

## SCHEDULE A: Applications with Recommendation

13/0534

Item No: 17

Date of Committee: 15/11/2013

**Appn Ref No:**  
13/0534

**Applicant:**  
Mr Vasey

**Parish:**  
Wetheral

**Date of Receipt:**  
17/07/2013

**Agent:**  
Holt Planning Consultancy  
Ltd

**Ward:**  
Wetheral

**Location:**

L/Adj The Oaks, Plains Road, Wetheral

**Proposal:** Erection Of 3no. Detached Dwellings

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### REPORT

**Case Officer:** Richard Maunsell

#### 1. Recommendation

- 1.1 It is recommended that this application is granted Authority to Issue approval subject to the satisfactory completion of further consultation with the Health and Safety Executive and the completion of a legal agreement. If the S106 agreement is not completed within a reasonable time, Authority to Issue is requested to the Director of Economic Development to refuse the application.

#### 2. Main Issues

- 2.1 The Principle Of Development
- 2.2 Whether The Scale And Design Of The Dwellings Are Acceptable
- 2.3 The Impact Of The Proposal On The Amenities Of Neighbouring Residents
- 2.4 Highway Issues
- 2.5 Drainage
- 2.6 Biodiversity
- 2.7 Impact On Existing Trees
- 2.8 The Provision Of Affordable Housing

#### 3. Application Details

##### Introduction

- 3.1 This application seeks Full Planning permission for the erection of 3 detached bungalows on land adjacent to The Oaks, Plains Road, Wetheral. The site is currently in agricultural use and occupies an area of approximately 0.75 hectares. The site is located to the north-west of the village, adjacent to Plains Road Road, with properties to the south-east.
- 3.2 The site is bounded by a mature hedgerow with a couple of mature trees along the frontage. The topography of the land is undulating but relatively level but then slopes down steeply in the north-east corner. A public footpath runs adjacent to the south and eastern boundaries.

## **Proposal**

- 3.3 A single access would be formed from Plains Road centrally within the curvature of the frontage. This access point would lead to an internal access road within the site which would serve each of the 3 detached houses.
- 3.4 Each property would comprise of a double garage, a utility, a guest bedroom/ study, sitting area, lounge, kitchen/ dining area, hall and W.C. on the ground floor with 3 bedrooms, a bathroom and an ensuite master bedroom on the first floor. The properties would be finished from facing brick work with off-white wet dash render under a slate roof. The properties would incorporate projecting brick plinths, timber windows, art stone window and door surrounds, projecting roof rafters beyond the eaves and recessed roof lights.

## **4. Summary of Representations**

- 4.1 This application has been advertised by means of a site notice and direct notification to the occupiers of 5 of the neighbouring properties. In response, 5 letters of objection have been received and the main issues raised are summarised as follows:
1. will the utilities be upgraded to support all the buildings currently planned along Plains Road. There is no apparent upgrade taking place and residents will suffer more winter shortages than usual;
  2. Plains Road has been subjected to a considerable number of additional dwellings and this development will be outside the settlement boundary. Approval of this application will encourage other developers to extend the village;
  3. although not within the Wetheral Conservation Area, this site is located on a prominent approach to the conservation area and will result in unnecessary intensification and undermine its appearance;
  4. there is no need for additional housing. There is adequate land allocated for housing development in the local plan and there are a number of houses for sale;
  5. there are other windfall sites with planning permission. Windfall sites make no financial contribution towards community and recreational facilities in the village. There are no benefits to be gained from allowing this development as it would not meet local housing need.

6. there is no indication what impact the development will have on the adjacent footpath – will it remain or will it be diverted?
  7. a single access at this point is potentially dangerous on a narrow piece of curved road with restricted visibility.
- 4.2 One letter of support has been received which states that the houses will be attractive and will be a welcome addition to the approach to the village. The area they are to be built in has been empty for years and would benefit from development.

## **5. Summary of Consultation Responses**

Cumbria County Council - (Econ. Dir. Highways & Transportation): - no objection subject to the provision of a visibility splay and the imposition of conditions;

Clerk to Wetheral PC: - object to the application on the following grounds:

- this is ribbon development which will extend the village beyond the 30mph limit;
- road safety on the bend of existing narrow road Plains Road;
- the close proximity to the gas pipeline;
- sewerage and surface water. The Parish Council has concerns regarding the reed beds which would be close to a public footpath. The application should be delayed to enable the sewerage and surface water to be linked into the main system when it is updated in 3 years time linked into the main sewerage;

Cumbria County Council - Drainage: - there is no risk of flooding;

Health and Safety Executive/ PADHI+ online consultation: - there are sufficient reasons, on safety grounds, for advising against the granting of planning permission;

Ramblers Association: - comments awaited;

Northern Gas Networks: - the development is clear of the high pressure pipeline owned by Northern Gas Networks. The pipeline is protected with an easement which is 40 feet in width, centred on the pipeline. This equates to 6.1m to each side, which is the boundary of the site. For the majority of the length of this pipeline the recommended minimum building proximity distance for this pipeline is 14m (from IGEM document TD1 Edition 5). In fact, the section of pipeline which runs past the proposed development is laid in a heavier wall thickness which reduces this proximity distance. Therefore the key criteria in this instance is the easement width. As the development is outside of the easement, there is no reason to object to this proposed development;

National Grid UK Transmission - Plant Protection: - comments awaited;

Cumbria County Council - (Archaeological Services): - no objection subject to

the imposition of conditions;

Cumbria County Council - (Highway Authority - Footpaths): - the Public Footpath 138003 to the eastern boundary of the site must not be altered or obstructed during or after the development has been completed;

United Utilities: - no objection. The site should be drained on a separate system with only foul drainage connected into the foul sewer.

## **6. Officer's Report**

### **Assessment**

- 6.1 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF) together with Policies DP1, CP1, CP2, CP3, CP4, CP5, CP12, H1, H5, T1, LE9, LE29 and LC8 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues.

#### **1. The Principle Of Development**

- 6.2 The main issue for Members to establish in the consideration of this application is the principle of development. Since adoption of the Local Plan, the NPPF has been published by the Government and is a material consideration in the determination of this application. Policy considerations in relation to this application state that whilst development should be considered against Local Plan policies, the Council's Local Plan (in respect of the issue of housing) cannot be considered up to date under the NPPF. The Framework seeks to promote sustainable development and in rural areas, housing should be located where it will enhance or maintain the viability of rural communities.
- 6.3 Reference is made by the objectors to the site being outside the settlement boundary identified in the Local Plan. The NPPF does not advocate the use of settlement boundaries and Members will note from the previous paragraph that the NPPF is a material consideration. With regard to this issue, limited weight can, therefore, be given to the fact that the site is outwith the settlement boundary and the principle of development remains acceptable.
- 6.4 The site is reasonably well related to Wetheral with both footpath and road links. The application site is triangulated in the north-west corner forming a natural end to the village and discouraging the potential for further ribbon development. Wetheral itself has services and amenities and the development of housing on this site will support these. In light of these issues, the development of the site for housing is consistent with the policies in the NPPF.

#### **2. Whether The Scale And Design Of The Dwellings Are Acceptable**

- 6.5 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping



which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policy CP5 of the Local Plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. Development of this frontage site within the village will have a significant impact on the character of the area unless it is sympathetically designed.

- 6.6 The submitted drawings illustrate that the proposed dwellings would be large in scale. The properties along this part of Plains Road are typically large 2 storey properties set within large grounds. The submitted Design and Access Statement identifies that the applicant has adopted this style of property and mimics the steeply sloping roof pitches.
- 6.7 The objectors have raised concerns that the scale of development would not be in keeping with the character of the area. The properties are unquestionably large, but are comparable in footprint to the neighbouring properties.
- 6.8 An indicative street view of the development shows that plot 3 situated towards the north-west corner would be partially set within the landscape, with the middle plot slightly more elevated and rising again to Plot 1 in the south-east corner nearing a comparative ridge height of the existing property on Plains Road. To ensure that the development is undertaken such that it takes account of the topography, it would be appropriate to impose a condition requiring the submission and agreement of finished floor levels.
- 6.9 The Design and Access Statement also indicates that the proposed materials would also complement the existing dwellings. Furthermore, the proposal would achieve adequate amenity space and off-street parking. On balance, the character and appearance of the dwellings would not be disproportionate or obtrusive within the streetscene.

### **3. The Impact Of The Proposal On The Amenities Of Neighbouring Residents**

- 6.10 Planning policies require that development proposals should not adversely affect the living conditions of occupiers of residential properties by virtue of inappropriate development, scale or visually intrusiveness.
- 6.11 The development has been designed to take account of the requirements in the Council's Supplementary Planning Documents "Achieving Well Design Housing" and is compliant with the requirement to maintain 21 metres distance between primary facing windows and 12 metres between a primary window and a blank gable.
- 6.12 The properties would be of sufficient distance from the existing properties along Plains Road. Given the orientation of the application site and the proposed buildings within it, future occupiers of the proposed properties would not suffer from an unreasonable loss of daylight or sunlight and due to the siting, scale and design of the property the development would not be

over-dominant.

#### **4. Highway Issues**

- 6.13 The proposal involves the formation of a new access onto the County highway and would be within the restricted 30mph speed limit. The objectors state that the formation of the access would be detrimental to highway safety.
- 6.14 The Highway Authority has raised no objection although a visibility splay of 200 metres by 2.4 metres together with the provision of a service lay-by is required together with the imposition of highway conditions.
- 6.15 The applicant has submitted a draft revised layout of the site which shows the removal of some of the hedgerow, construction of a dwarf wall and planting of a replacement hedgerow that would be set within the site. This would enable a visibility splay of 123 metres by 2.4 metres when looking north-west towards the A69. Confirmation is awaited from the County Council that the draft revised drawings are acceptable in highway terms.

#### **5. Drainage**

- 6.16 Objectors have raised concerns about the drainage and the ability of the local infrastructure to cope with additional demand. It is widely accepted that the drainage infrastructure in the area is nearing capacity and United Utilities propose to upgrade the infrastructure, although there is no current timescale for this. Notwithstanding this, the applicant proposes to install a package treatment plant which would negate any additional demand through the existing infrastructure. The principle of this means of foul drainage is acceptable but as no details have been provided, it would be appropriate to impose a condition requiring the submission of additional information.

#### **6. Biodiversity**

- 6.17 The Councils GIS Layer has identified that there are potentially otters, red squirrels and breeding birds within or adjacent to the site. As the proposed development would involve the development of agricultural land and would provide additional natural habitat, this is considered to be of benefit. Using the guidance issued by Natural England, the development would not harm protected species or their habitat; however, an Informative has been included within the decision notice ensuring that if a protected species is found all work must cease immediately and the Local Planning Authority informed. It would also be appropriate to impose a condition prohibiting the removal of the hedgerow during the bird breeding season unless an appropriate assessment has been undertaken.

#### **7. Impact On Existing Trees**

- 6.18 There are a number of trees and a mature hedgerow within the site, none of which however are protected by a Tree Preservation Order. The scheme proposes that the trees would be retained whilst a portion of the frontage hedgerow would be removed. This would be replaced by a 0.5 metre high

dwarf wall with a replacement hedgerow planted within the site. It is suggested that conditions should be imposed required tree protection measures and a method statement about the construction works should be submitted and agreed by the Council. It is Officer's view that there would be no detrimental impact on the remaining trees and that the imposition of the suggested conditions would be appropriate.

## **8. The Provision Of Affordable Housing**

- 6.19 When considering the issue of affordable housing, Policy H5 of the Local Plan sets thresholds for the provision of affordable housing. Given the nature of the proposal and the size of the site, there is a policy requirement to provide 10% contribution towards the provision of affordable housing. The applicant is willing to provide this contribution and subject to the completion of a S106 Agreement, there is no policy conflict.

## **9. The Impact On Human Rights**

- 6.20 The human rights of the occupiers of the neighbouring properties have been properly considered and taken into account as part of the determination of the application. Several provisions of the Human Rights Act 1998 can have implications in relation to the consideration of planning proposals, the most notable being:

**Article 6** bestowing the "Right to a Fair Trial" is applicable to both applicants seeking to develop or use land or property and those whose interests may be affected by such proposals;

**Article 7** provides that there shall be "No Punishment Without Law" and may be applicable in respect of enforcement proceedings taken by the Authority to regularise any breach of planning control;

**Article 8** recognises the "Right To Respect for Private and Family Life".

- 6.21 Article 1 of Protocol 1 relates to the "Protection of Property" and bestows the right for the peaceful enjoyment of possessions. This right, however, does not impair the right to enforce the law if this is necessary, proportionate and there is social need.

- 6.22 Article 8 and Article 1 Protocol 1 are relevant but the impact of the development in these respects will be minimal and the separate rights of the individuals under this legislation will not be prejudiced. If it was to be alleged that there was conflict it is considered not to be significant enough to warrant the refusal of permission.

## **10. Other Matters**

- 6.23 The Historic Environment Officer at Cumbria County Council has advised that the site lies in an area of archaeological potential being close to a site of an Iron Age or Roman-British farmstead and other prehistoric remains; however, no objection has been raised subject to the imposition of a condition.
- 6.24 The Health and Safety Executive has advised against the granting of planning

permission due to the proximity of the site with the high pressure gas pipeline. Northern Gas Networks who own the high pressure pipeline has advised that the section of pipeline adjacent to the development is laid in a heavier wall thickness which reduces the minimum proximity distance. On this basis, and the fact that the development is outwith the required easement of the pipeline, Northern Gas Networks has raised no objection. Should Members be minded to grant planning permission, Authority Issue approval should be granted to allow the Council to contact the Health and Safety Executive advising them of the decision and allowing them 21 days to make any further representation.

- 2.25 Objectors have raised concerns about the development on this prominent approach to the village and the Wetheral Conservation Area. Whilst it is not disputed that this is a prominent location on the edge of the village, the impact on the character and appearance is discussed in paragraphs 6.5 to 6.9 of this report. The boundary of the Wetheral Conservation Area is approximately 330 metres to the south-east of the application site. The development would not impact on the character or appearance of the conservation area.

## **Conclusion**

- 6.26 In overall terms, the principle of development of the site is acceptable under the provisions of the NPPF. The proposal does not adversely affect the living conditions of adjacent properties by poor design, unreasonable overlooking or unreasonable loss of daylight or sunlight. The siting, scale and design of the proposal is considered acceptable and would be well related to the existing built form of the village. The development would not create a precedent for further applications in the area which, in any case, would have to be considered on their own merits. In all aspects the proposal is considered to be compliant with the objectives of the relevant Local Plan policies.

## **7. Planning History**

- 7.1 There is no planning history associated with this site.

## **8. Recommendation: Grant Subject to S106 Agreement**

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

**Reason:** In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 ( as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
1. the Planning Application Form received 4th July 2013;
  2. the As Existing Location & Site Plan received 4th July 2013 (Drawing

- no. 113-118-06 Rev A);
3. the As Proposed Site Plan received 4th July 2013 (Drawing no. 113-118-07 Rev A);
  4. the As Proposed Unit 1 Ground Floor received 4th July 2013 (Drawing no. 113-118-11);
  5. the As Proposed Unit 1 First Floor received 4th July 2013 (Drawing no. 113-118-12);
  6. the As Proposed Unit 1 SW & NW Elevations received 4th July 2013 (Drawing no. 113-118-13);
  7. the As Proposed Unit 1 SE & NE Elevations received 4th July 2013 (Drawing no. 113-118-14);
  8. the As Proposed Unit 2 Ground Floor received 4th July 2013 (Drawing no. 113-118-15);
  9. the As Proposed Unit 2 First Floor received 4th July 2013 (Drawing no. 113-118-16);
  10. the As Proposed Unit 2 SW & NW Elevations received 4th July 2013 (Drawing no. 113-118-17);
  11. the As Proposed Unit 1 SE & NE Elevations received 4th July 2013 (Drawing no. 113-118-18);
  12. the As Proposed Unit 3 Ground Floor received 4th July 2013 (Drawing no. 113-118-19);
  13. the As Proposed Unit 3 First Floor received 4th July 2013 (Drawing no. 113-118-20);
  14. the As Proposed Unit 3 SW & NW Elevations received 4th July 2013 (Drawing no. 113-118-21);
  15. the As Proposed Unit 1 SE & NE Elevations received 4th July 2013 (Drawing no. 113-118-22);
  16. the As Proposed Design Strategies received 4th July 2013 (Drawing no. 113-118-04 Rev C);
  17. the As Proposed Design Strategies received 4th July 2013 (Drawing no. 113-118-05 Rev A);
  18. the Design and Access Statement received 4th July 2013;
  19. the Notice of Decision;
  20. any such variation as may subsequently be approved in writing by the Local Planning Authority.

**Reason:** To define the permission.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced. The development shall then be undertaken in accordance with the approved details.

**Reason:** To ensure the materials are appropriate to the building and character of the area in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. Details of the relative heights of the existing and proposed ground levels and the height of the proposed finished floor levels of the dwellings and garages shall be submitted to and approved in writing by the local planning authority before any site works commence. The development shall then be

undertaken in accordance with the approved details.

**Reason:** In order that the approved development is appropriately located within the topography of the land in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. Prior to the commencement of development hereby approved by this permission a scheme for the provision of surface water drainage works shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include the investigation and, where possible, the inclusion of SUDs and shall be constructed and completed in accordance with the approved plans prior to the occupation of any dwelling.

**Reason:** To ensure a satisfactory means of surface water disposal and in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

7. No development approved by this permission shall be commenced until a scheme for the conveyance of foul drainage has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans. The development shall then be undertaken in accordance with the approved plans.

**Reason:** To prevent pollution of the water environment in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

8. Prior to the commencement of development hereby approved, details of a landscaping scheme have been submitted to and approved in writing by the Local Planning Authority.

**Reason:** To ensure that a satisfactory landscaping scheme is prepared in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the building or the completion of the development, whichever is the sooner, and maintained thereafter to the satisfaction of the Council; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

**Reason:** To ensure that a satisfactory landscaping scheme is implemented in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

10. The access drives, parking areas etc. shall be designed, constructed and

drained in accordance with standards of the Local Highway Authority in accordance with drawings submitted to and approved in writing by the Local Planning Authority prior to the commencement of development.

**Reason:** In the interests of road safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

11. Prior to the commencement of development, visibility splays providing clear visibility of 215 metres measured down the centre of the exit road and the nearside channel lines of the public road from a position of 2.4 metres inset from the carriageway edge, on the centre line of the access and at a height of 1.05 metres have been provided. Notwithstanding the provision of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grow so as to obstruct the visibility splays.

**Reason:** In the interests of highway safety and to support Local Transport Plan Policies LD7 and LD8.

12. Before development commences, a plan shall be submitted to and approved in writing by the Local Planning Authority reserving adequate land for the storage of materials, the parking and turning of vehicles and plant engaged in construction operations associated with the development hereby approved. Such land, including the vehicular access thereto, shall be used for or kept available for these purposes at all times until completion of the construction works.

**Reason:** The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Plan Policy LD8.

13. Before development commences a scheme of tree and hedge protection shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall show the position and type of barriers to be installed. The barriers shall be erected before development commences and retained for the duration of the development.

**Reason:** To protect trees and hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

14. Within the tree protection fencing approved by Condition 13:

1. no fires shall be lit within 10 metres of the nearest point of the canopy of any retained tree;
2. no equipment, machinery or structure shall be attached to or supported by a retained tree;
3. no mixing of cement or use of other contaminating materials or

substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area;

4. no alterations or variations to the approved works or tree protection schemes shall be made without prior written consent of the local planning authority;
5. the tree protection measures shall be retained in good condition and to the satisfaction of the local authority for the duration of the development.

**Reason:** To protect trees and hedges during development works in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

15. Prior to the commencement of development hereby approved, a Method Statement detailing the type of materials and construction methods to be used in the Root Protection Areas shall be submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved details.

**Reason:** To protect the trees on and adjacent the site in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

16. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no extensions or alterations to the dwellings within the meaning of Schedule 2 Part (1) shall be carried out without the prior written permission of the Local Planning Authority.

**Reason:** To ensure that the character and appearance of the area is not adversely affected by inappropriate extensions in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

17. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved in writing by the Local Planning Authority. This written scheme of investigation will include the following components:

1. An archaeological evaluation;
2. An archaeological recording programme the scope of which will be dependant upon the results of the evaluation.

**Reason:** To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the examination and recording of such remains in accordance with Policy LE9 of the Carlisle District Local Plan 2001-2016.

18. Where the results of the programme of archaeological work referred to in the above condition make it appropriate, there shall be carried out within two years of the completion of that programme on site, or within such timescale



as otherwise agreed in writing by the Local Planning Authority: an archaeological post-excavation assessment and analysis, the preparation of a site archive ready for deposition at a store, the completion of an archive report, and the preparation and submission of a report of the results for publication in a suitable specialist journal.

**Reason:** To ensure that a permanent and accessible record by the public is made of the archaeological remains that have been disturbed by the development in accordance with Policy LE9 of the Carlisle District Local Plan 2001-2016.

19. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority. Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

**Reason:** To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with the Policy LE29 of the Carlisle District Local Plan 2001-2016.

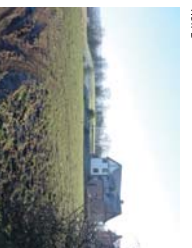
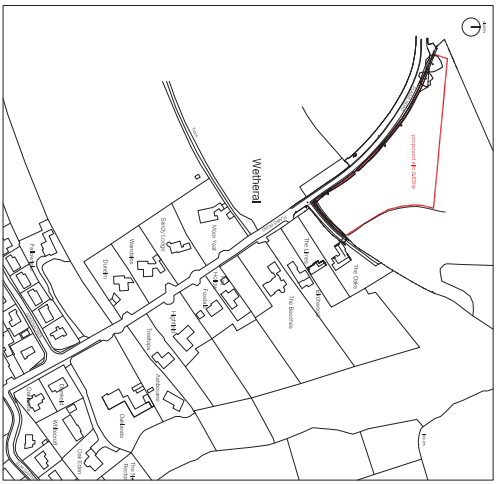
20. No site clearance or works to hedges shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

**Reason:** To protect nesting birds in accordance with Policy CP2 of the Carlisle District Local Plan 2001-2016.

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Location Plan 1:2500





ADOPTING ESTABLISHED DENSITY ALONG PLAINS ROAD  
-LARGE PROPERTIES WITHIN LARGE PLOTS



FORMING A STRONG BUILDING LINE WITH EXISTING HOUSES



NEW DEVELOPMENT ADOPTS ESTABLISHED ARCHITECTURAL FEATURES INCLUDING  
PROMINENT GABLES FACING TOWARDS THE ROAD see photo C for image of existing houses

<p>DO NOT SCALE FROM THIS DRAWING. THIS DRAWING IS COPYRIGHT ©</p>		<p><b>revisions</b></p> <p>A 28-06-13 Sheet re-arranged, GS</p>		<p><b>Graham K Norman</b> CHARTERED PRACTICE UNIT 4 MERESIDE GREENBANK ROAD PENRITH, CUMBRIA, CA11 9FB 01768 868274 m@grahamnorman.co.uk www.grahamnorman.co.uk</p> <p><b>Architect</b> RIBA</p>		<p><b>AS PROPOSED DESIGN STRATEGIES</b></p> <p>PROPOSED RESIDENTIAL DEVELOPMENT SITE AT WETHERAL MESSRS. VASEY</p>		<p>29-04-13 BB</p>	<p>n/a@A3</p>
<p>113-118-05 A</p>		<p>113-118-05 A</p>		<p>113-118-05 A</p>		<p>113-118-05 A</p>		<p>113-118-05 A</p>	

INDICATIVE STREET VIEW



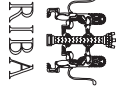
INITIAL DESIGN SKETCH SHOWING LATERAL ENCLOSING CHARACTER  
OF THE NEW DEVELOPMENT WITH THE EXISTING HOUSES

revisions

- A 07-05-13 Views altered, CS
- B 08-05-13 Drawings updated to suit full application, CS
- C 11-06-13 Indicative street elevation added

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AS PROPOSED DESIGN STRATEGIES

PROPOSED RESIDENTIAL DEVELOPMENT  
SITE AT WETHERAL

MESSRS. VASEY

29-04-13  
BB  
n/a@A3

113-118-04  
C



As Proposed Site Plan

Proposed dwellings to have at least 4 designated vehicle parking spaces.

Private Shared Access

finished in permeable pavers.

## Landscaping

elder, hazel, pine, blackthorn, etc)

(a) *Plus Glorious*, Hawthorn (crenate), *White Beam* (pinnate)

Underplanted with:

Trees and shrubs to be **cell** grown, trees planted in grass tree beds within classic spheres, shrubs planted in grass tree beds and protected until

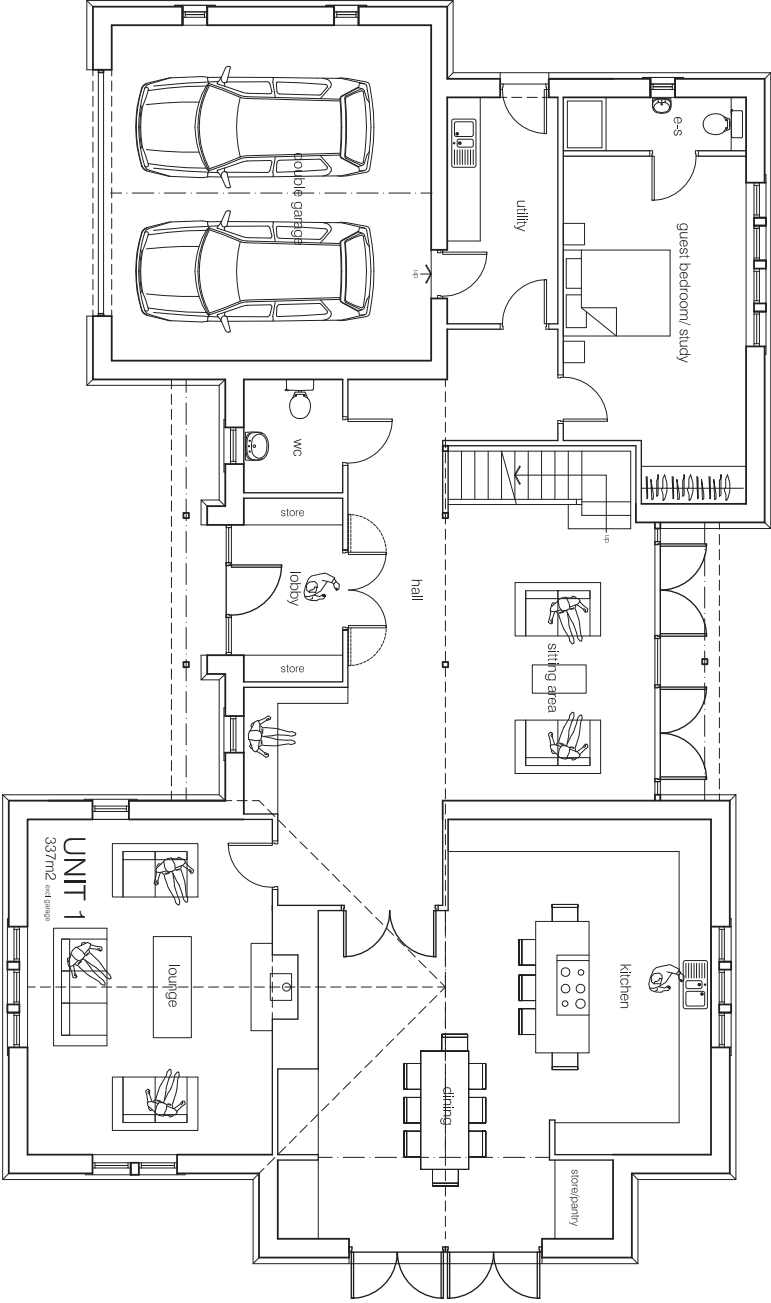
## Drainages

Detail design to be carried out at building regulation stage.

## Public Footpath

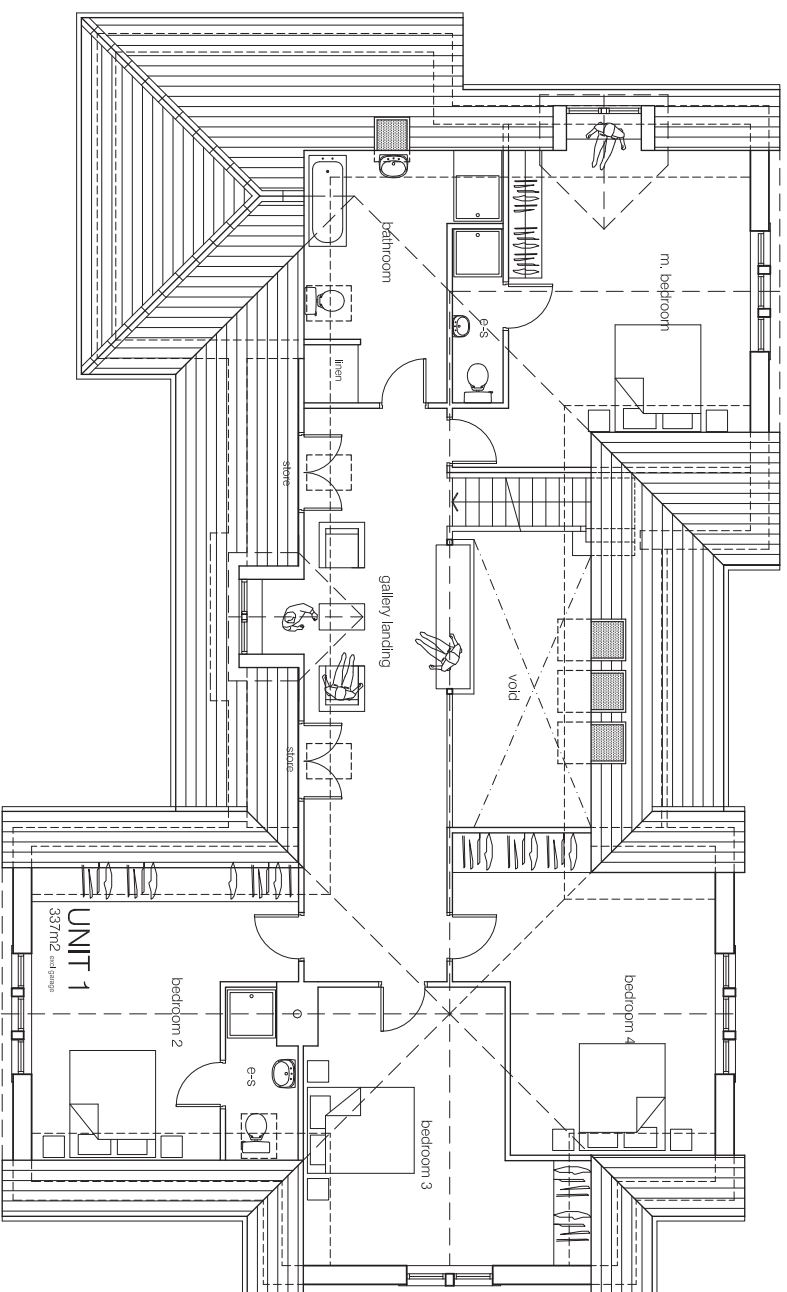
North East located adjacent to the existing route.





Ground Floor Plan scale 1-100

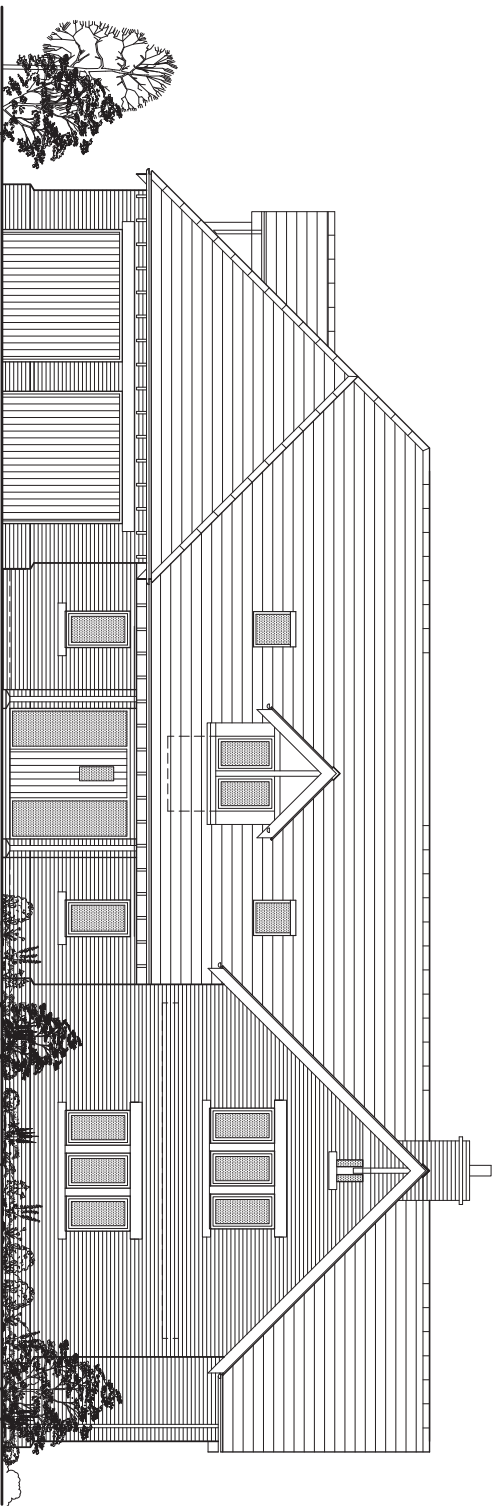
<p>DO NOT SCALE FROM THIS DRAWING. THIS DRAWING IS COPYRIGHT ©</p>	<p>revisions</p>		<p><b>Graham K Norman Architect</b> UNIT 1 MESSRS CHARTERED PRACTICE GOSWICK ROAD EDEN BUSINESS PARK PENRITH, CAMBRIDIA, CA11 9EB 01768 888274 mail@grahamknorman.co.uk www.grahamknorman.co.uk</p> <p><b>RIBA</b></p>	<p>AS PROPOSED UNIT 1 GROUND FLOOR PROPOSED RESIDENTIAL DEVELOPMENT SITE AT WETHERAL MESSRS. VASEY</p>	<p>24-06-13 GS 1-100@A3 113-118-11 1:100</p>
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First Floor Plan scale 1:100

revisions

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South West Elevation scale 1-100

### Schedule of Materials

**Walls:-** Finished in facing brickwork colour: red/brown from Furness Brick Ltd. with projecting brick plinth and string course at Ground floor window head height. Other wall areas finished in welldash render, colour:- off white.

**Roofs:** to be shiled in natural states, colour: blue/grey/old in the traditional manner. Roof to incorporate artificial stone ridge, bit and bedded in mortar in the traditional manner, colour: pink/red. Verges to have a small overhang and bedded and painted onto a slate undercloak (with bargeboards). Eaves rafters to project beyond the face of the wall to create a cottage eaves appearance, with slates directly overlying the guttering with a 'hidden' fascia behind the guttering for fixing the rainwater goods back

**Rainwater Goods:-** New pvc-u rainwater goods from the Marley Deepflow range, colour: dark grey.

**Rooflights:-** to be recessed type with multifunction glass and Integral recessed flashings, model types GGL F06, GGL M12 and GPL M08 (escape rooflight) from The Velux Company Ltd.

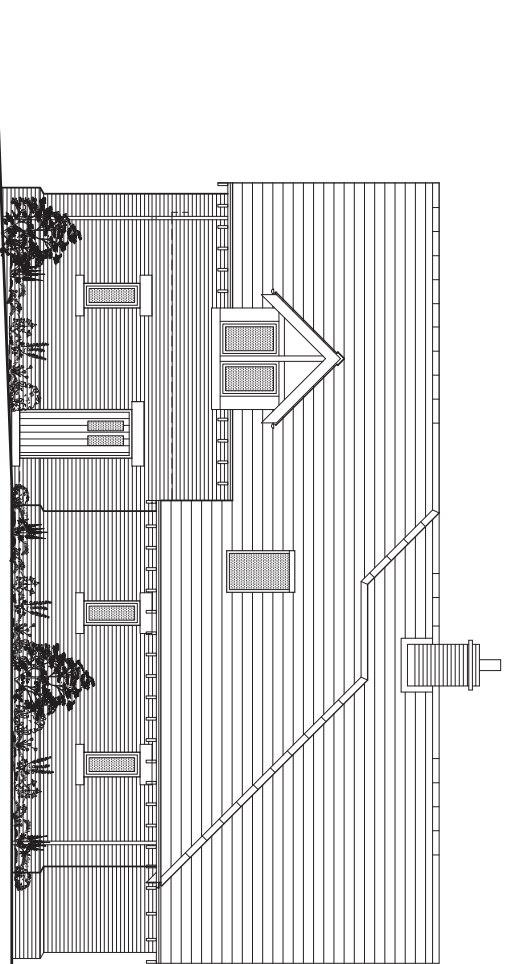
**New Windows, Screens, Panels and Doors**:- Frames of all new timber casement windows, glazed/ boarded screens, panels and doors to be purpose made, colour: grey/green.  
All panes to be double glazed in clear multifunctional glass, laminated clear 'safety' glass to all doors and glazed screens.

**Units, Cills, Surrounds:-** openings to superstructure walls to have sandstone/artstone lintels, surrounds, and cills with plain mouldings, colour: pink/buff.

**Garage Doors:-** Up and over GRP 'lumber effect' garage doors from Henderson's Ltd or Garador Ltd. colour: grey/green- or alternatively roller type door. colour grey/green.

**Chimneys** :- Chimney stacks to be finished in facing brickwork, colour: red/brown from Furness Brick Ltd. with traditional sandstone/darstone detailing/ginglbing, colour: grey/pink/buff.

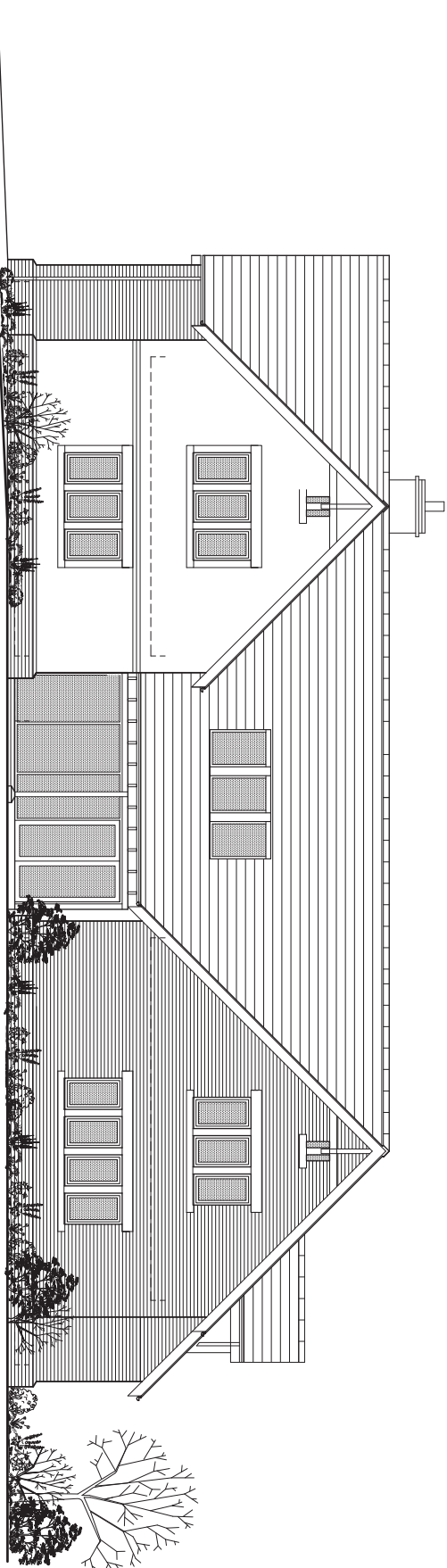
**Open Structures:-** and canopies to be slated with natural slates, colour: blue/grey, laid in the traditional manner with artificial stone ridges (where applicable) to match the existing roof to be laid and bedded in mortar in the traditional manner. Exposed timberwork to be finished in an opaque woodstain colour:- brown.



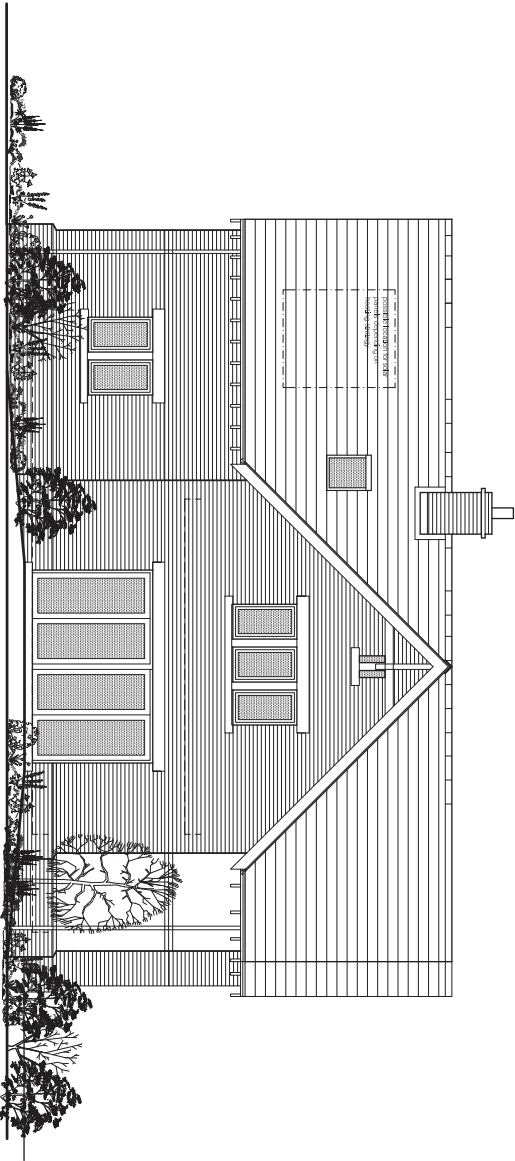
North West Elevation scale 1-100

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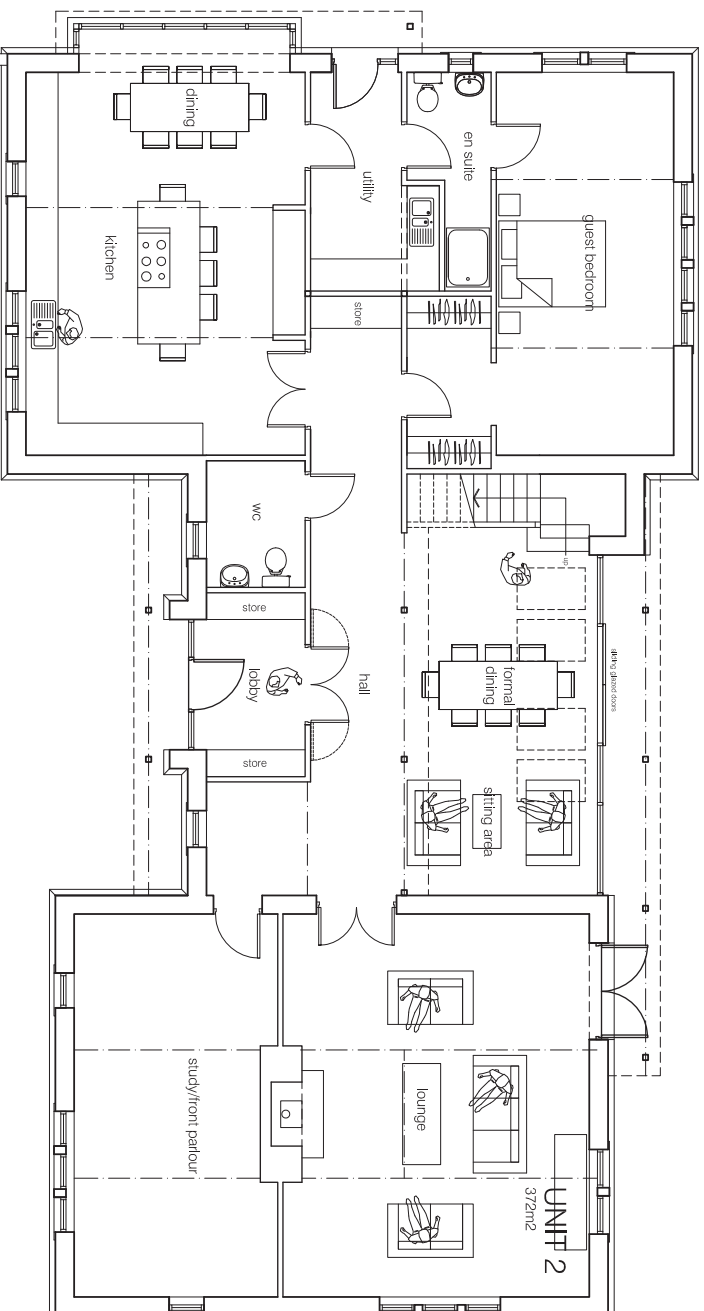


North East Elevation    scale 1-100

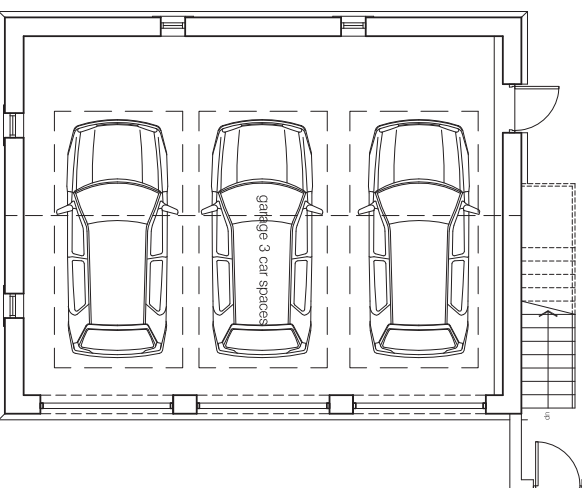


South East Elevation    scale 1-100

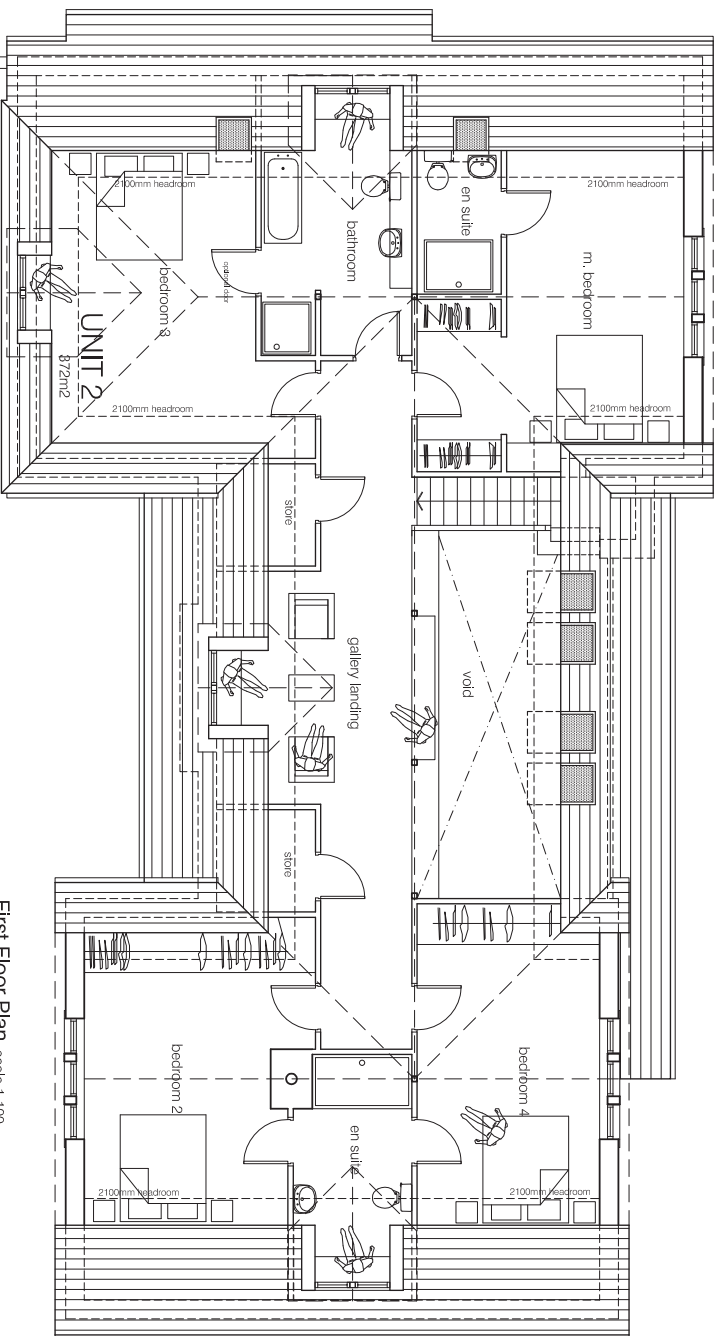
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					PROPOSED RESIDENTIAL DEVELOPMENT SITE AT WETHERAL		GS	
MESSRS. VASEY						113-118-14		



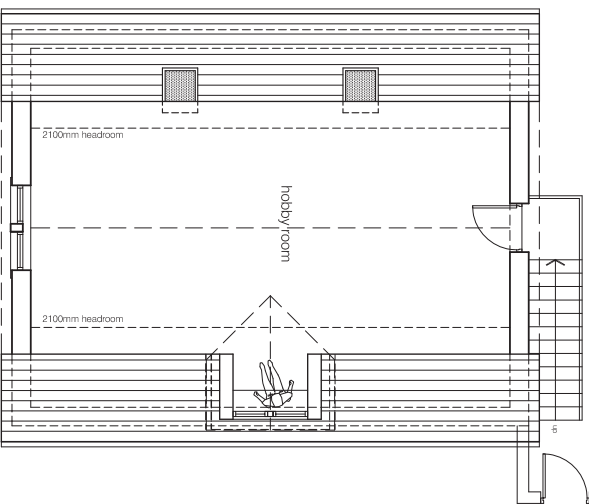
Ground Floor Plan scale 1-100



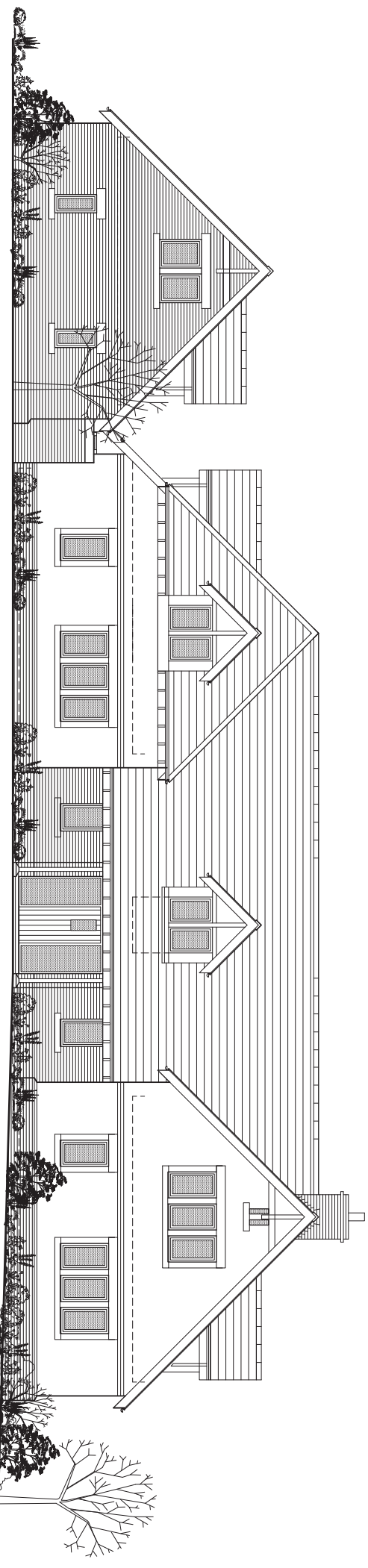
DO NOT SCALE FROM THIS DRAWING. THIS DRAWING IS COPYRIGHT ©	revisions	<b>Graham K Norman Architect</b> CHARTERED PRACTICE UNIT 2 MESSROBE GREENS ROAD PENRITH, CAMBRIDGIA, CA11 9EB 01768 888274 mail@grahamknorman.co.uk www.grahamknorman.co.uk	AS PROPOSED UNIT 2 GROUND FLOOR PROPOSED RESIDENTIAL DEVELOPMENT SITE AT WETHERAL MESSRS. VASEY	24-06-13 GS 1-100@A3 <b>113-118-15</b>
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First Floor Plan scale 1-100



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AS PROPOSED		UNIT 2		FIRST FLOOR		24-06-13	
PROPOSED RESIDENTIAL DEVELOPMENT		SITE AT WETHERAL		MESSRS. VASEY		GS	
113-118-16		1-100@A3					



South West Elevation scale 1-100

### Schedule of Materials

**Walls:-** finished in facing brickwork colour: red/brown from Furness Brick Ltd., with projecting brick plinth and string course at Ground floor window head height. Other wall areas finished in weldash render, colour:- off white.

**Roofs:** to be stated in natural states, colour: indigo/very light in the traditional manner. Roof to incorporate artificial stone ridges laid in and bedded in mortar in the traditional manner, colour: pink/red. Verges to have a small overhang and bedded and painted on to a slate underfoot (with) bargeboards. Eaves slates to project beyond the face of the wall to create a cottage house appearance, with slates fixed, overlapping the guttering with a 'hidden' fascia behind the guttering for fixing the rainwater goods back

**Rainwater Goods:-** New pvc-u rainwater goods from the Marley Deepflow range, colour: dark grey.

**Rooflights:-** to be recessed type with multifunction glass and integral recessed flashings, model types GGL F06, GGL M12 and GPL M08 (escape rooflight) from The Velux Company Ltd.

windows, glazed/ boarded screens, panels and doors to be purpose made, colour:

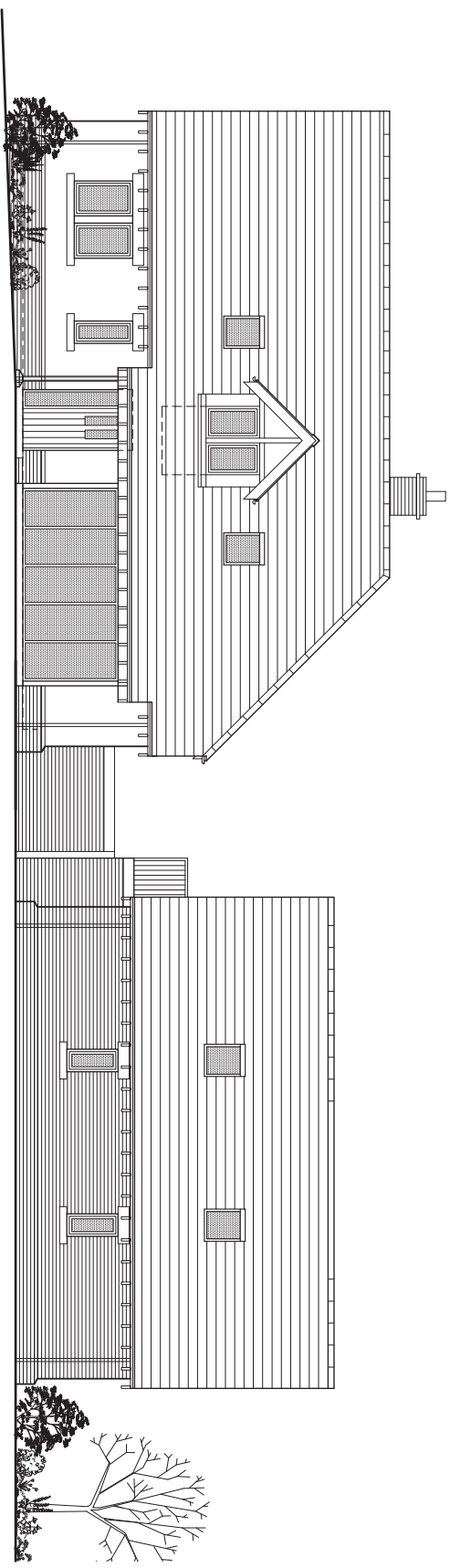
All panes to be double glazed in clear monolithic glass, laminated clear safety glass to all doors and glazed screens.

**Lintels, Cills, Surrounds:-** openings to superstructure walls to have sandstone/artstone lintels, surrounds, and cills with plain mouldings, colour: pinkbuff.

Garador Ltd. colour: grey/green- or alternatively roller type door: colour grey/green.

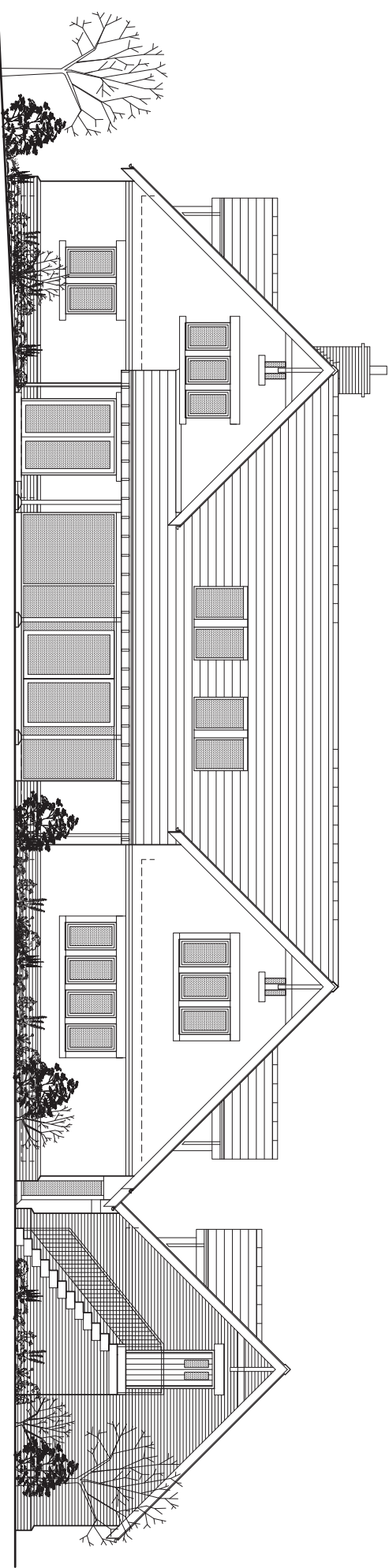
**Chimneys** :- Chimney stacks to be finished in facing brickwork, colour: red/brown from Furness Brick Ltd, with traditional sandstone/dartstone detailing/labbing, colour:

**Open Structures:-** and canopies to be slated with natural slates, colour: blue/grey laid in the traditional manner with artificial stone ridges (where applicable) to match the existing roof to be laid and bedded in mortar in the traditional manner. Exposed timberwork to be finished in an opaque woodstain colour:- brown.

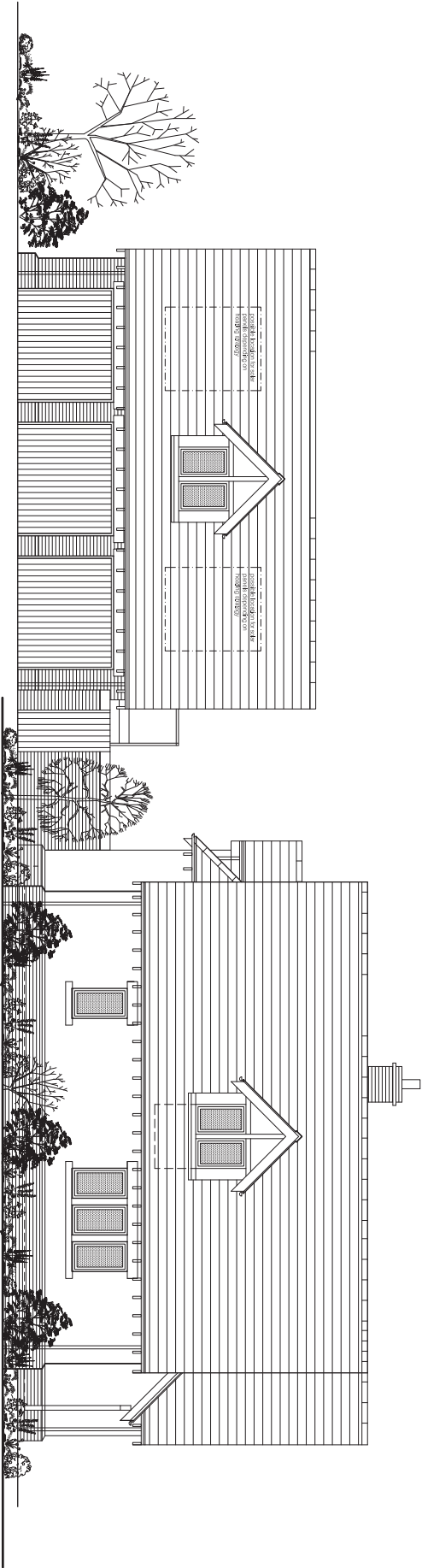


North West Elevation scale 1-100

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	<p>24-06-13 11:00 AM GS</p> <p>1-100/A3</p>	<p>drawing file scale date rev</p>



North East Elevation scale 1-100



South East Elevation scale 1-100

revisions

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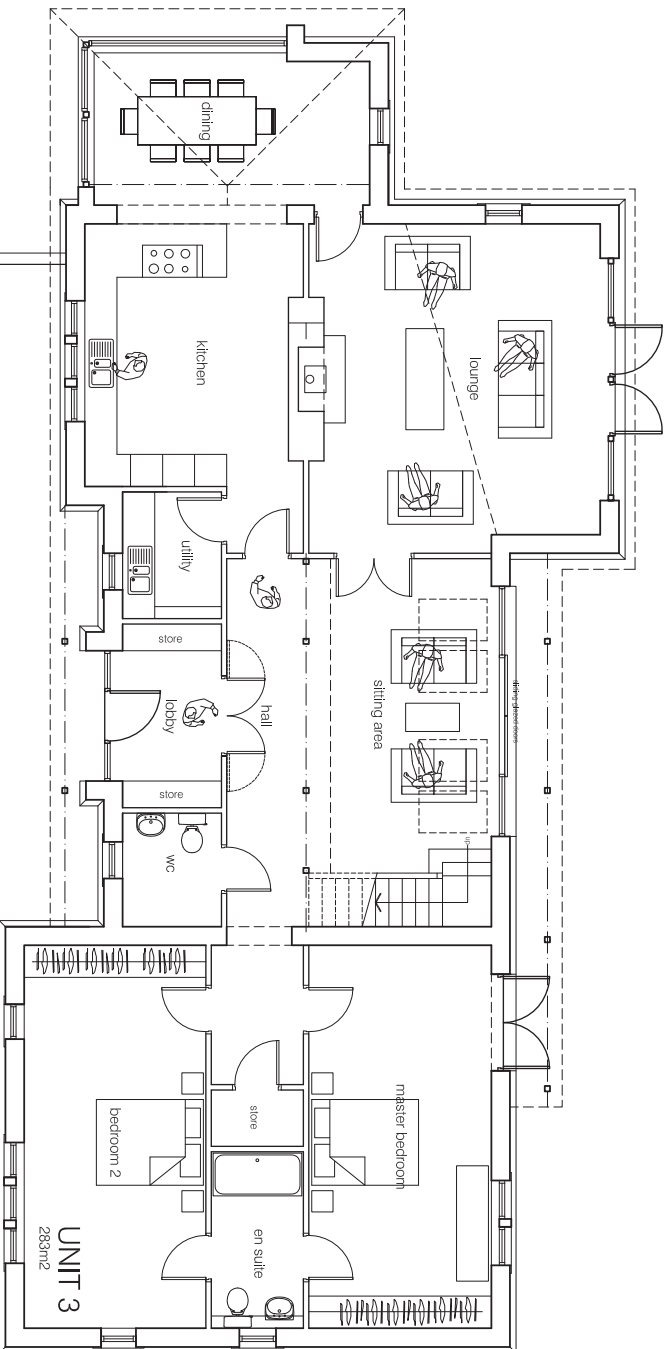
**Graham K Norman Architect**  
CHARTERED PRACTICE  
UNIT 2 MESSROBE  
GRESHAM ROAD  
EDEN BUSINESS PARK  
PENRITH, CUMBRIA, CA11 9FB  
01768 888274  
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www.grahamknorman.co.uk



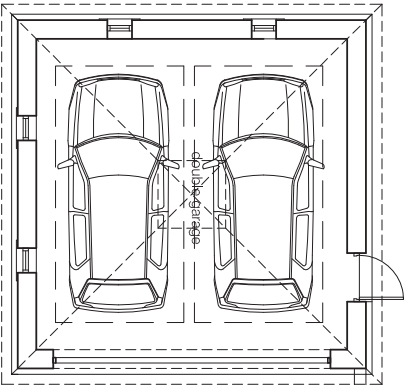
RIBA

AS PROPOSED UNIT 2 SE-NE ELEVATIONS  
PROPOSED RESIDENTIAL DEVELOPMENT  
SITE AT WETHERAL  
MESSRS. VASEY

24-06-13  
GS  
1-100@A3  
113-118-18  
1:100



Ground Floor Plan scale 1-100



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MESSRS. VASEY				113-118-19			









