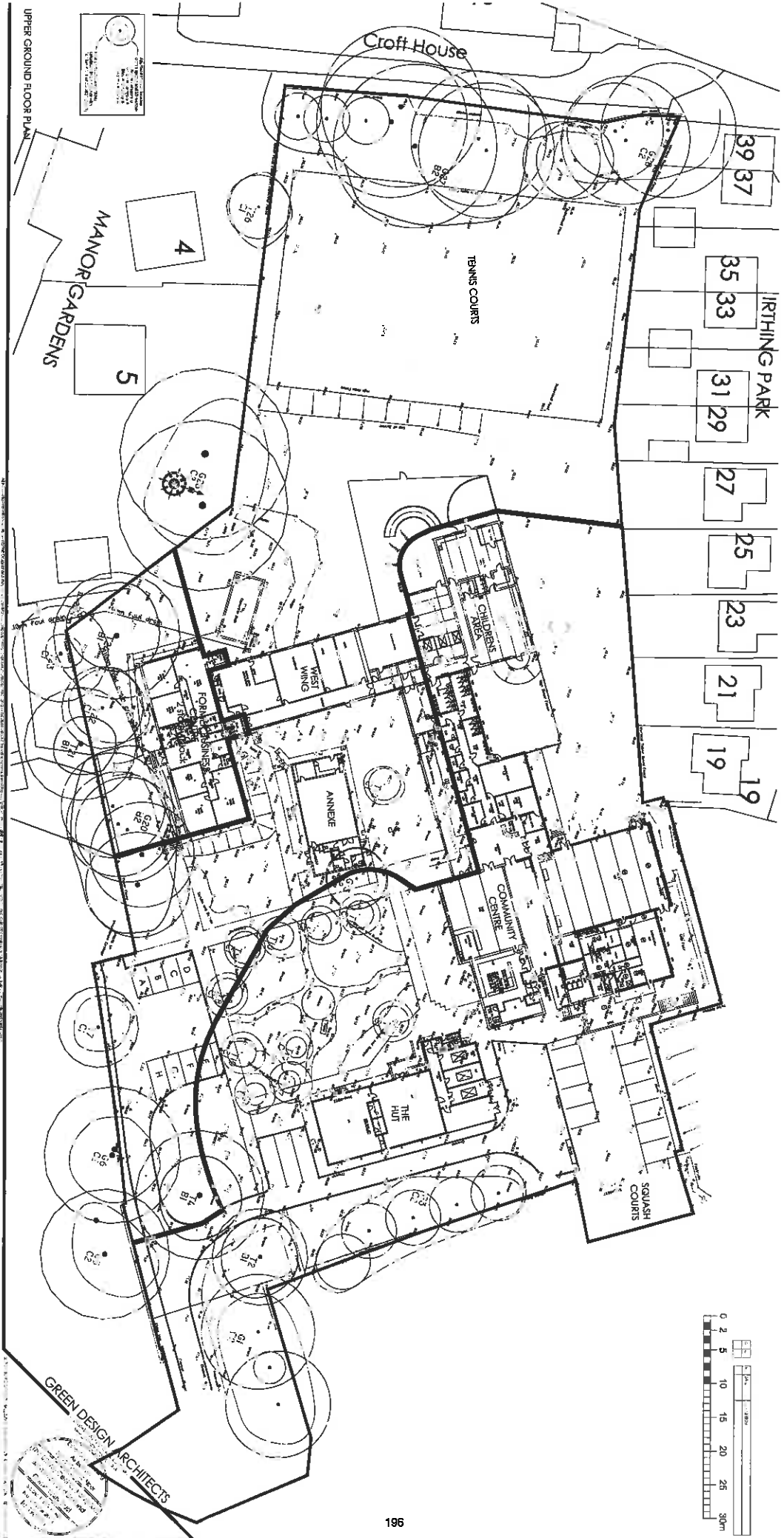
13. The proposed building shall be used for extra care housing only and for no other purpose.

Reason: To protect the amenity of the area, in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.



2	3
4	5

GREEN DESIGN ARCHITECTS
 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000



more

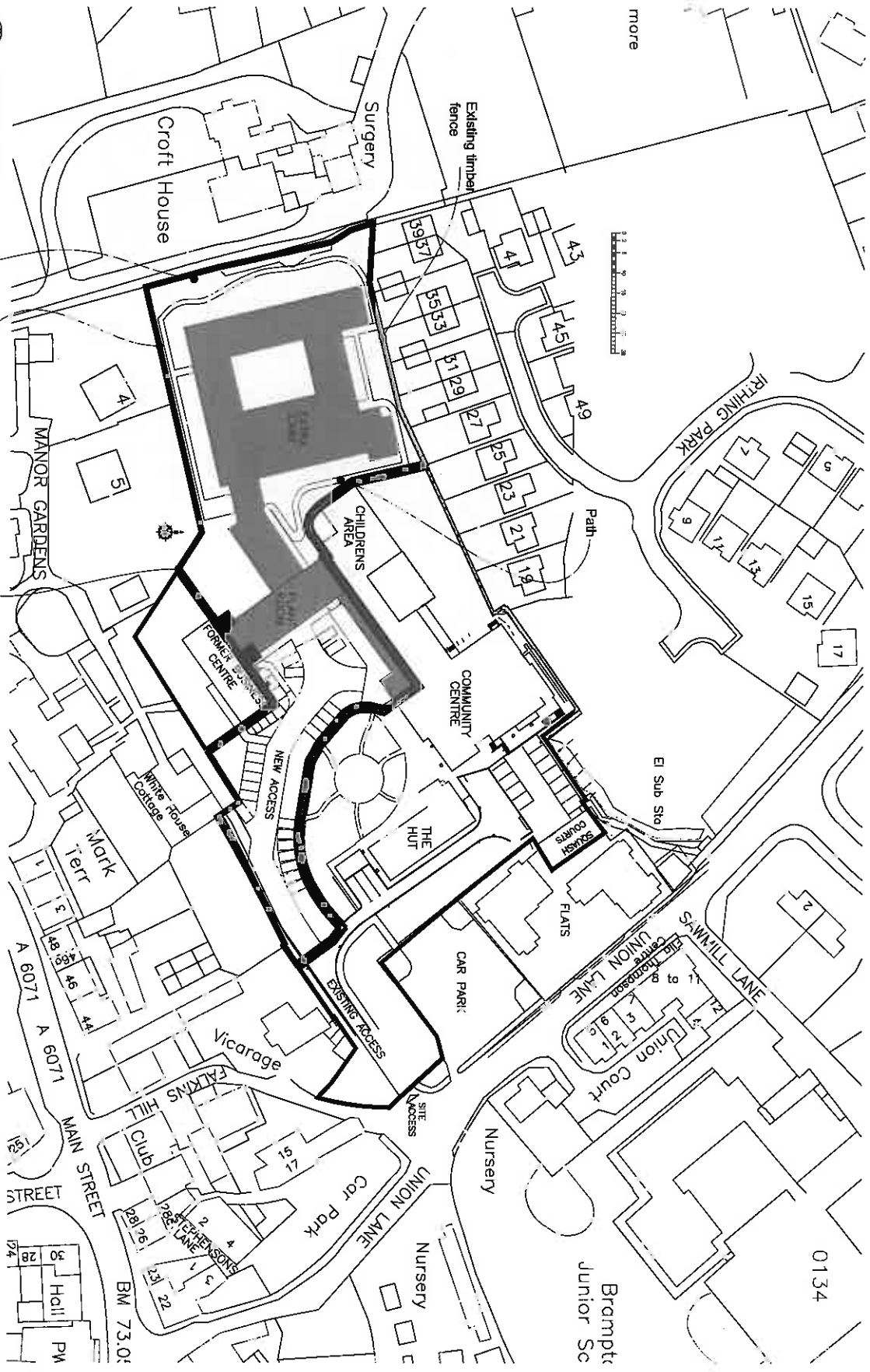


Block Plan: 1:500

Existing stone wall and Post and Wire security fence

Existing timber fence

New timber fence

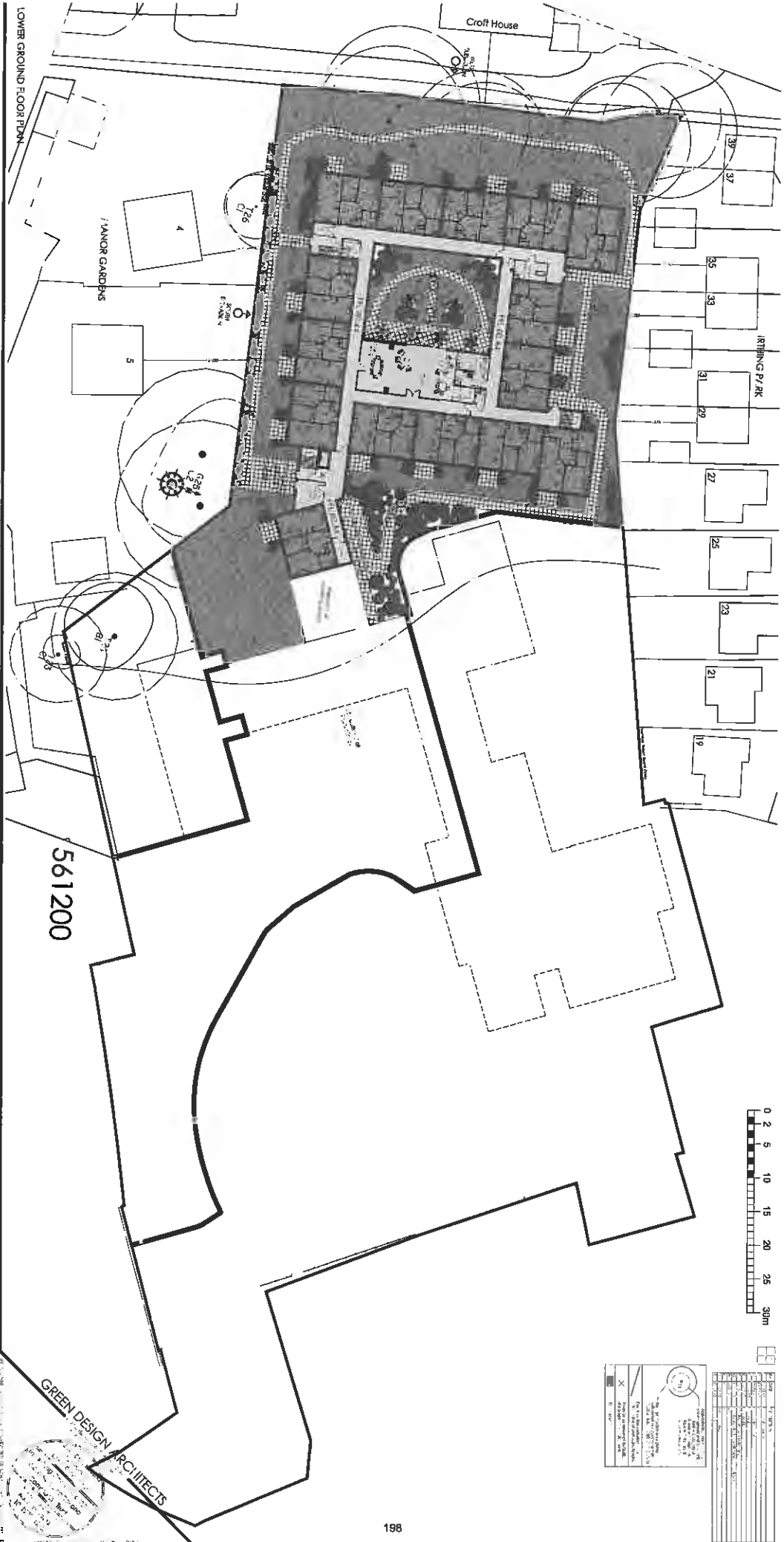


Symbol	Description
[Symbol]	[Description]
[Symbol]	[Description]
[Symbol]	[Description]

GREEN DESIGN ARCHITECTS

1001 Old London Road, London SE16 6JF
 Tel: 020 7799 1900
 Fax: 020 7799 1901
 Email: info@green-design.com
 www.green-design.com

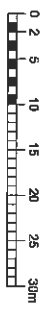




LOWER GROUND FLOOR PLAN

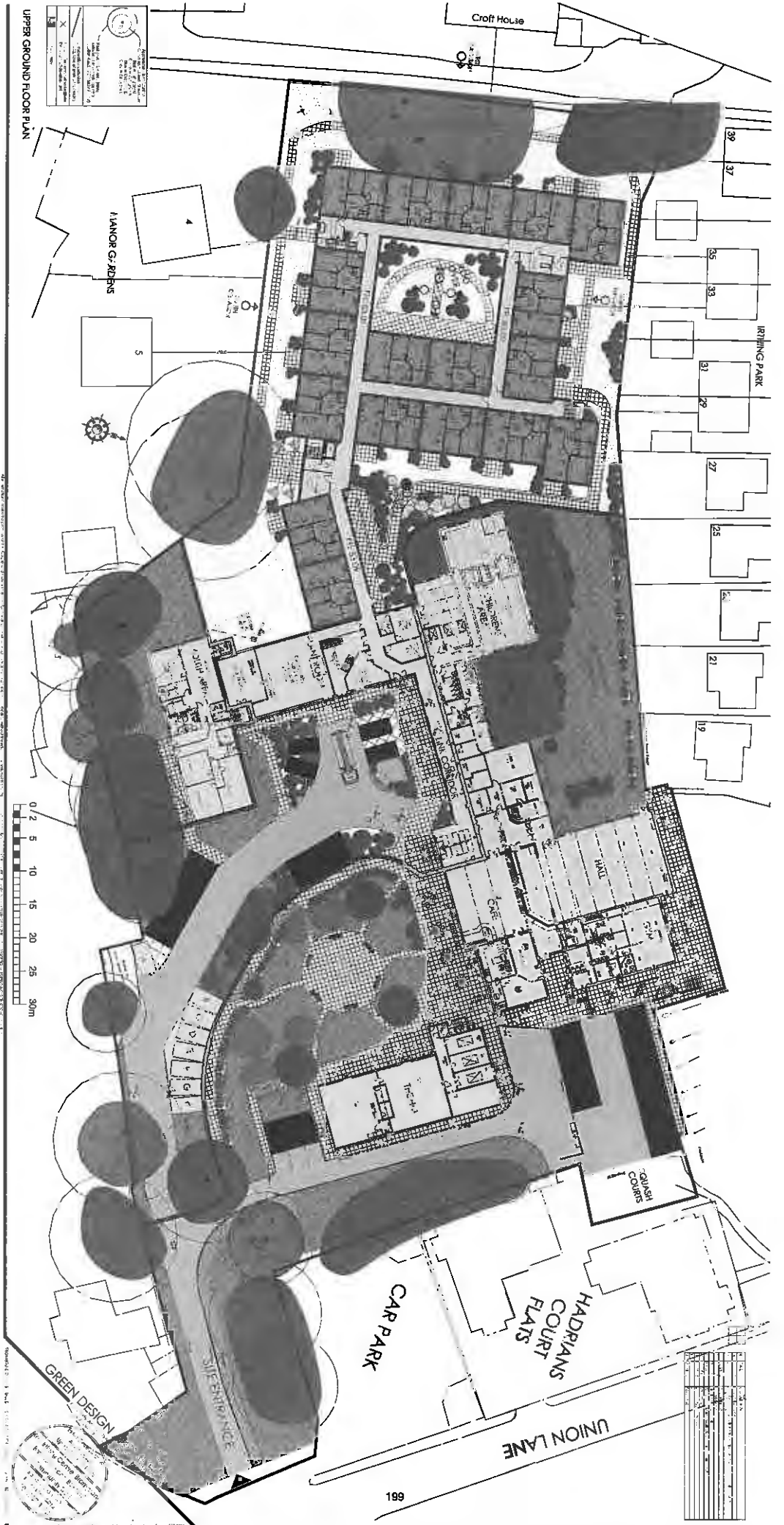
561200

GREEN DESIGN ARCHITECTS



1	1:100	1/10/2011
2	1:100	1/10/2011
3	1:100	1/10/2011
4	1:100	1/10/2011
5	1:100	1/10/2011
6	1:100	1/10/2011
7	1:100	1/10/2011
8	1:100	1/10/2011
9	1:100	1/10/2011
10	1:100	1/10/2011
11	1:100	1/10/2011
12	1:100	1/10/2011
13	1:100	1/10/2011
14	1:100	1/10/2011
15	1:100	1/10/2011
16	1:100	1/10/2011
17	1:100	1/10/2011
18	1:100	1/10/2011
19	1:100	1/10/2011
20	1:100	1/10/2011
21	1:100	1/10/2011
22	1:100	1/10/2011
23	1:100	1/10/2011
24	1:100	1/10/2011
25	1:100	1/10/2011
26	1:100	1/10/2011
27	1:100	1/10/2011
28	1:100	1/10/2011
29	1:100	1/10/2011
30	1:100	1/10/2011
31	1:100	1/10/2011
32	1:100	1/10/2011
33	1:100	1/10/2011
34	1:100	1/10/2011
35	1:100	1/10/2011
36	1:100	1/10/2011
37	1:100	1/10/2011

UPPER GROUND FLOOR PLAN



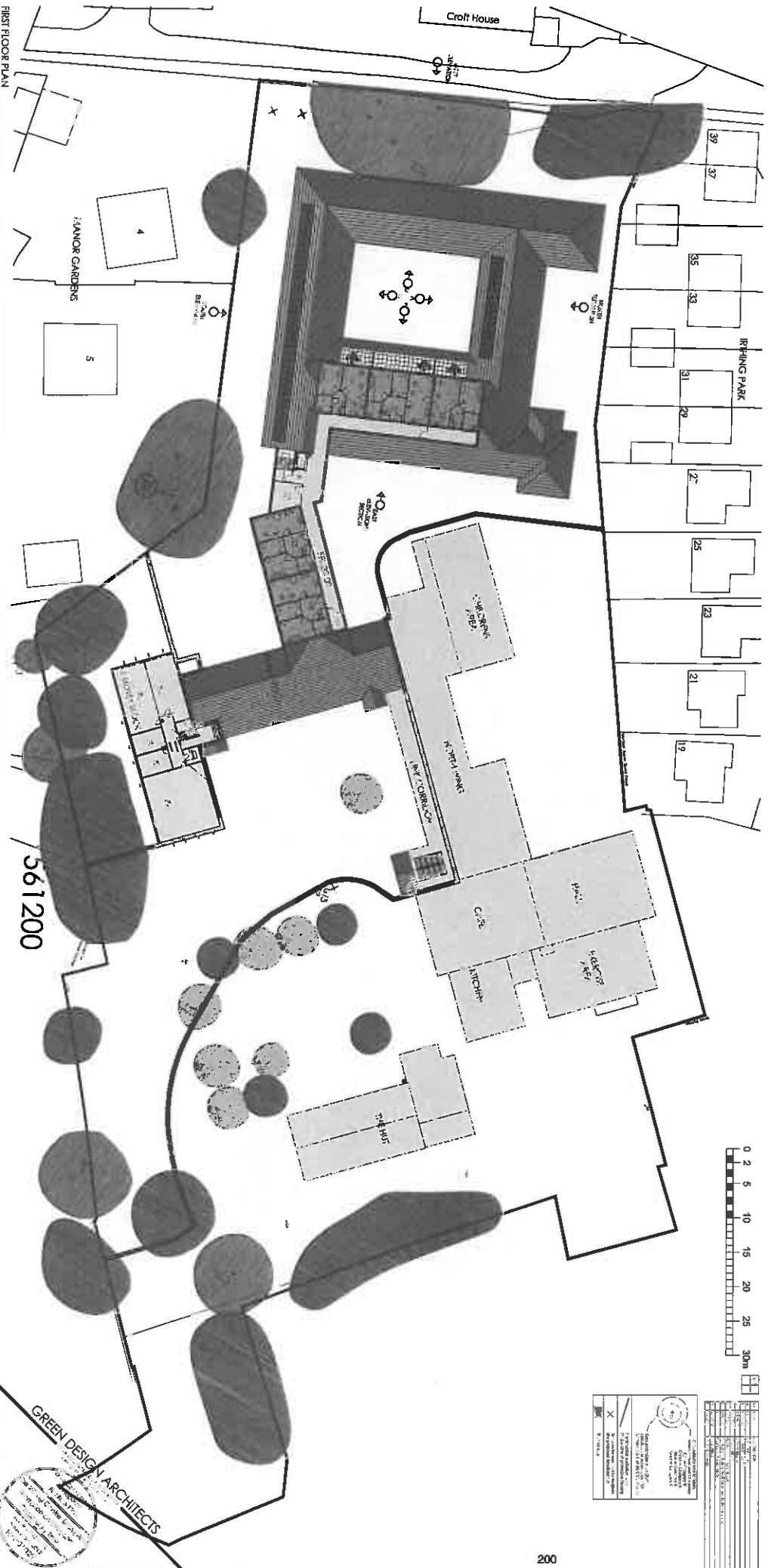
Craft House

MANOR GARDENS

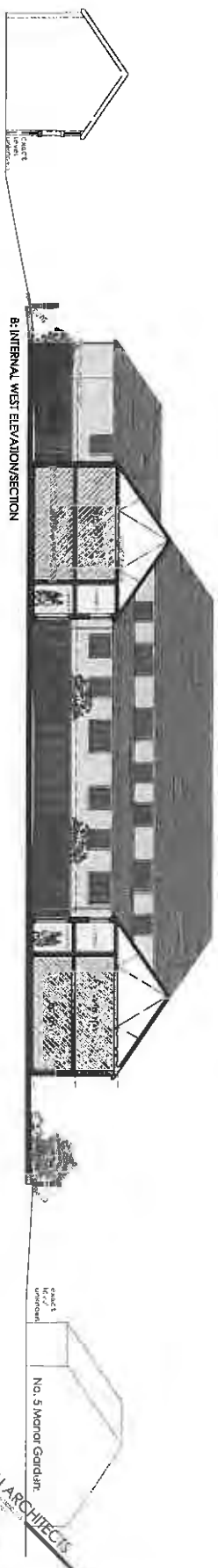
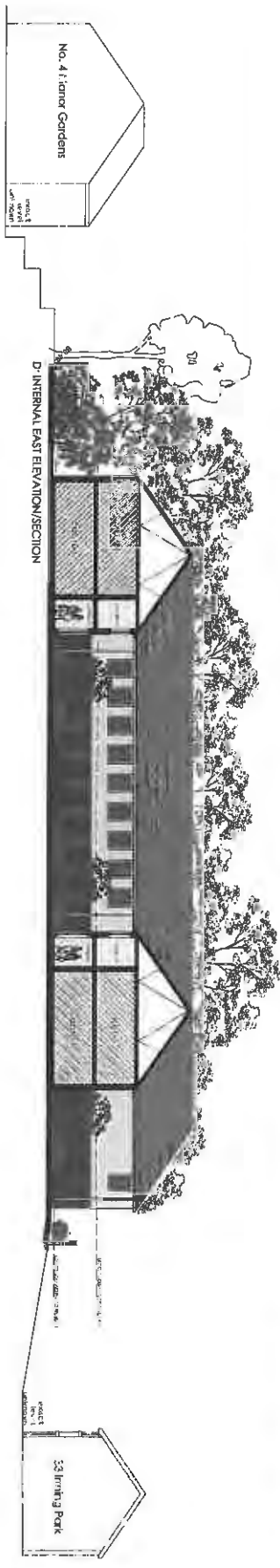
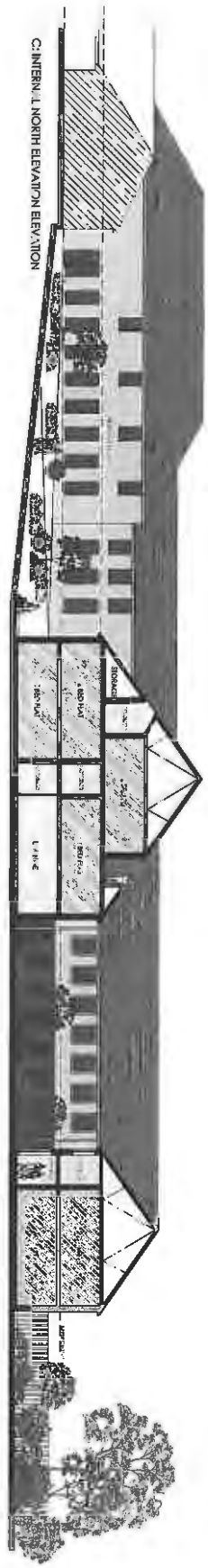
RIFLING PARK

561200

GREEN DESIGN ARCHITECTS



1	1:100	1/10/2010
2	1:100	1/10/2010
3	1:100	1/10/2010
4	1:100	1/10/2010
5	1:100	1/10/2010
6	1:100	1/10/2010
7	1:100	1/10/2010
8	1:100	1/10/2010
9	1:100	1/10/2010
10	1:100	1/10/2010
11	1:100	1/10/2010
12	1:100	1/10/2010
13	1:100	1/10/2010
14	1:100	1/10/2010
15	1:100	1/10/2010
16	1:100	1/10/2010
17	1:100	1/10/2010
18	1:100	1/10/2010
19	1:100	1/10/2010
20	1:100	1/10/2010
21	1:100	1/10/2010
22	1:100	1/10/2010
23	1:100	1/10/2010
24	1:100	1/10/2010
25	1:100	1/10/2010
26	1:100	1/10/2010
27	1:100	1/10/2010
28	1:100	1/10/2010
29	1:100	1/10/2010
30	1:100	1/10/2010
31	1:100	1/10/2010
32	1:100	1/10/2010
33	1:100	1/10/2010
34	1:100	1/10/2010
35	1:100	1/10/2010
36	1:100	1/10/2010
37	1:100	1/10/2010
38	1:100	1/10/2010
39	1:100	1/10/2010
40	1:100	1/10/2010
41	1:100	1/10/2010
42	1:100	1/10/2010
43	1:100	1/10/2010
44	1:100	1/10/2010
45	1:100	1/10/2010
46	1:100	1/10/2010
47	1:100	1/10/2010
48	1:100	1/10/2010
49	1:100	1/10/2010
50	1:100	1/10/2010



NO.	DESCRIPTION	DATE
1	PRELIMINARY	10/10/11
2	REVISED	11/15/11
3	REVISED	12/15/11
4	REVISED	01/15/12
5	REVISED	02/15/12
6	REVISED	03/15/12
7	REVISED	04/15/12
8	REVISED	05/15/12
9	REVISED	06/15/12
10	REVISED	07/15/12
11	REVISED	08/15/12
12	REVISED	09/15/12
13	REVISED	10/15/12
14	REVISED	11/15/12
15	REVISED	12/15/12
16	REVISED	01/15/13
17	REVISED	02/15/13
18	REVISED	03/15/13
19	REVISED	04/15/13
20	REVISED	05/15/13
21	REVISED	06/15/13
22	REVISED	07/15/13
23	REVISED	08/15/13
24	REVISED	09/15/13
25	REVISED	10/15/13
26	REVISED	11/15/13
27	REVISED	12/15/13
28	REVISED	01/15/14
29	REVISED	02/15/14
30	REVISED	03/15/14
31	REVISED	04/15/14
32	REVISED	05/15/14
33	REVISED	06/15/14
34	REVISED	07/15/14
35	REVISED	08/15/14
36	REVISED	09/15/14
37	REVISED	10/15/14
38	REVISED	11/15/14
39	REVISED	12/15/14
40	REVISED	01/15/15
41	REVISED	02/15/15
42	REVISED	03/15/15
43	REVISED	04/15/15
44	REVISED	05/15/15
45	REVISED	06/15/15
46	REVISED	07/15/15
47	REVISED	08/15/15
48	REVISED	09/15/15
49	REVISED	10/15/15
50	REVISED	11/15/15
51	REVISED	12/15/15
52	REVISED	01/15/16
53	REVISED	02/15/16
54	REVISED	03/15/16
55	REVISED	04/15/16
56	REVISED	05/15/16
57	REVISED	06/15/16
58	REVISED	07/15/16
59	REVISED	08/15/16
60	REVISED	09/15/16
61	REVISED	10/15/16
62	REVISED	11/15/16
63	REVISED	12/15/16
64	REVISED	01/15/17
65	REVISED	02/15/17
66	REVISED	03/15/17
67	REVISED	04/15/17
68	REVISED	05/15/17
69	REVISED	06/15/17
70	REVISED	07/15/17
71	REVISED	08/15/17
72	REVISED	09/15/17
73	REVISED	10/15/17
74	REVISED	11/15/17
75	REVISED	12/15/17
76	REVISED	01/15/18
77	REVISED	02/15/18
78	REVISED	03/15/18
79	REVISED	04/15/18
80	REVISED	05/15/18
81	REVISED	06/15/18
82	REVISED	07/15/18
83	REVISED	08/15/18
84	REVISED	09/15/18
85	REVISED	10/15/18
86	REVISED	11/15/18
87	REVISED	12/15/18
88	REVISED	01/15/19
89	REVISED	02/15/19
90	REVISED	03/15/19
91	REVISED	04/15/19
92	REVISED	05/15/19
93	REVISED	06/15/19
94	REVISED	07/15/19
95	REVISED	08/15/19
96	REVISED	09/15/19
97	REVISED	10/15/19
98	REVISED	11/15/19
99	REVISED	12/15/19
100	REVISED	01/15/20

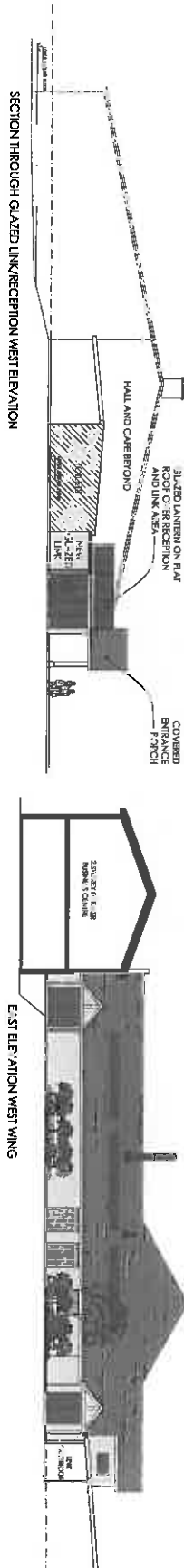
GREEN DESIGN ARCHITECTS
 1000 Peachtree Street, N.E.
 Atlanta, Georgia 30309
 Phone: 404.525.1234
 Fax: 404.525.1235
 Email: info@green-design.com
 Website: www.green-design.com



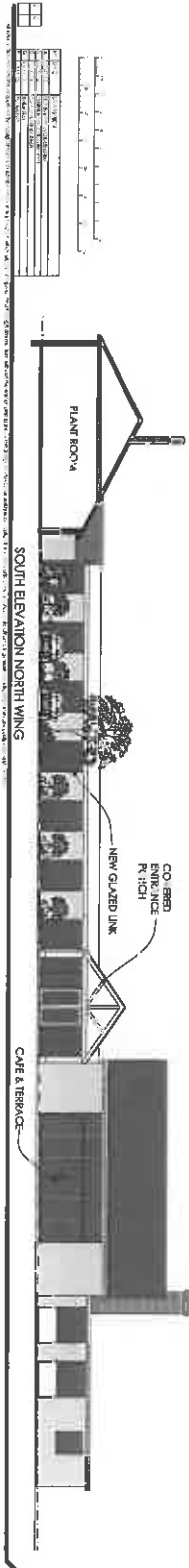
7: INTERNAL SOUTH ELEVATION SECTION



EAST ELEVATION SECTION

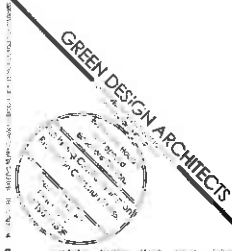


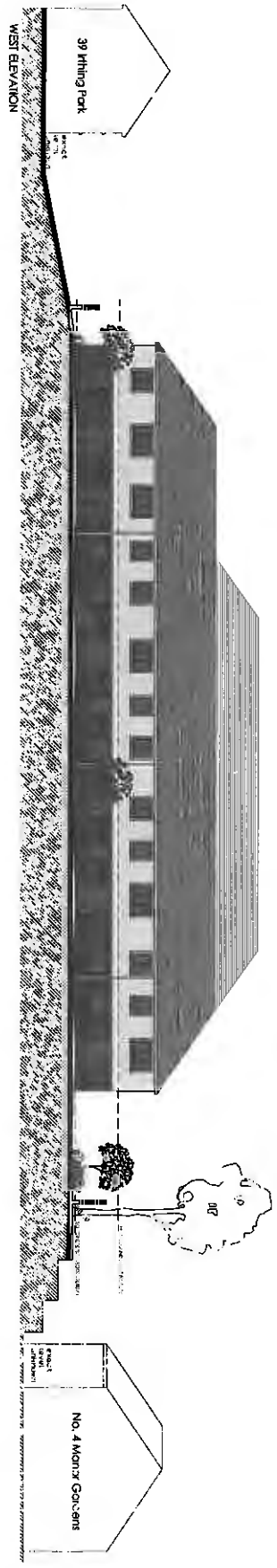
SECTION THROUGH GLAZED LINK/RECEPTION WEST ELEVATION



SOUTH ELEVATION NORTH WING

CAFE & TERRACE





Scale	1:50
Author	Green Design Architects
Client	Green Design Architects
Date	2018
Project	Green Design Architects
Sheet	1 of 1

GREEN DESIGN ARCHITECTS

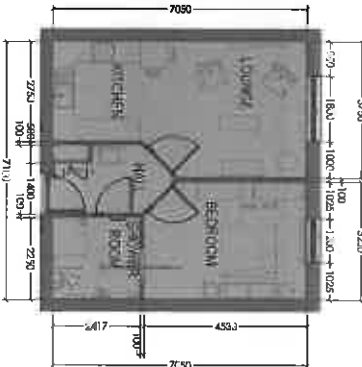
1000 10th Street, Suite 100, San Francisco, CA 94103
 Tel: 415.774.1111 | Fax: 415.774.1112
 www.greendesignarchitects.com



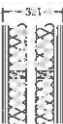
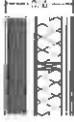
HOUSE TYPE A
2 BED 3 PERSON FLAT
64.86 SQ M
SINGLE ASPECT
 No. of each house type = 30



FLAT TYPE B
2 BED 3 PERSON FLAT
65 SQ M
DOUBLE ASPECT (CORNER)
 No. of each house type = 4



HOUSE TYPE C
1 BED 2 PERSON FLAT
50.05 SQ M
SINGLE ASPECT
 No. of each house type = 4



External Wall - External depends on external finish process and steel thickness may vary

• 12.5mm plasterboard
 • 75mm brickwork
 • 50mm clear cavity
 • 125mm brickwork
 • 12.5mm plasterboard
 • 50mm clear cavity
 • 125mm brickwork
 • 12.5mm plasterboard
 • 50mm clear cavity
 • 125mm brickwork
 • 12.5mm plasterboard

Internal Party Wall between dwellings

1. 12.5mm plasterboard
2. 75mm brickwork
3. 50mm clear cavity
4. 125mm brickwork
5. 12.5mm plasterboard
6. 50mm clear cavity
7. 125mm brickwork
8. 12.5mm plasterboard
9. 50mm clear cavity
10. 125mm brickwork
11. 12.5mm plasterboard
12. 50mm clear cavity
13. 125mm brickwork
14. 12.5mm plasterboard
15. 50mm clear cavity
16. 125mm brickwork
17. 12.5mm plasterboard
18. 50mm clear cavity
19. 125mm brickwork
20. 12.5mm plasterboard
21. 50mm clear cavity
22. 125mm brickwork
23. 12.5mm plasterboard
24. 50mm clear cavity
25. 125mm brickwork
26. 12.5mm plasterboard
27. 50mm clear cavity
28. 125mm brickwork
29. 12.5mm plasterboard
30. 50mm clear cavity
31. 125mm brickwork
32. 12.5mm plasterboard
33. 50mm clear cavity
34. 125mm brickwork
35. 12.5mm plasterboard
36. 50mm clear cavity
37. 125mm brickwork
38. 12.5mm plasterboard
39. 50mm clear cavity
40. 125mm brickwork
41. 12.5mm plasterboard
42. 50mm clear cavity
43. 125mm brickwork
44. 12.5mm plasterboard
45. 50mm clear cavity
46. 125mm brickwork
47. 12.5mm plasterboard
48. 50mm clear cavity
49. 125mm brickwork
50. 12.5mm plasterboard
51. 50mm clear cavity
52. 125mm brickwork
53. 12.5mm plasterboard
54. 50mm clear cavity
55. 125mm brickwork
56. 12.5mm plasterboard
57. 50mm clear cavity
58. 125mm brickwork
59. 12.5mm plasterboard
60. 50mm clear cavity
61. 125mm brickwork
62. 12.5mm plasterboard
63. 50mm clear cavity
64. 125mm brickwork
65. 12.5mm plasterboard
66. 50mm clear cavity
67. 125mm brickwork
68. 12.5mm plasterboard
69. 50mm clear cavity
70. 125mm brickwork
71. 12.5mm plasterboard
72. 50mm clear cavity
73. 125mm brickwork
74. 12.5mm plasterboard
75. 50mm clear cavity
76. 125mm brickwork
77. 12.5mm plasterboard
78. 50mm clear cavity
79. 125mm brickwork
80. 12.5mm plasterboard
81. 50mm clear cavity
82. 125mm brickwork
83. 12.5mm plasterboard
84. 50mm clear cavity
85. 125mm brickwork
86. 12.5mm plasterboard
87. 50mm clear cavity
88. 125mm brickwork
89. 12.5mm plasterboard
90. 50mm clear cavity
91. 125mm brickwork
92. 12.5mm plasterboard
93. 50mm clear cavity
94. 125mm brickwork
95. 12.5mm plasterboard
96. 50mm clear cavity
97. 125mm brickwork
98. 12.5mm plasterboard
99. 50mm clear cavity
100. 125mm brickwork

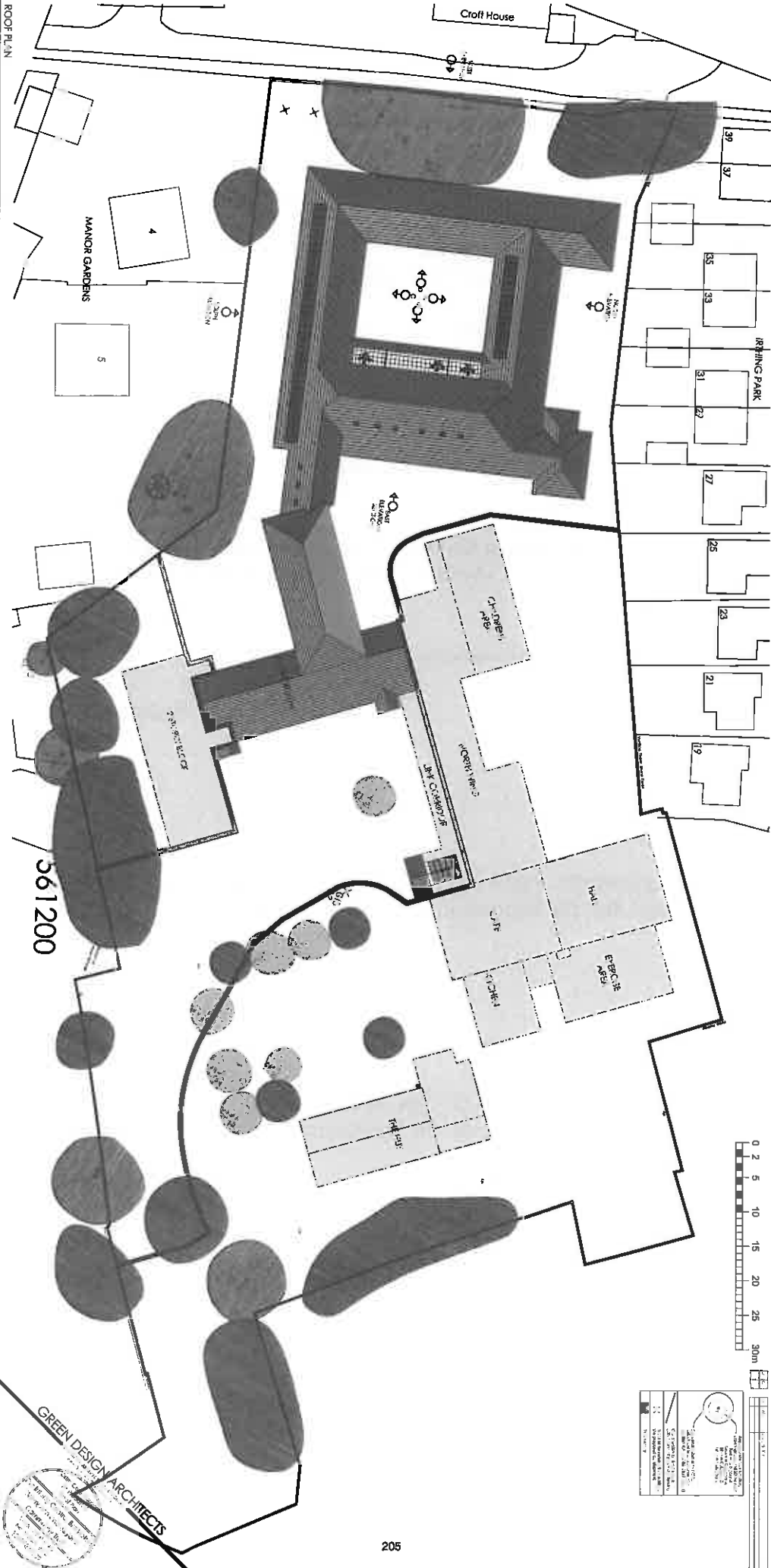
Typical wall constructions
 All wall details subject to final design

R	DATE	DESCRIPTION
A	12/05/12	General Issue
B	21/05/12	General Issue
C	21/05/12	General Issue
D	30/05/12	Dimensions to Construction
E	07/12	Dimensions to Construction

GREEN DESIGN ARCHITECTS
 CHURCH ROAD, ACTON, W3 7LJ
 www.greendesignarchitects.co.uk
 Extra Care Housing
 Detailed Floor Plans
 The Irving Centre, Brompton
 Brompton Community Ass.
 Scale 1:1250 - A2
 November 2011
 11/1987/124E

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S OFFICE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR DESTRUCTION OF ANY OF THE ABOVE DESCRIBED WORKS OR ANY OF THE ADJACENT PROPERTIES OR ANY OF THE ADJACENT PROPERTIES OR ANY OF THE ADJACENT PROPERTIES OR ANY OF THE ADJACENT PROPERTIES.

ROOF PLAN



561200



Project Name	561200
Client	Green Design Architects
Scale	1:100
Date	10/10/2010
Author	Green Design Architects
Check	Green Design Architects
Drawn	Green Design Architects
Project No.	561200
Sheet No.	1/1

GREEN DESIGN ARCHITECTS

100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200

SCHEDULE A: Applications with Recommendation

12/1040

Item No: 07

Date of Committee: 08/03/2013

Appn Ref No:
12/1040

Applicant:
Riverside Carlisle

Parish:

Date of Receipt:
09/01/2013

Agent:
Ainsley Gommon
Architects

Ward:
Botcherby

Location:

174 - 204 Borland Avenue, Botcherby, Carlisle,
Cumbria, CA1 2TJ

Proposal: Proposed Demolition Of 16no. Two Storey Maisonette Flats;
Redevelopment Of The Site With 11no. Houses And Bungalows For
Social Rent

REPORT

Case Officer: Richard Maunsell

1. Recommendation

- 1.1 It is recommended that this application is approved subject to a legal agreement and the imposition of planning conditions.

2. Main Issues

- 2.1 Principle Of Development
- 2.2 Scale, Layout And Design Of The Development
- 2.3 The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents
- 2.4 Landscaping And Tree Issues
- 2.5 Affordable Housing
- 2.6 Crime And Disorder
- 2.7 Open Space
- 2.8 Highway Issues
- 2.9 Flooding And Drainage Issues
- 2.10 Contamination Issues
- 2.11 Ecology

3. Application Details

The Site

- 3.1 The 0.25 hectare site is located at the western end of Borland Avenue, Carlisle and is currently occupied by 16no. 2 storey 1 bedroom maisonette flats. The buildings are arranged in a 'u-shape' with access and parking to the front.
- 3.2 The site is flanked by 2 storey houses to the north and east with a pair of bungalows more immediately to the north and to the west. The Crown Bevcan Ltd. factory is situated on the opposite side of Borland Avenue to the south. A public footpath links Borland Avenue with Ennerdale Avenue immediately adjacent to the site to the west. An area of open land is situated further to the west where there are sports facilities before leading to Melbourne Park.
- 3.3 A number of mature trees are located both within and surrounding the site. There is a significant change in levels across the site, with the land rising from the northern to the southern boundaries of the site.
- 3.4 The site is located within a Primary Residential Area as designated within the Carlisle District Local Plan (CDLP) 2001-2016.

The Proposal

- 3.5 The application seeks consent for the demolition of the existing buildings and the erection of 8 houses and 2 bungalows for social rent and shared ownership by Riverside Housing Association. The houses would comprise of 2 blocks that would directly face Borland Avenue whilst the 3 bungalows would be linked and angled onto Borland Avenue with the frontage facing the public footpath.
- 3.6 The proposed dwellings would be constructed using a mixture of facing brick with some render and concrete tiled roofs. They have been designed to achieve Level 3 of the Code for Sustainable Homes, a requirement of the Homes and Communities Agency, which is financially supporting the development. The scheme would not fully comply with Lifetime Homes although some aspects of the design would. The bungalows, however, would be fully compliant.
- 3.7 All of the dwellings would have private rear gardens with direct street access for bins and recycling. To the street frontages the properties would have manageable private garden spaces screened by some landscaping with access paths and in most cases incurtilage car parking. The boundary treatment would consist of a mixture of timber close boarded fences and hedging at a height of 1.8m high between properties. Front boundaries would be enclosed by a 0.45 metre high knee rail fence and planting. The bungalows adjacent to the public footpath would be enclosed 0.9 metre high metal railings.

- 3.8 Vehicular and pedestrian access to the dwellings would be provided from Borland Avenue as well as pedestrian access via the public footpath.
- 3.9 There would be 15 car parking spaces provided across the site with a further 2 on-street visitor parking spaces.
- 3.10 The application is accompanied by a Schedule of Materials, Planning Support Document, an Ecology Report, a pre-development Arboricultural Report, a Geotechnical and Ground Contamination Desk Top Assessment, and details of consultation responses from both statutory consultees and the public, which were provided in respect of a pre-application and consultation exercise.

4. Summary of Representations

- 4.1 This application has been advertised by means of a site notice. In response, 1 letter of comment has been received which raises no objection to the proposal but requests that the mature trees on the site are retained and protected.
- 4.2 The Ward Councillor has verbally raised concerns that are summarised as follows:
1. the proposal represents overdevelopment of the site;
 2. the relationship with the bungalows to the rear is inappropriate and overbearing;
 3. the proposal will result in the loss of on-street parking;
 4. the close proximity of the houses to each other and the possible timber construction may result in a fire hazard;
 5. the boundary treatment is inappropriate;
 6. the properties are too close to the public footpath and the proximity will result in anti-social behaviour and an increased fear of crime;
 7. there are no 1 bedroom units proposed on the site

5. Summary of Consultation Responses

Cumbria County Council - (Econ. Dir. Highways & Transportation): - no objection subject to the imposition of conditions;

Ramblers Association: - comments awaited;

Green Spaces - Countryside Officer: - comments awaited;

Cumbria County Council - (Highway Authority - Footpaths): - no objection. Public Footpath 109218 runs adjacent to the site and must not be obstructed during or after the development process;

Cumbria Constabulary - North Area Community Safety Unit: - the application complies with Policy CP17 of the Local Plan;

Natural England: - no objection;

Northern Gas Networks: - no objection;

Local Environment - Drainage Engineer: - comments awaited;

United Utilities: - no objection. The applicant should investigate whether the surface water can be managed without a connection to the mains sewer.

6. Officer's Report

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that applications for planning permission are determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise. In respect of this application, the National Planning Policy Framework (NPPF) together with Policies CP2, CP3, CP5, CP6, CP12, CP15, CP17, H1, H2, LC8, LE27, LE29 and T1 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:

1. Principle Of Development

6.2 The application site is situated within an extensive area that is identified as a Primary Residential Area in the adopted Carlisle District Local Plan. As such, the principle of residential development is acceptable, subject to compliance with the criteria identified in Policy H2 and other relevant Local Plan policies.

6.3 Members will note that the current buildings comprise of 1 bedroom maisonettes. Whilst there is a demand locally for the provision of 1 bedroom properties, a fact which has been confirmed by the applicant, it is further stated that there is greater need for 2 and 3 bedroom family housing. Riverside is the applicant and as a Registered Social Landlord, it is for them to determine the appropriate form of accommodation to meet the current demand. It would be inappropriate for the planning system to refuse the application on the lack of provision of 1 bedroom properties.

2. Scale, Layout And Design Of The Development

6.4 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policy CP5 of the Local Plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. Development of this frontage site within the urban area will have a significant impact on the character of the area unless it is sympathetically designed.

6.5 The proposed development is well laid out and will compliment the existing housing development within Botcherby. There are a range of house types,

including semi-detached, detached and terraces of three properties, both single storey and two storey, which incorporate a range of finishes, helping to create a visually interesting development. The dwellings incorporate reasonably sized rear gardens that are comparable to the size of the units that they serve, thereby ensuring that the development does not appear cramped or overdeveloped.

- 6.6 Soft landscaping has been incorporated into the scheme, with trees shrubs and hedging all being planted. The mature trees present around the site are to be retained.
- 6.7 The design of the houses includes sustainable elements that will improve the energy efficiency of the dwellings. Each property has at least 1 dedicated parking space.
- 6.8 In light of the above, the scale, layout and design of the proposals are acceptable.

3. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents

- 6.9 The reuse of the site for residential use is acceptable. The ridge of the dwellings would be comparable and in keeping with the adjacent 2 storey houses directly adjacent to the site. The view of the site will undoubtedly alter from the neighbouring properties; however, the scale siting and design mean that the living conditions of the occupiers of that property will not be compromised through loss of light, loss of privacy or over dominance.
- 6.10 Given the orientation of the application site with adjacent properties, it is not considered that the living conditions of the occupiers would suffer from loss of privacy or unacceptable levels of noise or disturbance. The development would not result in an overall loss of daylight or sunlight due to the distances involved between the application site and the residential properties.
- 6.11 As the proposal involves the introduction of windows that face the neighbouring property, it is appropriate to consider the development against the Supplementary Planning Document "Achieving Well Designed Housing". It requires that a distance of 21 metres is provided between primary windows. The proposed building would be sited adjacent to residential properties; however, there would be no conflict with the minimum distances required by the SPD.

4. Landscaping And Tree Issues

- 6.12 The application is accompanied by a Pre-Development Arboricultural Report which shows that 8 of the existing 14 trees on the site would be retained and protected during development by appropriate protective barriers. It would be appropriate to enforce this by way of a planning condition to ensure that these barriers are erected and retained for the duration of the development.
- 6.13 In order to offset the loss of the existing trees, the applicant has indicated that

- 6.24 The subsequent development would be the subject of an application under the Building Regulations which would ensure, amongst other things, that the scheme took proper account of construction methods and fire issues.
- 6.25 Article 8 and Article 1 Protocol 1 of the Humans Rights Act are relevant but the impact of the development in these respects would be minimal and the separate rights of the individuals under this legislation will not be prejudiced. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

Conclusion

- 6.26 In overall terms, the principle of the development is acceptable. The scale, layout and design of the proposals are acceptable and the development would not have an adverse impact on the surrounding area. The dwellings could be accommodated on the site without detriment to the living conditions of the neighbouring properties through loss of light, privacy or over dominance. Adequate amenity space and car parking provision would be available to serve the dwellings. In all aspects the proposals are considered to be compliant with the objectives of the relevant Local Plan policies.

7. Planning History

- 7.1 Planning permission was granted in 1993 for single storey extensions to form new entrances/ internal alterations to form additional bedrooms for 190-196 Borland Avenue.
- 7.2 An application for advertisement consent is currently being considered for a signboard for proposed development under application 12/1041.

8. Recommendation: Grant Subject to S106 Agreement

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
1. the Planning Application Form received 19th December 2012;
 2. the Site Location Plan received 19th December 2012 (Drawing no. 1384-SI-01);
 3. the Existing Strip Elevation received 19th December 2012 (Drawing no. 1384-SI-04);
 4. the Proposed Site Layout received 21st December 2012 (Drawing no. 1384-SI-07 Rev A);

5. the Topographical Survey received 19th December 2012 (Drawing no. E2784/01/A);
6. the Block A – Plans And Elevations received 19th December 2012 (Drawing no. 1384-PL-01);
7. the Block B – Plans And Elevations received 19th December 2012 (Drawing no. 1384-PL-02);
8. the Block C – Plans And Elevations received 19th December 2012 (Drawing no. 1384-PL-03);
9. the Proposed Site Strip Elevation received 19th December 2012 (Drawing no. 1384-SI-08);
10. the Proposed External Works Details Sheet 01 received 19th December 2012 (Drawing no. 1384-SI-12.01);
11. the Proposed External Works Details Sheet 02 received 19th December 2012 (Drawing no. 1384-SI-12.02);
12. the Proposed Soft Landscape Layout received 19th December 2012 (Drawing no. 1384-SI-11);
13. the Proposed External Works Layout received 19th December 2012 (Drawing no. 1384-SI-10);
14. the Planning Support Statement received 19th December 2012;
15. the Phase 1 Desk Study received 19th December 2012;
16. the Landscape Specification received 19th December 2012;
17. the Arboricultural Report & Impact Assessment & Method Statement received 7th January 2013;
18. the Extended Phase 1 Habitat Survey received 19th December 2012;
19. the Notice of Decision;
20. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the works harmonise as closely as possible with the character and appearance of the area in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. Details shall be submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved in writing by the Local Planning Authority before any site works commence. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the works harmonise as closely as possible with the character and appearance of the area in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons

following the occupation of the building or the completion of the development, whichever is the sooner, and maintained thereafter to the satisfaction of the Council; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. In the event of trenches or excavations exposing tree roots of 50mm/2 inches diameter or more, these should be carefully retained and protected by suitable measures including (where otherwise unavoidable) bridging trenches. No severance of tree roots 50mm/2 inches or more in diameter shall be undertaken without prior notification to, and the subsequent approval of the local planning authority and where such approval is given, the roots shall be cut back to a smooth surface. Prior to the commencement of development, protective fencing shall be erected around the canopy areas of the retained trees identified in the Arboricultural Report & Impact Assessment & Method Statement received 7th January 2013, and no machinery or vehicles shall be parked within, or materials stored, dumped or spilled within that area.

Reason: To protect trees and hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

7. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained to the specification of the Local Planning Authority.

Reason: In the interests of highway safety and to support Local Transport Plan Policies LD5, L& and LD8.

8. The development shall not be occupied until the vehicular access and parking requirements have been constructed in accordance with the approved plan and brought into use. These facilities shall be retained and be capable of use at all times thereafter and shall not be removed or altered without the prior written consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies LD5, LD7 and LD8.

9. The dwellings shall not be occupied until surface water drainage works have been implemented in accordance with details that have been submitted to and approved in writing by the Local Planning Authority. Before these details are submitted an assessment shall be carried out of the potential for disposing of surface water by means of a sustainable drainage system in

accordance with the principles set out in Annex F of PPS25 (or any subsequent version), and the results of the assessment provided to the local planning authority. Where a sustainable drainage scheme is to be provided, the submitted details shall:

- i) provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii) include a timetable for its implementation; and provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

Reason: To ensure a satisfactory means of surface water disposal and in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

10. No part of the development hereby permitted shall commence until:

- a) there has been submitted to and approved by the Local Planning Authority ("the LPA") a remediation scheme ("the Remediation Scheme"), which shall:
 - i) include an implementation timetable ("the Implementation Timetable"), monitoring proposals and a remediation verification methodology, comprising a sampling and analysis programme to confirm the adequacy of decontamination; and
 - ii) provide that an appropriately qualified person shall oversee the implementation of all remediation; and
- b) all measures which are identified in the Remediation Scheme provided for in paragraph (a) above have been undertaken in accordance with the Implementation Timetable ("the Remediation Measures") and any Remediation Measures at variance with the Remediation Scheme shall have been submitted to and agreed in writing with the LPA in advance of such Remediation Measures being undertaken; and
- c) upon completion of the Remediation Measures there has been submitted to and approved by the LPA a report which shall include:
 - i) results of the verification programme of post remediation sampling and monitoring in order to demonstrate that the required remediation has been fully met,
 - ii) confirmation that all remediation measures have been carried out fully in accordance with the Remediation Scheme; and
 - iii) future monitoring proposals and reporting. To protect the environment and prevent harm to human health.

Reason: To protect the environment and prevent harm to human health

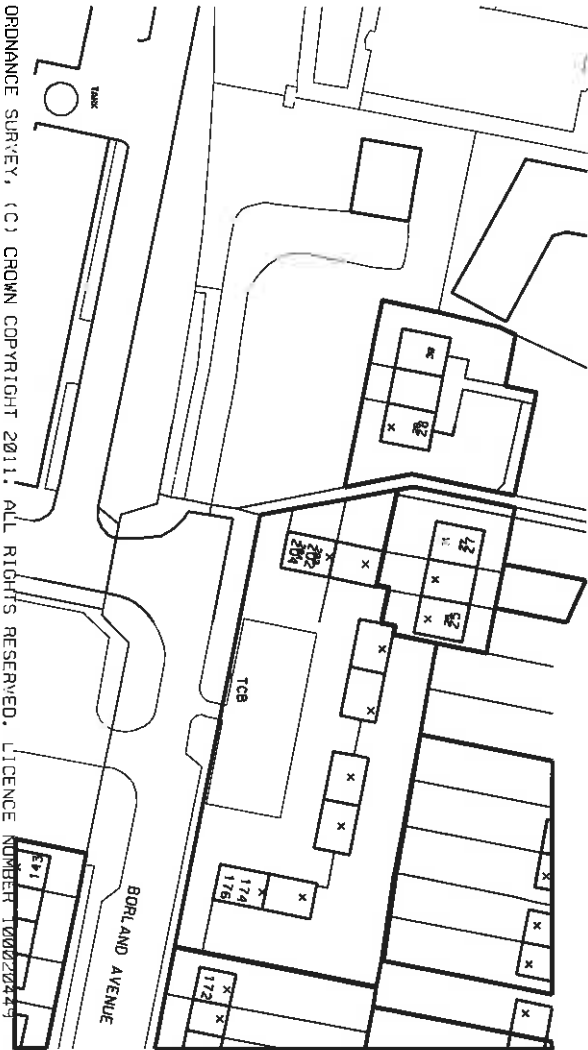
in accordance with Policy LE29 of the Carlisle District Local Plan 2001-2016..

11. No work associated with the construction of the residential units or retail unit hereby approved shall be carried out before 07.30 hours on weekdays and Saturdays nor after 18.00 hours on weekdays and 13.00 hours on Saturdays (nor at any times on Sundays or statutory holidays).

Reason: To prevent disturbance to nearby occupants in accordance with Policy CP6 of the Carlisle District Local Plan 2001-2016.

12. No site clearance or works to hedges shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

Reason: To protect nesting birds in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

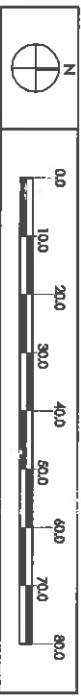


ORDNANCE SURVEY, (C) CROWN COPYRIGHT 2011. ALL RIGHTS RESERVED. LICENCE NUMBER 1000220447

Site Location Plan 1:1250



Aerial View NTS



DRAWING STATUS: PLANNING

1384-SI-01 Site Location Plan

Ainsley Gommon
architecture urban design

1 Place Street, Marthon Square, Bournemouth, Dorset, BH4 1AN, Tel: 01752 647 2311 Email: ainsley@ainsleygommon.co.uk Fax: 01752 646 2795
Copyright in the drawings remains with Ainsley Gommon. Use not allowed from the drawings. Made to special dimensions. Checked at Ainsley Gommon on 11/11/12. For the purpose of CDM Regulations, refer query to Ainsley Gommon

DATE	BY	REV
11/12/12	RW	01
11/12/12	RW	02
11/12/12	RW	03
11/12/12	RW	04

ORDNANCE SURVEY, (C) CROWN COPYRIGHT 2011. ALL RIGHTS RESERVED. LICENCE NUMBER 1000220449



DRAWING STATUS: PLANNING

New Housing at Borland Avenue, Carlisle, for Riverside Borders

1384-S1-03 Existing Site Layout

SCALE	DATE	BY	CHECKED
1:5000EA3	JULY '12	RW	BE

Ainsley Gomon
 CONSULTANTS
 17th Floor, 100 Market Street, Manchester, M1 1PL. Tel: 0161 447 5311. Fax: 0161 447 5312. Email: info@ainsleygomon.co.uk
 Copyright © 2012 Ainsley Gomon. All rights reserved. This drawing is the property of Ainsley Gomon. It is not to be used for any other purpose without the written consent of Ainsley Gomon.



Ainsley Common

	00 20 40 60 80 100 120 140
DRAWING STATUS:	PLANNING
	New housing at Bedford Avenue, Carleton, for Riverside borders
	1394-S1-04 Planning Site Site Revision
	1:2000A2 12/12/12
	HF
	8 -
	11 -

This drawing is the property of Ainsley Common and is not to be used for any other purpose without the written permission of Ainsley Common. © Ainsley Common 2012.



Borland Avenue

03 no. 2B 3P two storey houses @ 63.6m²
 02 no. 2B 3P two storey houses @ 82.0m²
 02 no. 2B 4P one storey bungalow @ 67.4m²
 04 no. 3B 5P two storey houses @ 87.2m²

Slab levels to be within +/- 250mm of those stated.

Rear access to gardens designed in accordance with BS83300.

Revision	Comments	Date
A	Final floor level to match & amended proposed site level to match	2012.12.20

Alnsley Common

8 New Housing at Borland Avenue, Castle, for Riverside Borders

DRAWING STATUS: PLANNING

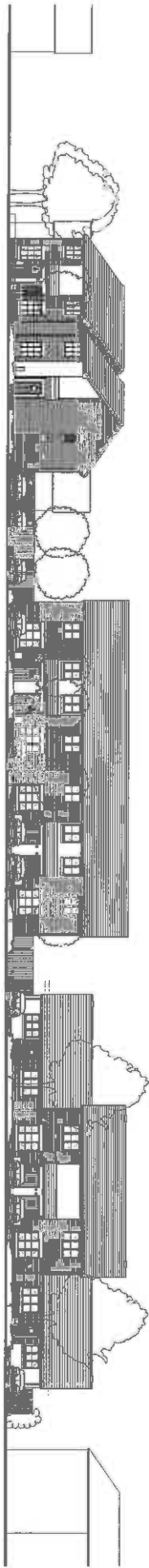
1384-SI-07 Proposed Site Layout

DATE: 12/12/12



BY: [Signature]

SCALE: 1:1

143


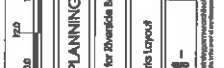


Ainsley Common

	
DRAWING STATUS: PLANNING	
2 New Round's of Strand Avenue, Corke, for Riverside borders	
1384-SI-08	Proposed Site Strip Section
1:3000	Dec 12
RW	8
	1

Approved by the Planning Committee on 12th Dec 2012. The Planning Committee is a sub-committee of the Council. The Council is the governing body for the area. The Council is responsible for the overall management of the area. The Council is responsible for the overall management of the area. The Council is responsible for the overall management of the area.



DRAWING STATUS: **PLANNING**

New Housing at Bofford Avenue, Corolla, for Riverside Estates

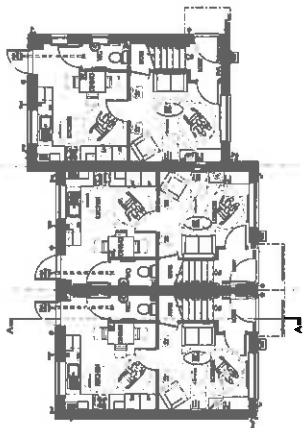
1384-SI-10 Proposed Exterior Works Layout

1208042 Dec '12 RW

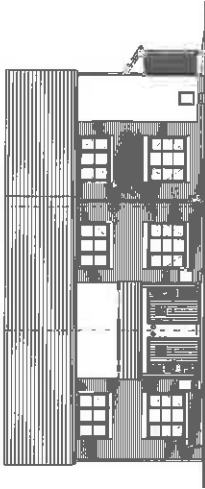
Ashley Gorman

Revision	Comments	Date

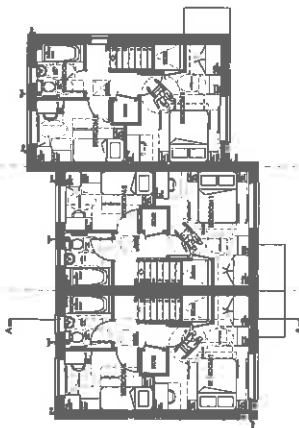
223



GROUND FLOOR PLAN



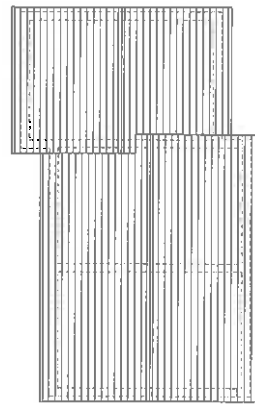
FRONT ELEVATION



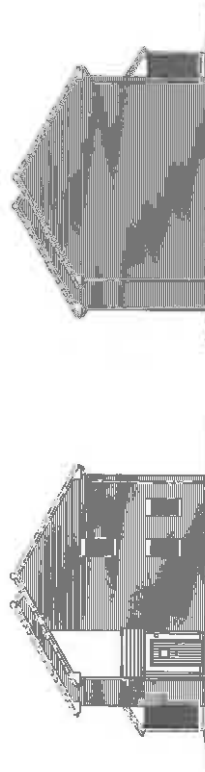
FIRST FLOOR PLAN



REAR ELEVATION

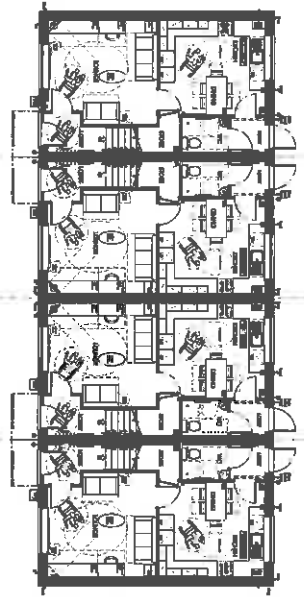


ROOF FLOOR PLAN

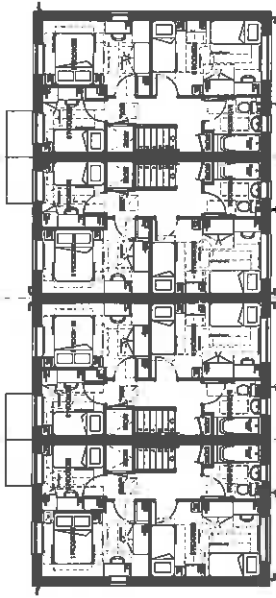


GABLE ELEVATIONS

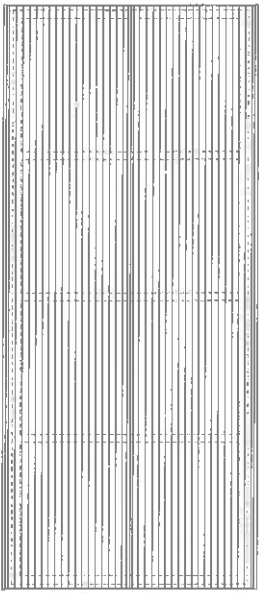
	DRAWING STATUS:	PLANNING
	1861 - VOLKSWAGEN CENTER - FOR IMPROVED CARS	
	1861-P1-01 -	Block A - Residential Development
	11/10/2011	1/20/2012
	11/10/2011	1/20/2012
	11/10/2011	1/20/2012



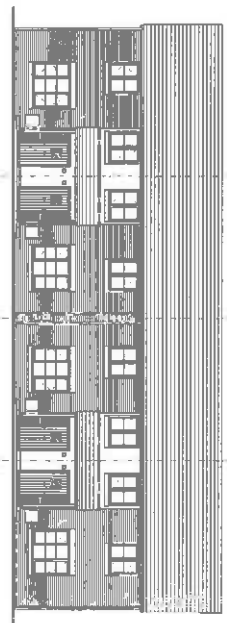
GROUND FLOOR PLAN



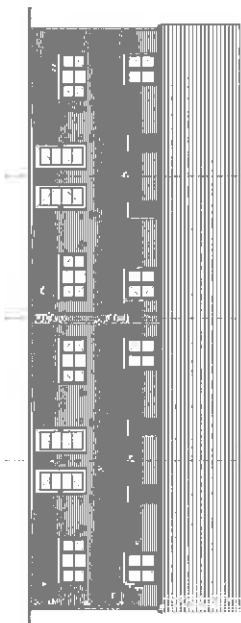
FIRST FLOOR PLAN



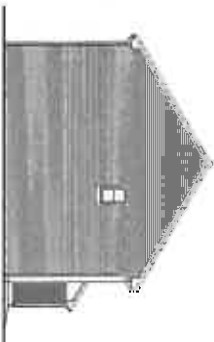
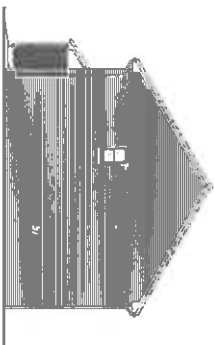
ROOF FLOOR PLAN



FRONT ELEVATION

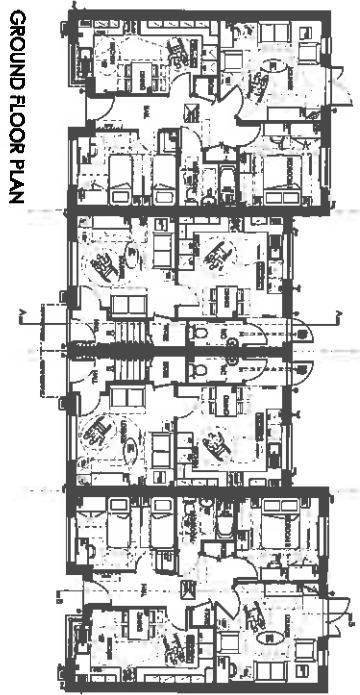


REAR ELEVATION

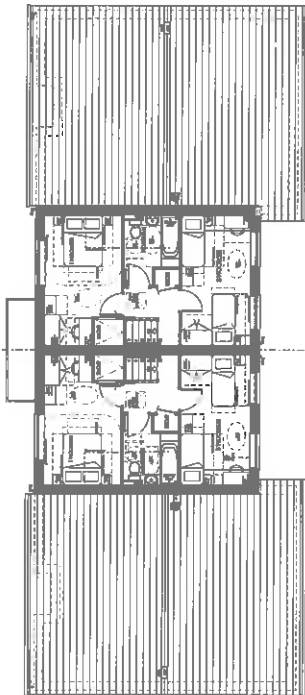


GABLE ELEVATIONS

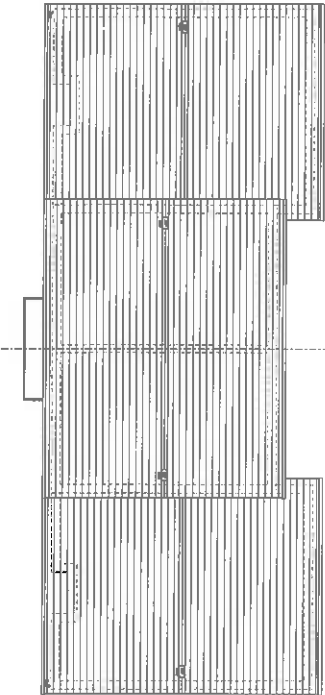
DRAWING STATUS:	PLANNING
13844-PL-02 - Issue 1 - Final and Approved	13844-PL-02 - Issue 1 - Final and Approved
13844-PL-02 - Issue 1 - Final and Approved	13844-PL-02 - Issue 1 - Final and Approved



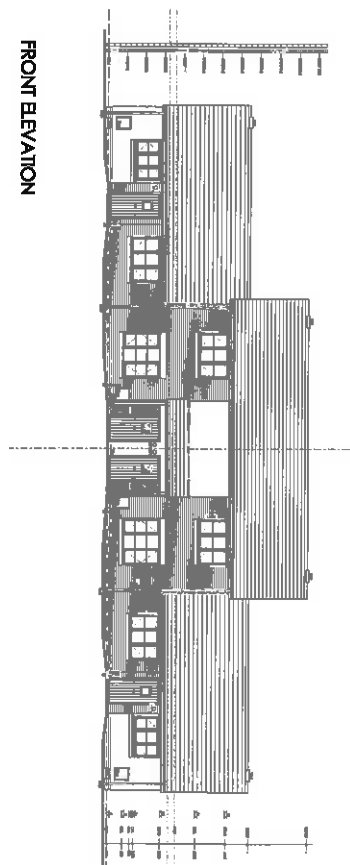
GROUND FLOOR PLAN



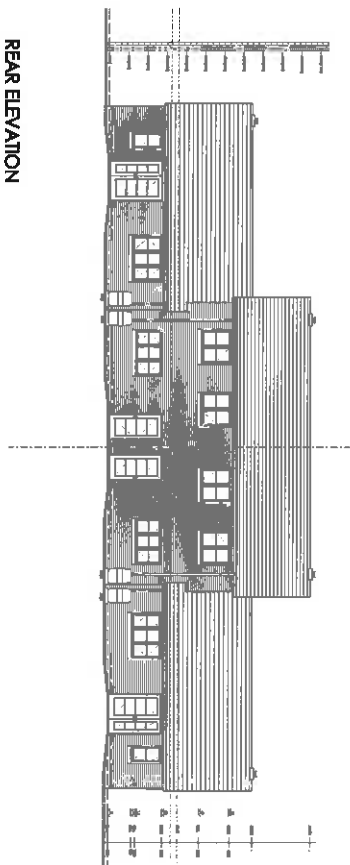
FIRST FLOOR PLAN



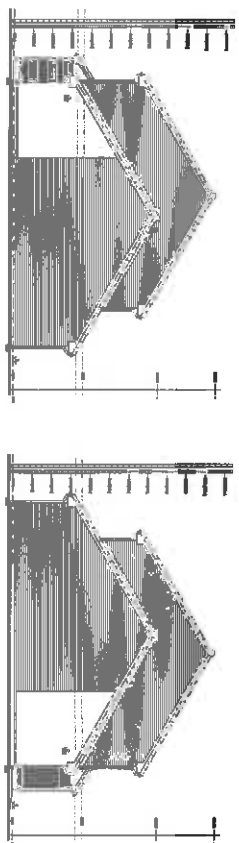
ROOF FLOOR PLAN



FRONT ELEVATION

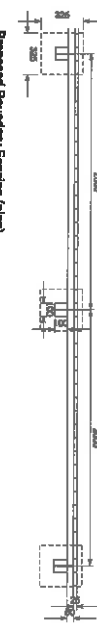


REAR ELEVATION

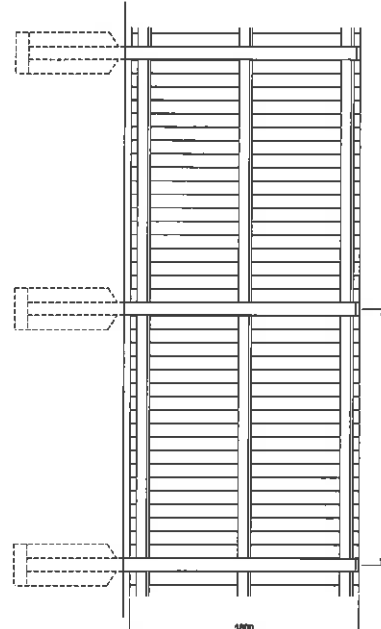


CABLE ELEVATIONS

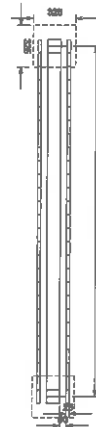
Ainsley Gorman	
DRAWING STATUS:	PLANNING
1994-PL-03 - Block C - Revised Elevations	
10/01/01	10/01/01
10/01/01	10/01/01



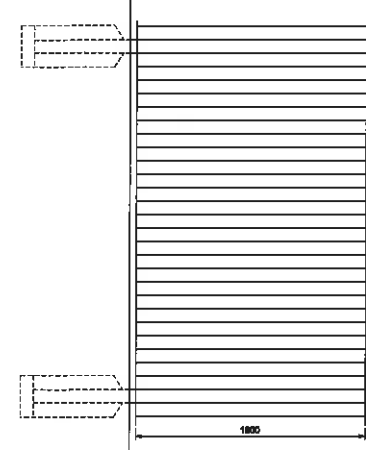
Proposed Boundary Fencing (plan)



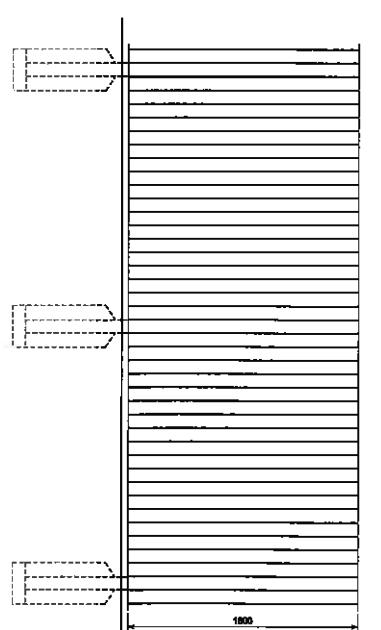
Proposed Boundary Fencing 1800 mm High (viewed from rear)



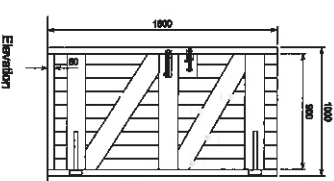
Proposed Privacy Screen (plan)



Proposed Privacy Screen 1800mm High
1800mm HIGH DOUBLE BOARDED
TIMBER PRIVACY SCREEN

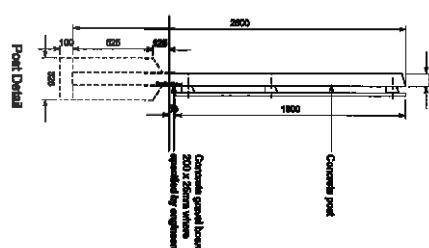


Proposed Boundary Fencing 1800mm High (viewed from front)



Elevation

All horizontal rails and diagonal bracing are to be formed in 20mm x 100mm treated pine.
 1800x100x20mm treated pine rails, spaced 100mm apart, with 1800x100x20mm treated pine bracing, spaced 1000mm apart, forming a Z-brace pattern.
 Screen to be formed with double board 180mm x 25mm treated pine, with 15 x 20mm plywood sheath.
 Heavy duty 18mm long 20mm x 125mm x 15 x 20mm plywood sheath and 1800x100x20mm treated pine posts.
 15 x 20mm plywood sheath.

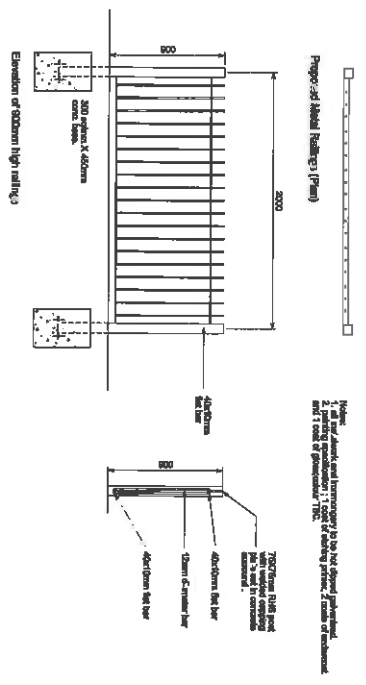


Post Detail

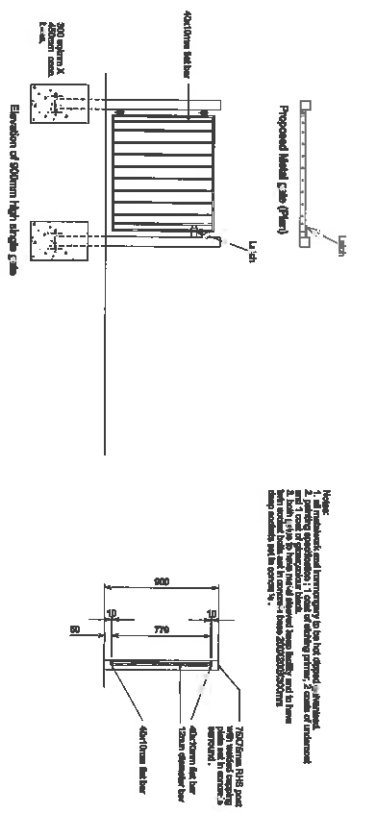
Concrete post
 200 x 200mm concrete post, with weathered tops
 200 x 200mm concrete post, with weathered tops
 200 x 200mm concrete post, with weathered tops

200 x 200mm treated pine rails, spaced 100mm apart, with weathered tops
 1800 x 100 x 20mm treated pine rails, spaced 100mm apart, with weathered tops
 1800 x 100 x 20mm treated pine bracing, spaced 1000mm apart, forming a Z-brace pattern
 Screen to be formed with double board 180mm x 25mm treated pine, with 15 x 20mm plywood sheath
 Heavy duty 18mm long 20mm x 125mm x 15 x 20mm plywood sheath and 1800x100x20mm treated pine posts
 15 x 20mm plywood sheath

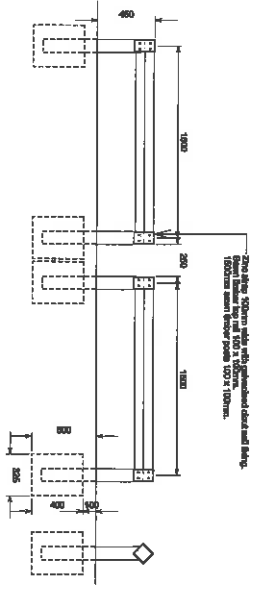
Ainsley Common
 1304-54-1201
 15/04/2021
 Proposed Detail from Detail Sheet 01
 DRAWING STATUS: PLANNING
 15/04/2021
 15/04/2021



900mm HIGH METAL RAILINGS



900mm HIGH METAL GATE



450mm HIGH TIMBER KNEE RAIL

Alnsey Common
 DRAWING STATUS: PLANNING
 1844-S-12-D2
 1:1000
 1844-S-12-D2
 1844-S-12-D2
 1844-S-12-D2
 1844-S-12-D2
 1844-S-12-D2
 1844-S-12-D2



PLANNING LIST

01 no. 28 3P two storey houses @ 83.6m2
 02 no. 2B 3P two storey houses @ 82.0m2
 02 no. 2B 4P one storey bungalow @ 67.4m2
 04 no. 3B 5P two storey houses @ 87.2m2
 Slab levels to be within +/- 250mm of those stated.
 Rear access to gardens designed in accordance with BSS300.

Borland Avenue

03 no. 2B 3P two storey houses @ 83.6m2
 02 no. 2B 3P two storey houses @ 82.0m2
 02 no. 2B 4P one storey bungalow @ 67.4m2
 04 no. 3B 5P two storey houses @ 87.2m2
 Slab levels to be within +/- 250mm of those stated.
 Rear access to gardens designed in accordance with BSS300.



Ainsley Common
 1384-SL-1 Proposed 20th Landscape Layout
 DRAWING STATUS: PLANNING
 New Housing at Borland Avenue, Centre, for Riverside Borders

Revision	Comments	Date

these would be replaced within the site with suitable replacement specimens which would be acceptable.

5. Affordable Housing

- 6.14 The land is presently owned by Riverside Housing Association, and the whole site is being developed for affordable housing. In order to secure the provision of these affordable properties, in perpetuity, it would be appropriate to enter into a Section 106 Agreement to ensure that the properties are retained as such. If Members are minded to approve this application it is requested that authority to issue an approval is granted subject to the completion of the Section 106 agreement.

6. Crime And Disorder

- 6.15 Section 17 of the Crime and Disorder Act together with Policy CP17 of the Local Plan requires that the design of all new development must contribute to creating a safe and secure environment, integrating measures for security and crime prevention and minimising the opportunity for crime. The site is partially bounded by a 1.8 metre high palisade fence, particularly adjacent to the public footpath.
- 6.16 The proposed development would see the removal of this fencing which, whilst practical, is unsightly within this residential area. The development would include the provision of suitably sized boundary treatments that would include more sympathetic materials. There would be better defined spaces to the properties in place of the currently unrestricted open access to the rear of the properties. There would be compartmentalised space that would bring a sense of ownership and natural surveillance. The scheme has been designed to achieve Secured By Design and is supported in the comments received from Cumbria Constabulary.
- 6.17 There may be a perception that the proximity of the footpath to the adjacent residential properties results in an element of anti-social behaviour in the area. The re-orientation of the bungalows from that of the existing layout means that the properties would face the footpath which would be an improvement to the orientation of the existing buildings and would provide improved natural surveillance from these properties. In such terms, the proposal is acceptable.

7. Open Space

- 6.18 Whilst there would be a net increase of 10 bedrooms throughout the development compared to the existing provision, as the proposal involves the redevelopment of existing residential properties of a lesser number, it would be unreasonable to request a financial contribution to open space provision in this instance.

8. Highway Issues

- 6.19 The development would provide 1 incurtilage parking space for each of the 4

2 bedroom properties; 2 incurtilage parking spaces for each of the 3 bedroom properties; 1 incurtilage parking space for each of the 2 bedroom bungalows and 2 visitor spaces. The currently arrangement comprises of informal parking within the site and a recessed on-street parking area along part of the frontage. The proposal would provide dedicated parking for each of the properties which would be an improvement over and above the existing layout and would be sufficient in parking spaces. Whilst there would be 2 visitor spaces within the on-street area, this would not result in significant harm to the availability of on-street parking within the vicinity. Members will note that the scheme is supported by the Highway Authority.

9. Flooding And Drainage Issues

6.20 The site is within Flood Zone 2 and consequently, the applicant has submitted a Flood Risk Assessment (FRA). In respect of the development, the applicant has confirmed that the minimum finished floor levels will be set at 17.52 AOD; that flood resilient materials will be used up to damp proof course; external levels will be designed to allow surface water flows around the properties in the unlikely event of flooding; the properties will be included within the Environment Agency's Flood Line Warning scheme; and a maximum allowable discharge rate is obtained from United Utilities. Given the assessment and the proposals within the FRA, the construction of the properties does not raise any issues with reference to Policy LE27.

6.21 The applicant's engineers are currently assessing the comments made by United Utilities and designing a solution that will minimise the amount of surface water that is disposed of in the main drains. It would be appropriate to impose a condition requiring the submission of these details and upon receipt of such, further consultation would be held with United Utilities.

10. Contamination Issues

6.22 The Phase I Desk Study for ground contamination recommends that a preliminary Phase II (intrusive site investigation and survey) is carried out to determine the status of any contamination. A condition has been included within the decision notice requiring that this is undertaken prior to the commencement of any development.

11. Ecology

6.23 The application is accompanied by an Extended Phase 1 Habitat Survey. The report concludes by advising that the clearance of vegetation should be undertaken outside of the breeding bird season. In addition, the potential for bats has been assessed. The identified features have resulted in a negligible or low bat potential and the development would not harm a protected species or their habitat; however, an Informative has been included within the decision notice ensuring that if a protected species is found all work must cease immediately and the Local Planning Authority informed.

12. Other Matters