

SCHEDULE A: Applications with Recommendation

15/0018

Item No: 01

Date of Committee: 10/07/2015

Appn Ref No:
15/0018

Applicant:
Ms J Lyons

Parish:
Wetheral

Agent:
Swarbrick Associates

Ward:
Great Corby & Geltsdale

Location: Land adjacent Castellane House, Sandy Lane, Great Corby, Carlisle, CA4 8NQ

Proposal: Erection Of 1no. Dwelling (Revised Application)

Date of Receipt:
06/02/2015

Statutory Expiry Date
03/04/2015

26 Week Determination

REPORT

Case Officer: Stephen Daniel

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Proposal Is Acceptable In Principle
- 2.2 Impact On The Great Corby Conservation Area
- 2.3 Impact On The Setting Of Listed Buildings
- 2.4 Impact On The Living Conditions Of The Occupiers Of Any Neighbouring Properties
- 2.5 Impact On Trees
- 2.6 Drainage Issues
- 2.7 Highway Matters

3. Application Details

The Site

- 3.1 The application site forms part of the rear garden to Castellane House. The land slopes downhill away from Castellane House and also falls from east to west, with the land on the southern boundary of the site being approximately

6m lower than the floor level of Castellane House. The site contains a number of trees and shrubs, with a number of trees also being located along the eastern site boundary.

- 3.2 The site is surrounded by residential development. Castellane House lies to the north of the site, whilst The Mount, High Garth and Cornerstones adjoin the site to the east. Glenview Cottages, a terrace of four stone properties, adjoins the site to the south and these dwellings sit at a significantly lower level than the site. Yew Tree House, which is listed and Yew Tree Cottage, adjoin the site to the south-west and these dwellings also sit at a significantly lower level than the site. Other listed buildings in the vicinity of the site include Brook Villa, which lies to the south-west of Yew Tree Cottage and Great Corby School and Oak House which lie to the south of Glenview Cottages.

The Proposal

- 3.4 The proposed dwelling, which would be L-shaped, would be sited to the west of High Garth towards the south-east corner of the plot. A new access would be created to the east of Castellane House and this would link to the current access which serves the host dwelling. The dwelling would be orientated so that it faces west.
- 3.5 The north elevation of the dwelling, which would face Castellane House and the access, would be partly single-storey and partly two-storey, with a single garage being located at lower ground floor level. The west elevation would contain a two-storey gable, with the remainder of this elevation, which would also be two-storey and which would be set back 9m behind the gable, containing large amounts of glazing and a small projecting balcony. The south elevation would contain single and two-storey sections, whilst the east elevation would appear single-storey due to the change in levels across the site.
- 3.6 The dwelling would be constructed of predominantly coursed random rubble sandstone with matching quoins, sills and lintels. The east elevation and the single-storey gable to the north elevation would be finished in render. The roof would be Welsh blue slate with sandstone effect ridge tiles and finials to all gable barge boards. The barge boards, which would overhang the eaves, and the windows and doors would be stained timber, with rainwater goods being black seamless aluminium.
- 3.7 Parking areas would be provided to the north of the garage, with additional parking being provided to the front of the dwelling. A hedge would be planted along the western side of the proposed access with a post and wire fence marking the remainder of the boundary between Castellane House and the new dwelling.
- 3.8 The existing trees along the eastern site boundary would be retained and new planting would take place in the south-west corner of the site.

4. Summary of Representations

- 4.1 This application has been advertised by means of site and press notices as well as notification letters sent to thirty-three neighbouring properties. In response twenty-five letters of objections have been received, which make the following points:

Impact on Conservation Area / Listed Buildings

- proposal would have a negative effect on the conservation area and the village;
- proposal would not preserve or enhance the conservation area as required by Local Plan Policy LE19;
- proposal would adversely affect the setting of four listed buildings - Local Plan Policy LE12 requires the setting of listed buildings to be preserved;
- proposal would cause considerable harm to the conservation area and the setting of the listed buildings;
- the location of the proposed dwelling would dominate views to the listed buildings both in terms of positioning and size;
- the dwelling would be very large, over bearing and out of proportion and style with the surrounding small cottages and listed buildings;
- dwelling would completely compromise the group of listed buildings which it would overlook;
- such a big development with lots of glazing and modern balconies would not blend in with the smaller proportioned older listed buildings;
- the dwelling would dominate the skyline and its scale and modern architecture would be out of keeping with the surrounding cottages;
- the small scale traditional buildings below the site, a number of which are listed, would be overwhelmed;
- the benefits of the proposal (provision of 1 dwelling) would not outweigh the significant harm that would be caused;
- Castellane House and Cornerstones were given permission before the conservation area was designated;

Impact on Character of the Area

- the site is elevated so any dwelling would be visible from roads and footpaths in the vicinity;
- would be abhorrent when viewed from 'The Rash', which is a popular footpath;
- dwelling would blight the landscape from many directions;

- the dwelling would be very prominent in winter when the trees lose their leaves;
- the proposed dwelling and Castellane House would dominate the skyline;
- in order to properly assess the impact a photomontage from the road and footpath should be provided;
- a number of trees would be removed and this would have an adverse impact on the character of the area;
- trees provide a backdrop to the cluster of traditional buildings and their removal would create a scar on the landscape;

Impact on Residential Amenity

- proposal would overlook neighbouring properties and their gardens leading to a loss of privacy for the occupiers;
- bedrooms of numerous homes would be overlooked;
- proposal would overshadow several properties;

Drainage Issues

- concerned about the impact on surface water run-off and drainage;
- large disturbance of soil could lead to run-off problems to lower properties;
- proposed could cause flooding problems to the properties below;
- the proposed dwelling might have an adverse impact on the flow of water to the natural well at Yew Tree Cottage;

Highway/ Traffic Issues

- would lead to an increase in traffic going past the school which is already congested at school drop off/ pick up times;
- additional traffic would increase the likelihood of an accident at the school;
- concerned about the impact of construction traffic particularly passing the school.

4.2 Following receipt of a photomontage, which shows the proposed dwelling, four further letters of objections (which supplement existing letters of objection) have been received. These state that the proposed dwelling would dominate the listed buildings in front and would detract from them; it would be overpowering/ overbearing; it would dominate the skyline; the design, mass and scale would not be appropriate; it would be incongruous in the setting; it would be a blot on the landscape.

4.3 Following the receipt of amended plans three additional letters of objection (which supplement existing letters of objection) have been received. These make the following points:

- the minor adjustments are totally inadequate when considering the entire property is out of scale and out of keeping with the conservation area;
- the plan is for an over-dominant house, on a prominent site which totally detracts from the listed buildings close by;
- the building would be highly visible in this historic end of the village and is utterly detrimental to the conservation area that was designated in 1977;
- the two properties mentioned in the application - Castellane House and Cornerstones - were built before the conservation area was designated;
- the whole issue surrounding drainage and flooding has been nowhere near addressed fully enough, given that this was a major concern of local residents.

5. Summary of Consultation Responses

Cumbria County Council - Highways & Transportation: - no objections;
Wetheral Parish Council: - no observations;
Cumbria County Council - Drainage: - no objections, subject to conditions;
United Utilities: - no comments received;
Conservation Area Advisory Committee:- that the proposal be approved - changes address the overlooking issues previously raised. Revised design is generally welcomed.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, H1, LE12, LE19, CP3, CP5, CP12 and T1 of the Carlisle District Local Plan 2001-2016.

6.2 Carlisle's emerging new Local Plan 'The Carlisle District Local Plan 2015 - 2030' was submitted to the Secretary of State on 22nd June 2015 under Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012.

6.3 Paragraph 216 of the National Planning Policy Framework identifies that

"From the day of publication, decision-takers may also give weight to relevant policies in emerging plans according to:

- *the stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);*
- *the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that*

- *may be given); and*
- *the degree of consistency of the relevant policies in the emerging plan to the policies in this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given)".*

Carlisle City Council resolved at their meeting of the 10th February 2015, with regards to the emerging Local Plan, that *"once published for consultation, weight be given to the Carlisle District Local Plan (2015 – 2030) as a material consideration when exercising Development Management policy decisions, in accordance with paragraph 216 of the National Planning Policy Framework"*.

- 6.4 In exercising a decision on the proposal regard has therefore been had to the relevant policies and proposals within the emerging Carlisle District Local Plan 2015 - 2030. The particular weighting afforded to policies and proposals of relevance has been arrived at by considering each in turn and by way of reference to the provisions of paragraph 216 of the NPPF. The policies of particular relevance to this application in the CDLP 2015-2030 are Policies SP1, SP2, H02, H3, HE7, GI6, IP3, IP6 and SP6.
- 6.5 The proposal raises the following planning issues:
1. Whether The Proposal Is Acceptable In Principle
- 6.6 The proposed dwelling would be located within Great Corby which contains a range of services, including a school and a public house. The erection of a dwelling on this site would, therefore, comply with guidance in the National Planning Policy Framework, which seeks to locate housing where it will enhance or maintain the vitality of rural communities. The proposal is, therefore, acceptable in principle.
2. Impact On The Great Corby Conservation Area
- 6.7 Section 72 (1) of the Planning (Listed Building and Conservation Areas) Act 1990 highlights the statutory duties of Local Planning Authorities whilst exercising of their powers in respect of conservation areas. This states *"with respect to any buildings or other land in a conservation area, special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area"*.
- 6.8 Policy LE19 (Conservation Areas) of the adopted Local Plan requires new development within conservation areas to preserve or enhance the character and appearance of the conservation area. This requirement is carried forward into Policy HE7 (Conservation Areas) of the emerging Local Plan.
- 6.9 Para 133 of the National Planning Policy Framework (NPPF) states that where a development will lead to substantial harm or total loss of significance of a designated heritage asset local planning should refuse consent unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh the harm or a number of criteria are satisfied. Para 134 of the NPPF deals with proposals that will lead to less than substantial harm to the significance of a designated heritage

asset and states that this harm should be weighed against the public benefits of the proposal.

- 6.10 The dwelling would be two-storey but due to the change in levels across the site would appear part single-storey. The most prominent elevation, which would face west, would contain a two-storey gable with the remainder of this elevation, which would also be two-storey and which would be set back 9m behind the gable, containing large amounts of glazing and a small projecting balcony. The setting back of part of this two-storey section would help to reduce the scale of the dwelling. The south elevation would also be seen in views from outside the site and this would have single-storey and two-storey sections due to the change in levels.
- 6.11 The dwelling would be constructed of predominantly coursed random rubble sandstone with matching quoins, sills and lintels under a slate roof to reflect the local traditional materials. It would also contain traditional features including over hanging eaves, finials to the gables, timber windows and doors and a chimney
- 6.12 The Council's Heritage Officer initially raised concerns about the scale of the building and asked for other minor changes to the design. The Conservation Area Advisory Committee generally welcomes the revised design and considers that the proposal should be approved.
- 6.13 The building would be prominent due to its elevated position but the scale and design of the dwelling would be acceptable. The adjacent properties, Castellane House and Cornerstones, which are visible in longer distance views, are 1970s dwellings, which are not in keeping with the traditional dwellings to the south-west of the site, two of which are listed. The siting of a traditionally designed dwelling between Castellane House and Cornerstones would make a positive contribution to the conservation area. Whilst there are currently a number of trees on the site, some of which would be removed, these are generally of poor quality and their replacement by new trees as part of a landscaping scheme should make a positive effect to the conservation area. The planting would help to integrate the dwelling into the landscape and reduce its visual impact, particularly in longer distance views. In light of the above, it is considered that the proposal would preserve the character of the conservation area.

3. Impact On The Listed Buildings

- 6.14 Yew Tree House (late 18th Century), which adjoins the application site to the south-east is Grade II Listed, as is Brook Villa (1845). Great Corby School (1845) and Oak House (early 19th Century), which lie to the south of Glenview Cottages are also Grade II Listed. Each of these buildings is constructed of sandstone under slate roofs.
- 6.15 Section 66 (1) of the Planning (Listed Building and Conservation Areas) Act 1990 highlights the statutory duties of Local Planning Authorities whilst exercising of their powers in respect of listed buildings. The aforementioned section states that:

"In considering whether to grant planning permission for development which

affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

- 6.16 Paragraph 133 of the NPPF states that Local Planning Authorities should refuse consent for any development which would lead to substantial harm to or total loss of significance of designated heritage assets. However, in paragraph 134, the NPPF goes on to say that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.
- 6.17 Policy LE12 (Proposals Affecting Listed Buildings) of the adopted Local Plan states that proposals for new development which adversely affects a listed building or its setting will not be permitted. Any new development within the setting of a listed building should preserve the building's character and its setting. This requirement is also contained within Policy HE3 (Listed Buildings) of the emerging Local Plan.
- 6.18 Whilst the proposal would be seen to the rear of Yew Tree House and Brook Villa, particularly in views from The Rash (a public footpath that lies to the west of the site) and from sections of Sandy Lane, it would be a residential property that would be constructed of traditional materials. Other dwellings, notably Castellane House and Cornerstones, which are 1970s properties of little architectural merit, are already seen to the rear of these listed buildings. The dwelling would be set back a minimum of 23m from Yew Tree House and approximately 55m from Brook Villa. Some new landscaping would be introduced along the south-western boundary of the site and this would lie to the rear of Yew Tree House. This would partly screen the building from long distance views and integrate it better into the landscape.
- 6.19 The dwelling would also be seen in conjunction with Great Corby School and Oak House, which are Grade II Listed. The school, Oak House and the dwelling would be seen together in views from The Rash with the school and the dwelling also being seen together from sections of Sandy Lane. The dwelling would be sited approximately 50m to the north of the school and approximately 40m from Oak House on the opposite side of Sandy Lane and would be sited within a group of residential properties, including some 1970s dwellings.
- 6.20 Therefore, it is considered that the proposal will not have an adverse impact on the setting of any of the four listed buildings that lie within close proximity to the site.

4. Impact On The Living Conditions Of The Occupiers Of Any Neighbouring Properties

- 6.21 Yew Tree House would lie a minimum of 23m from the proposed dwelling and 26m from the two-storey section that contains the large areas of glazing and a balcony. The oblique angle between the dwelling and the rear of Yew Tree House would limit overlooking of this dwelling.

- 6.22 Yew Tree Cottage would be a minimum of 29m away from the proposed dwelling and again overlooking would be limited by the angle of the proposed dwelling to the rear elevation of this property. The walk-out balcony, that was originally proposed on the two-storey gable on the west elevation has been removed and the only remaining balcony would be 35m from this dwelling.
- 6.23 Glenview Cottages would lie to the south of the proposed dwelling and would have a rear elevation a minimum of 22m away. Due to the difference in levels, only the first floor of the rear elevation of these properties would be visible from the proposed dwelling and this only contains a limited number of windows, a number of which are obscure glazed. The balcony that was originally proposed to be located on this elevation has been removed.
- 6.24 High Garth House would lie to the east of the dwelling, which would be single-storey on its eastern elevation. This dwelling would have a gable elevation 17m away which would largely be screened by existing trees. Cornerstones would have a conservatory 16m away but existing landscaping and the oblique angle between the properties would limit the opportunities for overlooking between the properties. Castellane House would be a minimum of 31m away from the north elevation of the new dwelling. The new access would pass to the east of the Castellane House, in close proximity to a blank gable, and a new hedge would be planted between the access and this dwelling.
- 6.25 In light of the above, the proposal would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance.

5. Impact On Trees

- 6.26 The Council's Tree and Landscape Officer has been consulted on the application and has raised no objections to the loss of the existing trees providing that a landscaping condition is added to any consent which requires replacement planting to mitigate their loss. The proposed access would be located in close proximity to a number of trees that run along the eastern boundary of the site and which are to be retained. A no dig solution would be required to ensure that the construction of the proposed access would not adversely affect these trees and details of this would have to be provided prior to the commencement of development. A scheme of tree protection would also be required and this would be secured by condition.

6. Drainage Issues

- 6.27 A number of objectors have raised concerns about the impact of the proposed development on surface water run-off, which could lead to problems of flooding to properties below the site and could make the land unstable. The Lead Local Flood Authority has been consulted on the application and has raised no objections, subject to conditions. These would ensure that full details of the surface water drainage system need to be agreed with the Local Planning Authority. This would need to demonstrate that no flooding would occur on any part of the site for a 1 in 30 year event and flooding would not occur to any building in a 1 in 100 year event.

- 6.28 Further conditions would ensure that the design of the surface water drainage system would mitigate any negative impact of surface water from the development on flood risk outside the site and prior to development commencing on site, the applicant has to provide an assessment to confirm that development would not cause slope instability through removal of trees, excavation of foundations/ drains etc or the installation of soakaways.

7. Highway Matters

- 6.29 County Highways has been consulted on the application and has no objections. It has confirmed that the current access is capable of allowing an additional dwelling and that the slight increase in vehicular use of the existing access would be unlikely to have a significant material effect on existing highway conditions.

Conclusion

- 6.30 In overall terms, the proposal would be acceptable in principle. The scale and design of the dwelling is considered to be acceptable. The proposal would neither have an adverse impact on the Great Corby Conservation Area nor the setting on any listed buildings. Furthermore, it is considered that the proposal will not be detrimental to the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance. The proposed access and parking would be acceptable and conditions have been added to ensure that a suitable landscaping scheme and a suitable foul and surface water drainage scheme are implemented. In all aspects, the proposal is considered to be compliant with the objectives of the relevant adopted Local Plan policies.

7. Planning History

- 7.1 In September 2014, an application for the erection of one dwelling on this site was withdrawn prior to determination (14/0596).

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form received 13th January 2015;
2. the Existing Site Plan and Location Plan (dwg ref 1549.p.01B) received 5th February 2015;
3. the Proposed Site Plan (dwg ref 1549-04E) received 8th June 2015;
4. the Proposed Block Plan (dwg ref 1549-05c) received 16th June 2015;

5. the Proposed Floor Plans (dwg ref 1459.p.02E) received 8th June 2015;
6. the Proposed Elevations (dwg ref 1459 03B) received 8th June 2015;
7. the Design and Access Statement Rev A received 9th June 2015;
8. the Pre-development Arboricultural Report received 6th February 2015;
9. the Heritage Statement Rev A received 9th June 2015;
10. the Notice of Decision; and
11. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Samples or full details of all materials (including rainwater goods, barge boards and the balcony) to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced.

Reason: To ensure that the external appearance of the building is acceptable in accordance with Policies LE19 and CP5 of the Carlisle District Local Plan 2001-2016.

4. Prior to the commencement of development, details of the proposed hard surface finishes to all external areas shall be submitted for approval in writing by the Local Planning Authority. The approved scheme shall then be implemented in accordance with these details.

Reason: To ensure that materials to be used are acceptable and in compliance with the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. Samples or full details of the proposed windows to be used in the dwelling hereby approved shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced. The windows shall then be implemented in accordance with these details.

Reason: To ensure that the external appearance of the building is acceptable and to ensure compliance with Policies LE19 and CP5 of the Carlisle District Local Plan 2001-2016.

6. All window frames, external doors and door frames shall be set back a minimum of 100mm from the external face of the wall.

Reason: To ensure the works harmonise as closely as possible with the existing building and to ensure compliance with Policies LE19 and CP5 of the Carlisle District Local Plan 2001-2016.

7. Prior to commencement of development, a detailed landscaping scheme shall be submitted to and approved in writing by the local planning authority. The scheme shall be at a scale of 1:200 and shall include:

- i) The exact location and species of all existing trees and other planting

- to be retained;
- ii) An outline specification for ground preparation for landscaped areas outside of the ecological areas;
- iii) All proposals for new planting and turfing, indicating the location, arrangement, species, size, specifications, numbers and planting densities;
- iv) All proposed boundary treatments with supporting elevations and construction details;
- v) All proposed hard landscaping elements and paving, including layout, materials and colours;
- vi) The proposed arrangements and specifications for initial establishment maintenance and long term maintenance of all planted and/or turfed areas.

The approved scheme shall be implemented in its agreed form prior to the end of the first planting season following substantial completion of each phase of the development to which it is associated. Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written approval to any variation.

Reason: To ensure that a satisfactory landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. Prior to commencement of development a detailed scheme of tree and hedge protection shall be submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented in its agreed form prior to the commencement of any development works on the site.

Within the fenced off area;

- No equipment, machinery or structure shall be attached to or supported by a retained tree or by the tree protection barrier.
- No mixing of cement or use of other contaminating materials or substances shall take place within, or close enough to, a root protection area that seepage or displacement could cause them to enter a root protection area.
- No alterations or variations to the approved tree and hedge protection schemes shall be made without prior written consent of the local planning authority.
- No materials or vehicles shall be stored or parked within the fenced off area.
- No alterations to the natural/existing ground level shall occur.
- No excavations will be carried out within the fenced off area.
- The tree and hedge protection fencing must be maintained to the satisfaction of the Local Planning Authority at all times until completion of the development.

Reason: To protect trees and hedges during development works, in

accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

9. No development shall take place until an arboricultural method statement, appropriate and specific to the approved scheme, to include details of all works within the root protection area, or crown spread whichever is greater, of any retained tree, has been submitted to and agreed in writing by the Local Planning Authority. Thereafter, all works shall be carried out and constructed in accordance with the approved details and shall not be varied without the written consent of the Local Planning Authority.

Reason: To ensure the protection of trees and hedges during the development in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

10. No development shall commence until details of any walls, gates, fences and other means of permanent enclosure and/or boundary treatment to be erected have been submitted to and approved, in writing, by the Local Planning Authority.

Reason: To ensure the design and materials to be used are appropriate and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

11. No development shall commence until full details of the surface water system demonstrating that no flooding will occur on any part of the site for a 1 in 30 year event unless designated to do so, flooding will not occur to any building in a 1 in 100 year event, takes account of the likely impacts of climate change and where reasonably possible flows resulting from rainfall in excess of a 1 in 100 year rainfall event are managed in conveyance routes (plans of flow routes etc) have been agreed in writing with the Local Planning Authority.

Reason: To manage flood risk within the development that results from surface water to minimise the risk to people and property and to accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

12. No development shall commence until details to confirm the design of the surface water drainage system will mitigate any negative impact of surface water from the development on flood risk outside the development boundary have been agreed in writing with the Local Planning Authority.

Reason: To safeguard against negative impact outside the development boundary to people and property and to accord with Policy CP12 of the Carlisle District Local Plan 2001-2016.

13. No development shall commence until the applicant has provided an assessment confirming that development will not cause slope instability through removal of trees, excavation of foundations/drains etc or the installation of soakaways.

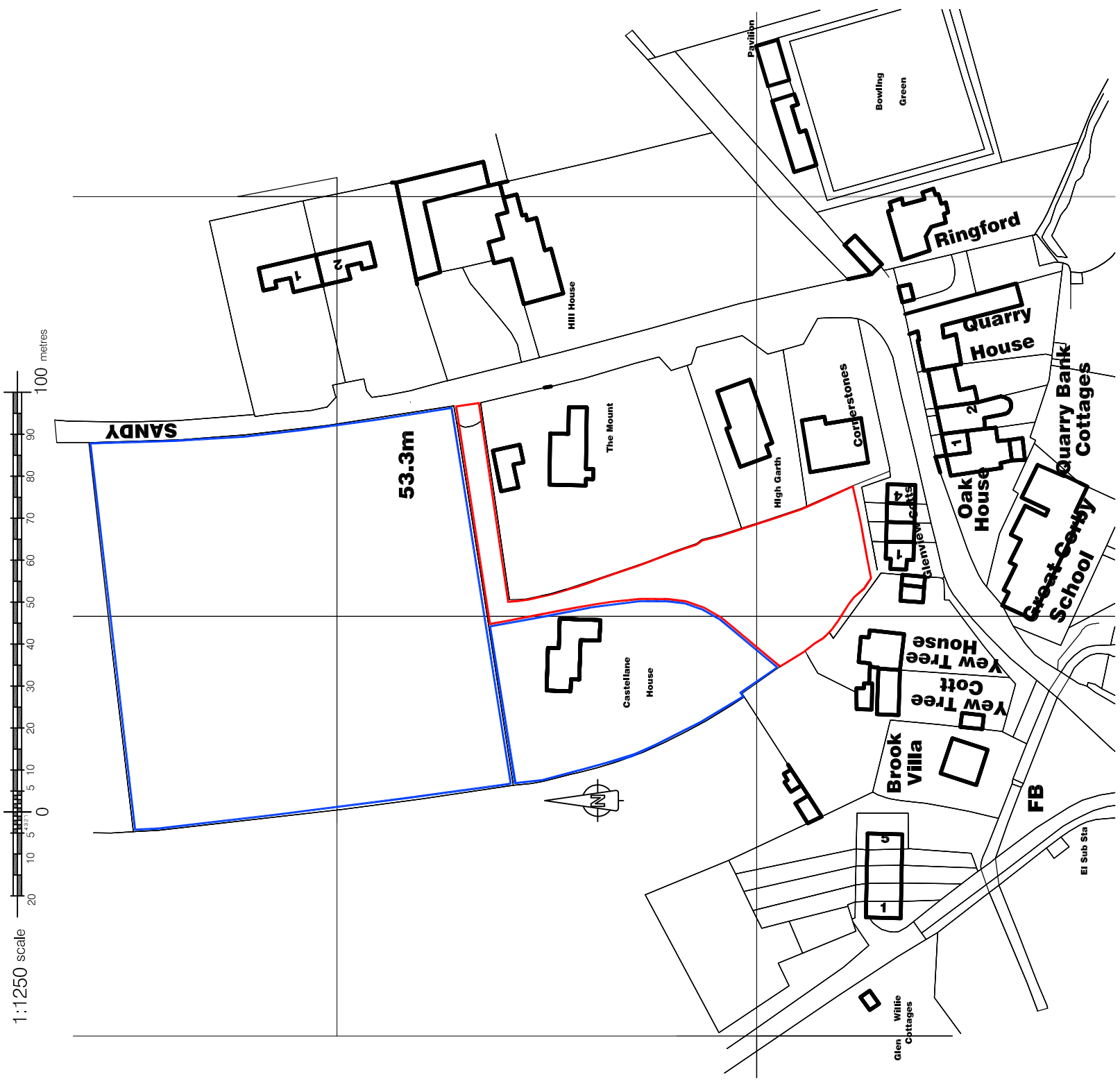
Reason: To safeguard against slope instability.

14. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the dwelling to be erected in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the Local Planning Authority.

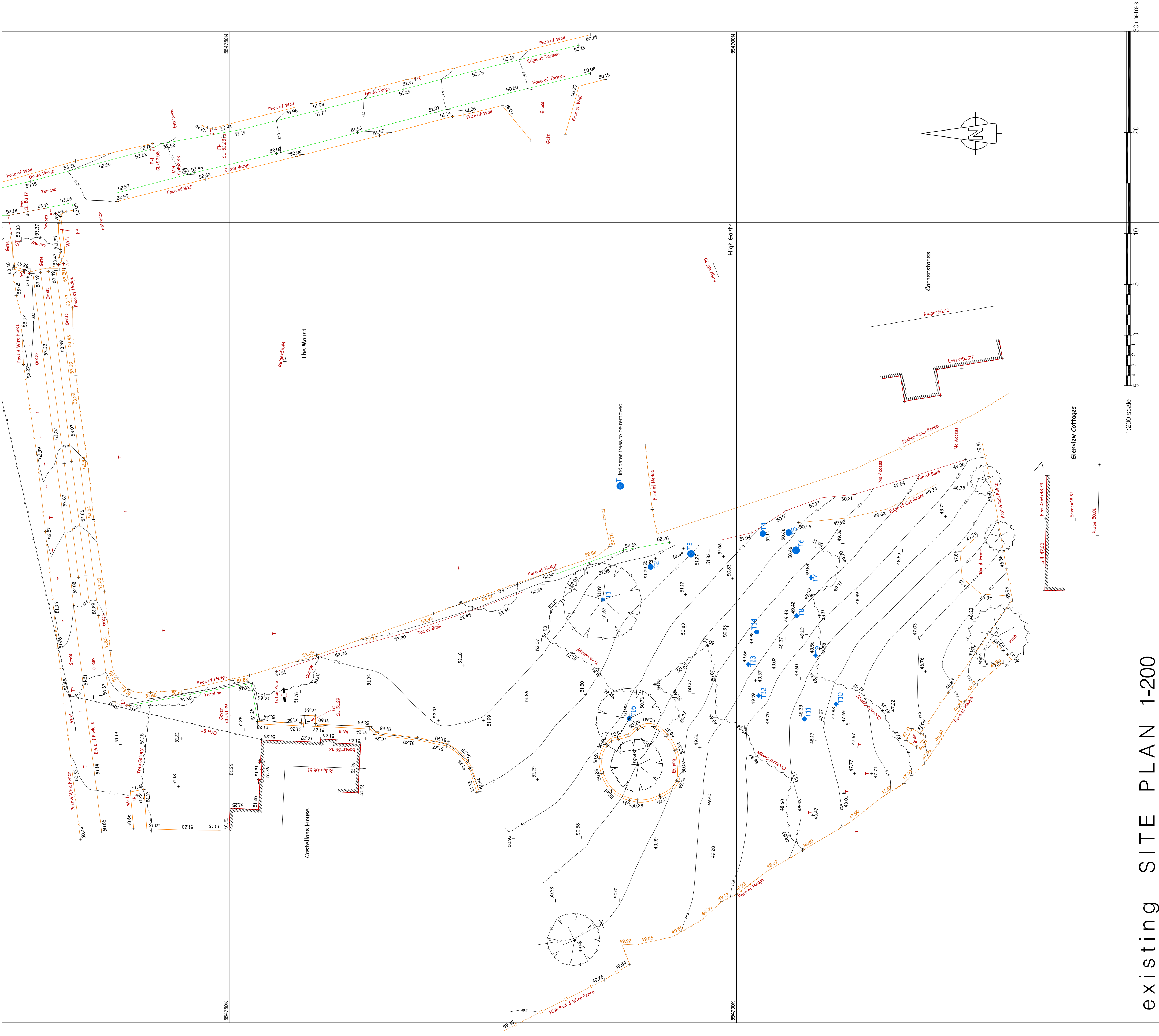
Reason: To ensure that the character and attractive appearance of the building is not harmed by inappropriate alterations and/or extensions and that any additions which may subsequently be proposed satisfy the objectives of Policies LE19 and CP5 of the Carlisle District Local Plan 2001-2016.

NOTE

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location plan 1-1250



existing SITE PLAN 1-200

swarbrick
a s s o c i a t e s

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CASTELLANE GREAT CORBY

CLIENT:
Ms J Lyons

PROJECT:
Proposed New Dwelling

DRAWING:
Existing Site Plan and Location Plan

DRG NO: 1549.p.01B

Scale: 1:200 1:250 @ A1 Date: 12.12.14

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proposed SITE PLAN 1:200

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a s s o c i a t e s

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CASTELLANE GREAT CORBY

CLIENT:

Ms J Lyons

PROJECT:

Proposed New Dwelling

DRAWING:

Proposed Site Plan

DRG NO:

1549-04E

Scale: 1:200 @ A1

Date: 12.12.14

14



53.3m

proposed BLOCK PLAN 1-500

1:500 scale 0 5 10 20 30 metres



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CASTELLANE GREAT CORBY

CLIENT:
Mrs J Lyons

PROJECT:
Proposed New Dwelling

DRAWING:
Proposed Block Plan

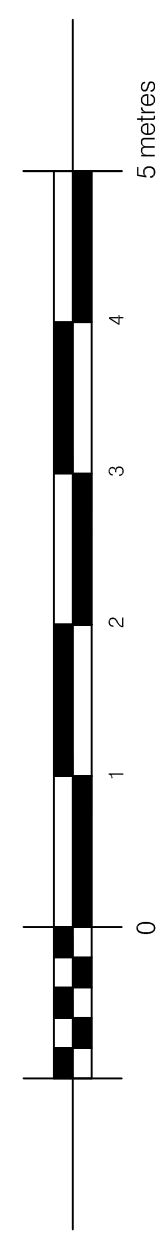
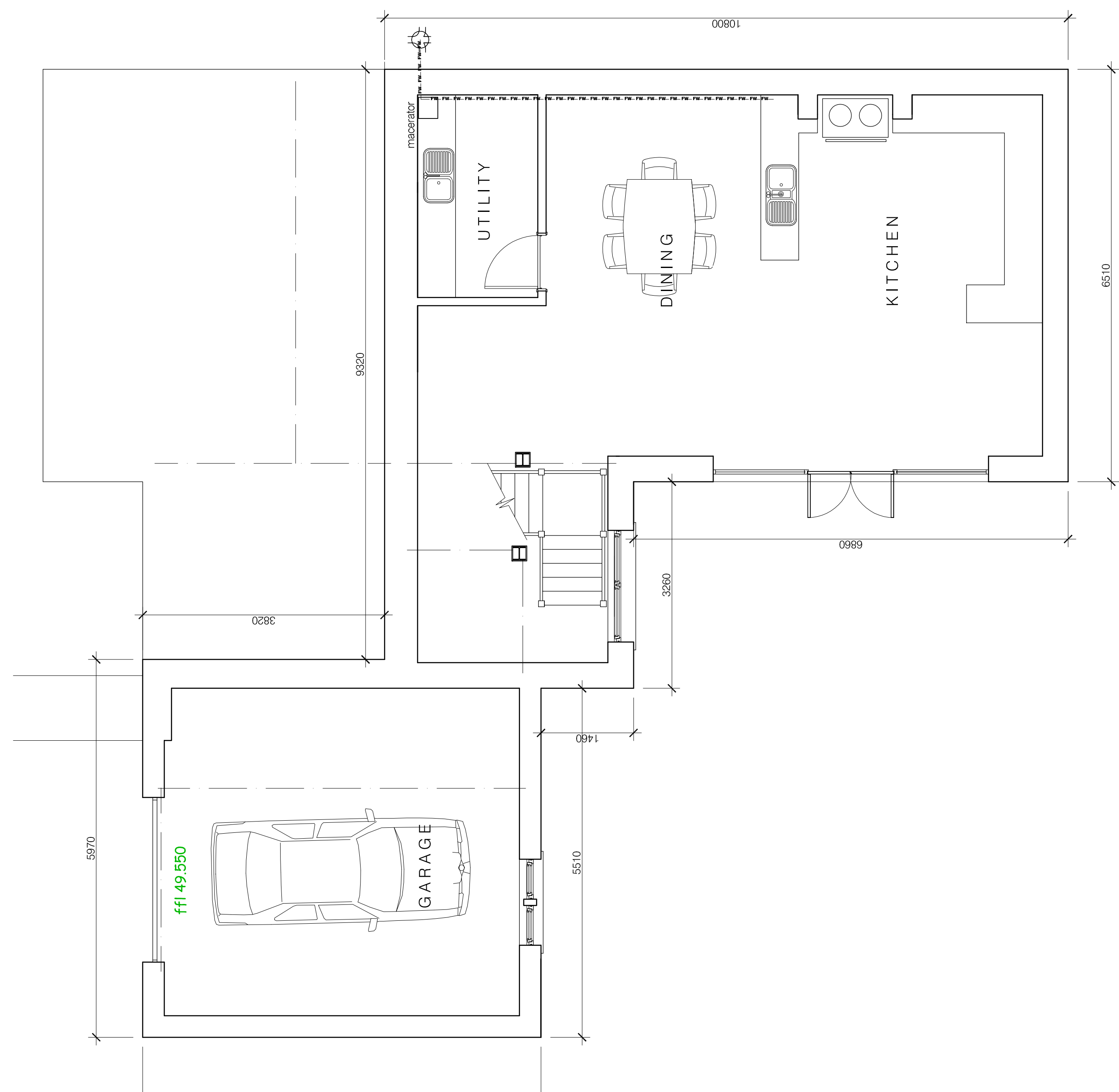
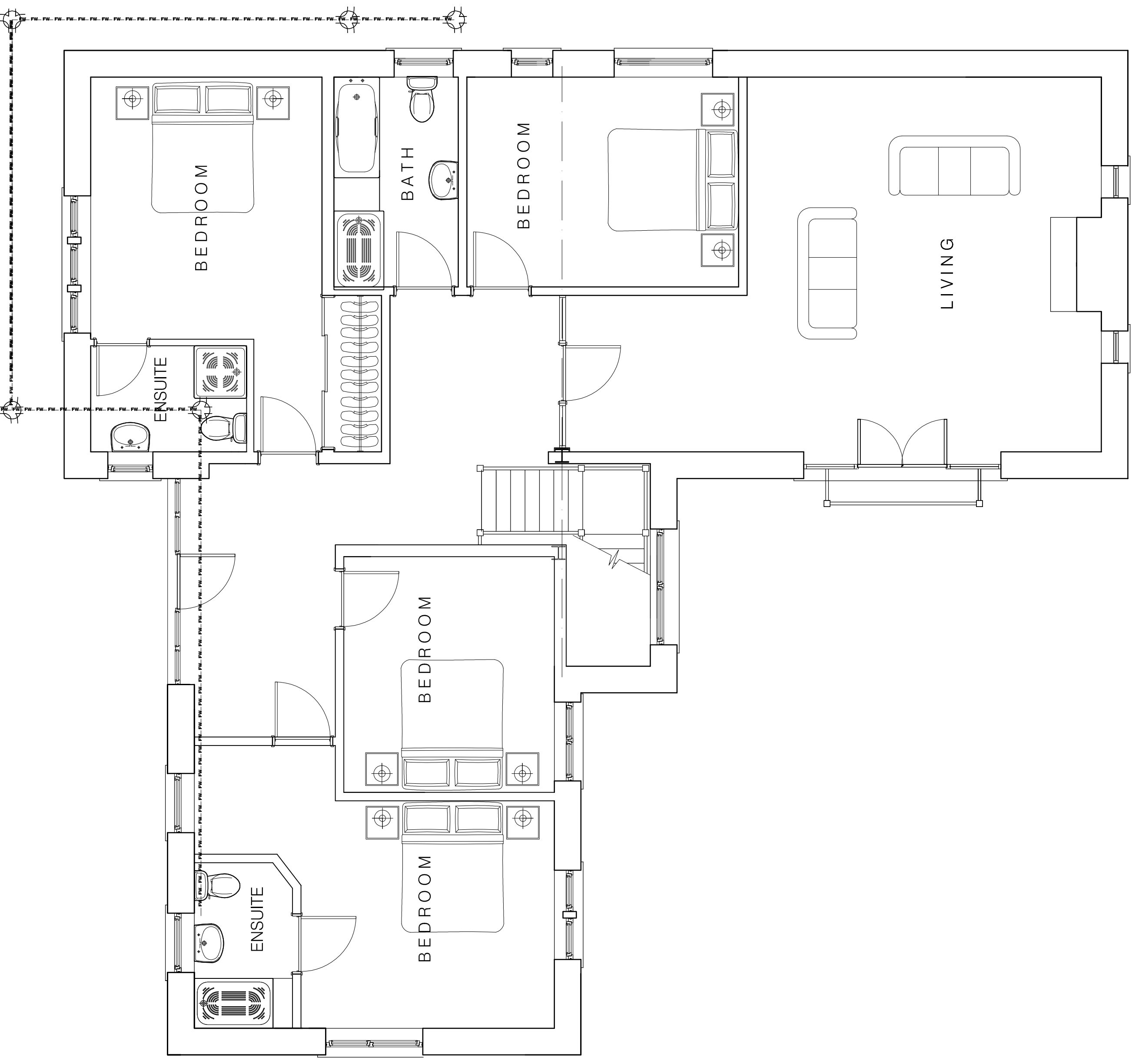
DRG NO: 1549- 05c

Scale: 1:500 @ A2 Date: 12.12.14

rev. "b" - 13.02.2015 - drainage revised
rev. "c" - 12.05.2015 - revisions to roof
plan

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proposed LOWER GROUND FLOOR
PLAN

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CHARTERED ARCHITECTS
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CASTELLANE GREAT CORBY

CLIENT:
Ms J Lyons

PROJECT:
Proposed New Dwelling

DRAWING:
Proposed Floor Plans

DRG NO:
1549.p.02e

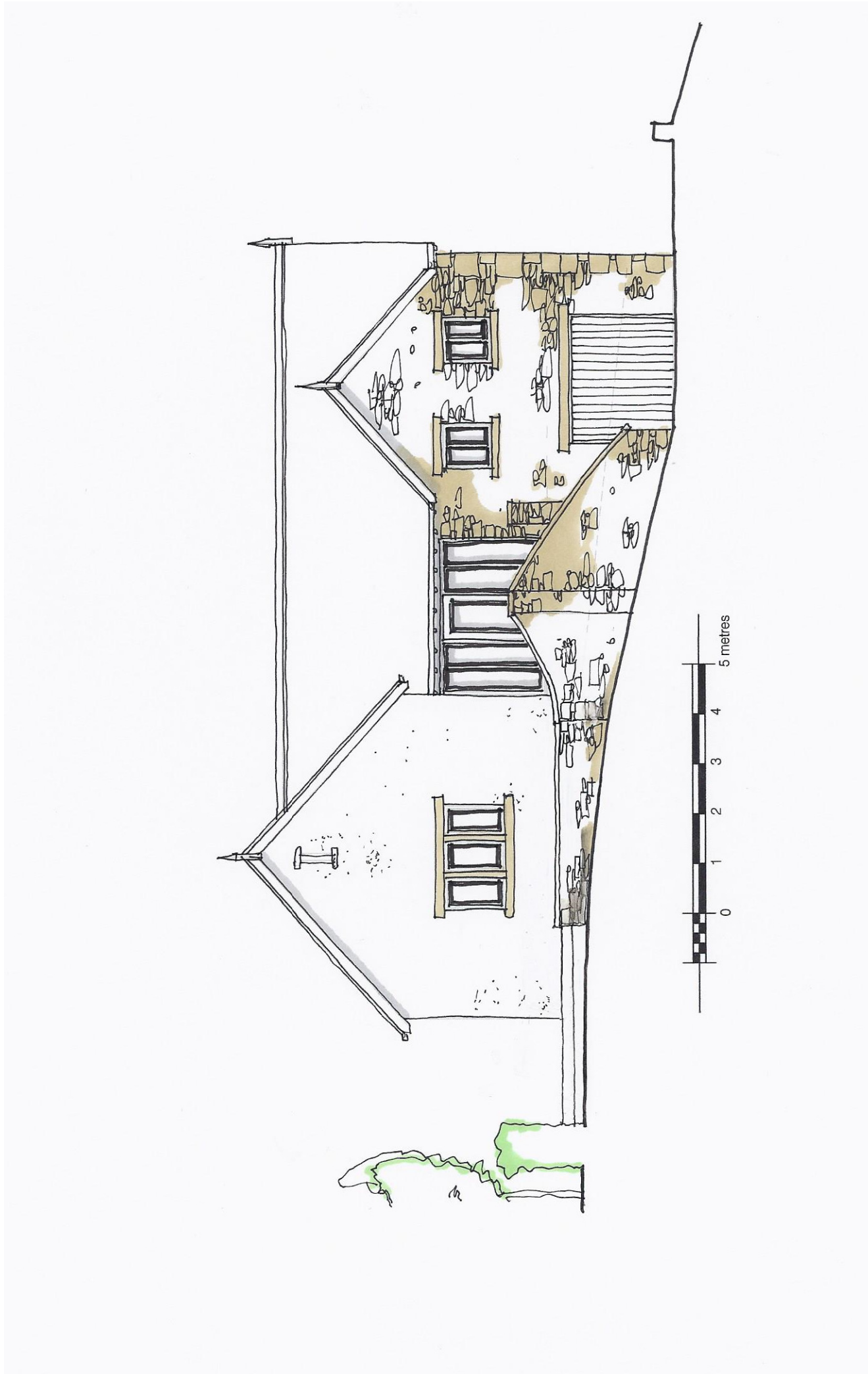
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Date: 12.12.14

rev. 'e' - 12.05.2015 - general revisions to plan, chimney relocated, windows amended two balconies omitted
rev. 'd' - 28.04.2015 - general revisions
rev. 'c' - 16.04.2015 - balcony revision
rev. 'b' - 13.02.2015 - drainage revised

Walls to be formed from coursed random rubble sandstone stonework from a local source.

Gable and north east wall to be finished in K Rend with Quoins to the return on stone gable

All external walling to be built from matching coursed random rubble stonework

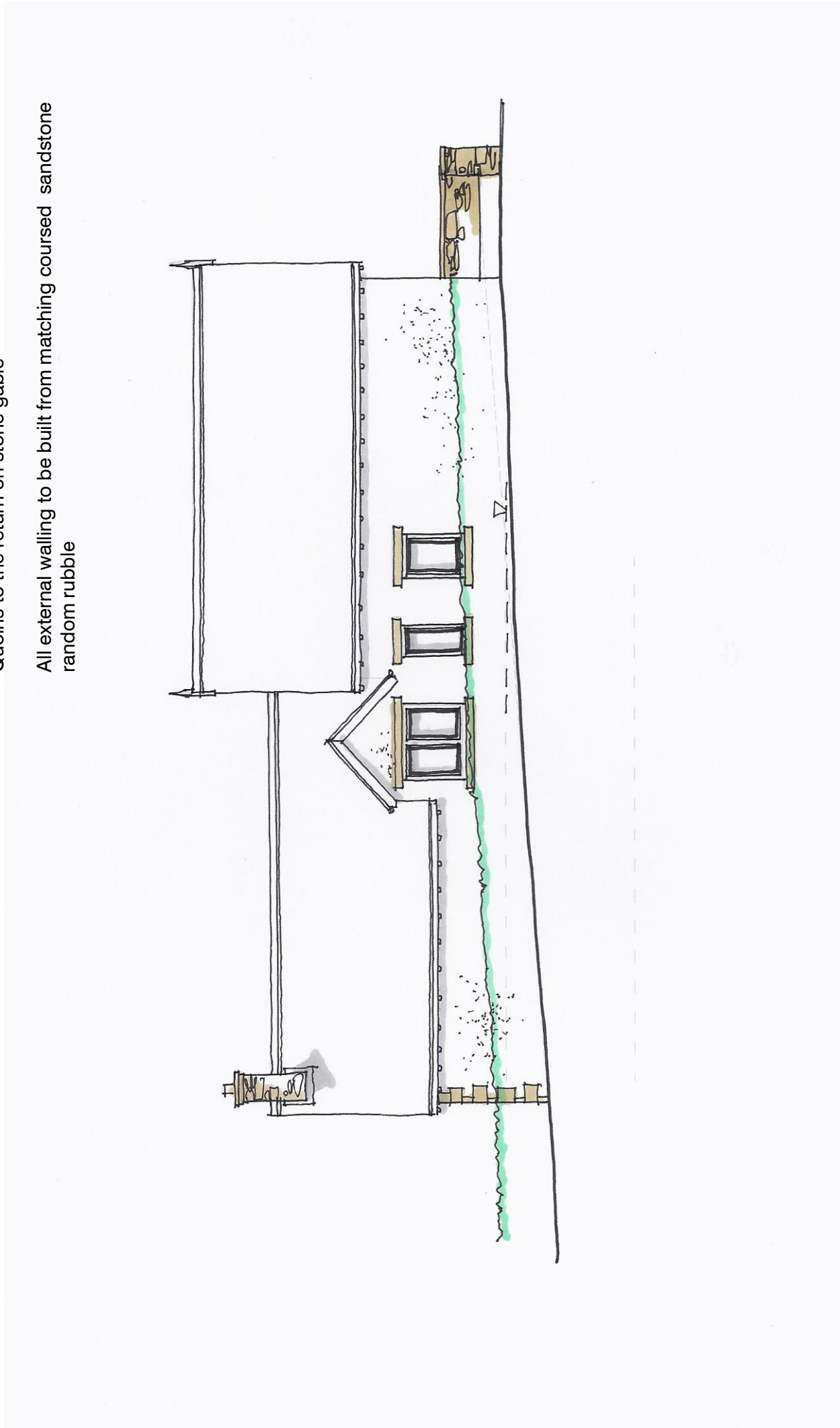


PROPOSED NORTH WEST ELEVATION

Chimney stack to be formed from coursed random rubble sandstone stonework from a local source.

Gable and north east wall to be finished in K Rend with Quoins to the return on stone gable

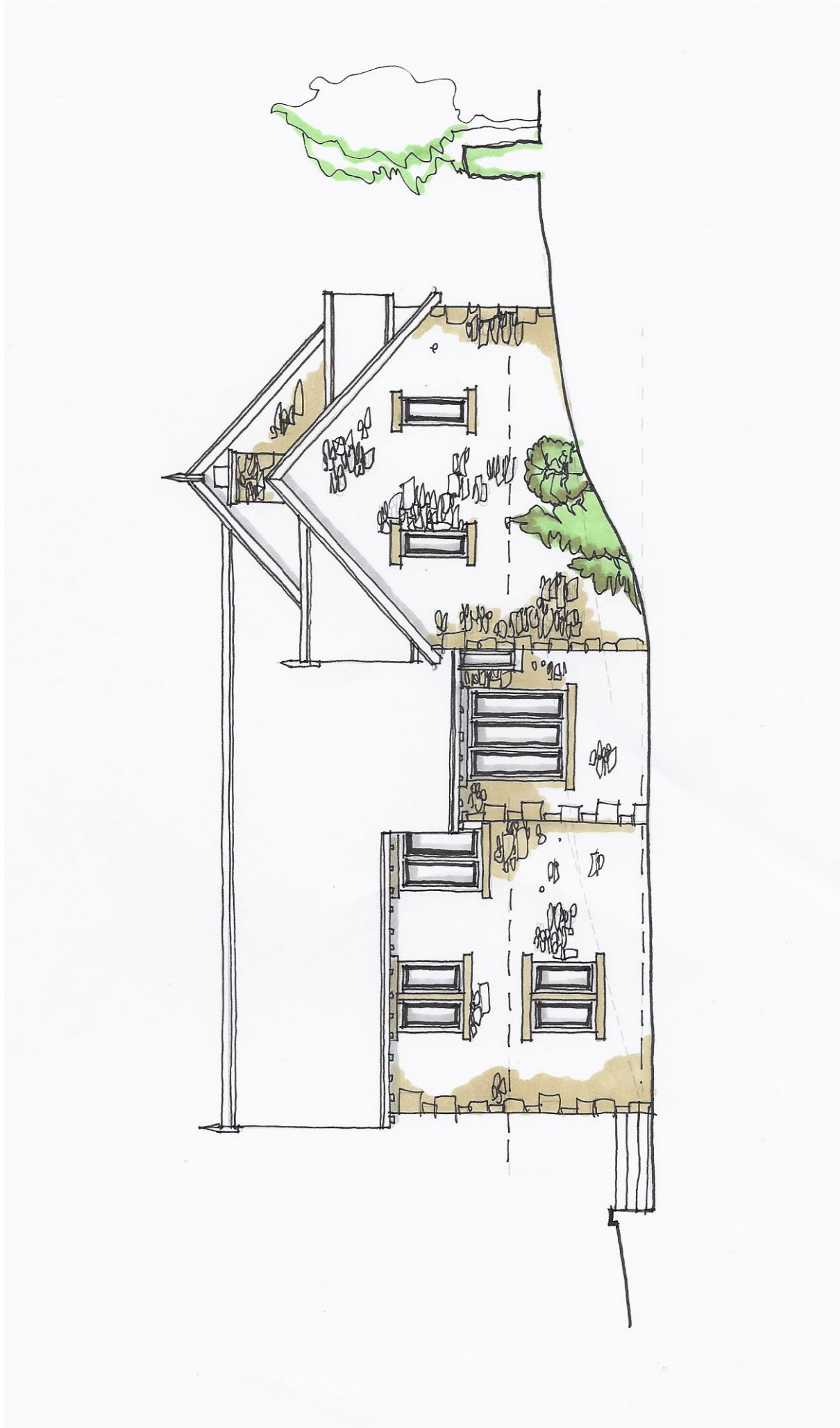
All external walling to be built from matching coursed sandstone random rubble



PROPOSED NORTH EAST ELEVATION



PROPOSED SOUTH WEST ELEVATION



PROPOSED SOUTH EAST ELEVATION

Wels blue slate to all roofs with finials to all gable barge boards
Sandstone effect ridge tiles

SW stained barge boards and exposed rafter feet, colour to match windows

Windows to be hardwood stained together with external doors

Stonework to be coursed random rubble sandstone from a local source with Matching quoins, lintols and cills.

Rainwater goods to be black aluminium seamless



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CASTELLANE GREAT CORBY

CLIENT:
Ms J Lyons
PROJECT:
Proposed New Dwelling
DRAWING:
Proposed Elevations
DRG NO:
1549 03B
Scale: 1:100 Date: Dec 2014
DWG

Rev B - 12.05.15 - Reduction in height of roof over lower living room
Reduction of 600mm to entrance and main gable. Removal of balconies to living and bedroom. Omission of main window to SE elevation, new smaller slit windows and revision to chimney