

SCHEDULE A: Applications with Recommendation

21/0038

Item No: 06

Date of Committee: 11/06/2021

Appn Ref No:
21/0038

Applicant:
East Brownrigg Ltd

Parish:
Beaumont

Agent:
Concept Architectural
Design Ltd

Ward:
Dalston & Burgh

Location: Land to the rear of Hallcroft, Monkhill, Carlisle, CA5 6DB

Proposal: Erection Of 7no. Dwellings (Reserved Matters Application Pursuant To Outline Permission 18/0994)

Date of Receipt:
24/02/2021

Statutory Expiry Date
21/04/2021

26 Week Determination

REPORT

Case Officer: Richard Maunsell

ADDENDUM REPORT

The application was presented to Members of the Development Control Committee on the 30th April 2021 with a recommendation that the application was approved subject to the imposition of planning conditions.

Following a debate by Members, the committee was concerned about the potential adverse impact of the development on underground infrastructure owned by neighbouring residents. The committee resolved to defer consideration of the application in order to allow the applicant to submit a drawing showing the layout of underground services within the site and to await a further report on the application at a future meeting of the committee.

The applicant has submitted a Drainage Report, Local Authority Search Results, a Northern Gas Network Search results and a Drainage & Water Search report, copies of which are reproduced following this report.

The applicant has also submitted an amended Block Plan which shows Plots 1 to 6 (inclusive) being reoriented slightly further to the east which is accompanied by an email from the agent who states that the applicant:

"...wants to work with the neighbours and we have decided to tweak the layout slightly to move the houses away from the houses and the drainage corridor."

If Members are minded to approve the application, it is recommended that condition 2 is amended to include reference to the revised Block Plan within the list of approved documents.

COMMITTEE REPORT FOR 30TH APRIL 2021 MEETING

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Principle Of Residential Development Is Acceptable
- 2.2 Whether The Scale, Design Is Acceptable
- 2.3 The Impact Of The Development On Hadrian's Wall Buffer Zone
- 2.4 The Impact Of The Development On The Character And Setting Of The Grade II Listed Buildings
- 2.5 The Impact Of The Proposal On The Living Conditions Of Neighbouring Properties
- 2.6 Highway And Access Issues
- 2.7 Foul and Surface Water Drainage
- 2.8 Impact Of The Proposal On Biodiversity

3. Application Details

The Site

- 3.1 The application seeks outline planning permission for the erection of seven dwellings. The site is located on the western side of the road leading from Monkhill to Moorhouse. To the north lies a cul-de-sac of six residential properties, to the south are agricultural buildings and dwellings and to the west are 3 bungalows. Agricultural land adjoins the site to the east.
- 3.2 The application site is currently in agricultural use and relatively level; however, the land to the north and west is at a lower level. The site is relatively open with only an established hedgerow and trees along the northern boundary. A vehicular access exists from the west between two bungalows.

Background

- 3.3 Outline planning permission was granted in 2014 for the erection of seven dwellings, including two affordable units and the change of use of agricultural land to domestic garden to serve the property known as 'Hallcroft'.
- 3.4 In 2015, outline planning permission was granted which was a renewal of the 2014 permission with the exception that the affordable housing contribution was to be by way of a financial contribution rather than on-site provision.

The Proposal

- 3.5 The current application seeks reserved matters approval for the erection of seven dwellings on the site following the grant of outline planning permission. All other matters remain subject to the planning conditions attached to the outline planning permission and the matters under consideration as part of this application are limited to the layout, scale, appearance, access and landscaping.
- 3.6 The submitted layout plan shows the development utilising the existing access into the site. A central access road would be constructed centrally through the site which would serve the properties. The development would comprise of four two storey detached houses with double integral garages along the northern boundary; adjacent to the southern boundary would be a single storey bungalow; and adjacent to the eastern boundary would be a further two detached two storey houses with double integral garages.

4. Summary of Representations

- 4.1 This application has been advertised by means of a site notice and direct notification to the occupiers of 43 of residential properties. In response, ten letters of objection have been received and the main issues raised are summarised as follow:
1. the site lies within a world heritage site and a scheduled monument any new development, other than on established farmsteads or previously developed land is not permitted. The case and need for housing to be built on such a site has not been established by the local authority;
 2. the proposed site access off Monkhill Road is inadequate for the size of the proposed development. The local authority needs to advise how this site access hazard will be overcome as part of the development. The noise and vehicle movement impact on the two neighbouring properties, Hall Croft and Gracelands will be severely detrimental to the value of both properties. The increased vehicle movements will be both hazardous and affect the adjoining property owner's quiet enjoyment;
 3. the site lies at the highest point in Monkhill village and will be clearly seen from the surrounding area. This is further compounded, with the proposal to build 6 houses out of the 7 plots development;
 4. an archaeological survey of the proposed site is absent together with a proposed site level drawing;
 5. there is an absence of any safe guards in terms of construction methodology, disruption mitigation measures and timescale for the construction of the development;
 6. there is no demand for additional housing in Monkhill and the site does not form part of the local plan;
 7. Two storey houses are not in keeping with the character of the area;
 8. the development will result in construction over septic tanks and other infrastructure on the land;
 9. the development could affect water pressure, wildlife, privacy and noise.

5. Summary of Consultation Responses

Cumbria County Council - (Highways & Lead Local Flood Authority): - the following response has been received;

Local Highways Authority

The lengthy site history is noted with previous applications 06/1035, 13/0728, 15/0284 and 18/0994. The details submitted are unchanged from the previous, therefore all previous recommendations remain.

If the application is approved the applicant must not commence works, or allow any person to perform works, on any part of the highway until in receipt of an appropriate permit allowing such works. They will need to contact Streetworks Central streetworks.central@cumbria.gov.uk for the appropriate permit.

Lead Local Flood Authority (LLFA)

The (LLFA) has no records of minor surface water flooding to the site and the Environment Agency surface water maps do not indicate that the site is in an area of risk. The Planning Statement states surface water to soakaway and foul to package treatment.

Conclusion

The previous recommendations remain unchanged;

Cumbria Wildlife Trust: - no response received;

Local Environment - Environmental Protection: - no response received;

Historic England - North West Office: - no comment;

Local Environment, Waste Services: - no objection;

Natural England: - no objection;

Beaumont Parish Council: - the parish council supported the residents' objections.

A road traffic accident occurred as a vehicle was turning out of the junction.

Data has been obtained by the speed indicator device sited in Monkhill opposite the Drivers Rest over three months last summer. Over this period, 118399 vehicles travelled through Monkhill from the Carlisle direction and 686 were travelling at more than 50 mph and two at more than 70 mph. The Parish Council believe that this is a very dangerous junction. The visibility for exiting from this junction is simply not adequate for family-sized vehicles pulling out onto the main road and despite repeated requests for assistance by the Parish Council it has not proved possible for the traffic to be slowed.

On 27th November 2020 a vehicle pulled out of the lane scraped the fence and knocked over the lamp post.

Large vehicles regularly enter and exit the lane. A potential 14 extra vehicles using this junction every morning and evening will make the situation worse.

The wall belonging to the house at the corner has been damaged three times by vehicles trying to turn into the lane.

The situation regarding the access for maintenance of pipes and septic tanks belonging to the houses adjacent to the proposed development has not been resolved. There are currently 4 septic tanks with associated pipework in the field and two of the owners of properties that will be affected by this development have clearly said that they do not want to be part of a shared sewage treatment system which serves 11 houses. Despite the fact that the presence of underground infrastructure would not normally be a barrier to a site being built upon, we believe that this is not a “normal” situation. The Parish Council understand that a developer, Monkhill Developments Ltd, now has a financial interest in the property, nevertheless the existing right of access to the land still applies and is mentioned in the Title to the property.

The right of unimpeded access for 80 years to the septic tank and associated pipework granted to occupiers of neighbouring properties and their successors by the previous owners (and their successors in title to this land) in April 2004 has not been shown to be encompassed within this proposal. The drainage pipes from the septic tank run across the entire field. Although an “access corridor” to the septic tank has been suggested, the Parish Council does not see how 7 properties can be built on this site without impinging on this right of access to both the septic tank and its associated inlet and outlet pipes.

Historically damage has been caused to the pipework caused by plant driven across the field. The sheer weight of any construction plant is likely to damage the pipework and any tarmac surface will make access to the pipework for future repair or replacement both expensive and disruptive for potential owners of new houses.

Although the parish council understand that exercise of this Deed of Grant may be a civil matter, and would need to be enforced by a court of law, the Parish Council cannot support a proposal which clearly transgresses parishioner’s legal rights;

United Utilities: - no response received.

6. Officer's Report

Assessment

- 6.1 Section 70(2) of the Town and Country Planning Act 1990/ Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application

for planning permission is determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise.

- 6.2 The Development Plan for the purposes of the determination of this application comprise Policies SP1, SP2, SP6, HO2, IP2, IP3, IP4, IP6, CC5, CM5, HE1, HE3, GI3 and GI6 of the Carlisle District Local Plan 2015-2030 are of particular relevance. The City Council's Supplementary Planning Document 'Achieving Well Designed Housing' (SPD) is also a material planning consideration. The proposal raises the following planning issues.

1. Whether The Principle Of Residential Development Is Acceptable

- 6.3 The NPPF seeks to promote sustainable development and in rural areas, housing should be located where it will enhance or maintain the vitality of rural communities.
- 6.4 Outline planning permission was granted for development of this site for housing. Members will note the objections received in respect of this application, many of which refer to the principle of development being unacceptable and that the junction with the Carlisle to Burgh-by-Sands road is unsuitable for additional vehicles.
- 6.5 Members are reminded that the outline planning permission remains extant. This application seeks to address the reserved matters comprising of the layout, scale, appearance, access and landscaping. As such, the application must be considered in accordance with these matters alone and the issues raised are discussed in the following paragraphs.

2. Whether The Scale And Design Is Acceptable

- 6.6 Paragraphs 124 to 132 of the NPPF which emphasises that the creation of high quality buildings and places is fundamental to what the planning system and development process should achieve. The Framework has a clear expectation for high quality design which is sympathetic to local character and distinctiveness as the starting point for the design process. Paragraph 127 outlines that:

“Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*
- e) optimise the potential of the site to accommodate and sustain an*

- appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
- f) *create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.”*

- 6.7 It is further appropriate to be mindful of the requirements in paragraph 130 of the NPPF which states:

“Permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Conversely, where the design of a development accords with clear expectations in plan policies, design should not be used by the decision-maker as a valid reason to object to development. Local planning authorities should also seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).”

- 6.8 Policy SP6 of the local plan requires that development proposals demonstrate a good standard of sustainable design that responds to local context taking account of established street patterns, making use of appropriate materials and detailing, and reinforcing local architectural features to promote and respect local character and distinctiveness. Specific to householder proposals, Policy HO8 of the local plan requires that extensions and alterations be designed to relate to and complement the existing building in scale, design, form and materials which maintain the established character and pattern of the street scene resulting in a positive addition.

- 6.9 In addition to the planning policies, development should be appropriate in terms of quality to that of the surrounding area and should not have an adverse impact on the living conditions of the occupiers of adjacent residential properties. The SPD provides guidance as to minimum distances between primary windows in order to respect privacy and avoid overlooking. Any subsequent scheme would have to be mindful and have regard to the distances outlined in the SPD i. e. 12 metres between primary windows and blank gables and 21 metres between primary windows.

- 6.10 The City Council's Supplementary Planning Document "Achieving Well Designed Housing", on the matter of privacy, states that:

“Where a development faces or backs onto existing development, in order to respect privacy within rooms a minimum distance of 21 metres should usually be allowed between primary facing windows (and 12 metres between any wall of the building and a primary window). However, if a site is an infill, and there is a clear building line that the infill should respect, these distances need not strictly apply. (para. 5. 44) While it is important to protect the privacy of existing and future residents, the creation of varied development,

including mews style streets, or areas where greater enclosure is desired, may require variations in the application of minimum distances. " (para. 5. 45)

- 6.11 The development would be set within the site to the rear of existing buildings and would not, therefore, occupy a prominent location within the village. The properties themselves would be of modern appearance but there is an eclectic mix of house styles in the village ranging from historic buildings through to modern, new- built properties. The buildings proposed as part of this application would therefore not be uncharacteristic of other properties in the locality.
- 6.12 The development achieves adequate amenity space within around the properties and the development as a whole with appropriate car parking provision. The scheme would be compliant with the requirements of the SPD and as such, the scale, design and impact on the character and appearance of the area would be appropriate.

3. The Impact Of The Development On Hadrian's Wall Buffer Zone

- 6.13 Although not part of the Hadrian's Wall Vallum, the site is within the buffer zone of Hadrian's Wall Military Zone World Heritage Site where policies require that proposals for development which would have an unacceptable impact on the character and/or setting of the World Heritage Site will not be permitted. Development within or adjacent to existing settlements, established farmsteads and other groups of buildings will be permitted, where it is consistent with other policies of this Plan, providing that the proposal reflects the scale and character of the existing group of buildings and there is no unacceptable adverse effect on the character and/or appearance of the Hadrian's Wall Military Zone World Heritage Site.
- 6.14 On the basis of the details submitted, Historic England has not raised any objection.

4. The Impact Of The Development On The Character And Setting Of The Grade II Listed Buildings

- 6.15 Pursuing sustainable development involves seeking positive improvements in the quality of the historic environment (paragraph 8).

Impact Of The Proposal On The Character And Setting of the Grade II Listed Buildings

- 6.16 Section 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990 highlights the statutory duties of local planning authorities whilst exercising of their powers in respect of listed buildings. Accordingly, considerable importance and weight should be given to the desirability of preserving listed buildings and their settings when assessing this application. If the harm is found to be less than substantial, then any assessment should not ignore the overarching statutory duty imposed by section 66(1).
- 6.17 Paragraph 195 of the NPPF states that local planning authorities should

refuse consent for any development which would lead to substantial harm to or total loss of significance of designated heritage assets. However, in paragraph 196, the NPPF goes on to say that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

- 6.18 Criteria 7 of Policy SP7 seeks to ensure that development proposals safeguard and enhance conservation areas across the District. Policy HE3 of the local plan also indicates that new development which adversely affects a listed building or its setting will not be permitted. Any harm to the significance of a listed building will only be justified where the public benefits of the proposal clearly outweighs the significance.

i) the significance of the heritage asset and the contribution made by its setting

- 6.19 The Drovers Rest Inn and The Old Mill are both Grade II listed buildings and are located approximately 70 metres to the north and 20 metres to the west respectively.

ii) the effect of the proposed development on the settings of the Grade II listed buildings

- 6.20 Historic England has produced a document entitled 'Historic Environment Good Practice Advice in Planning Note 3 - The Setting of Heritage Assets' (TSHA). The TSHA document and the NPPF make it clear that the setting of a heritage asset is the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive and negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

- 6.21 The NPPF reiterates the importance of a setting of a listed building by outlining that its setting should be taken into account when considering the impact of a proposal on a heritage asset (paragraph 194). However, in paragraph 196, the NPPF goes on to say that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

- 6.22 Section 66 (1) requires that development proposals consider not only the potential impact of any proposal on a listed building but also on its setting. Considerable importance and weight needs to be given to the desirability of preserving the adjoining listed buildings and settings when assessing this application. If the harm is found to be less than substantial, then any assessment should not ignore the overarching statutory duty imposed by section 66(1).

- 6.23 The development would be separated from the listed buildings by other non-listed intervening buildings and given the physical relationship, would not

be read in the same context. As such, it is considered that the proposal (in terms of its location, scale, materials and overall design) would not be detrimental to the immediate context or outlook of the aforementioned adjacent listed buildings.

5. The Impact Of The Proposal On The Living Conditions Of Neighbouring Properties

- 6.24 Planning policies require that development proposals should not adversely affect the living conditions of occupiers of residential properties by virtue of inappropriate development, scale or visually intrusive.
- 6.25 Earlier in this report, reference is made to the SPD which is again relevant in consideration of this issue. Furthermore, criterion 7 of Policy SP6 of the local plan requires that proposals ensure that there is no adverse effect on residential amenity or result in unacceptable conditions for future users and occupiers of the development.
- 6.26 The buildings would be arranged around the central access road with the rear elevations facing the neighbouring properties. The rear of the properties along the northern boundary would be compliant with the minimum distances in the SPD. The outline planning permission remain subject to a condition requiring the agreement of finished floor levels which would also have to demonstrate that the building are constructed to a suitable height in relation to the neighbouring properties.
- 6.27 Given the orientation of the application site with adjacent properties, it is not considered that the living conditions of the occupiers of the remaining properties would suffer from losses in privacy or daylight and sunlight or unacceptable levels of noise or disturbance due to the siting, scale and design of the property the development would not be over-dominant that merit the refusal of permission.
- 6.28 On this basis, the development would not conflict either the local plan policies or the council's SPD which requires a minimum distance of 21 metres between primary facing windows.

6. Highway And Access Issues

- 6.29 The site is served by an existing vehicular access. Cumbria County Council, as the Highway Authority has raised no objection to the application which is subject to the previous highway conditions which requires the access to be constructed and drained to the appropriate standard; an area reserved for the parking of vehicles engaged in the construction process; and provisions of appropriate visibility splays.
- 6.30 This is a reserved matters application following the grant of outline planning permission to which the Highway Authority raised no objection. In light of the previous Highway Authority's comments, together with fact that the access is existing, it would be unreasonable to refuse the application on this basis.

7. Foul and Surface Water Drainage

- 6.31 In order to protect against pollution, Policies IP6 and CC5 of the local plan seek to ensure that development proposals have adequate provision for the disposal of foul and surface water. These matters are subject to conditions relating to the outline application and will therefore be considered as part of a separate application.
- 6.32 Some of the objections received make reference to septic tank and infrastructure that is under the site and crosses the land and that development of the site would impede further access and maintenance contrary to already established way leaves and legal judgements.
- 6.33 The outline application was subject to condition 16 which states:
- “Any subsequent application for Reserved Matters shall take account of existing underground infrastructure on the site and the layout shall take account of such to avoid inhibiting future access for maintenance and repair by the relevant entitled party.”*
- 6.34 The layout plans shows an access corridor for the occupiers of Gracelands and Bush Bank to service the septic tanks. In terms of additional infrastructure which crosses the site, the applicant has confirmed that he is aware of the potential for these services. He has stated that legal searches undertaken through his solicitor confirm that there is a drainage corridor which crosses the site and he has further clarified that the development has taken account of this. Notwithstanding this, any requirement to comply with an existing way leave or legal judgement would be a civil matter.

8. Impact Of The Proposal On Biodiversity

- 6.35 Planning Authorities in exercising their planning and other functions must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, cc.) Regulations 1994 (as amended). Such due regard means that Planning Authorities must determine whether the proposed development meets the requirements of Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm the favourable conservation of the protected species and their habitat.
- 6.36 The City Council's GIS layer did identify the potential for protected species to be present on the site or within the immediate vicinity. Given that the proposal involves a small piece of agricultural land, adjacent to existing buildings, it is unlikely that the proposal would affect any species identified; however, an informative should be included within the decision notice ensuring that if a protected species is found all work must cease immediately and the local planning authority informed.

Conclusion

- 6.37 In overall terms, the principle of residential development has been established through the grant of the outline planning permission which remains extant. This application purely relates to the reserved matters which comprise the layout, scale, appearance, access and landscaping.
- 6.38 The scale and design would be appropriate to the site and would not result in an adverse impact on the wider character or appearance of the area. Similarly, the development would be acceptable in terms of the Hadrian's Wall World Heritage Site Buffer Zone.
- 6.39 The submitted plans take account of the highway issues and the living conditions of the occupiers of the neighbouring properties would not be prejudiced. The setting of any listed building would not be affected.
- 6.40 The development remains subject to 15 other planning conditions which seeks to further control the development, for example, through appropriate construction hours, highway detail, use of appropriate materials, finished floor levels, foul and surface water drainage etc.
- 6.41 In overall terms, the proposal is considered to be compliant with the objectives of the relevant local plan policies and the NPPF.

7. Planning History

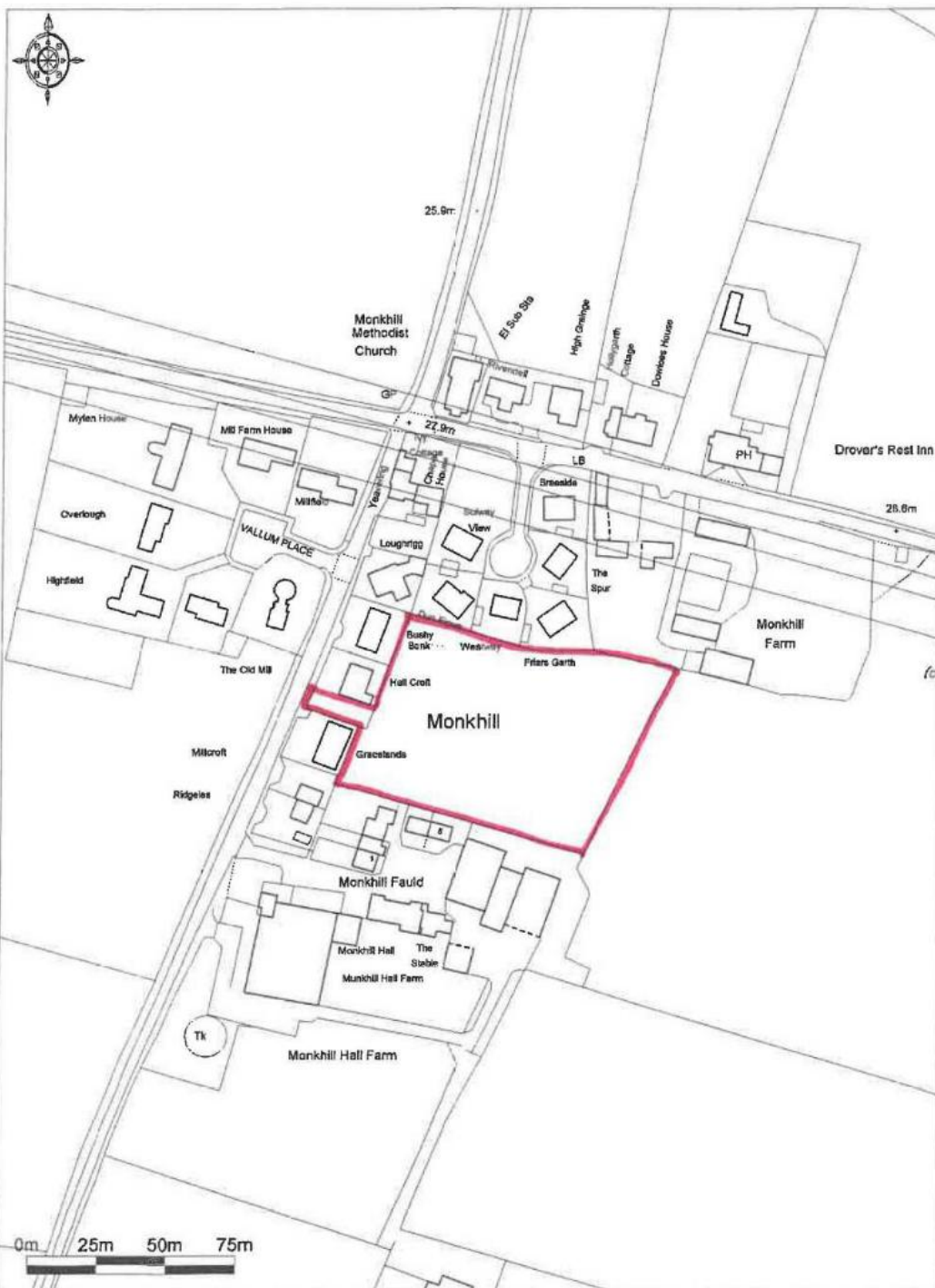
- 7.1 An application for outline planning permission was submitted in 2006 for the erection of 12 dwellings but was withdrawn prior to determination.
- 7.2 Outline planning permission was granted in 2014 for the erection of 7 dwellings, including 2 affordable units and the change of use of agricultural land to domestic garden to serve the property known as 'Hallcroft'.
- 7.3 In 2019, outline planning permission was granted for the erection of 7no. dwellings (outline/renewal of previously approved permission 15/0284).

8. Recommendation: Grant Permission

1. In discharge of requirements for the submission of detailed particulars of the proposed development imposed by conditions 1 and 2 attached to the outline planning consent to develop the site granted under reference 18/0994.
2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprise:
 1. the Planning Application Form received 18th January 2021;
 2. the Site Location Plan received 18th January 2021;
 3. the Site Layout Plan received 2nd March 2021 (Drawing no. CA-272-06);
 4. the Plot 1 & 2 (Plot 2 Handed) received 18th January 2021 (Drawing no.

- CA-272-01 Rev A);
5. the Plot 3 received 18th January 2021 (Drawing no. CA-272-02 Rev A);
 6. the Plot 4 & 6 (Plot 6 Handed) received 18th January 2021 (Drawing no. CA-272-03 Rev A);
 7. the Plot 5 received 18th January 2021 (Drawing no. CA-272-04 Rev A);
 8. the Plot 7 received 18th January 2021 (Drawing no. CA-272-05 Rev A);
 9. the Notice of Decision;
 10. any such variation as may subsequently be approved in writing by the local planning authority.

Reason: To define the permission.





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PROJECT
PROPOSED DEVELOPMENT AT
WINDHILL
CARLSLE

Drawing Title
SITE LAYOUT PLAN

Client
W. LEWIS

Drawing No.
CA-272-06

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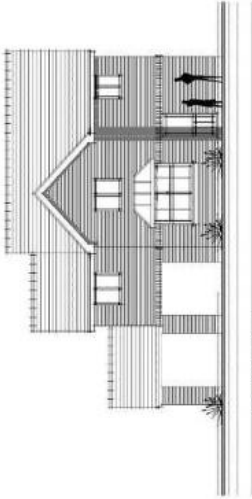
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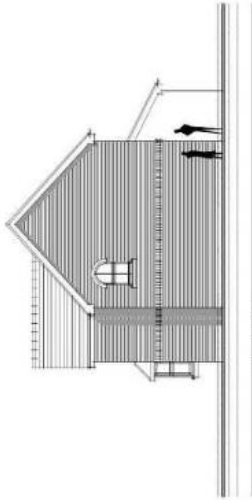
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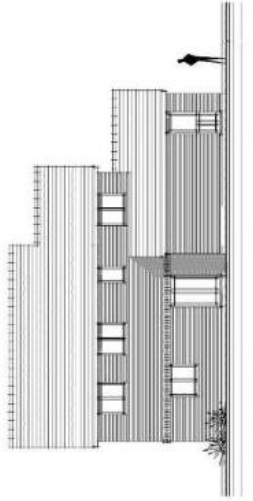
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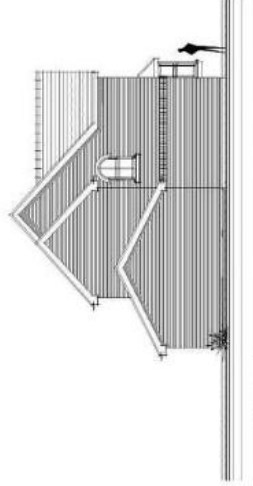
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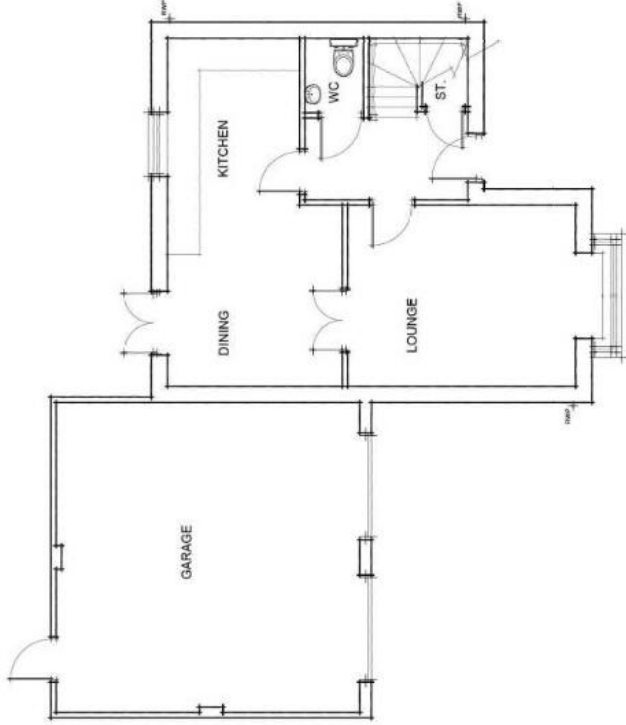
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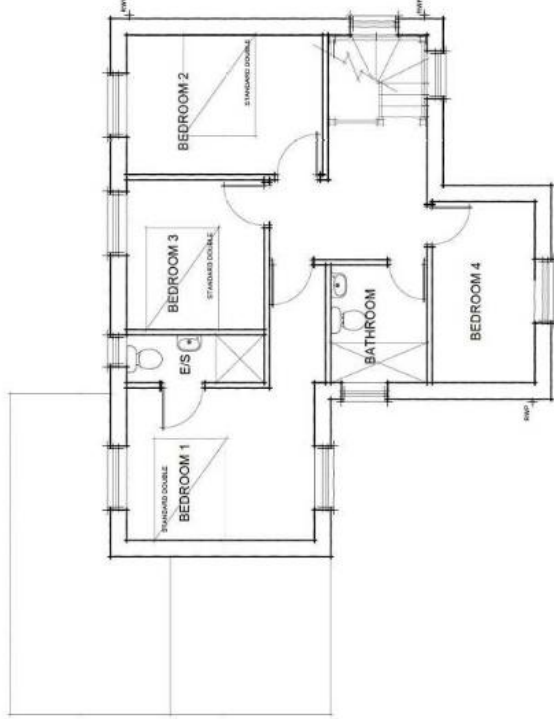
REAR
ELEVATION



SIDE
ELEVATION



GROUND FLOOR



FIRST FLOOR



PROPOSED DEVELOPMENT AT
MOONHILL
CARLSLE

Plotting Title
PLOT 1 & 2 (PLOT 2 HANDED)

Client
W. LEWIS

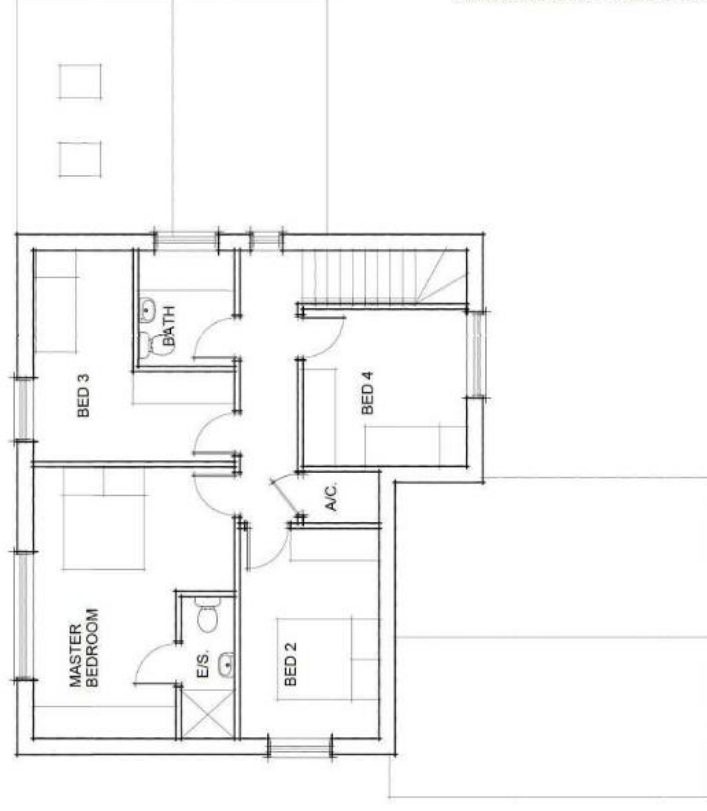
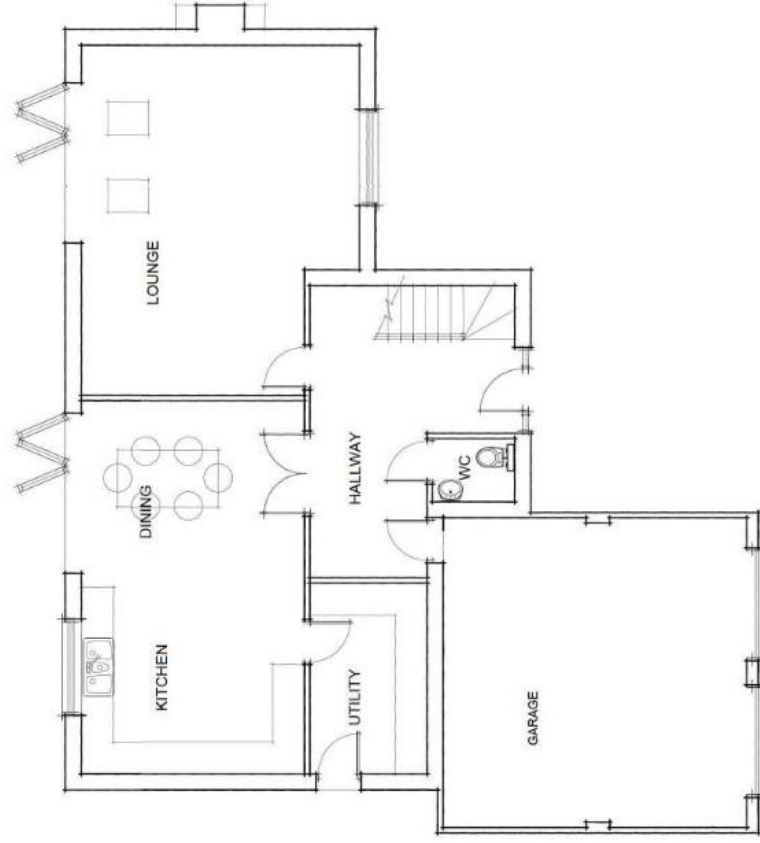
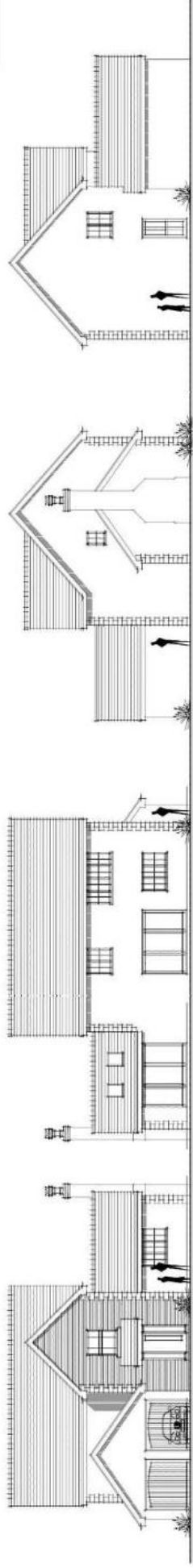
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CA-272-01

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Date
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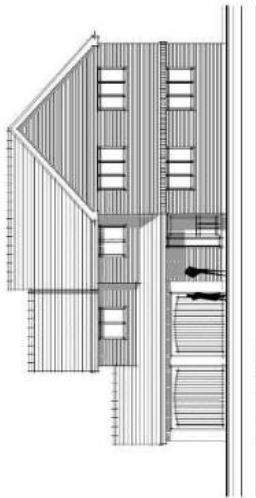
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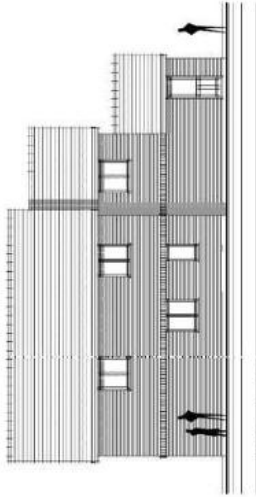




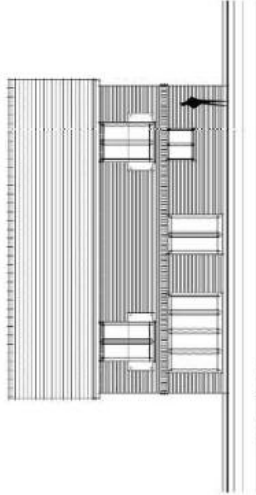
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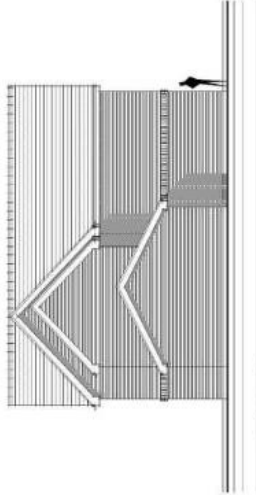
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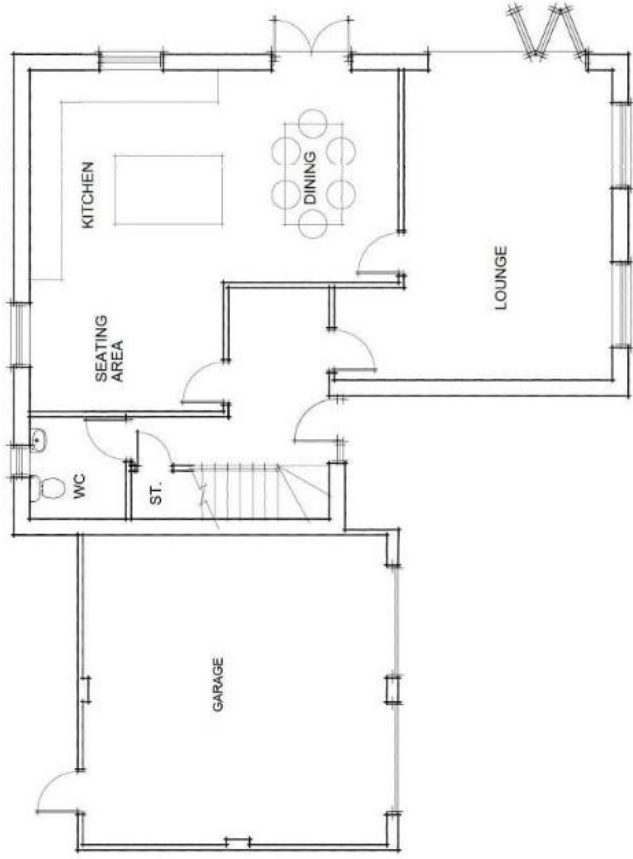
REAR
ELEVATION



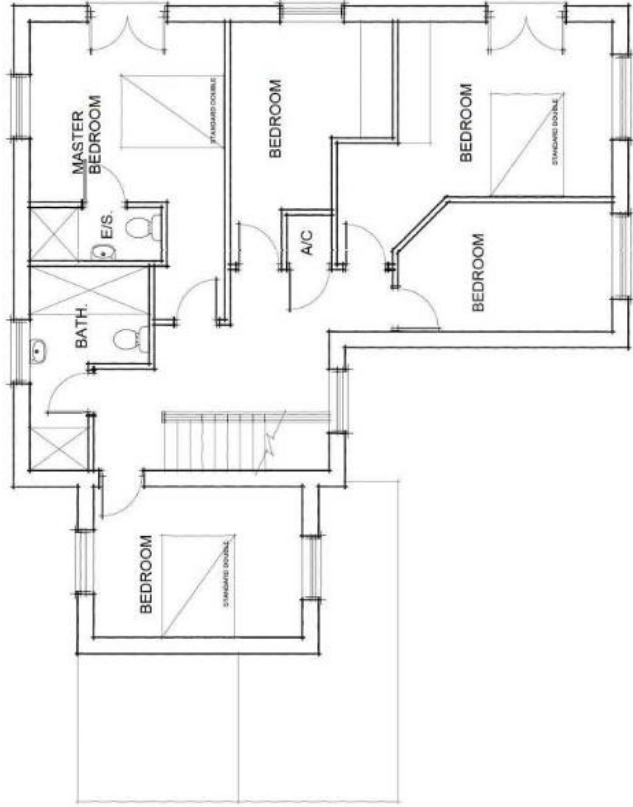
SIDE
ELEVATION



SIDE
ELEVATION



GROUND FLOOR



FIRST FLOOR

cconcept
architectural design
TEL: 01384 431513
EMAIL: concept.design@outlook.com

PROJECT
PROPOSED DEVELOPMENT AT
MONKHILL
CARLISLE

Drawing Title
PLOT 4 & 6 (PLOT 6 HANDED)

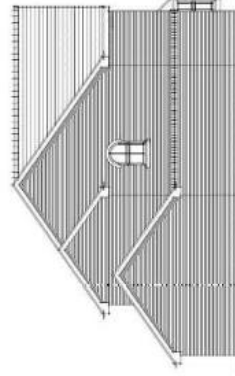
Client
W. LEWIS

Revision
A

Date
1:50/100@A1

Scale
AUG'20

Sheet No
SG

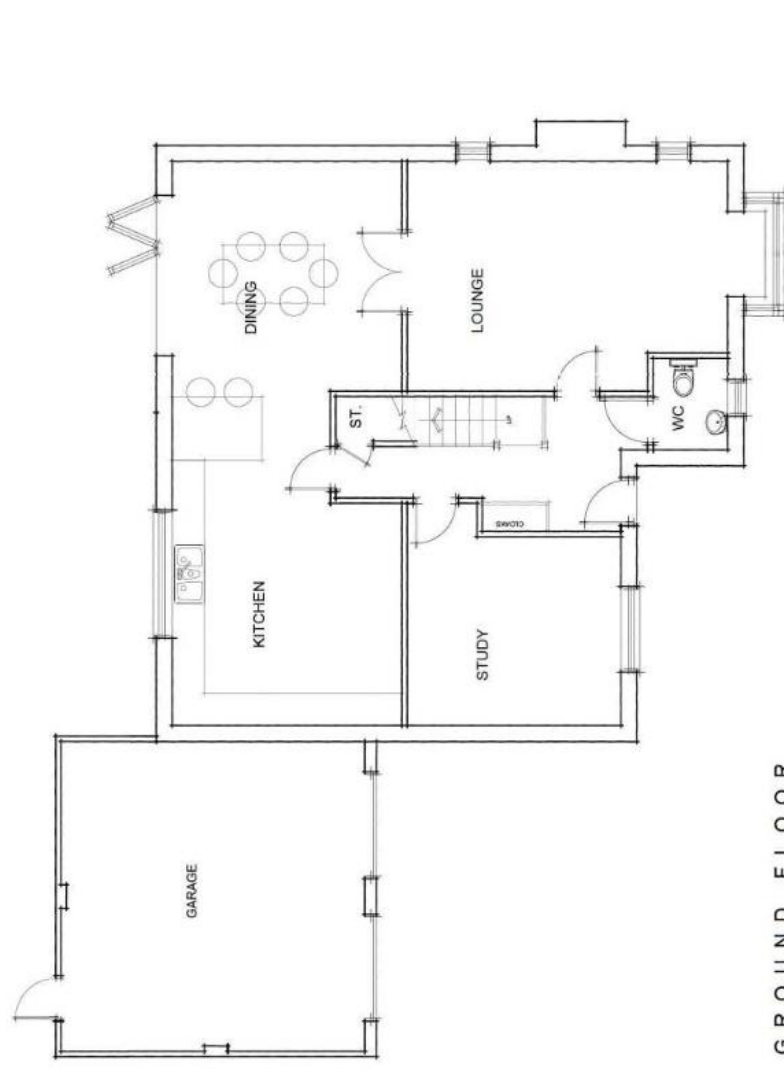


SIDE ELEVATION

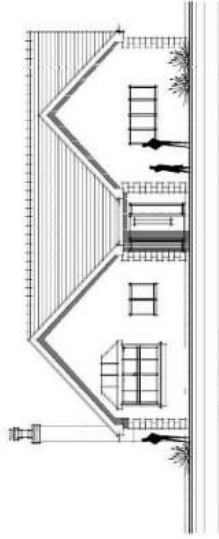


REAR ELEVATION

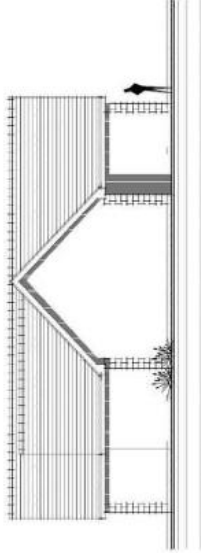
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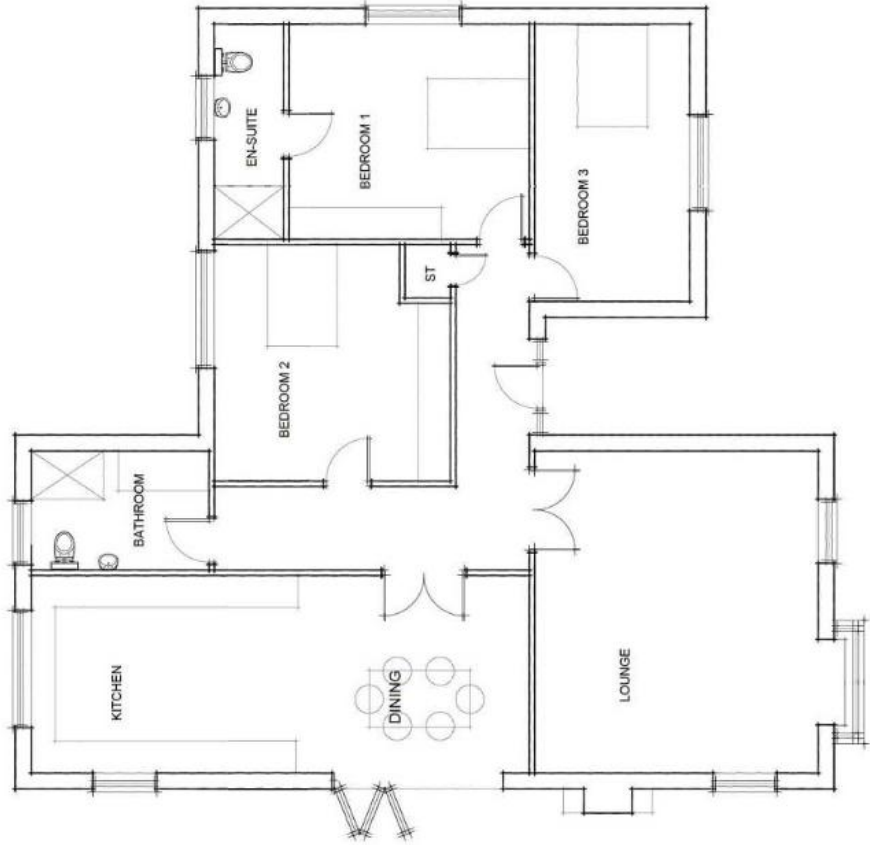
GROUND FLOOR



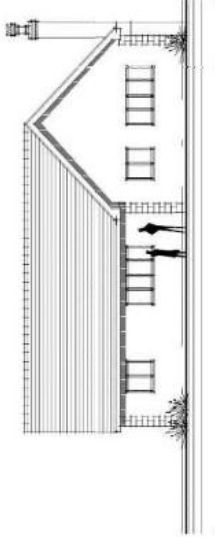
FRONT
ELEVATION



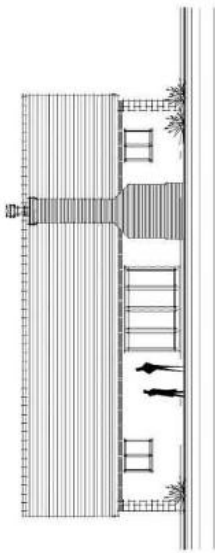
SIDE
ELEVATION



FLOOR PLAN



SIDE
ELEVATION



REAR
ELEVATION

C

concept

architectural design

TEL: 01284 415143
EMAIL: concept-design@outlook.com

PROJECT
PROPOSED DEVELOPMENT AT
MARKHILL
CARLSLE

DRAWING TITLE
PLOT 7

CLIENT
W. LEWIS

DRAWING NO.
CA-272-05

SCALE
1:50/100@A1

ARCHITECTURAL DESIGN • PROJECT MANAGEMENT • DEVELOPMENT CONSULTANTS

DATE
AUG'20

DESIGNED BY
SG

AMBI^{ENT}AL

ENVIRONMENTAL ASSESSMENT

Surface and Foul Water Drainage Technical Note 5487

Land to the Rear of Hallcroft
Monkhill
Carlisle
CA5 6DB

Document Issue Record

Project: Surface Water Drainage Technical Note

Reference: 5487 SWDS

Site Location: Land to the Rear of Hallcroft, Monkhill, Carlisle, CA5 6DB

Proposed Development: Construction of 7 residential dwellings on a greenfield site.

Consultant		Date	Signature
Author	Bojidar Boiadjiev	17/07/2020	
Document Check	Lydia Sayers	20/07/2020	
Authorisation	Mark Naumann	03/08/2020	

Please Note:

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Contact Us:

Ambiental Environmental Assessment
Sussex Innovation Centre,
Science Park Square,
Brighton, BN1 9SB

www.ambiental.co.uk

UK Office: +44 (0) 203 857 8540 or +44 (0) 203 857 8530

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1. Reason for Technical Note

1.1 This technical note is in response to Conditions 5 and 6 of planning application 18/0994. The application is for the erection of 7no. dwellings with associated access road. A topographic survey and proposed plans are provided in Appendix 1 of this technical note.

1.2 Planning Conditions 5 and 6 of planning application 18/0994 are detailed below:

5. Prior to the commencement of any development, a surface water drainage scheme, including a sustainable drainage management and maintenance plan for the lifetime of the development, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the local planning authority.

The surface water system shall demonstrate that no flooding will occur on any part of the site for a 1 in 30 year event unless designed to do so, flooding will not occur to any building in a 1 in 100 year event plus 40 % to account for climate change, and where reasonably possible flows resulting from rainfall in excess of a 1 in 100 year 6 hour rainfall event are managed in conveyance routes (plans of flow routes etc). The scheme must also confirm the design of the surface water drainage system will mitigate any negative impact of surface water from the development on flood risk outside the development boundary.

The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards. In the event of surface water draining to the surface water public sewer, the pass forward flow rate to the surface water public sewer must be restricted to 5l/s for any storm event.

Reason: To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off onto adjoining land including the highway and to reduce the risk of flooding in accordance with Policies SP6 and CC5 of the Carlisle District Local Plan 2015-2030, in the interests of highway safety and environmental management and to support Local Transport Plan Policies LD7 and LD8 and to promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution in accordance with policies within the National Planning Policy Framework and National Planning Practice Guidance.

6. No development approved by this permission shall be commenced until a scheme for the conveyance of foul drainage to has been submitted to and approved in writing by the local planning authority. No part of the development shall be brought into use until such treatment plant has been constructed and completed in accordance with the approved plans. The development shall then be undertaken in accordance with the approved plans.

Reason: To prevent pollution of the water environment in accordance with Policy IP6 of the Carlisle District Local Plan 2015-2030.

2. SUDS Assessment

- 2.1 Surface water run-off generated by development sites has the potential, where impermeable surface areas are increased, to increase flood risk to others by increasing the peak rate of surface water discharged from the Site. Consequently, the NPPF requires that all developments requiring a drainage assessment consider the sustainable management of surface water, so as not to increase the peak rate of surface water run-off when compared to the baseline scenario.
- 2.2 Under the requirements of the non-statutory technical standards for sustainable drainage systems (SuDS), where practicable, peak surface water discharge rates should be limited to as close to the pre-development surface water run-off rate (greenfield) as possible.
- 2.3 In accordance with the SuDS management train approach, the use of various SuDS measures to reduce and control surface water flows have been considered in detail for the development.

Infiltration Potential

- 2.4 In Infiltration tests conducted by the client have demonstrated that the water level in the trial pits dropped from 300mm to 290mm in 24 hours. This is deemed exceptionally slow and as such infiltration has been disregarded as a suitable method for managing the site runoff. Infiltration test results and photographs are shown in Appendix 2.

Drainage Hierarchy

- 2.5 The management of surface water has been considered in respect to the SuDS hierarchy (below) (as detailed in the CIRIA 753 'The SuDS Manual', Section 3.2.3):


SuDS Drainage Hierarchy				
			Suitability	Comment
	1.	Infiltration	x	Exceptionally low infiltration rates
	2.	Discharge to Surface Water	x	No watercourse in practical proximity
	3.	Discharge to Surface Water Sewer, Highway Drain or another Drainage System	✓	Discharge into highway sewer under Monkhill road
	4.	Discharge to Combined Sewer	-	
	5.	Discharge to a foul sewer	-	

Table 1: SuDS Hierarchy

- 2.6 At the top of the drainage hierarchy is managing runoff through infiltration. As such, if infiltration is feasible, this would be the primary approach of managing the runoff from the site. However, based on the information from section "Infiltration Potential", infiltration devices are deemed unfeasible.
- 2.7 Next in the hierarchy is discharge to a watercourse. This is deemed unfeasible due to the distance and third-party land between the site and the nearest watercourse.
- 2.8 An asset location search with United Utilities confirms that public surface or foul sewers are not recorded in the practical vicinity of the site. See Appendix 3 for asset location search.
- 2.9 It is therefore proposed to utilise the existing highway drain under Monkhill Road.

2.10 Correspondence with the Environment & Infrastructure team of Cumbria County Council has confirmed that the surface water runoff from the site would be allowed to be discharged into the existing system beneath the highway provided that infiltration is shown to be unfeasible. Additionally, according to the letter from Cumbria County Council, the foul water runoff from the site would also be allowed in the surface water system under Monkhill Road if it is treated by a treatment plant prior to discharge. See Appendix 4 for email confirmation from Cumbria County Council.

Suitability of SuDS Components

2.11 The suitability of SuDS components has been assessed in order to provide a sustainable means of providing the required attenuation volumes. The following components have been assessed as follows in Table 2:

Suitability of SuDS Components		
SuDS Component	Description	Suitability
Infiltrating SuDS	Infiltration can contribute to reducing runoff rates and volumes while supporting baseflow and groundwater recharge processes. The suitability and infiltration rate depends on the permeability of the surrounding soils.	x
Permeable Pavement	Pervious surfaces can be used in combination with aggregate sub-base and/or geocellular/modular storage to attenuate and/or infiltrate runoff from surrounding surfaces and roofs. Liners can be used where ground conditions are not suitable for infiltration.	x
Green / Blue Roofs	Green Roofs provide areas of visual benefit, ecological value, enhanced building performance and the reduction of surface water runoff. They are generally more costly to install and maintain than conventional roofs but can provide many long-term benefits and reduce the on-site storage volumes. Blue roofs provide additional attenuation by storing the rainwater in crates located in the roof structure. Runoff from these structures can be reduced significantly using small orifice devices due to the low risk of blockage.	x
Rainwater Harvesting	Rainwater Harvesting is the collection of rainwater runoff for use. It can be collected from roofs or other impermeable area, stored, treated (where required) and then used as a supply of water for domestic, commercial and industrial properties.	✓
Swales	Swales are designed to convey, treat and attenuate surface water runoff and provide aesthetic and biodiversity benefits. They can replace conventional pipework as a means of conveying runoff, however space constraints of some sites can make it difficult incorporating them into the design.	x
Rills and Channels	Rills and Channels keep runoff on the surface and convey runoff along the surface to downstream SuDS components. They can be incorporated into the design to provide a visually appealing method of conveyance, they also provide effectiveness in pre-treatment removal of silts.	x
Bioretention Systems	Bioretention systems can reduce runoff rates and volumes and treat pollution through the use of engineer soils and vegetation. They are particularly effective in delivering interception, but can also be an attractive landscape feature whilst providing habitat and biodiversity.	x
Retention Ponds and Wetlands	Ponds and Wetlands are features with a permanent pool of water that provide both attenuation and treatment of surface water runoff. They enhance treatment processes and have great amenity and biodiversity benefits. Often a flow control system at the outfall controls the rates of discharge for a range of water levels during storm events.	x
Detention Basins	Detention Basins are landscaped depressions that are usually dry except during and immediately following storm events, and can be used as a recreational or other amenity facility. They are generally appropriate to manage high volumes of surface water from larger sites such as a neighbourhoods.	x
Geocellular Systems	Attenuation storage tanks are used to create a below-ground void space for the temporary storage of surface water before infiltration, controlled release or use. The inherent flexibility in size and shape means they can be tailored to suit the specific characteristics and requirements of any site.	✓

Proprietary Treatment Systems	Proprietary treatment systems are manufactured products that remove specific pollutants from surface water runoff. They are especially useful where site constraints preclude the use of other methods and can be useful in reducing the maintenance requirements of downstream SuDS.	✓
Filter Drains and Filter Strips	Filter drains are shallow trenches filled with stone, gravel that create temporary subsurface storage for the attenuation, conveyance and filtration of surface water runoff. Filter strips are uniformly graded and gently sloping strips of grass or dense vegetation, designed to treat runoff from adjacent impermeable areas by promoting sedimentation, filtration and infiltration.	x

Table 2: Suitability of SuDS Components

- 2.12 Infiltration SuDS were deemed not feasible for the site (see section “Geology” of this report). Green and blue roofs are not feasible due to the pitch nature of the proposed roofs.
- 2.13 Swales, detention ponds, basins, wetlands are usually suitable for larger scale sites with more available public space.
- 2.14 Permeable pavement is not deemed suitable due to the slow infiltration rates, slope of the site, and the potential for adoption of the access road.
- 2.15 The proposal is to utilise geocellular crate systems to attenuate the runoff prior to discharge. If the access road is to be adopted and this arrangement is deemed unfeasible for adoption, the attenuation could be provided through an oversized pipe system. The details of such an arrangement are to be confirmed at a later stage.
- 2.16 Rainwater harvesting is also proposed to be considered by the developer in order to provide further benefits from the drainage strategy. This could be provided in the form of water butts for each dwelling.

Rainwater Harvesting

- 2.17 Rainwater harvesting (RWH) systems should be considered for rainwater re-use. Rainwater harvesting can take various forms including simple water butts to utilise runoff for watering and irrigation, to more complex pumped RWH systems to be used in grey water uses.
- 2.18 Water Butts are considered suitable for this site to reduce peak discharges and downstream flood risk. Water butts often have limited storage capacity given that when a catchment is in flood, water butts are often full and have no spare capacity for flood waters. However, it is still considered that they have an important role to play in the sustainable use of water. There is potential to use ‘leaky’ water butts that provide overflow devices to the landscaped areas to ensure that there is always some volume available for storage during heavy rainfall events.
- 2.19 As such, downpipes could be routed through a water butt prior to discharging to planting areas in gardens and main building drainage.

3. Surface Water Drainage Strategy

- 3.1 In order to mitigate flood risk posed by the proposed development, adequate control measures are required to be considered. This will ensure that surface water runoff is dealt with at source and the flood risk on/off site is not increased over the lifetime of the development.

Runoff rates

- 3.2 As per condition 5 of the planning notice, the discharge from the development should be restricted to a peak rate of 5l/s.
- 3.3 The Lead Local Flood Authority has confirmed that a maximum discharge of 5l/s in line with the planning condition 5 is acceptable to the Lead Local Flood Authority and that the maximum discharge is to be controlled via a hydro-brake or similar device. See Appendix 4 for correspondence from Cumbria County Council.
- 3.4 As such, the proposals are to limit surface water runoff from the site to 5l/s utilising a Hydrobrake or similar vortex flow control device.

Attenuation Storage

- 3.5 Attenuation storage is needed to temporarily store water during periods when the runoff rates from the development site exceed allowable discharge rates from the site.
- 3.6 Rainfall depths for the 1 in 100-years return period plus 40% of CC were produced utilising the Causeway Flow software using the FEH rainfall model to estimate the largest volume, critical storm, for typical storm durations. A network model has been implemented to simulate the proposed drainage network and storage devices.
- 3.7 The proposed drainage layout and supporting construction details are provided in Appendix 5.
- 3.8 The total attenuation storage volume required for the site is 82.1m³. This includes all proposed storage structures, manholes and pipes.
- 3.9 The proposal is for two geocellular tank systems – Upper Tank (51.3m³) and Lower Tank (27.4m³) for a total of 78.7m³. The remaining 3.4m³ of required storage is provided through the proposed network (pipes and manholes) shown in the layout in Appendix 5. Calculations demonstrating the feasibility of the proposed network are provided in Appendix 6.

Design Exceedance

- 3.10 In the event of drainage system failure under extreme rainfall events or blockage, flooding may occur within the site. In the event of the development's drainage system failure, the runoff flow will be dictated by topography on site. It is advised that the external ground levels, where possible, are laid to fall away from building thresholds.
- 3.11 It is noted that the wider site falls to the north, where possible ground levels should be designed to direct runoff towards the southeast.
- 3.12 Design of external ground levels will need to be undertaken at detailed design stage to finalise these routes, but some indicative flow paths have been indicated on the outline strategy drawings.

- 3.13 Some indicative finished floor levels are provided in drawing 5487-DR01. These would need to be confirmed with the architect prior to finalisation.
- 3.14 In terms of drainage mechanisms to mitigate the impacts of exceedance events on the site, it is advised that non-return valves should be provided to prevent the ingress/egress of waters from the highway drain and the foul sewer.

Water Quality

- 3.15 Adequate treatment must be delivered to the water runoff to remove pollutants through SuDS devices, which are able to provide pollution mitigation.
- 3.16 The proposal is to treat runoff through proprietary devices like Naylor Passive Skimmers or similar oil treating product prior to release to the highway drain.
- 3.17 Separate treatment of the road and each plot may be required as part of any potential adoption process. This is to be confirmed with finalised plans and adopting authority and a suitable design of the treatment train is to be confirmed with a manufacturer.

Adoption and Maintenance

- 3.18 A long-term maintenance regime should be agreed with the site owners. Alternatively, the proposed network on site could be offered for adoption by United Utilities. If the system is to be adopted, the geocellular crate system may need to be replaced by an oversized pipe system to provide the required attenuation.
- 3.19 In addition to a long-term maintenance regime, it is recommended that all drainage elements implemented on site should be inspected following the first rainfall event post-construction and monthly for the first quarter following construction. See Appendix 7 for a general maintenance schedule.

4 Foul Water Drainage Strategy

- 4.1 It is proposed to manage the foul water from the site using a package treatment plant with a discharge into the highway sewer.
- 4.2 See Appendix 4 for confirmation from Cumbria County Council that foul flows from the site would be accepted if they are treated prior to discharge.
- 4.3 Two existing properties may also be connected to the package treatment plant as per client's advice. The connection from these properties may require pumping. Further confirmation of the need to construct these connections is to be provided. At this stage, in order to provide a more conservative design, it is suggested to assume these connections would be constructed and the package treatment plant to be sized accordingly allowing for these properties.
- 4.4 The design population for the package treatment plant has been advised by the client to be 43. This is as per client's advice that the anticipated population is 5 people per new dwelling and 4 people per existing property ($5 \times 7 + 4 \times 2 = 43$). Drawing 5487-DR01 shows an arrangement utilising a dual tank package treatment and is rated up to a population of 50. This proposal has to be confirmed with manufacturer and finalised proposals to confirm the population and suitability of the chosen system.

Appendix 1 – Topographic survey and Proposed Plans

Appendix 2 – Infiltration Tests

Bojidar Boiadjiev

From: WARREN LEWIS
Sent: 11 June 2020 11:00
To: Bojidar Boiadjiev
Subject: Warren

Trial pit 1
12.34pm 28th may
1000mm square
300 mm deep .

Findings
24 hours after
290mm deep

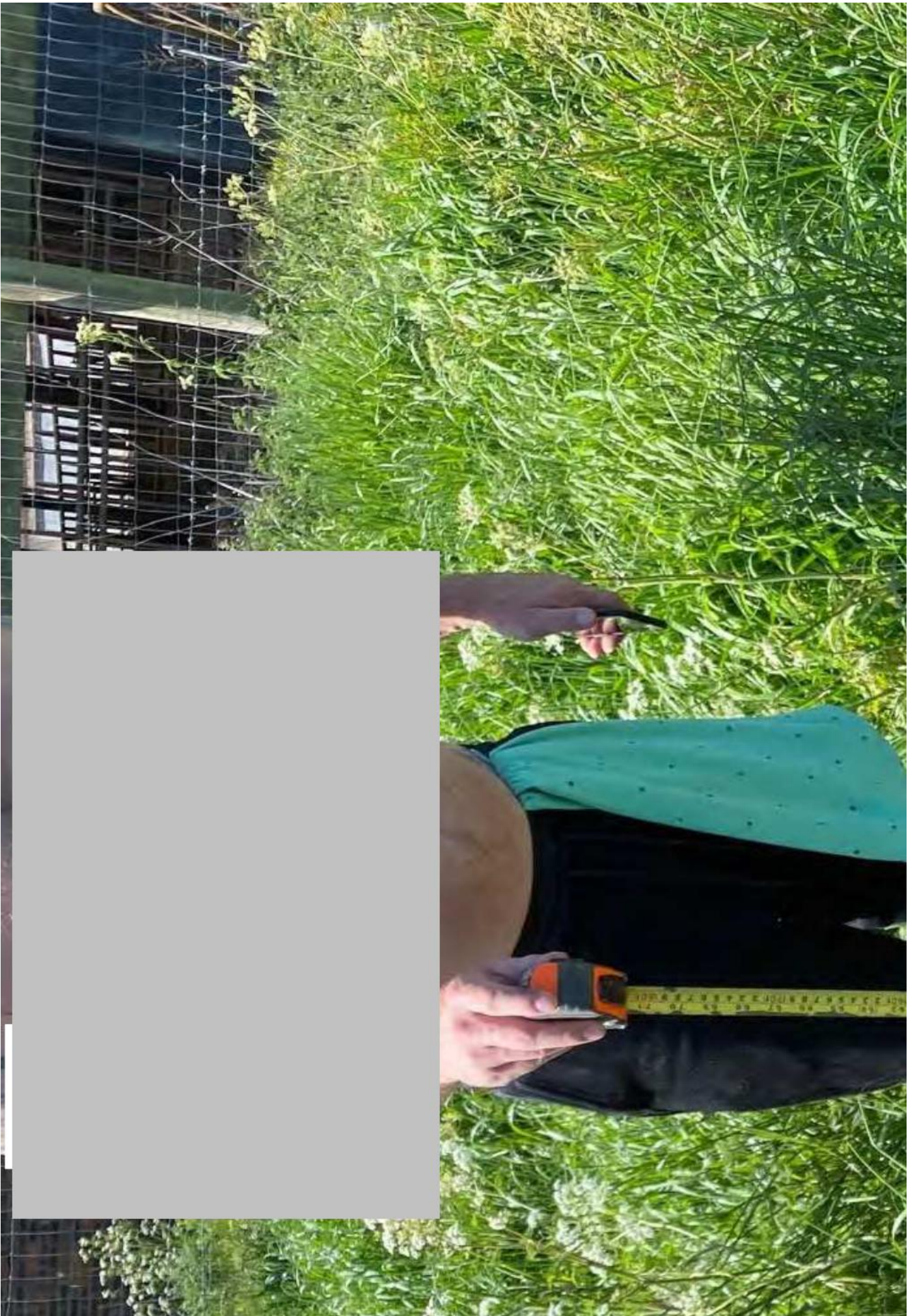


Bojidar Boiadjiev

From: WARREN LEWIS
Sent: 11 June 2020 11:00
To: Bojidar Boiadjiev
Subject: Warren

Trial pit 2
28th may
12.45pm
1000mm square
300mm deep

Findings
24 hours after 290mm deep

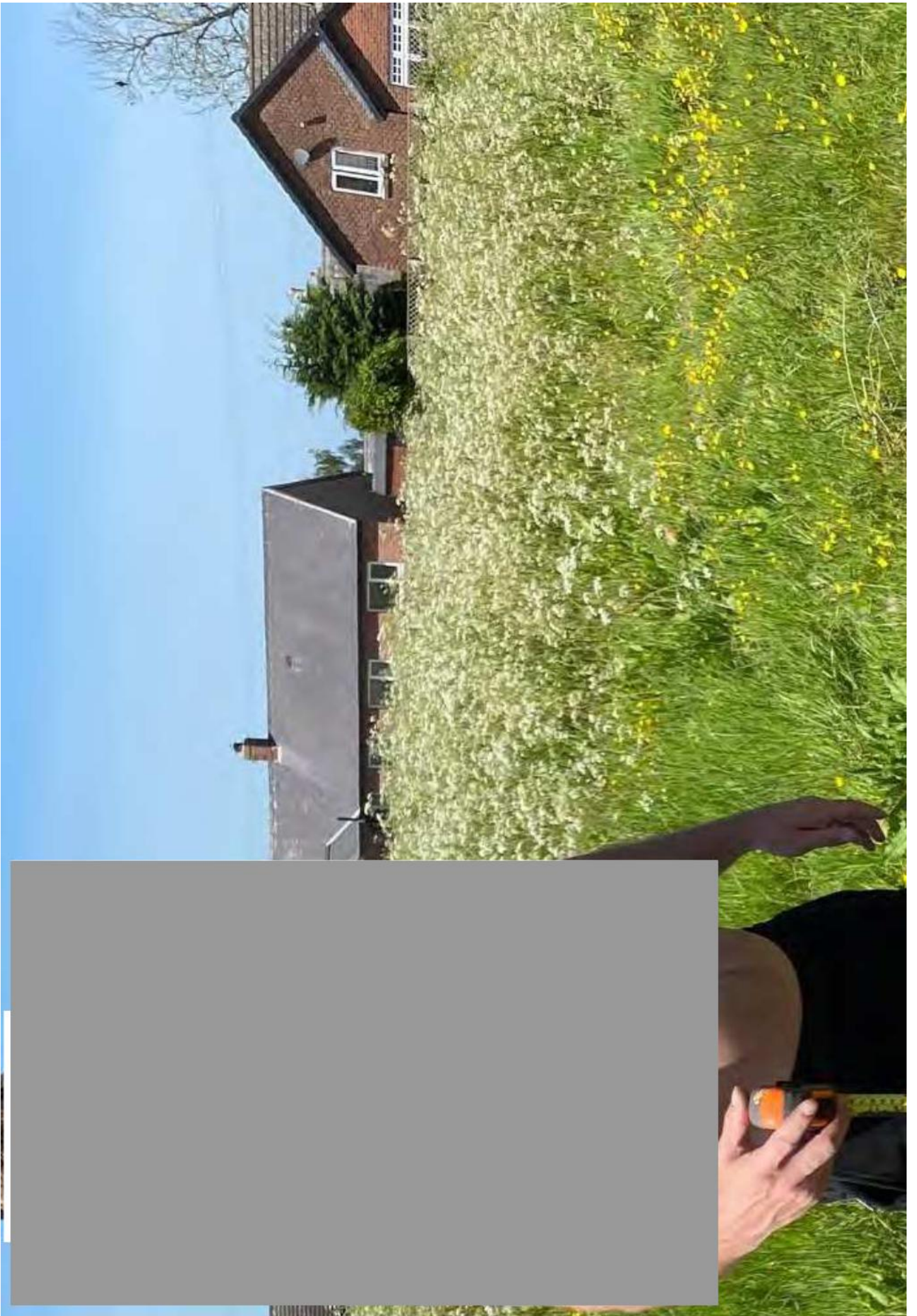


Bojidar Boiadjiev

From: WARREN LEWIS
Sent: 11 June 2020 11:00
To: Bojidar Boiadjiev
Subject: Warren

Trial pit 3
28th may 1pm
1000mm square
300 deep

Findings
24 hours after
290mm deep



Bojidar Boiadjiev

From: WARREN LEWIS
Sent: 10 June 2020 22:57
To: Bojidar Boiadjiev
Subject: Warren

Trial pit 4
28th may
1.15pm
1000mm square
300mm deep
Findings
24 hours after 290mm deep



Appendix 3 – United Utilities Asset Location Search

Drainage & Water Search (Commercial)



Search Details

Prepared for: Minihan Mcalister Limited

Matter: JCM/1701/1

Client address: Warwick Mill Business Centre, Warwick Bridge, Carlisle, CA4 8RR

Property:

Land at, Hallcroft, Monkhill, Burgh By Sands, Carlisle, CA5 6DB

Water Company:

United Utilities Water Plc

Grasmere House, Lingley Mere Business Park, Warrington, WA5 3LP

Date Returned:
31/03/2020

Property type:
Commercial

This search was compiled by the Water Company above and provided by InfoTrack Ltd – t: 0207 186 8090, e: helpdesk@infotrack.co.uk. This search is subject to terms and conditions issued by InfoTrack which can be viewed at www.infotrack.co.uk or supplied on request. This search is also subject to terms and conditions issued by the Water Company, available on request. InfoTrack are registered with the Property Codes Compliance Board (PCCB) as subscribers to the Search Code. The PCCB independently monitors how registered firms maintain compliance with the Code. Visit www.propertycodes.org.uk for more information.



InfoTrack UK Limited, Level 11, 91 Waterloo Road, London, SE1 8RT
T: 0207 186 8090 E: helpdesk@infotrack.co.uk

Commercial drainage and water enquiry

Responses to a drainage and water enquiry for commercial premises or development sites.

Client:

Client ref: InfoTrack-8014951

InfoTrack Limited

91
Waterloo Road,
London,
SE1 8RT

Order number: UUPS-ORD-159681

Received date: 30/03/2020

Response date: 31/03/2020

FAO:

The following records were searched in compiling this report:

The map of public sewers
The map of waterworks
Water and sewerage billing records
Adoption of public sewers records
Building over public sewer records
Adoption of public water mains records
Water supply clarification

Property address: Land at, Hallcroft Monkhill, Burgh By Sands, Carlisle, CA5 6DB

Please Note - We must make you aware that due to the introduction of the open market with effect from 1st April 2017 for commercial customers, Property Searches will no longer be able to resolve issues regarding some discrepancies within the report. Due to the change in the structure of the market the retailer is now responsible for taking ownership of certain issues, particularly relating to billing/tariff charges as well as, but not limited to change of usage of a property.

Enquiries and Responses

The records were searched by Joanne Jones for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

This search report was prepared by Joanne Jones for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

How to contact us:

United Utilities Water Limited
Property Searches
Haweswater House
Lingley Mere Business Park
Great Sankey
Warrington
WA5 3LP

Telephone: 0370 7510101

E-mail: propertysearches@uuplc.co.uk

What is included:

1. Summary of findings and key
2. Detailed findings of the CON29DW
3. Guidance for interpretation
4. Terms and conditions
5. Complaints policy

If you are planning works anywhere in the North West, please read our access statement before you start work to check how it will affect our network. <http://www.unitedutilities.com/work-near-asset.aspx>.

To help understand the implications of the drainage and water enquiries report a summary guide to the content of the full report is provided below.

✓ This response represents the typical situation for a property.

⚠ The attention of the purchaser is drawn to this response. The purchaser may wish to make further investigations into this situation.

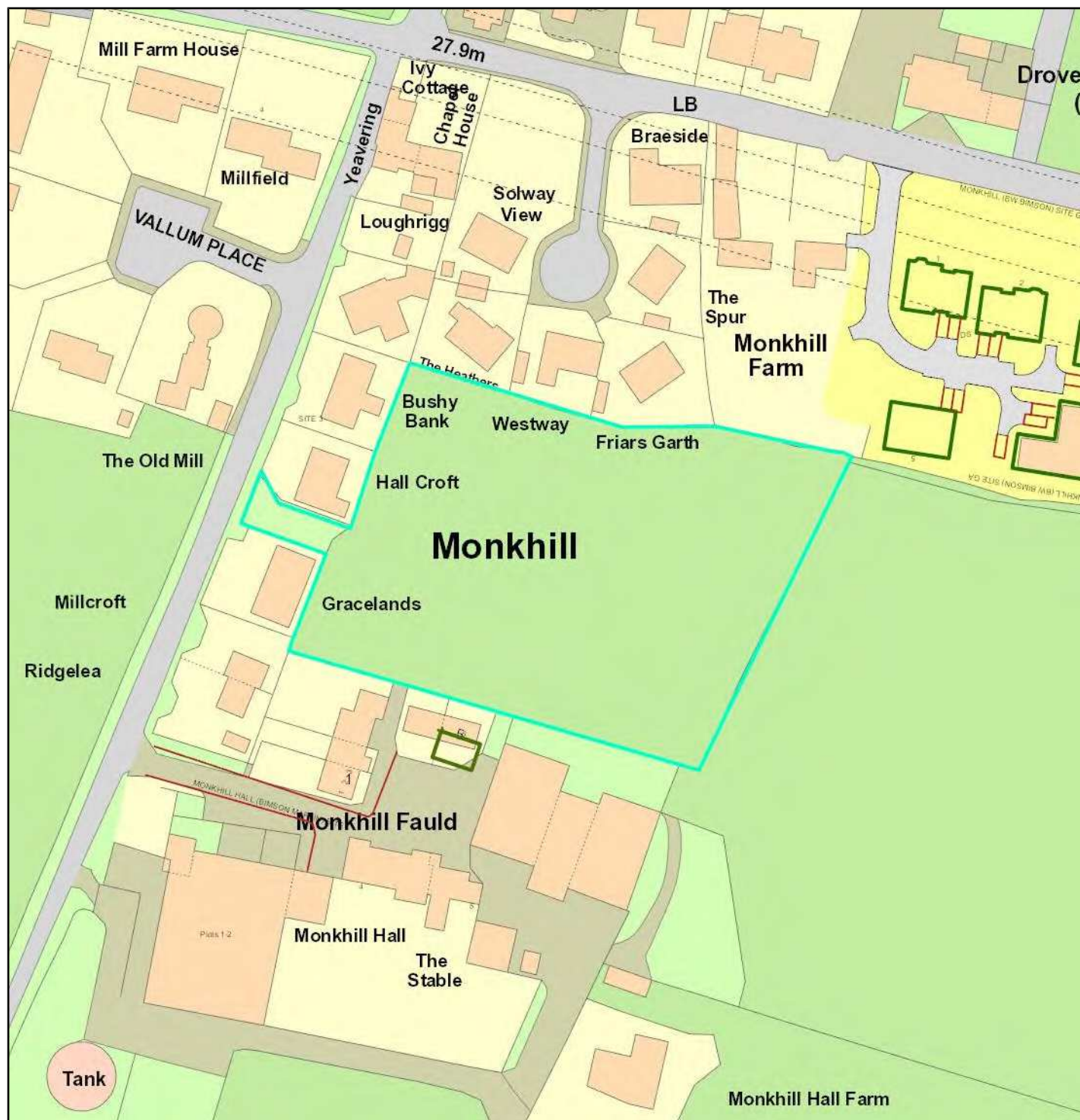
✗ This response represents an uncommon situation for a property and the purchaser should carefully consider its implications.

Question	Report Schedule	Answer	
1	Where relevant, please include a copy of an extract from the public sewer map.	Yes & in vicinity	✓
2	Where relevant, please include a copy of an extract from the map of waterworks.	Yes & in vicinity	✓
3	Does foul water from the property drain to a public sewer?	Plot of land	⚠
4	Does surface water from the property drain to a public sewer?	Plot of land	⚠
5	Is a surface water drainage charge payable?	No	✗
6	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	None	✓
6.1	Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?	None	✓
7	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?	None	⚠
7.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?	None	✓
8.1	Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	No	✓
8.2	Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No	✓
9	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	None	✓
10	Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?	No	✓
11	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	Yes	✓
12	Is the property connected to mains water supply?	Plot of Land	⚠
13	Are there any water mains, resource mains or discharge pipes within the boundaries of the property	No	✓

Question	Report Schedule	Answer	
14	Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	No	✓
15	Is the building at risk of receiving low water pressure or flow?	No	✓
16	What is the clarification of the water supply for the property?	Soft	✓
18	Please include details of the location of any water meter serving the property.	No meter	✓
19.1	Who is responsible for providing the sewerage services for the property?	United Utilities	✓
19.2	Who is responsible for providing the water services for the property?	United Utilities	✓
20	Who bills the property for sewerage services?	Retailer sewer	✓
21	Who bills the property for water services?	Retailer water	✓
22	Has a customer been granted a trade effluent consent at this property?	No	✓
23	Is there an easement affecting the property?	No	✓

SEWER RECORD

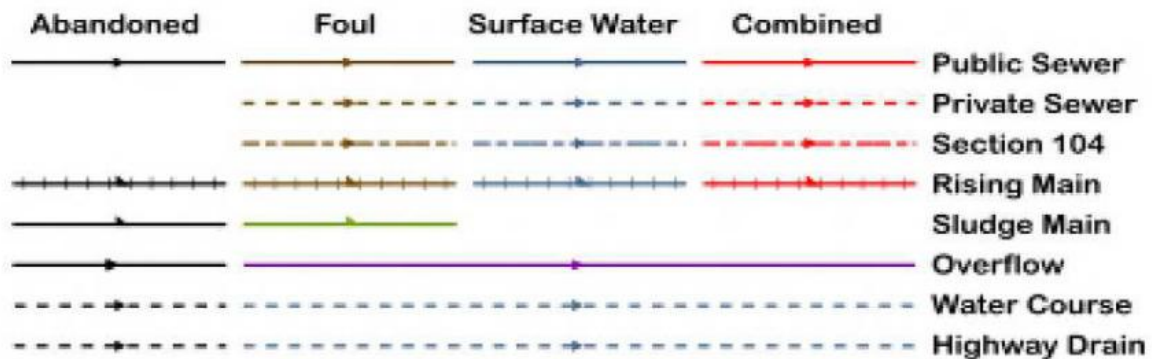
Land at, Hallcroft Monkhill, Burgh By Sands, Carlisle, CA5 6DB



The position of underground apparatus shown on this plan is approximate only and is given in accordance with the best information currently available. The actual positions may be different from those shown on the plan and private pipes, sewers or drains may not be recorded. United Utilities Water PLC will not accept any liability for any damage caused by the actual positions being different from those shown.

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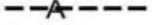









Wastewater Symbolology



All point assets follow the standard colour convention: **red** – combined **brown** - foul
blue – surface water **purple** - overflow

Manhole	Side Entry Manhole
Head of System	Outfall
Extent of Survey	Screen Chamber
Rodding Eye	Inspection Chamber
Inlet	Bifurcation Chamber
Discharge Point	Lamp Hole
Vortex	T Junction / Saddle
Penstock	Catchpit
Washout Chamber	Valve Chamber
Valve	Vent Column
Air Valve	Vortex Chamber
Non Return Valve	Penstock Chamber
Soakaway	Network Storage Tank
Gully	Sewer Overflow
Cascade	Ww Treatment Works
Flow Meter	Ww Pumping Station
Hatch Box	Septic Tank
Oil Interceptor	Control Kiosk
Summit	
Drop Shaft	Change of Characteristic
Orifice Plate	

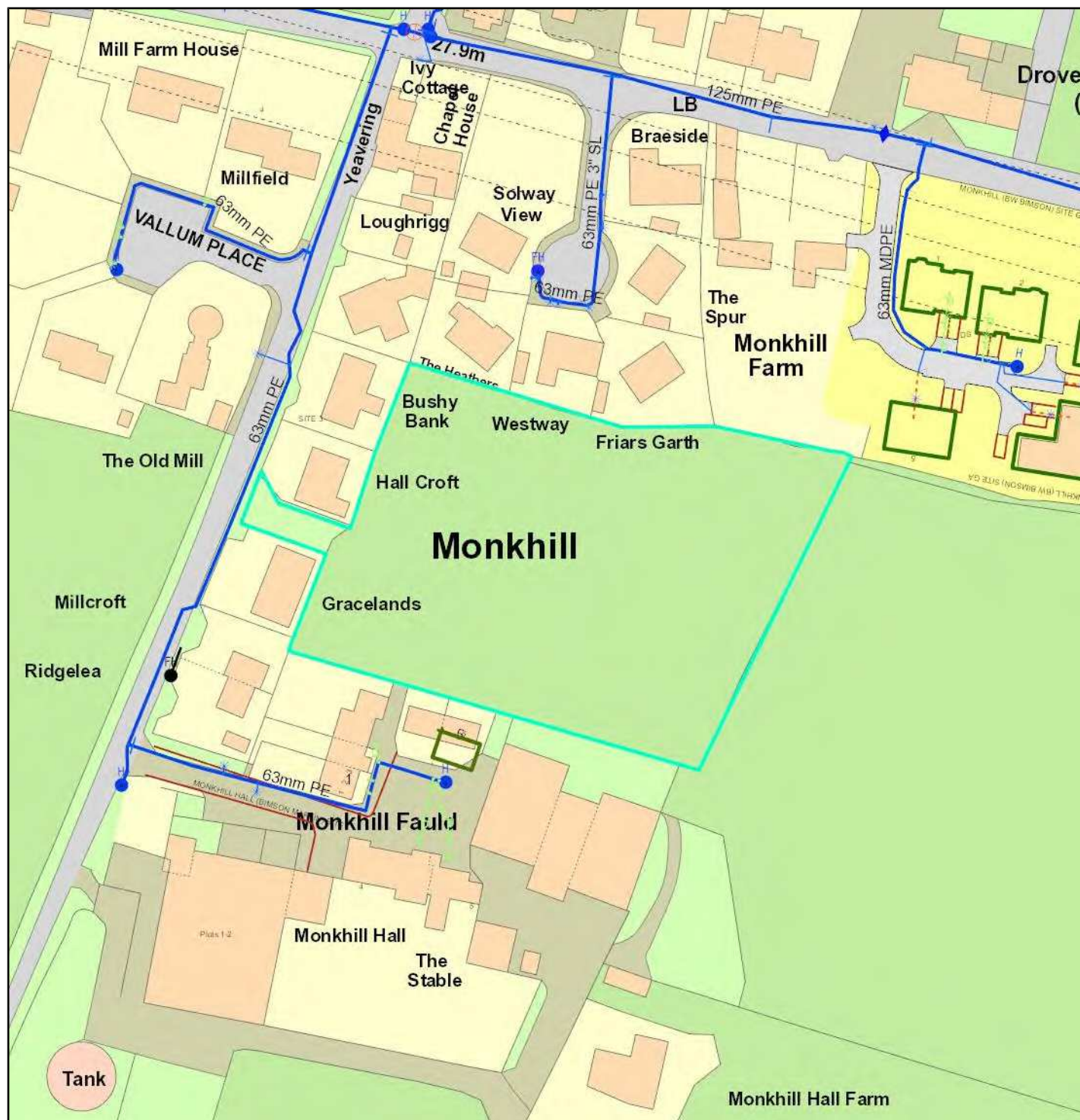
Clean Water Symbolology

Proposed	Abandoned	Live	
			Distribution Main
			Trunk Main
			Comms Pipe
			Private Pipe
			Concessionary Service
			Raw Water
			LDTM Raw Water
			LDTM Treated Water
			Air Valve
			AC Valve, open
			AC Valve, closed
			CC Valve, open
			CC Valve, closed
			Non Return Valve
			Pressure Management Valve
			OMS Valve
			Stop Tap
			Flow Meter
			Domestic Meter
			Commercial Meter
			Pump
			Hydrant
			Fire Hydrant
			Anode
			Chlorination Point
			De-chlorination Point
			Strainer Point
			Access Point
			Hatch Box
			IP Point
			Sampling Station
			Logger Box
			Bore Hole
			Inlet Point
			Bulk Supply Point
			End Cap
			Site Termination
			Change of Characteristic
			Condition Report
			<u>Property Types</u>
			Water Tower
			Valve House
			Booster Pumping Station
			Intake Pumping Station
			Water Treatment Works
			Supply Reservoir
			Service Reservoir
			Impounding Reservoir
			Pipe Bridge

Symbology for proposed assets is the same as above, but shown in **green**
Symbology for abandoned assets is the same as above, but shown in **black**

WATER RECORD

Land at, Hallcroft Monkhill, Burgh By Sands, Carlisle, CA5 6DB



The position of underground apparatus shown on this plan is approximate only and is given in accordance with the best information currently available. The actual positions may be different from those shown on the plan and private pipes, sewers or drains may not be recorded. United Utilities Water PLC will not accept any liability for any damage caused by the actual positions being different from those shown.

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Question 1	Where relevant, please include a copy of an extract from the public sewer map.
Answer	A copy of an extract of the public sewer map within the vicinity of the property is included.
Guidance	<p>1. The Water Industry Act 1991 defines Public Sewers as those which (United Utilities) have responsibility for. Other assets and rivers, water courses, ponds, culverts or highway drains may be shown for information purposes only.</p> <p>2. Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.</p> <p>3. The Sewerage Undertaker has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the Sewerage Undertaker or its contractors needing to enter the property to carry out work.</p>
Question 2	Where relevant, please include a copy of an extract from the map of waterworks.
Answer	A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property.
Guidance	<p>The "water mains" in this context are those which are vested in and maintainable by the Water Undertaker under statute.</p> <p>Assets other than public water mains may be shown on the plan, for information only. Water Undertakers are not responsible for private supply pipes connecting the property to the public water main and do not hold details of these. These may pass through land outside of the control of the seller, or may be shared with adjacent properties. The buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.</p> <p>If an extract of the public water main record is enclosed, it will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.</p> <p>The presence of a public water main running within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice. This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.</p>
Question 3	Does foul water from the property drain to a public sewer?
Answer	This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer.
Guidance	<p>Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system, and do not hold details of these.</p> <p>The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility, with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.</p> <p>If foul water does not drain to the public sewerage system the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.</p> <p>If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.</p>

Question 4	Does surface water from the property drain to a public sewer?
Answer	This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after the 6th April 2015 the surface water drainage may be served by a sustainable drainage system.
Guidance	<p>Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system and do not hold details of these.</p> <p>The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.</p> <p>In some cases, Sewerage Undertakers' records do not distinguish between foul and surface water connections to the public sewerage system. If on inspection the buyer finds that the property is not connected for surface water drainage, the property may be eligible for a rebate of the surface water drainage charge. Details can be obtained from the Sewerage Undertaker.</p> <p>If surface water does not drain to the public sewerage system the property may have private facilities in the form of a soakaway or private connection to a watercourse. If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.</p>
Question 5	Is a surface water drainage charge payable?
Answer	Records indicate that a surface water drainage charge is not applicable for the property.
Guidance	<p>Since 1st April 2017 commercial customers can choose their retailer for clean, waste or both services. For more information on any applicable surface water charges you will need to contact the current owner of the property to find out who the current retailer is. Details of the retailer for a property can be found on the current occupiers bill. For a list of all potential retailers of water and waste water services for the property please visit www.open-water.org.uk.</p> <p>Please note if the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer.</p>
Question 6	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?
Answer	The public sewer map included indicates that there are no public sewers, disposal mains or lateral drains within the boundary of the property. However from the 1st October 2011 there may be additional public sewers, disposal mains or lateral drains which are not recorded on the public sewer map which may further prevent or restrict development of the property. If you are considering any future development at this property which may require build over consent, please complete the enquiry form by accessing the following link http://www.unitedutilities.com/planning-wastewater-guidance.aspx.
Guidance	<p>The approximate boundary of the property has been determined by reference to the Ordnance Survey record. A property of this type will normally be served by a shared sewer passing through the boundaries of several properties. It is therefore likely that a public sewer or lateral drain is present within the property boundary.</p> <p>Please note that from 1st October 2011 the majority of private sewers and lateral drains connected to the public network as of 1st July 2011 transferred into public ownership and therefore it is possible there may be additional public assets which may not be shown on the public sewer plan.</p> <p>The presence of public assets running within the boundary of the property may restrict further development. If there are any plans to develop the property further enquiries should be made to United Utilities Build Over department.</p>

United Utilities Water has a legal right of access to carry out work on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.

Question 6.1 Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?

Answer The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within the boundaries of the property. However, from the 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time

Guidance From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:

- * serve a single property, and are outside the property boundary or
- * serves two or more properties

Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.

Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.

Question 7 Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

Answer The public sewer map included indicates that there are no public sewers within 30.48 metres (100 feet) of a building within the boundary of the property. However from the 1st October 2011 private sewers will be transferred into public ownership and may not be recorded on the public sewer map and it is our professional opinion that there will be a public sewer within 30.48 (100 feet) of a building within the boundary of the property.

Guidance From 1st October 2011 there may be additional lateral drains and/or public sewers which are not recorded on the public sewer map but are also within 30.48 metres (100 feet) of a building within the property.

The presence of a public sewer within 30.48 metres (100 feet) of the building(s) within the property can result in the Local Authority requiring a property to be connected to the public sewer.

The measure is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.

Sewers indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended that these details are checked with the developer, if any.

Assets other than public sewers may be shown on the copy extract for information only.

Question 7.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?

Answer The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within 50 metres of any buildings within the property. However, from 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time.

Guidance	<p>From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:</p> <ul style="list-style-type: none"> * serve a single property, and are outside the property boundary or * serves two or more properties. <p>Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.</p> <p>If you think there might be a private pumping station on your land or near your business property, please let us know by completing this questionnaire with as much information as possible, please visit our website http://www.unitedutilities.com/ppstransfer.aspx.</p> <p>Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.</p>
Question 8.1	Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?
Answer	Records confirm that foul sewers and/or lateral drains serving the development, of which the property forms part are not the subject of an existing adoption agreement or an application for such an agreement.
Guidance	<p>This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.</p> <p>Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.</p> <p>Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.</p>
Question 8.2	Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?
Answer	Records confirm that the surface water sewer(s) and/or surface water lateral drain(s) are not the subject of an adoption agreement and it is recommended that responsibility for maintenance of these is checked with the developer as this may be due to a Sustainable Drainage Scheme (SUDS)
Guidance	<p>This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.</p> <p>Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.</p> <p>Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.</p>
Question 9	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?
Answer	There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage

undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain.

Guidance

From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have granted approval or been consulted about any plans to erect a building or extension on the property over or in the vicinity of these assets.

Prior to 2003 United Utilities Water Limited had sewerage agency agreements with the local authorities therefore details of any agreements/consents or rejections may not have been forwarded on to our offices before this date.

Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered.

Question 10

Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?

Answer

The building is not recorded as being at risk of internal flooding due to overloaded public sewers. From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership it is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor.

Guidance

1. A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.

2. "Internal flooding" from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

3. These are defined as properties that have suffered or are likely to suffer internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Sewerage Undertaker's reporting procedure.

4. Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included.

5. Properties may be at risk of flooding but not included where flooding incidents have not been reported to the Sewerage Undertaker.

6. Public sewers are defined as those for which the Sewerage Undertaker holds statutory responsibility under the Water Industry Act 1991.

7. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker.

8. This report excludes flooding from private sewers and drains and the Sewerage Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

Question 11

Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

Answer

The nearest Sewage Treatment Works is 1.1 miles (1.77 km), North East of the property. The name of the Sewage treatment works is Cargo WwTW. The owner is United Utilities

Guidance

The nearest sewage treatment works will not always be the sewage treatment works serving the catchment within which the property is situated i.e. the property may not necessarily drain to this works.

The Sewerage Undertaker's records were inspected to determine the nearest sewage treatment works.

It should be noted therefore that there may be a private sewage treatment works closer than the one detailed above that has not been identified. As a responsible utility operator, United Utilities Water Limited seeks to manage the impact of odour from operational sewage works on the surrounding area.

This is done in accordance with the "Code of Practice on Odour Nuisance from Sewage Treatment Works" issued via the Department of Environment, Food and Rural Affairs (DEFRA).

This Code recognises that odour from sewage treatment works can have a detrimental impact on the quality of the local environment for those living close to works.

However DEFRA also recognises that sewage treatment works provide important services to communities and are essential for maintaining standards in water quality and protecting aquatic based environments. For more information visit www.unitedutilities.com.

Question 12 **Is the property connected to mains water supply?**

Answer **This enquiry relates to a plot of land or a recently built property. It is recommended that the water supply proposals are checked with the developer.**

Guidance If the property is supplied by private water mains please note that details of private supplies are not kept by the Water Undertaker. The situation should be checked with the current owner of the property.

Question 13 **Are there any water mains, resource mains or discharge pipes within the boundaries of the property**

Answer **The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property.**

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record.

The presence of a public water main within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice.

This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.

Question 14 **Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?**

Answer **Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement.**

Guidance This enquiry is of interest to purchasers of new premises who will want to know whether or not the property will be linked to the mains water supply.

Question 15 **Is the building at risk of receiving low water pressure or flow?**

Answer **Records confirm that the building is not recorded by the water undertaker as being at risk of receiving low water pressure or flow.**

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record. "Low water pressure" means water pressure below the regulatory reference level which is the minimum pressure when demand on the system is not abnormal. Water undertakers report properties receiving pressure below the reference level, provided that allowable exclusions do not apply (i.e. events which can cause pressure to temporarily fall below the reference level). Reference level: The reference level of service is a flow of 9l/min at a pressure of 10m head on the customer's side of the main stop tap (mst). The reference level applies to a single property. The reference level of

service must be applied on the customer's side of a meter or any other company fittings that are on the customer's side of the main stop tap. Where a common service pipe serves more than one property, the flow assumed in the reference level must be appropriately increased to take account of the total number of properties served. Surrogate for the reference level: Because of the difficulty in measuring pressure and flow at the mst, companies may measure against a surrogate reference level. Companies should use a surrogate of 15m head in the adjacent distribution main unless a different level can be shown to be suitable. In some circumstances companies may need to use a surrogate pressure greater than 15m to ensure that the reference level is supplied at the customer's side of the mst (for example in areas with small diameter or shared communication pipes).

There are a number of circumstances under which properties identified as receiving low pressure should be excluded from the reported figure. The aim of these exclusions is to exclude properties which receive a low pressure as a result of a one-off event and which, under normal circumstances (including normal peaks in demand), will not receive pressure or flow below the reference level. Companies must maintain verifiable, auditable records of all the exclusions that they apply in order to confirm the accuracy and validity of their information. Allowable exclusions includes Abnormal demand, Planned maintenance, One off incidents, Low pressure incidents of short duration and common supply.

Abnormal demand:

This exclusion is intended to cover abnormal peaks in demand and not the daily, weekly or monthly peaks in demand, which are normally expected. Water undertakers exclude figures from properties which are affected by low pressure only on those days with the highest peak demands. During the yearly report water undertakers may exclude, for each property, up to five days of low pressure caused by peak demand.

Planned maintenance:

Water undertakers will not report low pressures caused by planned maintenance. It is not intended that water undertakers identify the number of properties affected in each instance. However, water undertakers must maintain sufficiently accurate records to verify that low-pressure incidents that are excluded because of planned maintenance, are actually caused by maintenance.

One-off incidents:

This exclusion covers a number of causes of low pressure; mains bursts; failures of company equipment (such as pressure reducing valves or booster pumps); fire fighting and action by a third party. However, if problems of this type affect a property frequently, they cannot be classed as one-off events and further investigation will be required before they can be excluded.

Low pressure incidents of short duration:

Properties affected by low pressures that only occur for a short period, and for which there is evidence that incidents of a longer duration would not occur during the course of the year, may be excluded.

A company must maintain a minimum pressure in the communication pipe of seven metres static head (0.7 bar). If pressure falls below this on two occasions, each occasion lasting more than one hour, within a 28-day period, the company must automatically make a GSS payment to the customer. There are exceptions to the requirement to make a GSS payment if the pressure standard is not met. These are: a payment has already been made to the same customer in respect of the same financial year; it is impractical for the company to have identified the particular customer as being affected, and the customer has not made a claim within three months of the date of the latter occasion; industrial action by the company's employees makes it not feasible to maintain the pressure standard; the act or default of a person other than the company's representative make it not feasible to maintain the pressure standard; or the pressure falls below the minimum standard due to necessary works taking place or due to a drought.

It should be noted that low water pressure can occur from private water mains, private supply pipes (the pipework from the external stop cock to the property) or internal plumbing which are not the responsibility of the Water Undertaker. This report excludes low water pressure from private water mains, supply pipes and internal plumbing and the Water Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

Question 16

What is the clarification of the water supply for the property?

Answer

The water supplied to the property has an average water hardness of 97mg/l calcium carbonate, which is defined as soft by United Utilities

Guidance

The hardness of water is due to the presence of calcium and magnesium minerals that are naturally present in the water. The usual signs of a hard water supply are scaling inside kettles, poor lathering of soaps and scum.

What is water hardness?

Hard water is formed when water passes through or over limestone or chalk areas and calcium and magnesium ions dissolve into the water. The hardness is made up of two parts: temporary (carbonate) and permanent (non-carbonate) hardness. When water is boiled, calcium carbonate scale can form, which can deposit on things like kettle elements. The scale will not stick to kettles that have a plastic polypropylene lining but will float on the surface. The permanent hardness that comprises calcium and magnesium sulphate does not go on to form scale when heated or boiled.

How is water hardness measured?

Hardness is usually expressed in terms of the equivalent quantity of calcium carbonate (CaCO_3) in milligrams per litre or parts per million. You may also see hardness expressed as degrees of hardness in Clark (English) degrees, French or German degrees. Interconversion between the different measurements can be made by using the appropriate conversion factors below. There are no standard levels as to what constitutes a hard or a soft water. Table 1 gives an indication of the equivalents of calcium and calcium carbonate and the relative degree of hardness.

Water quality standards

There are no regulatory standards for water hardness in drinking water.

Water hardness in the North West

The majority of raw water in the United Utilities region comes from upland surface water reservoirs. The water in the reservoirs has little chance of passing through rocks and to dissolve the minerals that make water hard. Therefore, the majority of water in this region is soft or very soft. We supply water from a number of boreholes in the south of the region that are reasonably hard, but these tend to be blended with softer sources to meet demand. No water supply in the North West is artificially softened.

Can hard water be softened?

Yes, water can be softened artificially by the installation of a water softener or the use of 'jug type' filters. Medical experts recommend that a non-softened supply is maintained for drinking purposes because softened water may contain high levels of sodium. Softeners should be fitted after the drinking water tap and comply with the requirements of the Water Supply (Water Fittings) Regulations 1999. They should be maintained in accordance with manufacturers' instructions.

If you're interested in finding out more about the quality of your drinking water, please visit www.unitedutilities.com/waterquality and enter your postcode.

The Drinking Water Inspectorate is responsible for ensuring the quality of public water supplies. Visit their website at: www.dwi.defra.gov.uk.

Question 18

Please include details of the location of any water meter serving the property.

Answer

Records indicate that the property is not served by a water meter.

Guidance

Where the property is not served by a meter the current occupier can contact the retailer directly to advise on the current charging method, details of the retailer can also be found on the current occupiers bill.

Question 19.1

Who is responsible for providing the sewerage services for the property?

Answer **United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington, WA5 3LP**

Guidance Not applicable

Question 19.2 **Who is responsible for providing the water services for the property?**

Answer **United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington, WA5 3LP**

Guidance Not Applicable

Question 20 **Who bills the property for sewerage services?**

Answer **Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills the property for sewerage services you will need to contact the owner of the property to find out who the retailer is.**

Guidance For a list of all potential retailers of wastewater services for the property please visit www.open-water.org.uk

Question 21 **Who bills the property for water services?**

Answer **Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills the property for water services you will need to contact the owner of the property to find out who the retailer is.**

Guidance For a list of all potential retailers of water services for the property please visit www.open-water.org.uk

Question 22 **Has a customer been granted a trade effluent consent at this property?**

Answer **There is no record of a Trade Effluent consent at this property. Applications for Trade Effluent consents should be submitted via your retailer for info please visit <https://www.unitedutilities.com/services/wholesale-services/trade-effluent/>**

Guidance The owner/occupiers of Trade Premises do not have the right to discharge Trade Effluent to the public wastewater network. Any Trade Effluent Discharge Consent will be issued under Section 118 of the Water Industry Act 1991 and will be subject to conditions set by the Sewerage Undertaker.

Generally these conditions are to ensure:

- a) The Health and Safety of staff working within the wastewater network and at wastewater treatment plants.
- b) The apparatus of the wastewater network is not damaged.
- c) The flow of the contents of the wastewater network is not restricted.
- d) Equipment, plant, and processes at treatment works are not disrupted or damaged.
- e) Treatment of sewage sludge is not impeded and sludges are disposed of in an environmentally friendly manner.
- f) Final effluent discharge from wastewater treatment plants has no impact on the environment or prevents the receiving waters from complying with EU Directives.
- g) Potential damage to the environment via storm water overflows is minimised.

Disputes between an occupier of a Trade Premise and the Sewerage Undertaker can be referred to the Director General of Water Services (OFWAT).

Protecting Public Sewers - Discharges Section 111 of the Water Industry Act 1991, places prohibition on the discharge of the following into a public sewer, drain or a sewer that communicates with a public sewer.

i) Any matter likely to injure the sewer or drain, to interfere with the free flow of its contents or to affect prejudicially the treatment or disposal of its contents.

ii) Any chemical refuse or waste steam or any liquid of temperature higher than 43.3 degrees Celsius (110 degrees Fahrenheit).

iii) Any petroleum spirit or carbide of calcium. On summary conviction offences under this Section carry a fine not exceeding the statutory maximum or a term of imprisonment not exceeding two years, or both.

Please note any existing consent is dependant on the business being carried out at the property and will not transfer automatically upon change of ownership.

Question 23

Is there an easement affecting the property?

Answer

There is no record of a formal easement affecting this property.

Guidance

Not Applicable

Appendix 1- General interpretation

1. (1) In this Schedule-

"the 1991 Act" means the Water Industry Act 1991(a);

"the 2000 Regulations" means the Water Supply (Water Quality) Regulations 2000(b);

"the 2001 Regulations" means the Water Supply (Water Quality) Regulations 2001(c);

"adoption agreement" means an agreement made or to be made under Section 51A(1) or 104(1) of the 1991 Act (d);

"bond" means a surety granted by a developer who is a party to an adoption agreement;

"bond waiver" means an agreement with a developer for the provision of a form of financial security as a substitute for a bond;

"calendar year" means the twelve months ending with 31st December;

"discharge pipe" means a pipe from which discharges are made or are to be made under Section 165(1) of the 1991 Act;

"disposal main" means (subject to Section 219(2) of the 1991 Act) any outfall pipe or other pipe which-

- (a) is a pipe for the conveyance of effluent to or from any sewage disposal works, whether of a sewerage undertaker or of any other person; and
- (b) is not a public sewer;

"drain" means (subject to Section 219(2) of the 1991 Act) a drain used for the drainage of one building or any buildings or yards appurtenant to buildings within the same curtilage;

"effluent" means any liquid, including particles of matter and other substances in suspension in the liquid;

"financial year" means the twelve months ending with 31st March;

"lateral drain" means-

- (a) that part of a drain which runs from the curtilage of a building (or buildings or yards within the same curtilage) to the sewer with which the drain communicates or is to communicate; or
- (b) (if different and the context so requires) the part of a drain identified in a declaration of vesting made under Section 102 of the 1991 Act or in an agreement made under Section 104 of that Act (e);

"licensed water supplier" means a company which is the holder for the time being of a water supply licence under Section 17A(1) of the 1991 Act(f);

"maintenance period" means the period so specified in an adoption agreement as a period of time-

- (a) from the date of issue of a certificate by a Sewerage Undertaker to the effect that a developer has built (or substantially built) a private sewer or lateral drain to that undertaker's satisfaction; and
- (b) until the date that private sewer or lateral drain is vested in the Sewerage Undertaker;

"map of waterworks" means the map made available under Section 198(3) of the 1991 Act (g) in relation to the information specified in subsection (1A);

"private sewer" means a pipe or pipes which drain foul or surface water, or both, from premises, and are not vested in a Sewerage Undertaker;

"public sewer" means, subject to Section 106(1A) of the 1991 Act(h), a sewer for the time being vested in a Sewerage Undertaker in its capacity as such, whether vested in that undertaker-

- (a) by virtue of a scheme under Schedule 2 to the Water Act 1989(i);
- (b) by virtue of a scheme under Schedule 2 to the 1991 Act (j);
- (c) under Section 179 of the 1991 Act (k); or
- (d) otherwise;

"public sewer map" means the map made available under Section 199(5) of the 1991 Act (l);

"resource main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a trunk main, which is or is to be used for the purpose of-

- (a) conveying water from one source of supply to another, from a source of supply to a regulating reservoir or from a regulating reservoir to a source of supply; or
- (b) giving or taking a supply of water in bulk;

"sewerage services" includes the collection and disposal of foul and surface water and any other services which are required to be provided by a Sewerage Undertaker for the purpose of carrying out its functions;

"Sewerage Undertaker" means the company appointed to be the Sewerage Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated;

"surface water" includes water from roofs and other impermeable surfaces within the curtilage of the property;

"water main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a pipe for the time being vested in a person other than the water Undertaker, which is used or to be used by a Water Undertaker or licensed water supplier for the purpose of making a general supply of water available to customers or potential customers of the undertaker or supplier, as distinct from for the purpose of providing a supply to particular customers;

"water meter" means any apparatus for measuring or showing the volume of water supplied to, or of effluent discharged from any premises;

"water supplier" means the company supplying water in the water supply zone, whether a water undertaker or licensed water supplier;

"water supply zone" means the names and areas designated by a Water Undertaker within its area of supply that are to be its water supply zones for that year; and

"Water Undertaker" means the company appointed to be the Water Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated.

(2) In this Schedule, references to a pipe, including references to a main, a drain or a sewer, shall include references to a tunnel or conduit which serves or is to serve as the pipe in question and to any accessories for the pipe.

- (a) 1991 c. 56.
- (b) S.I. 2000/3184. These Regulations apply in relation to England.
- (c) S.I. 2001/3911. These Regulations apply in relation to Wales.
- (d) Section 51A was inserted by Section 92(2) of the Water Act 2003 (c. 37). Section 104(1) was amended by Section 96(4) of that Act.
- (e) Various amendments have been made to Sections 102 and 104 by Section 96 of the Water Act 2003.
- (f) Inserted by Section 56 of and Schedule 4 to the Water Act 2003.
- (g) Subsection (1A) was inserted by Section 92(5) of the Water Act 2003.
- (h) Section 106(1A) was inserted by Section 99 of the Water Act 2003.
- (i) 1989 c. 15.
- (j) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (k) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (l) Section 199 was amended by Section 97(1) and (8) of the Water Act 2003.

Appendix 2 - DRAINAGE AND WATER ENQUIRY (COMMERCIAL) AGREEMENT

The Customer, the Client and the Purchaser are asked to note this Agreement which govern the basis on which this drainage and water report is supplied

Definitions

'Company' means United Utilities Water Limited who produce the Report; its registered office being at Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington WA5 3LP, company number 2366678.

'Order' means any request completed by the Customer requesting the Report.

'Report' means the drainage and water report prepared by the Company in respect of the Property.

'Property' means the address or location supplied by the Customer in the Order.

'Customer' means the person, company, firm or other legal body placing the Order, either on their own behalf as Client, or, as an agent for a Client.

'Client' means the person, company or body who is the intended recipient of the Report with an actual or potential interest in the Property.

'Purchaser' means the actual or potential purchaser of the Property including their mortgage lender.

Agreement

1.1 The Company agrees to supply the Report to the Customer and the Client subject to this Agreement. The scope and limitations of the Report are described in clause 2 of this Agreement.

Where the Customer is acting as an agent for the Client then the Customer shall be responsible for bringing this Agreement to the attention of the Client and the Purchaser.

1.2 The Customer, the Client and the Purchaser agree that the placing of an Order for a Report and the subsequent provision of a copy of the Report to the Client and/ or the Purchaser indicates their acceptance of this Agreement.

The Report

Whilst the Company will use reasonable care and skill in producing the Report, it is provided to the Customer, the Client and the Purchaser on the basis that they acknowledge and agree to the following:

2.1 The information contained in the Report can change on a regular basis so the Company cannot be responsible to the Customer, the Client and the Purchaser for any change in the information contained in the Report after the date on which the Report was produced and sent to the Client.

2.2 The Report does not give details about the actual state or condition of the Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Property for any particular purpose, or relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.

2.3 The information contained in the Report is based upon the accuracy, completeness and legibility of the address and/or plans supplied by the Customer or Client or Purchaser.

2.4 The Report provides information as to the location and connection status of existing services and other information in relation to drainage and water enquiries and should not be relied on for any other purpose. The Report may contain opinions or general advice to the Customer, the Client and the Purchaser. The Company cannot ensure that any such opinion or general advice is accurate, complete or valid and therefore accepts no liability in relation thereto.

2.5 The position and depth of apparatus shown on any maps attached to the Report are approximate and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made in the vicinity of the Company's apparatus.

Liability

3.1 The Company shall not be liable to the Client or the Purchaser for any failure defect or non-performance of its obligations arising from any failure to provide or delay in providing the Report to the extent that such failure or delay is due to an event or circumstance beyond the reasonable

control of the Company including but not limited to any delay, failure of or defect in any machine, processing system or transmission link or any failure or default of a supplier or sub-contractor of the Company or any provider of any third party Information except to the extent that such failure or delay is caused by the negligence of the Company.

3.2 Where a Report is requested for an address falling within a geographical area where two different companies separately provide Water and Sewerage Services, then it shall be deemed that liability for the information given by either company will remain with that company in respect of the accuracy of the information supplied.

A company supplying information which has been provided to it by another company for the purposes outlined in this agreement will therefore not be liable in any way for the accuracy of that information and will supply that information as an agent for the company from which the information was obtained.

3.3 The Report is produced for use in relation to individual commercial property transactions where the property is used solely for carrying on a trade or business, the property is intended to be developed for commercial gain or the property is not a single residential, domestic property. The Company's entire liability (except to the extent provided by clause 3.5) in respect of all causes of action arising by reason of or in connection with the Report (whether for breach of contract, negligence or any other tort, under statute or statutory duty or otherwise at all) shall be limited to £2,000,000

In any event, the Company shall not have any liability in contract, negligence or any other tort or for breach of statutory duty or otherwise in respect of any loss of profit, loss of revenue, loss of opportunity or anticipated savings, or any indirect or consequential loss or damage that may be suffered by the Customer, the Client or the Purchaser howsoever arising. The plans attached to the report are provided pursuant to the Company's statutory duty to make such plans available for inspection (notwithstanding the provisions of this clause) and attention is drawn to the notice on the plan(s) attached to the report which applies to the plan and its contents.

3.4 Where the Customer sells this Report to a Client or Purchaser under its own name or as a reseller of the Company (other than in the case of a bona fide legal adviser recharging the cost of the Report as a disbursement) the Company shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty, restitution or otherwise at all) be liable to the Customer for any loss (whether direct, indirect or consequential loss (all three of which terms include without limitation, pure economic loss, loss of profit, loss of business, depletion of goodwill and like loss)) or damage whatsoever caused in respect of the Report or any use of the Report or reliance placed upon it and the Customer shall indemnify and keep indemnified the Company in respect of any claim by the Client or the Purchaser that the Company may incur or suffer.

3.5 Nothing in this Agreement shall exclude the Company's liability for death or personal injury arising from its negligence or for fraud.

Copyright and Confidentiality

4.1 The Customer, the Client and the Purchaser acknowledge that the Report is confidential and is intended for the personal use of the Client and the Purchaser. The copyright and any other intellectual property rights in the Report shall remain the property of the

Company. No intellectual or other property rights are transferred or licensed to the Customer, the Client or the Purchaser except to the extent expressly provided herein.

4.2 The Customer or the Client or the Purchaser is entitled to make copies of the Report but may only copy Ordnance Survey mapping or data contained in or attached to the Report if they have an appropriate licence from the originating source of that mapping or data.

4.3 The Customer, The Client and the Purchaser agree (in respect of both the original and any copies made) to respect and not to alter any part of the Report including but not limited to the trademark, copyright notice or other property marking which appears on the Report.

4.4 The maps contained in the Report are protected by Crown Copyright and must not be used for any purpose outside the context of the Report.

4.5 The enquiries in the Report are protected by copyright by the Law Society of 113 Chancery Lane, London WC2A 1PL and must not be used for any purpose outside the context of the Report.

4.6 The Customer, the Client and the Purchaser agree to indemnify the Company against any losses, costs, claims and damage suffered by the Company as a result of any breach by either of them of the provisions of clauses 4.1 to 4.4 inclusive.

Payment

5.1 Unless otherwise stated all prices are inclusive of VAT. The Customer shall pay the price of the Report specified by the Company, without any set off, deduction or counterclaim.

5.2 Payment must be received in advance unless an account has been set up with the Company. In these cases, payment terms will be as agreed with the Company, but in any event any invoice must be paid within 30 days.

5.3 The Company reserves the right to increase fees on reasonable prior written notice at any time.

Data Protection

6.1 We will process any personal data you provide to us in accordance with applicable data protection laws and our Data Protection and Privacy Notice (<https://www.unitedutilities.com/privacy/>). In addition we will use your personal data to manage and administer the provision of the Report under this Agreement and to develop and improve the business and services we provide to our customers. We may also disclose it to other companies in the United Utilities group (being United Utilities Water Limited, its holding companies (and their subsidiary companies) and its subsidiary companies) and their sub-contractors in connection with those purposes, but it will not be processed for other purposes or disclosed to other third parties without your express permission or without lawful purpose under data protection law.

General

7.1 If any provision of this Agreement is or becomes invalid or unenforceable, it will be taken to be removed from the rest of this Agreement to the extent that it is invalid or unenforceable. No other provision of this Agreement shall be affected.

7.2 This Agreement shall be governed by English law and all parties submit to the exclusive jurisdiction of the English courts.

7.3 Nothing in this Agreement and conditions shall in any way restrict the Customer's the Client's or the Purchaser's statutory or any other rights of access to the information contained in the Report.

7.4 This Agreement and conditions may be enforced by the Customer, the Client and the Purchaser.

7.5 Before you agree to this Agreement, please note it is your responsibility to ensure your client/customer is aware of them and that any objections are raised accordingly.

Property Searches complaints procedure

In the event of any queries relating to this Report please e-mail, write or phone our customer team quoting the United Utilities reference detailed on the Report, We will endeavor to resolve any telephone contact or complaint at the time of the call.

Whilst we always try to resolve all complaints straight away, if this is not possible and you are not happy with the course of action taken by us you can ask us to escalate the issues internally via the complaints process detailed below.

We will listen to your complaint and do our best to deal with it immediately.

If we fail to give you a written substantive response within 5 working days the Company will compensate the Customer or the Client (as applicable) the amount of the original fee paid to the Company for the Report, regardless of the outcome of your complaint.

If it is a complex issue requiring more time, we will still get back to you within 5 working days and notify you of progress and update you with the new timescales.

If we consider your complaint to be justified or we have made any errors that substantially change the outcome of the search we will:

- Refund your Report fee
- Provide you with a revised Report (if requested)
- Take the necessary action within our power to put things right which may (where appropriate) include, at our complete discretion, financial compensation or the relocation/removal/installation of our affected water or sewerage assets.
- Keep you informed of any action required

If your complaint has gone through our full internal complaints procedure and you are not satisfied with the response or you believe that we have failed to comply with our internal complaints procedure you may be able to refer your complaint for consideration under The Property Ombudsman Scheme (TPOs). You can obtain further information by visiting www.tpos.co.uk or email admin@tpos.co.uk

Appendix 4 – Communication with the LLFA

Bojidar Boiadjiev

From: Allan, Peter T
Sent: 17 June 2020 09:45
To: Bojidar Boiadjiev
Cc: Steel, Sarah; WARREN LEWIS
Subject: RE: Monkhill [Filed 17 Jun 2020 09:59]

Dear Bojidar,

I can confirm that a maximum discharge of 5l/s in line with the planning condition 5 is acceptable to the Lead Local Flood Authority. This maximum discharge is to be controlled via a hydro-brake or similar device.

Kind regards,

Peter Allan
Flood & Development Management Officer
Flood & Development Management
Environment & Infrastructure | Cumbria County Council
Parkhouse Building| Baron Way | Carlisle | CA6 4SJ

www.cumbria.gov.uk

From: Bojidar Boiadjiev
Sent: 17 June 2020 09:35
To: Allan, Peter T

Subject: RE: Monkhill

Dear Peter,

Many thanks for your email.

Could I just confirm what discharge rate you would accept if the greenfield runoff rates (Qbar) are too low to be practical.

Planning condition 5 states:

In the event of surface water draining to the surface water public sewer, the pass forward flow rate to the surface water public sewer must be restricted to 5l/s for any storm event.

I just wanted to confirm with you as well that 5l/s for all events up to and including 1:100+40%CC would be acceptable in this scenario.

Kind regards,

Bojidar Boiadjiev, MEng (Hons) | Drainage and Flood Risk Consultant
Ambiental, Science Park Square, Brighton, BN1 9SB, UK
DD + 44 (0) 203 857 8540
W www.ambiental.co.uk | **E** bojidar@ambiental.co.uk

I am currently working without a direct phone number, but you can call 0203 857 8540 and it will be directed to our admin staff who will let me know that you've called. I will then call you back when I am available. We appreciate your patience at this time. **I will be available during our normal working hours via this email which will be the fastest method of contacting me.**

Like many businesses, we're now following government guidance to work remotely due to the Coronavirus (COVID-19). We appreciate our customers patience at this time and we want to assure you that we remain open and working towards your projects with minimal disruption. If you have any questions, feel free to contact us via our direct emails as this will remain the fastest method of contacting our team at this time.

From: Allan, Peter T
Sent: 17 June 2020 08:35
To: Bojidar Boiadjiev
Cc: Steel, Sarah
Subject: Monkhill

Dear Bojidar,

Thank you for your pre-application enquiry as to the drainage requirements at Monkhill near Carlisle.

It should be noted that this site has been subject to numerous outline planning approvals, most recently being in 2018 (18/0994) and 2015 (15/0284). It was stated as part of the response to the original 2015 application that no objections were raised with regards to the discharge of surface water into the existing system beneath the highway.

The discharge into this existing surface water system is to be at the green field runoff rate for the site and attenuation provided on site to accommodate a 1 in 100 year plus 40% to account for climate change storm event. In order to confirm that infiltration is not possible on site a series of infiltration tests in accordance with the BRE 365 method are required to be undertaken and submitted to the Lead Local Flood Authority for comment. If the infiltration test results are negative then we can formally agree to the discharge into the existing surface water system. Foul water, as long as it is treated through a treatment plant, is acceptable to be discharged into the existing surface water system also.

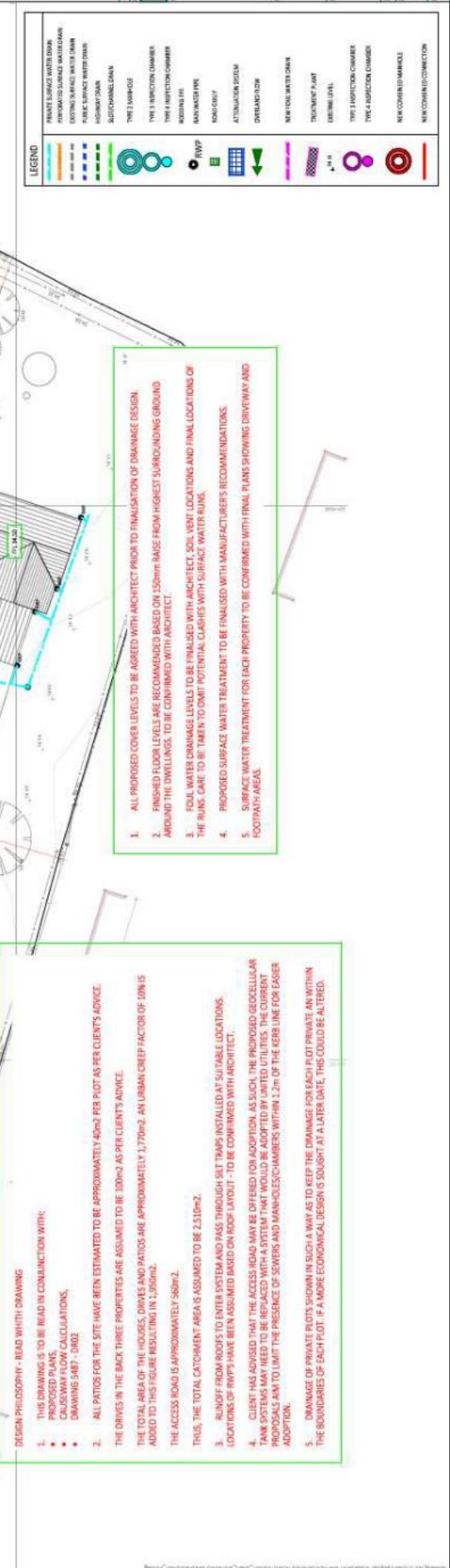
If you have any further questions please get in touch.

Kind regards,

Peter Allan
Flood & Development Management Officer
Flood & Development Management
Environment & Infrastructure | Cumbria County Council
Parkhouse Building | Baron Way | Carlisle | CA6 4SJ

www.cumbria.gov.uk

Appendix 5 – Proposed Drainage Layout and Details



DATE	BY	CHK	APP	REVISED/LOCATION
<p>PRELIMINARY DRAWING FOR THE COMMUNITY ONLY RAIL FLEX CONNECTION</p>				
WARREN LEWIS				
<p>AMBIENTAL ENVIRONMENTAL ASSESSMENT</p> <p>a company of Royal HaskoningDHV</p>				
<p>LAND TO THE REAR OF HALLCROFT MONKCHILL, CA5 6DB</p>				
<p>DRAINAGE STRATEGY DRAINAGE DETAILS</p>				
DATE	BY	CHK	APP	REVISED
5-4-87	DH02			
DATE	BY	CHK	APP	REVISED
1-10-2001				



Appendix 6 – Calculations

Design Settings

Rainfall Methodology	FEH-99	Time of Entry (mins)	4.00
Return Period (years)	100	Maximum Time of Concentration (mins)	30.00
Additional Flow (%)	40	Maximum Rainfall (mm/hr)	50.0
C (1km)	-0.026	Minimum Velocity (m/s)	1.00
D1 (1km)	0.312	Connection Type	Level Soffits
D2 (1km)	0.442	Minimum Backdrop Height (m)	0.500
D3 (1km)	0.392	Preferred Cover Depth (m)	0.600
E (1km)	0.281	Include Intermediate Ground	✓
F (1km)	2.339	Enforce best practice design rules	x
CV	0.750		

Nodes

Name	Area (ha)	T of E (mins)	Cover Level (m)	Diameter (mm)	Easting (m)	Northing (m)	Depth (m)
23	0.012	4.00	34.150	1200	334402.733	558505.474	0.750
22	0.018	4.00	34.188	600	334385.565	558510.803	0.967
21	0.012	4.00	33.692	600	334416.680	558524.031	0.750
20	0.010	4.00	33.822	600	334404.430	558526.019	1.003
19	0.012	4.00	33.940	600	334394.990	558523.230	1.219
18	0.012	4.00	33.293	600	334402.601	558546.932	0.750
17	0.018	4.00	33.708	600	334397.806	558531.670	1.324
16			34.052	1200	334385.050	558520.293	2.552
15	0.013	4.00	33.155	600	334385.721	558550.494	0.750
14	0.014	4.00	33.832	600	334378.115	558530.194	1.642
UpperTank			33.976		334375.913	558524.300	2.226
12	0.010	4.00	32.973	600	334370.906	558552.455	0.750
11	0.013	4.00	33.622	600	334365.374	558536.407	1.568
9	0.008	4.00	33.714	600	334339.868	558513.107	0.751
8	0.010	4.00	33.478	600	334343.751	558525.254	0.750
7	0.010	4.00	33.471	600	334346.071	558528.904	0.786
6	0.010	4.00	32.609	600	334357.438	558557.676	0.750
5	0.013	4.00	33.185	600	334351.525	558541.412	1.498
4			33.452	750	334348.191	558532.239	2.012
1			31.294	900	334313.251	558541.526	0.844
LowerTank			32.638		334328.420	558535.344	2.088
24	0.019	4.00	31.925	1200	334315.813	558540.405	1.800
25			33.262	1200	334341.108	558531.494	2.962
26	0.020	4.00	33.747	1200	334362.710	558530.521	2.428

Links

Name	US Node	DS Node	Length (m)	ks (mm) / n	US IL (m)	DS IL (m)	Fall (m)	Slope (1:X)	Dia (mm)	T of C (mins)	Rain (mm/hr)
1.008	24	1	2.797	0.600	30.500	30.450	0.050	55.9	150	5.75	50.0
1.007	LowerTank	24	13.585	0.600	30.550	30.500	0.050	271.7	300	5.74	50.0
1.006	25	LowerTank	13.259	0.600	30.600	30.550	0.050	265.2	300	5.50	50.0
1.005	4	25	7.122	0.600	31.440	31.410	0.030	237.4	300	5.27	50.0
1.004	26	4	14.620	0.600	31.664	31.515	0.149	98.1	225	5.15	50.0
7.002	7	4	3.952	0.600	32.685	32.645	0.040	98.8	150	4.29	50.0
6.001	5	4	9.760	0.600	31.687	31.590	0.097	100.6	150	4.45	50.0
6.000	6	5	17.306	0.600	31.859	31.687	0.172	100.6	150	4.29	50.0
7.001	8	7	4.325	0.600	32.728	32.685	0.043	100.6	150	4.23	50.0
7.000	9	8	12.753	0.600	32.963	32.728	0.235	54.3	150	4.16	50.0
1.003	UpperTank	26	14.595	0.600	31.750	31.664	0.086	169.7	225	4.97	50.0
5.001	11	26	6.461	0.600	32.054	31.739	0.315	20.5	150	4.33	50.0
5.000	12	11	16.975	0.600	32.223	32.054	0.169	100.4	150	4.28	50.0
1.002	16	UpperTank	9.977	0.600	31.800	31.750	0.050	199.5	225	4.72	50.0
4.001	22	16	9.504	0.600	33.221	33.126	0.095	100.0	150	4.46	50.0
3.002	19	16	10.365	0.600	32.721	32.618	0.103	100.6	150	4.54	50.0
2.001	17	16	17.092	0.600	32.384	31.875	0.509	33.6	150	4.43	50.0
1.001	14	16	12.088	0.600	32.190	31.875	0.315	38.4	150	4.48	50.0
1.000	15	14	21.678	0.600	32.405	32.190	0.215	100.8	150	4.36	50.0
2.000	18	17	15.998	0.600	32.543	32.384	0.159	100.6	150	4.27	50.0
3.001	20	19	9.843	0.600	32.819	32.721	0.098	100.4	150	4.37	50.0
3.000	21	20	12.410	0.600	32.942	32.819	0.123	100.9	150	4.21	50.0
4.000	23	22	17.976	0.600	33.400	33.221	0.179	100.4	150	4.30	50.0








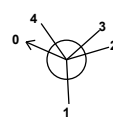





Name	Vel (m/s)	Cap (l/s)	Flow (l/s)	US Depth (m)	DS Depth (m)	Σ Area (ha)	Σ Add Inflow (l/s)	Pro Depth (mm)	Pro Velocity (m/s)
1.008	1.347	23.8	44.4	1.275	0.694	0.234	0.0	150	1.373
1.007	0.949	67.1	40.8	1.788	1.125	0.215	0.0	169	0.993
1.006	0.960	67.9	40.8	2.362	1.788	0.215	0.0	168	1.003
1.005	1.016	71.8	40.8	1.712	1.552	0.215	0.0	162	1.047
1.004	1.320	52.5	31.1	1.858	1.712	0.164	0.0	125	1.376
7.002	1.011	17.9	5.3	0.636	0.657	0.028	0.0	56	0.882
6.001	1.001	17.7	4.4	1.348	1.712	0.023	0.0	51	0.831
6.000	1.001	17.7	1.9	0.600	1.348	0.010	0.0	33	0.654
7.001	1.002	17.7	3.4	0.600	0.636	0.018	0.0	45	0.778
7.000	1.368	24.2	1.5	0.601	0.600	0.008	0.0	25	0.764
1.003	1.001	39.8	23.0	2.001	1.858	0.121	0.0	123	1.035
5.001	2.234	39.5	4.4	1.418	1.858	0.023	0.0	34	1.479
5.000	1.002	17.7	1.9	0.600	1.418	0.010	0.0	33	0.655
1.002	0.922	36.6	23.0	2.027	2.001	0.121	0.0	129	0.971
4.001	1.004	17.7	5.7	0.817	0.776	0.030	0.0	58	0.895
3.002	1.001	17.7	6.5	1.069	1.284	0.034	0.0	62	0.922
2.001	1.743	30.8	5.7	1.174	2.027	0.030	0.0	44	1.336
1.001	1.629	28.8	5.1	1.492	2.027	0.027	0.0	42	1.230
1.000	1.000	17.7	2.5	0.600	1.492	0.013	0.0	38	0.706
2.000	1.001	17.7	2.3	0.600	1.174	0.012	0.0	36	0.687
3.001	1.002	17.7	4.2	0.853	1.069	0.022	0.0	50	0.821
3.000	1.000	17.7	2.3	0.600	0.853	0.012	0.0	36	0.686
4.000	1.002	17.7	2.3	0.600	0.817	0.012	0.0	36	0.688

Pipeline Schedule






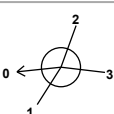

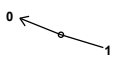

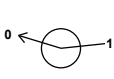
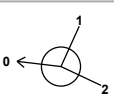
Link	Length (m)	Slope (1:X)	Dia (mm)	Link Type	US CL (m)	US IL (m)	US Depth (m)	DS CL (m)	DS IL (m)	DS Depth (m)
1.008	2.797	55.9	150	Circular	31.925	30.500	1.275	31.294	30.450	0.694
1.007	13.585	271.7	300	Circular	32.638	30.550	1.788	31.925	30.500	1.125
1.006	13.259	265.2	300	Circular	33.262	30.600	2.362	32.638	30.550	1.788
1.005	7.122	237.4	300	Circular	33.452	31.440	1.712	33.262	31.410	1.552
1.004	14.620	98.1	225	Circular	33.747	31.664	1.858	33.452	31.515	1.712
7.002	3.952	98.8	150	Circular	33.471	32.685	0.636	33.452	32.645	0.657
6.001	9.760	100.6	150	Circular	33.185	31.687	1.348	33.452	31.590	1.712
6.000	17.306	100.6	150	Circular	32.609	31.859	0.600	33.185	31.687	1.348
7.001	4.325	100.6	150	Circular	33.478	32.728	0.600	33.471	32.685	0.636
7.000	12.753	54.3	150	Circular	33.714	32.963	0.601	33.478	32.728	0.600
1.003	14.595	169.7	225	Circular	33.976	31.750	2.001	33.747	31.664	1.858
5.001	6.461	20.5	150	Circular	33.622	32.054	1.418	33.747	31.739	1.858
5.000	16.975	100.4	150	Circular	32.973	32.223	0.600	33.622	32.054	1.418
1.002	9.977	199.5	225	Circular	34.052	31.800	2.027	33.976	31.750	2.001
4.001	9.504	100.0	150	Circular	34.188	33.221	0.817	34.052	33.126	0.776
3.002	10.365	100.6	150	Circular	33.940	32.721	1.069	34.052	32.618	1.284
2.001	17.092	33.6	150	Circular	33.708	32.384	1.174	34.052	31.875	2.027
1.001	12.088	38.4	150	Circular	33.832	32.190	1.492	34.052	31.875	2.027
1.000	21.678	100.8	150	Circular	33.155	32.405	0.600	33.832	32.190	1.492
2.000	15.998	100.6	150	Circular	33.293	32.543	0.600	33.708	32.384	1.174
3.001	9.843	100.4	150	Circular	33.822	32.819	0.853	33.940	32.721	1.069
3.000	12.410	100.9	150	Circular	33.692	32.942	0.600	33.822	32.819	0.853
4.000	17.976	100.4	150	Circular	34.150	33.400	0.600	34.188	33.221	0.817

Link	US Node	Dia (mm)	Node Type	MH Type	DS Node	Dia (mm)	Node Type	MH Type
1.008	24	1200	Manhole	Adoptable-Type A and B	1	900	Manhole	Adoptable-Type A and B
1.007	LowerTank		Junction		24	1200	Manhole	Adoptable-Type A and B
1.006	25	1200	Manhole	Adoptable-Type A and B	LowerTank		Junction	
1.005	4	750	Manhole	Adoptable-Type E and F	25	1200	Manhole	Adoptable-Type A and B
1.004	26	1200	Manhole	Adoptable-Type A and B	4	750	Manhole	Adoptable-Type E and F
7.002	7	600	Manhole	Demarcation 600	4	750	Manhole	Adoptable-Type E and F
6.001	5	600	Manhole	Demarcation 600	4	750	Manhole	Adoptable-Type E and F
6.000	6	600	Manhole	Private IC/MH	5	600	Manhole	Demarcation 600
7.001	8	600	Manhole	Private IC/MH	7	600	Manhole	Demarcation 600
7.000	9	600	Manhole	Private IC/MH	8	600	Manhole	Private IC/MH
1.003	UpperTank		Junction		26	1200	Manhole	Adoptable-Type A and B
5.001	11	600	Manhole	Demarcation 600	26	1200	Manhole	Adoptable-Type A and B
5.000	12	600	Manhole	Private IC/MH	11	600	Manhole	Demarcation 600
1.002	16	1200	Manhole	Adoptable-Type A and B	UpperTank		Junction	
4.001	22	600	Manhole	Demarcation 600	16	1200	Manhole	Adoptable-Type A and B
3.002	19	600	Manhole	Demarcation 600	16	1200	Manhole	Adoptable-Type A and B
2.001	17	600	Manhole	Demarcation 600	16	1200	Manhole	Adoptable-Type A and B
1.001	14	600	Manhole	Demarcation 600	16	1200	Manhole	Adoptable-Type A and B
1.000	15	600	Manhole	Private IC/MH	14	600	Manhole	Demarcation 600
2.000	18	600	Manhole	Private IC/MH	17	600	Manhole	Demarcation 600
3.001	20	600	Manhole	Private IC/MH	19	600	Manhole	Demarcation 600
3.000	21	600	Manhole	Private IC/MH	20	600	Manhole	Private IC/MH
4.000	23	1200	Manhole	Adoptable-Type A and B	22	600	Manhole	Demarcation 600

Manhole Schedule

Node	Easting (m)	Northing (m)	CL (m)	Depth (m)	Dia (mm)	Sump (m)	Connections	Link	IL (m)	Dia (mm)	
23	334402.733	558505.474	34.150	0.750	1200			0	4.000	33.400	150
22	334385.565	558510.803	34.188	0.967	600			1	4.000	33.221	150
21	334416.680	558524.031	33.692	0.750	600			0	4.001	33.221	150
20	334404.430	558526.019	33.822	1.003	600			1	3.000	32.942	150
19	334394.990	558523.230	33.940	1.219	600			0	3.001	32.819	150
18	334402.601	558546.932	33.293	0.750	600			0	2.000	32.543	150
17	334397.806	558531.670	33.708	1.324	600			1	2.000	32.384	150
16	334385.050	558520.293	34.052	2.552	1200	0.300		1	4.001	33.126	150
15	334385.721	558550.494	33.155	0.750	600			0	1.000	32.405	150
14	334378.115	558530.194	33.832	1.642	600			1	1.000	32.190	150
UpperTank	334375.913	558524.300	33.976	2.226				1	1.002	31.750	225
12	334370.906	558552.455	32.973	0.750	600			0	5.000	32.223	150
11	334365.374	558536.407	33.622	1.568	600			1	5.000	32.054	150

Manhole Schedule

Node	Easting (m)	Northing (m)	CL (m)	Depth (m)	Dia (mm)	Sump (m)	Connections	Link	IL (m)	Dia (mm)	
9	334339.868	558513.107	33.714	0.751	600			0	7.000	32.963	150
8	334343.751	558525.254	33.478	0.750	600			1	7.000	32.728	150
								0	7.001	32.728	150
7	334346.071	558528.904	33.471	0.786	600			1	7.001	32.685	150
								0	7.002	32.685	150
6	334357.438	558557.676	32.609	0.750	600			0	6.000	31.859	150
5	334351.525	558541.412	33.185	1.498	600			1	6.000	31.687	150
								0	6.001	31.687	150
4	334348.191	558532.239	33.452	2.012	750			1	7.002	32.645	150
								2	6.001	31.590	150
								3	1.004	31.515	225
								0	1.005	31.440	300
1	334313.251	558541.526	31.294	0.844	900			1	1.008	30.450	150
LowerTank	334328.420	558535.344	32.638	2.088				1	1.006	30.550	300
								0	1.007	30.550	300
24	334315.813	558540.405	31.925	1.800	1200	0.375		1	1.007	30.500	300
								0	1.008	30.500	150
25	334341.108	558531.494	33.262	2.962	1200	0.300		1	1.005	31.410	300
								0	1.006	30.600	300
26	334362.710	558530.521	33.747	2.428	1200	0.345		1	5.001	31.739	150
								2	1.003	31.664	225
								0	1.004	31.664	225

Simulation Settings

Rainfall Methodology FEH-99
C (1km) -0.026
D1 (1km) 0.312
D2 (1km) 0.442
D3 (1km) 0.392

E (1km) 0.281
F (1km) 2.339
Summer CV 0.750
Winter CV 0.840
Analysis Speed Detailed

Skip Steady State x
Drain Down Time (mins) 240
Additional Storage (m³/ha) 0.0
Check Discharge Rate(s) x
Check Discharge Volume x

Storm Durations

15 | 30 | 60 | 120 | 180 | 240 | 360 | 480 | 600

Return Period (years)	Climate Change (CC %)	Additional Area (A %)	Additional Flow (Q %)
2	0	0	0
30	0	0	0
100	40	0	0

Node 24 Online Hydro-Brake® Control

Flap Valve	x	Objective	(HE) Minimise upstream storage
Replaces Downstream Link	✓	Sump Available	✓
Invert Level (m)	30.500	Product Number	CTL-SHE-0100-5000-1400-5000
Design Depth (m)	1.400	Min Outlet Diameter (m)	0.150
Design Flow (l/s)	5.0	Min Node Diameter (mm)	1200

Node 26 Online Hydro-Brake® Control

Flap Valve	x	Objective	(HE) Minimise upstream storage
Downstream Link	1.004	Sump Available	✓
Replaces Downstream Link	✓	Product Number	CTL-SHE-0085-3400-1200-3400
Invert Level (m)	31.664	Min Outlet Diameter (m)	0.100
Design Depth (m)	1.200	Min Node Diameter (mm)	1200
Design Flow (l/s)	3.4		

Node LowerTank Depth/Area Storage Structure

Base Inf Coefficient (m/hr)	0.00000	Safety Factor	2.0	Invert Level (m)	30.550
Side Inf Coefficient (m/hr)	0.00000	Porosity	1.00	Time to half empty (mins)	110

Depth (m)	Area (m²)	Inf Area (m²)	Depth (m)	Area (m²)	Inf Area (m²)	Depth (m)	Area (m²)	Inf Area (m²)
0.000	36.0	0.0	0.800	36.0	0.0	0.801	0.0	0.0

Node UpperTank Depth/Area Storage Structure

Base Inf Coefficient (m/hr)	0.00000	Safety Factor	2.0	Invert Level (m)	31.750
Side Inf Coefficient (m/hr)	0.00000	Porosity	1.00	Time to half empty (mins)	169

Depth (m)	Area (m²)	Inf Area (m²)	Depth (m)	Area (m²)	Inf Area (m²)	Depth (m)	Area (m²)	Inf Area (m²)
0.000	45.0	0.0	1.200	45.0	0.0	1.201	0.0	0.0

Rainfall

Event	Peak Intensity (mm/hr)	Average Intensity (mm/hr)	Event	Peak Intensity (mm/hr)	Average Intensity (mm/hr)
2 year 15 minute summer	106.847	30.234	2 year 180 minute summer	20.761	5.342
2 year 15 minute winter	74.981	30.234	2 year 180 minute winter	13.495	5.342
2 year 30 minute summer	65.885	18.643	2 year 240 minute summer	16.540	4.371
2 year 30 minute winter	46.235	18.643	2 year 240 minute winter	10.989	4.371
2 year 60 minute summer	43.500	11.496	2 year 360 minute summer	12.802	3.294
2 year 60 minute winter	28.901	11.496	2 year 360 minute winter	8.321	3.294
2 year 120 minute summer	26.824	7.089	2 year 480 minute summer	10.199	2.695
2 year 120 minute winter	17.821	7.089	2 year 480 minute winter	6.776	2.695

Rainfall

Event	Peak Intensity (mm/hr)	Average Intensity (mm/hr)	Event	Peak Intensity (mm/hr)	Average Intensity (mm/hr)
2 year 600 minute summer	8.434	2.307	30 year 600 minute winter	11.231	4.496
2 year 600 minute winter	5.762	2.307	100 year +40% CC 15 minute summer	572.562	162.015
30 year 15 minute summer	278.153	78.708	100 year +40% CC 15 minute winter	401.798	162.015
30 year 15 minute winter	195.195	78.708	100 year +40% CC 30 minute summer	327.122	92.564
30 year 30 minute summer	162.438	45.964	100 year +40% CC 30 minute winter	229.559	92.564
30 year 30 minute winter	113.991	45.964	100 year +40% CC 60 minute summer	200.116	52.885
30 year 60 minute summer	101.572	26.843	100 year +40% CC 60 minute winter	132.952	52.885
30 year 60 minute winter	67.482	26.843	100 year +40% CC 120 minute summer	114.332	30.215
30 year 120 minute summer	59.317	15.676	100 year +40% CC 120 minute winter	75.960	30.215
30 year 120 minute winter	39.409	15.676	100 year +40% CC 180 minute summer	84.627	21.777
30 year 180 minute summer	44.472	11.444	100 year +40% CC 180 minute winter	55.010	21.777
30 year 180 minute winter	28.908	11.444	100 year +40% CC 240 minute summer	65.321	17.263
30 year 240 minute summer	34.640	9.154	100 year +40% CC 240 minute winter	43.398	17.263
30 year 240 minute winter	23.014	9.154	100 year +40% CC 360 minute summer	48.350	12.442
30 year 360 minute summer	25.971	6.683	100 year +40% CC 360 minute winter	31.429	12.442
30 year 360 minute winter	16.882	6.683	100 year +40% CC 480 minute summer	37.320	9.863
30 year 480 minute summer	20.229	5.346	100 year +40% CC 480 minute winter	24.795	9.863
30 year 480 minute winter	13.440	5.346	100 year +40% CC 600 minute summer	30.112	8.236
30 year 600 minute summer	16.438	4.496	100 year +40% CC 600 minute winter	20.574	8.236

Results for 2 year Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	23	10	33.431	0.031	1.7	0.0354	0.0000	OK
15 minute winter	22	10	33.274	0.053	4.3	0.0149	0.0000	OK
15 minute winter	21	10	32.973	0.031	1.7	0.0089	0.0000	OK
15 minute winter	20	10	32.863	0.044	3.2	0.0125	0.0000	OK
15 minute winter	19	10	32.777	0.056	4.9	0.0159	0.0000	OK
15 minute winter	18	10	32.574	0.031	1.7	0.0089	0.0000	OK
15 minute winter	17	10	32.423	0.039	4.3	0.0110	0.0000	OK
30 minute winter	16	29	31.910	0.110	12.2	0.1239	0.0000	OK
15 minute winter	15	10	32.438	0.033	1.9	0.0094	0.0000	OK
15 minute winter	14	10	32.228	0.038	3.9	0.0109	0.0000	OK
30 minute winter	UpperTank	28	31.909	0.159	12.6	7.1714	0.0000	OK
15 minute winter	12	10	32.253	0.030	1.5	0.0085	0.0000	OK
15 minute winter	11	10	32.084	0.030	3.4	0.0084	0.0000	OK
15 minute winter	9	10	32.986	0.023	1.2	0.0064	0.0000	OK
15 minute winter	8	10	32.771	0.043	2.7	0.0122	0.0000	OK
15 minute winter	7	10	32.739	0.054	4.2	0.0153	0.0000	OK
15 minute winter	6	10	31.888	0.029	1.5	0.0083	0.0000	OK
15 minute winter	5	10	31.733	0.046	3.4	0.0131	0.0000	OK
15 minute winter	4	10	31.523	0.083	10.6	0.0367	0.0000	OK
15 minute summer	1	1	30.450	0.000	4.1	0.0000	0.0000	OK
60 minute winter	LowerTank	49	30.668	0.118	6.6	4.2498	0.0000	OK
60 minute winter	24	50	30.668	0.168	4.6	0.1900	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
15 minute winter	23	4.000	22	1.7	0.422	0.096	0.0732	
15 minute winter	22	4.001	16	4.3	0.804	0.241	0.0505	
15 minute winter	21	3.000	20	1.7	0.491	0.096	0.0434	
15 minute winter	20	3.001	19	3.2	0.618	0.180	0.0510	
15 minute winter	19	3.002	16	4.9	0.832	0.274	0.0605	
15 minute winter	18	2.000	17	1.7	0.544	0.096	0.0500	
15 minute winter	17	2.001	16	4.3	1.211	0.139	0.0604	
30 minute winter	16	1.002	UpperTank	12.1	1.100	0.329	0.2454	
15 minute winter	15	1.000	14	1.9	0.591	0.107	0.0697	
15 minute winter	14	1.001	16	3.9	1.115	0.134	0.0420	
30 minute winter	UpperTank	1.003	26	3.4	0.235	0.086	0.5097	
15 minute winter	12	5.000	11	1.5	0.604	0.085	0.0421	
15 minute winter	11	5.001	26	3.4	1.103	0.086	0.0605	
15 minute winter	9	7.000	8	1.2	0.421	0.050	0.0373	
15 minute winter	8	7.001	7	2.7	0.546	0.152	0.0213	
15 minute winter	7	7.002	4	4.2	0.779	0.234	0.0212	
15 minute winter	6	6.000	5	1.5	0.431	0.084	0.0608	
15 minute winter	5	6.001	4	3.4	0.753	0.190	0.0435	
15 minute winter	4	1.005	25	10.5	0.700	0.146	0.1071	
60 minute winter	LowerTank	1.007	24	4.3	0.243	0.064	0.4502	
60 minute winter	24	Hydro-Brake®	1	4.4				22.1

Results for 2 year Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	25	11	30.677	0.077	10.5	0.0875	0.0000	OK
60 minute winter	26	48	31.911	0.247	5.3	0.2797	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
15 minute winter	25	1.006	LowerTank	10.4	1.167	0.154	0.1822	
60 minute winter	26	Hydro-Brake®	4	3.3				

Results for 30 year Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	23	10	33.451	0.051	4.5	0.0581	0.0000	OK
15 minute winter	22	10	33.315	0.094	11.3	0.0266	0.0000	OK
15 minute winter	21	10	32.994	0.051	4.5	0.0146	0.0000	OK
15 minute summer	20	10	32.896	0.077	8.3	0.0217	0.0000	OK
15 minute winter	19	10	32.823	0.102	12.8	0.0290	0.0000	OK
15 minute summer	18	10	32.595	0.052	4.5	0.0147	0.0000	OK
15 minute winter	17	10	32.447	0.063	11.3	0.0178	0.0000	OK
60 minute winter	16	59	32.269	0.469	18.8	0.5303	0.0000	SURCHARGED
15 minute summer	15	10	32.459	0.054	4.9	0.0154	0.0000	OK
60 minute winter	14	59	32.269	0.079	4.2	0.0224	0.0000	OK
60 minute winter	UpperTank	60	32.269	0.519	20.6	23.3449	0.0000	SURCHARGED
15 minute winter	12	10	32.271	0.048	3.8	0.0137	0.0000	OK
60 minute winter	11	59	32.269	0.215	3.6	0.0607	0.0000	SURCHARGED
15 minute winter	9	10	32.999	0.036	3.0	0.0101	0.0000	OK
15 minute winter	8	10	32.805	0.077	6.8	0.0217	0.0000	OK
15 minute winter	7	10	32.779	0.094	10.6	0.0267	0.0000	OK
15 minute winter	6	10	31.906	0.047	3.8	0.0133	0.0000	OK
15 minute winter	5	10	31.766	0.079	8.7	0.0224	0.0000	OK
15 minute winter	4	10	31.566	0.126	22.6	0.0558	0.0000	OK
15 minute summer	1	1	30.450	0.000	4.8	0.0000	0.0000	OK
60 minute winter	LowerTank	58	30.830	0.280	10.7	10.0902	0.0000	OK
60 minute winter	24	58	30.830	0.330	5.5	0.3733	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
15 minute winter	23	4.000	22	4.5	0.534	0.254	0.1524	
15 minute winter	22	4.001	16	11.3	1.018	0.635	0.1052	
15 minute winter	21	3.000	20	4.5	0.626	0.255	0.0894	
15 minute summer	20	3.001	19	8.3	0.757	0.469	0.1077	
15 minute winter	19	3.002	16	12.8	1.045	0.721	0.1266	
15 minute summer	18	2.000	17	4.5	0.725	0.254	0.0994	
15 minute winter	17	2.001	16	11.3	1.276	0.367	0.2102	
60 minute winter	16	1.002	UpperTank	17.8	1.098	0.485	0.3968	
15 minute summer	15	1.000	14	4.9	0.781	0.277	0.1362	
60 minute winter	14	1.001	16	4.2	1.056	0.146	0.1634	
60 minute winter	UpperTank	1.003	26	3.3	0.218	0.083	0.5805	
15 minute winter	12	5.000	11	3.8	0.781	0.215	0.1607	
60 minute winter	11	5.001	26	3.5	0.843	0.090	0.1137	
15 minute winter	9	7.000	8	3.0	0.504	0.124	0.0782	
15 minute winter	8	7.001	7	6.8	0.655	0.384	0.0448	
15 minute winter	7	7.002	4	10.6	0.978	0.592	0.0427	
15 minute winter	6	6.000	5	3.8	0.540	0.215	0.1227	
15 minute winter	5	6.001	4	8.7	0.959	0.490	0.0882	
15 minute winter	4	1.005	25	22.6	0.857	0.315	0.1878	
60 minute winter	LowerTank	1.007	24	4.9	0.243	0.073	0.9434	
60 minute winter	24	Hydro-Brake®	1	5.0				52.2

Results for 30 year Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
60 minute winter	25	58	30.830	0.230	11.3	0.2606	0.0000	OK
60 minute winter	26	59	32.268	0.604	6.6	0.6835	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
60 minute winter	25	1.006	LowerTank	10.7	0.900	0.157	0.8389	
60 minute winter	26	Hydro-Brake®	4	3.4				

Results for 100 year +40% CC Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
15 minute winter	23	10	33.494	0.094	9.4	0.1068	0.0000	OK
15 minute winter	22	10	33.457	0.236	23.1	0.0667	0.0000	SURCHARGED
15 minute winter	21	11	33.136	0.194	9.4	0.0549	0.0000	SURCHARGED
15 minute winter	20	11	33.100	0.281	16.1	0.0795	0.0000	SURCHARGED
15 minute winter	19	11	32.998	0.277	24.4	0.0783	0.0000	SURCHARGED
60 minute winter	18	60	32.904	0.361	3.7	0.1020	0.0000	SURCHARGED
60 minute winter	17	61	32.904	0.520	9.2	0.1471	0.0000	SURCHARGED
60 minute winter	16	61	32.904	1.104	35.3	1.2487	0.0000	SURCHARGED
60 minute winter	15	60	32.904	0.499	4.0	0.1411	0.0000	FLOOD RISK
60 minute winter	14	61	32.904	0.714	8.3	0.2020	0.0000	SURCHARGED
60 minute winter	UpperTank	61	32.904	1.154	40.5	51.9474	0.0000	SURCHARGED
60 minute winter	12	61	32.904	0.681	3.1	0.1926	0.0000	FLOOD RISK
60 minute winter	11	61	32.904	0.850	6.7	0.2404	0.0000	SURCHARGED
15 minute winter	9	10	33.015	0.052	6.2	0.0147	0.0000	OK
15 minute winter	8	10	32.924	0.196	14.0	0.0555	0.0000	SURCHARGED
15 minute winter	7	10	32.880	0.195	21.6	0.0552	0.0000	SURCHARGED
15 minute winter	6	10	31.928	0.069	7.8	0.0197	0.0000	OK
15 minute winter	5	10	31.832	0.145	17.9	0.0409	0.0000	OK
15 minute winter	4	10	31.622	0.182	42.2	0.0804	0.0000	OK
15 minute summer	1	1	30.450	0.000	5.0	0.0000	0.0000	OK
120 minute winter	LowerTank	118	31.224	0.674	11.6	24.2636	0.0000	SURCHARGED
120 minute winter	24	118	31.224	0.724	5.4	0.8185	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
15 minute winter	23	4.000	22	9.2	0.600	0.518	0.2632	
15 minute winter	22	4.001	16	22.5	1.277	1.266	0.1628	
15 minute winter	21	3.000	20	8.5	0.699	0.481	0.2185	
15 minute winter	20	3.001	19	15.7	0.889	0.884	0.1733	
15 minute winter	19	3.002	16	24.0	1.366	1.359	0.1789	
60 minute winter	18	2.000	17	3.7	0.689	0.208	0.2816	
60 minute winter	17	2.001	16	9.0	1.139	0.294	0.3009	
60 minute winter	16	1.002	UpperTank	33.9	1.333	0.924	0.3968	
60 minute winter	15	1.000	14	4.0	0.715	0.225	0.3816	
60 minute winter	14	1.001	16	7.4	1.031	0.256	0.2128	
60 minute winter	UpperTank	1.003	26	-7.7	-0.193	-0.193	0.5805	
60 minute winter	12	5.000	11	2.9	0.682	0.162	0.2988	
60 minute winter	11	5.001	26	5.7	0.987	0.144	0.1137	
15 minute winter	9	7.000	8	6.2	0.536	0.256	0.1466	
15 minute winter	8	7.001	7	13.8	0.783	0.779	0.0761	
15 minute winter	7	7.002	4	21.5	1.221	1.202	0.0674	
15 minute winter	6	6.000	5	7.8	0.612	0.441	0.2196	
15 minute winter	5	6.001	4	17.6	1.083	0.992	0.1599	
15 minute winter	4	1.005	25	42.1	1.021	0.586	0.2935	
120 minute winter	LowerTank	1.007	24	4.9	0.241	0.074	0.9566	
120 minute winter	24	Hydro-Brake®	1	5.0				97.2

Results for 100 year +40% CC Critical Storm Duration. Lowest mass balance: 99.61%

Node Event	US Node	Peak (mins)	Level (m)	Depth (m)	Inflow (l/s)	Node Vol (m³)	Flood (m³)	Status
120 minute winter	25	118	31.224	0.624	12.0	0.7060	0.0000	SURCHARGED
60 minute winter	26	61	32.904	1.240	11.6	1.4021	0.0000	SURCHARGED

Link Event (Upstream Depth)	US Node	Link	DS Node	Outflow (l/s)	Velocity (m/s)	Flow/Cap	Link Vol (m³)	Discharge Vol (m³)
120 minute winter	25	1.006	LowerTank	11.6	0.852	0.171	0.9337	
60 minute winter	26	Hydro-Brake®	4	3.5				

Appendix 7 – General Requirements Maintenance

GULLIES, PIPEWORK, INSPECTION CHAMBERS AND CONTROLS	
<u>Required Action</u>	<u>Frequency</u>
Regular Maintenance	
Remove cover and inspect chambers and pipework ensuring water is flowing freely and that the exit route for water is unobstructed.	Annually
Undertake inspection after leaf fall in autumn, remove leaves from gullies, chambers and pipes	Every autumn
Inspect silt traps and clear of silt	Every 6 months or as required
Inspect catchpits and clear of silt	Every 6 months or as required
Remedial work	
Remove debris, silt and leaves from inspection chambers and flow control chambers.	As required
Remove debris and silt from pipework through high pressure jet washing.	As required
Repair physical damage if necessary	As required
Monitoring	
CCTV survey to establish condition of pipe runs. Cleansing or repair of physical damage to be conducted if necessary	Every 5 years or as required
GEOCELLULAR TANK SYSTEM	
<u>Required Action</u>	<u>Frequency</u>

Regular maintenance	
Inspect and identify any areas that are not operating correctly. If required, take remedial action.	Monthly for 3 months, then annually
Remove debris from the catchment surface (where it may cause risks to performance).	Monthly
Remove sediment from pre-treatment structures – all runoff entering the tank will need to have been routed through a catchpit with sediment filter.	Annually or as required
Remedial	
Repair/rehabilitate inlets, outlets and vents	As required
Monitoring	
Inspect/check all inlets, outlets and vents to ensure that they are in good condition and operating as designed	Annually
If product allows for internal inspection, CCTV survey inside of tank for sediment build-up and remove if necessary (this could be through the Polystorm Access product suitable for the Polystorm Xtra crate system). Manufacturer's specific recommendation to be followed.	Every 5 years or as required
WATER BUTTS	
<u>Required Action</u>	<u>Frequency</u>
Regular maintenance	
Empty and clean barrel thoroughly as winter approaches to prevent the risk of ice forming, expanding and cracking or splitting the container.	Annually, before winter

Use proprietary products made for cleaning the interior of water butts and enhancing the quality of the water.	As instructed by cleaning product manufacturer
Remedial	
Empty water butt and scrub out the interior to remove the sludge, algae and grime that builds up on the sides and bottom of the container	As required (usually several times a year)
Monitoring	
Inspect amount of sludge and algae within water butt	When emptying

Official Local Authority Search Commercial (CON29R + LLC1)



Search Details

Prepared for: Minihan Mcalister Limited

Matter: JCM/1701/1

Client address: Warwick Mill Business Centre, Warwick Bridge, Carlisle, CA4 8RR

Property:

Land at, Hallcroft, Monkhill, Burgh By Sands, Carlisle, CA5 6DB

Local Authority:

Carlisle City Council

Civic Centre, Civic Centre, Rickergate, Carlisle, CA3 8QG

Date Returned:
19/04/2020

Property type:
Commercial

This search was compiled by the Local Authority above and provided by InfoTrack Ltd – t: 0207 186 8090, e: helpdesk@infotrack.co.uk. This search is subject to terms and conditions issued by InfoTrack which can be viewed at www.infotrack.co.uk or supplied on request. This search is also subject to terms and conditions issued by the Local Authority, available on request. InfoTrack are registered with the Property Codes Compliance Board (PCCB) as subscribers to the Search Code. The PCCB independently monitors how registered firms maintain compliance with the Code. Visit www.propertycodes.org.uk for more information.



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CON29 ENQUIRIES OF THE LOCAL AUTHORITY WITH INFORMATIVES (2016 EDITION)

PART 1 STANDARD ENQUIRIES AND PART 2 OPTIONAL ENQUIRIES

HIGHWAYS & TRANSPORTATION, CUMBRIA COUNTY COUNCIL



Search No. | Date 03/04/2020

Search No: 20-00253

BOX B
Property/Address: Land at Hallcroft, Monkhill, Burgh by Sands, CA5 6DB

Postcode/Grid Reference: CA

6DB 4SD If no Postcode a Grid reference must be provided

BOX C

PLEASE ANSWER Q4

PART 1 STANDARD ENQUIRIES

	QUESTION	ANSWER	DETAILS
2.1	Roadways, footways and footpaths	Please see attached plan*	<p>a.) If maintainable at public expense, shown green on plan. If not maintainable at public expense, shown red on plan</p> <p>b.) If subject to Section 38 Agreement; shown blue on plan</p> <p>c.) If to be adopted by a local authority without reclaiming the cost from the frontages; shown as 'AT COST' on plan.</p> <p>d.) If to be adopted without cost to the frontages under a current Cumbria County Council resolution; shown as 'WITHOUT COST' on plan.</p> <p>*<input checked="" type="checkbox"/> If this box is checked, the plan is indicating the nearest adopted road in relation to the property</p>
2.2	Public Rights of Way	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
2.2	Public Rights of Way - plan	Please see attached plan**	** If answered 'YES' in Q.2.2, Please see copy of part of Cumbria County Council's 1976 Definitive Map of Recorded Public Rights of Way.
2.3	PRoW Pending Applications	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	Click here to enter text.
2.4	PRoW Legal Orders	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	Click here to enter text.
2.5	Plan Attached	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
3.2	Land to be acquired for Roadworks	NO <input checked="" type="checkbox"/>	Click here to enter text.
3.4 (a-f)	Nearby Road schemes	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	<p>(a) <input type="checkbox"/> (b) <input type="checkbox"/> (c) <input type="checkbox"/> (d) <input type="checkbox"/> (e) <input type="checkbox"/> (f) <input type="checkbox"/></p> <p>DETAILS: Click here to enter text.</p>
3.4	Road Schemes Trunk/Special Roads	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	<p>If 'YES' please contact Highways England: Email: info@highwaysengland.co.uk</p>

CON29 ENQUIRIES OF THE LOCAL AUTHORITY WITH INFORMATIVES (2016 EDITION)

PART 1 STANDARD ENQUIRIES AND PART 2 OPTIONAL ENQUIRIES

HIGHWAYS & TRANSPORTATION, CUMBRIA COUNTY COUNCIL



3.6 (a-l)	Traffic Schemes	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(a) <input type="checkbox"/> (b) <input type="checkbox"/> (c) <input type="checkbox"/> (d) <input type="checkbox"/> (e) <input type="checkbox"/> (f) <input type="checkbox"/> (g) <input type="checkbox"/> (h) <input type="checkbox"/> (i) <input type="checkbox"/> (j) <input type="checkbox"/> (k) <input type="checkbox"/> (l) <input type="checkbox"/> DETAILS***: Click here to enter text. *** This Traffic Scheme is subject to the consultation and statutory advertisement process and as such may be changed or abandoned subject to the decision of the relevant Local Committee.
	Traffic Schemes Trunk/Special Road	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	If 'YES' please contact Highways England Email: info@highwaysengland.co.uk
3.7 (e)	Outstanding Notices – Highways	NO <input checked="" type="checkbox"/>	(e) <input type="checkbox"/> (g) <input type="checkbox"/> DETAILS: Click here to enter text.

PART 2 OPTIONAL ENQUIRIES

4	Road proposals by private bodies	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	13/0728 - Erection of 7 dwellings (incl 2 affordable) and Change of Use of agricultural land to domestic garden to serve existing residential properties to the road frontage (outline app) – 20/09/2013
21	Flood Defence and Land Drainage Consents	YES <input type="checkbox"/> NO <input type="checkbox"/>	

CON29 ENQUIRIES OF THE LOCAL AUTHORITY WITH INFORMATIVES (2016 EDITION)

PART 1 STANDARD ENQUIRIES AND PART 2 OPTIONAL ENQUIRIES

HIGHWAYS & TRANSPORTATION, CUMBRIA COUNTY COUNCIL



Public Rights of Way

2.1 (a,b,c & d) ROADS

The reply to this is restricted to highways maintainable at public expense within the meaning of the Highways Act 1980 (s36). The reply does not imply the complete extent of the publicly maintainable highway or that the publicly maintainable highway directly abuts the boundary of the property. If you require more detailed information, a separate enquiry, including a plan showing the area in question, should be made to Highway Searches Department, Cumbria County Council, Kingmoor Business Park, Carlisle, CA6 4SJ.

Email: searches@cumbria.gov.uk

2.2, 2.3. 2.4 Public Rights of Way

The replies to this enquiry are without prejudice to any other public rights of way that are not shown on Cumbria County Council's Definitive Map of Public Rights of Way.

OTHER MATTERS

3.2 Land to be acquired for Road Works

This enquiry is answered with respect to schemes that have been approved by Cumbria County Council, or have been notified to Cumbria County Council by any other highway authority.

3.4 (a) to (f) Nearby Road Schemes

The replies to these enquiries relate to roads that are, or it is proposed will become, highways maintainable at public expense within the meaning of the Highways Act 1980 (s36).

3.6 Traffic Schemes

The response to all of 3.6 refers to schemes relating to the property address only.

a) permanent stopping up or diversion

In some circumstances, road closure orders can be obtained by third parties from magistrates' courts or can be made by the Secretary of State for Transport, without involving Cumbria County Council.

- (b) waiting or loading restrictions
- (c) one way driving
- (d) prohibition of driving
- (e) pedestrianisation
- (f) vehicle width or weight restriction

The reply to (f) relates to restrictions that will be covered by a legal order.

(g) traffic calming works e.g. road humps

The reply to (g) relates to proposals that involve physical construction on the carriageway

CON29 ENQUIRIES OF THE LOCAL AUTHORITY WITH INFORMATIVES (2016 EDITION)

PART 1 STANDARD ENQUIRIES AND PART 2 OPTIONAL ENQUIRIES

HIGHWAYS & TRANSPORTATION, CUMBRIA COUNTY COUNCIL



- (h) Residents parking controls
- (l) Minor road widening or improvement
- (j) Pedestrian crossings
- (k) Cycle tracks
- (l) Bridge building

3.7 Outstanding notices

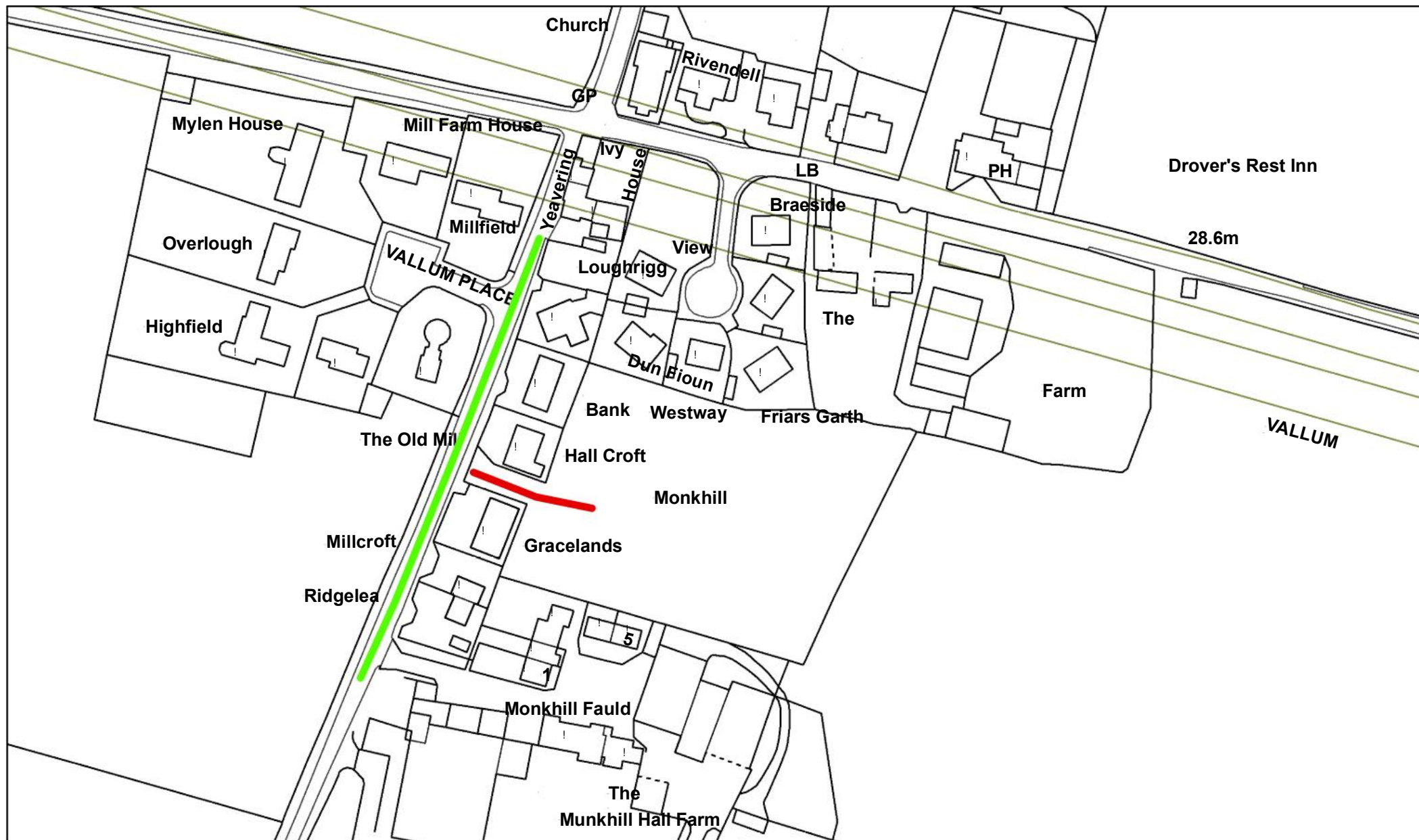
- (e) highways

4.0 Road proposals by private bodies

21 Flood Defence and Drainage Consents

You can view this information on the website:

http://hims.cumbria.gov.uk/wip3_no_login/map.aspx?cg=lfrm



Organisation: Cumbria County Council

Department: Environment, Highways & Transportation

Date: 17/04/2020

Search Number: 0253

Scale:

1:1,500

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3

— Maintainable at public expense

— Not maintainable at public expense

— Subject to Section 38 Agreement

The line length and width does not represent any particular extent



Governance Directorate

Assistant Director (Governance): M D Lambert LLB (Hons)

Civic Centre Carlisle CA3 8QG • Telephone 01228 817000 Fax 01228 817048

Document Exchange Quote DX 63037 Carlisle • Typetalk 18001 01228 817000

Register of Local Land Charges
Schedule to the Official Certificate of Search

Date: 17 April 2020

Description of Property:
Land at Monkhill Hall Farm, Monkhill, Burgh by Sands

Part 03 - Planning Charges

Description: Outline Planning Permission application number 13/0728
Proposal: Erection Of 7 Dwellings, Including 2 Affordable Units And The Change Of Use Of Agricultural Land To Domestic Garden To Serve The Property Known As 'Hallcroft' (Outline Application)
Granted on 24/04/2014 subject to legal agreement

Date of Registration: 24/04/2014

Originating Authority: Carlisle City Council

Place of inspection: Civic Centre, Carlisle, CA3 8QG

Description: Outline Planning Permission application number 15/0284
Proposal: Erection Of 7no. Dwellings And The Change Of Use Of Agricultural Land To Domestic Garden To Serve The Property Known As 'Hallcroft' (Outline/Revised Application)
Granted on 21/08/2015 subject to legal agreement

Date of Registration: 21/08/2015

Originating Authority: Carlisle City Council

Place of inspection: Civic Centre, Carlisle, CA3 8QG

Description: Outline Planning Permission application number 18/0994
Proposal: Erection Of 7no. Dwellings (Outline/Renewal Of Previously Approved Permission 15/0284)
Granted on 22/03/2019

Date of Registration: 22/03/2019

Originating Authority: Carlisle City Council

Place of inspection: Civic Centre, Carlisle, CA3 8QG

Description: Agreement made under Section 106 of the Town and Country Planning Act, 1990 between The Council of the City of Carlisle and Patricia Ann Martin and Corrine Riley and Andrew Paper dated 24th April 2014.

Date of Registration: 24/07/2014

Originating Authority: Carlisle City Council

Place of inspection: Civic Centre, Carlisle, CA3 8QG

Signed:

Authorised Officer

Dated: 17/04/2020

Site History for BC.AID(Without Related)

Address: Land at Monkhill Hall Farm, Monkhill, Burgh by Sands
Grid Refs: 334385.23 558526.83 **Land Parcel Ref:** 2141

Application: Building Regulation **Number:** 06/6304/CPS
Validated: 27/11/2006 09:51:09 **Type:**
Status: Building Works Complete **Date:** 27/11/2006 09:51:09
Summary:
Description: NICEIC record for New installation, rewire or partial rewire, Dwelling house

Application: Building Regulation **Number:** 95/0499/BN
Validated: 18/08/1995 **Type:** G
Status: Building Works Complete **Date:** 21/08/1995
Summary: Migrated code
Description: Erection of 2 semi-detached dwellings

Last BC Completion Date: 11.04.96

Application: Building Regulation **Number:** 15/0004/MK
Validated: **Type:**
Status: Received **Date:**
Summary: Unknown
Description: Erection Of 7no. Dwellings

PART 3

PLANNING
CHARGES

Notices deposited
under Section 110(4)
& Section 132(3) of
The Town and
Country Planning
Act 1990

Description of Charge
(including particulars of planning decision)

Originating Authority

Particulars of compensation
and apportionmentPlace where relevant documents
may be inspectedDate of
Registration

1

2

3

4

5

HER
ING
GES

Description of Charge (including reference to appropriate statutory provision)

1

Originating Authority

2

Place where relevant documents may be inspected

Date of Registration

3

4

Included in an area defined as an area of 'special control'
for the purposes of the control of Advertisements Regulations,
1969.

Carlisle City Council

Civic Centre, Carlisle

Pre April 1974

DATE 17.04.2020

SIGNATURE

Con29 Part I - Standard Enquiries

PLANNING AND BUILDING REGULATIONS

Planning and Building Regulation Decisions and Pending Applications

1.1(a)-(d) See attached schedule to official search

1.1.(e) None

1.1.(f) None.

1.1.(g) None.

1.1.(h) None.

1.1.(i) None.

1.1.(j) See attached

1.1.(k) None

1.1.(l) CPS - Any certificate required should be obtained from the Competent Persons Scheme and not from the Local Authority.

Informative: (1) The reply does not cover other properties in the vicinity. (2) Column 1 of Schedule A of the Building Regulations lists certain categories of work which Regulation 16A permits the Local Authority to accept certificates of compliance, from persons registered under the Competent Persons Self Certification Scheme. (3) The Council's computerised records of Building Regulations do not extend back before 1993 and the reply covers the period since that date. Prior records would have to be searched manually at an additional cost. (4) In the case of an Initial Notice (I.N) the seller or developer should be asked to provide evidence of compliance with the building regulations.

Planning Designations and Proposals

1.2. Hadrian's Wall Military Zone World Heritage Site Buffer Zone
 Unscheduled Archaeological Site

Informative: This reply reflects policies or proposals in any existing development plan and in any formally proposed alteration or replacement plan, but does not include policies contained in planning guidance notes.

Roadways, footways and footpaths

2.1.(a-d) See attached - Highways & Transportation, Cumbria County Council

Public Rights of Way

2.2.-2.5. See attached - Highways & Transportation, Cumbria County Council.

Land required for Public Purposes

3.1. No

Land to be acquired for Road Works

3.2. None

Informative: This enquiry is answered with respect to schemes that have been approved by Cumbria County Council, or have been notified to Cumbria County Council by any other highway authority.

Drainage Matters

3.3.(a-c) Carlisle City Council does not currently hold a database of records which allow for the provision of comprehensive answers in relation to enquiries 3.3a-3.3c. It is advisable that the purchaser undertakes additional checks with the vendor to establish whether any sustainable urban drainage systems are in place at the property.

Nearby Road Schemes

3.4.(a-f) See attached - Highways & Transportation, Cumbria County Council.

3.5.(a) No.
Nearby Railway Schemes
3.5.(b) No.
Traffic Schemes

3.6 (a)-(l) See attached - Highways & Transportation, Cumbria County Council.

*Informative: The response to all of 3.6 refers to schemes relating to the property address only.
In some circumstances, road closure orders can be obtained by third parties from magistrates' courts or can be made by the Secretary of State for Transport, without involving the County Council.
The reply to (f) relates to restrictions that will be covered by a legal order.
The reply to (g) relates to proposals that involve physical construction on the carriageway.*

Outstanding Notices

3.7.(a) No

3.7.(b) No

3.7.(c) No

3.7.(d) No

3.7.(e) See attached - Highways & Transportation, Cumbria County Council

3.7.(f) No

3.7.(g) No.
Contravention of Building Regulations

3.8. None
Notices, Orders, Directions and Proceedings under Planning Acts

3.9.(a) None

3.9.(b) None

3.9.(c) None

3.9.(d) None

3.9.(e) None

3.9.(f) None

3.9.(g) None

3.9.(h) None

3.9.(i) None

3.9.(j) None

3.9.(k) None

3.9.(l) None

3.9.(m) None

3.9.(n) None
Community Infrastructure Levy (CIL)

3.10.(a) No.

3.10.(b) No.

3.10.(c) No.

3.10.(d) No.

3.10.(e) No.

3.10.(f) No.

3.10.(g) No.

3.10.(h) No.
Conservation Area

3.11.(a) No

3.11.(b) No
Compulsory Purchase

3.12. No
Contaminated Land

3.13.(a) No

3.13.(b) No

3.13.(c) No
Radon Gas

3.14. No
Assets of Community Value

3.15.(a) No.

3.15.(b) No.

Con29 Part II - Optional Enquiries

ROAD PROPOSALS BY PRIVATE BODIES

4.(a-b) See attached - Highways & Transportation, Cumbria County Council.

COMPLETION NOTICES

6. None

PARKS AND COUNTRYSIDE

Areas of Outstanding Natural Beauty

7.1. No

Nation Parks

7.2. No

PIPELINES

8. No

LAND MAINTENANCE NOTICES

15. No

MINERAL CONSULTATION AND SAFEGUARDING AREAS

16. No

ENVIRONMENTAL AND POLLUTION NOTICES

18. None

HEDGEROW NOTICES

20.1. None

20.2.(a) Not applicable

20.2.(b) Not applicable

COMMON LAND and TOWN OR VILLAGE GREEN

22.1. No

22.2. No

22.3. No

Signed:

Authorised Officer

Dated: 17/04/2020

Official Number: 20/00253

Register of Local Land Charges

Carlisle City Council
Local Land Charges Department
Civic Centre
Rickergate
Carlisle
CA3 8QG

Details of Requisition for Search and Official Certificate of Search

Details of requisition for search

(A separate requisition must be made in respect of each parcel of land except as explained on the LLC1) An official search is required in the register of local land charges kept by the above-named registering authority for subsisting registrations against the land defined in the attached plan and described below.

Description of land sufficient to enable it to be identified:

Address: Land at Hallcroft, Monkhill, Burgh by Sands, CA6 6DB

Land parcel: /

Name and address to which certificate is to be sent:

Infotrack
Level 11, 91 Waterloo Road

SE1 8RT

Date: 3 April, 2020

Telephone number: 02079225773

Reference:

Fee received: £271.80 (by BACS)

Official Certificate of Search

It is hereby certified that the search requested above reveals the 5 registrations described in the schedule hereto up to and including the date of this certificate.

Signed:

on behalf of City of Carlisle

Date: 17 April, 2020



Northern Gas Networks Limited

1st Floor

1 Emperor Way

Doxford International Business Park

Sunderland

SR3 3XR

Customer care: 0800 040 7766

InfoTrack
Capital Tower
11th Floor
91 Waterloo Road
LONDON
SE1 8RT

Our Ref: 1400003882
Your Ref: 9706855

9th September 2020

Re: Land at Hallcroft Monkhill, Burgh By Sands Carlisle CA5 6DB

The subject area contains a Northern Gas Networks pipe-line lawfully placed and afforded the protection of the Gas Act 1986 (as amended by Gas Act 1995).

The position of service pipes are not recorded. If the subject area has or previously had the benefit of a gas supply, then the presence of service pipes should be anticipated. The above information is provided in good faith but its accuracy is not guaranteed. No liability of any kind is accepted by Northern Gas Networks, its agents or servants for any error or omission.

Yours faithfully,

Jennie Adams
Administration Assistant

0800 040 7766 (option 5)



Important Safety Guidance

Northern Gas Networks is the gas distribution company for the North East of England, Yorkshire and Northern Cumbria. We own about 37,000km of gas mains, and other vital equipment, which supply gas to some 2.7 million homes and businesses.

If you or one of your contractors plan to work near gas pipes or other Northern Gas Networks's equipment, you must let us know.

Damaging gas pipes is dangerous and potentially expensive. Not only could it lead to a fire or explosion, it could result in the loss of the gas supply to local communities.

Safety is therefore Northern Gas Networks's top priority. We need to ensure no-one damages our equipment and puts either themselves or members of the public at risk. Our work in this area is encapsulated in the Pipeline Safety Regulations, and by the Northern Gas Networks's safety case, which is approved by the Health and Safety Executive (HSE).

Our website, www.northerngasnetworks.co.uk has safety guidance booklets that can be downloaded to assist you when carrying out any works. Please use these as reference guides prior to commencing works. Should you have any difficulty in downloading these documents, please either call 0800 040 7766, option 5, or via email: beforeyoudig@northerngas.co.uk

The guidance documents include this one and the following:

1. Safe working in the vicinity of high pressure gas pipelines and associated installations
2. Avoiding injury when working near gas pipes up to 7 bar
3. Avoiding injury when working near gas pipes

If at any point during your works, you smell gas, call the National Gas Emergency Service immediately on the Freephone 0800 111 999.

Examples of higher risk works are, but not limited to, the following:

- Any excavation works within 0.5m of low/medium pressure mains and 3m of intermediate and high pressure mains (the distance is measured from the proven position of the gas main).
- Demolition works within 15m of low/medium pressure mains and 150m of intermediate and high pressure mains.
- The use of explosives within 30m of low/medium pressure mains and 250m of intermediate and high pressure mains.
- Excavations within 10m of a pressure reduction unit.
- Excavations deeper than 1.5m.
- Heavy loading eg cranes, spoil deposits and heavy construction traffic.



Stay safe near our pipes

A guide to working near infrastructure

Who are Northern Gas Networks?

We look after the 37,000km of gas mains in the North of England. We don't own the gas but it's our job to transport it safely to you. We're responsible for most of Yorkshire, the North East and Northern Cumbria with our pipes running the equivalent distance of Leeds to Sydney, Australia and back.



Before you start work



1 Identify the **exact location** of our gas infrastructure (pipes etc) by **hand digging** trial holes or using **electronic tracers**.

2 Use a **marker** to indicate the position of our pipes on site.

3 Make sure everyone involved has a copy of our **site plan** and everyone's read the

HSG47 Avoiding Danger from Underground Services and Utilities Guidelines on Positioning and Colour Coding of Apparatus. You can download these for free from Streetworks.org.uk

Surface boxes and manholes

Never cover surface boxes or build manhole covers or other structures over, around or under a gas pipe.

Always ask our permission before doing work that may affect a cover or protection.

Tree planting

- Make sure you carefully consider the impact of planting trees and shrubs as roots can cause damage to gas pipes and make future maintenance work difficult.
- You will need to get approval from the Before You Dig Team before you can start planting.



Clearances

Never lay equipment along or above a gas pipe.

Keep a minimum clearance of 250mm or 1.5 x the external diameter of the gas pipe (whichever is the greater) between the existing gas infrastructure and any new plant. If this isn't possible, please contact the Before You Dig Team.

250mm

Backfilling

- Make sure concrete backfill and hard material is at least 300mm away from apparatus.
- Your backfill material must meet the following requirements:
 - sand must be well-graded in accordance with BS EN 1260:2002
 - it must not contain any sharp particles
 - it must not be foamed concrete
 - it must be laid at least 150mm above the crown of the apparatus, and a 250mm hand rammed layer must be added before power ramming can take place.

Deep excavations

If you're building a sewer trench or something else for the water authority deeper than 1.5 metres near a buried cast iron main, you must contact the Before You Dig Team with detailed drawings showing the line and width of the proposed works along with the soil group classifications.

Mechanical excavations

Never use mechanical excavators within 0.5 metres of a low or medium pressure pipe and 3.0 metres of an intermediate pressure pipe.



Carrying out explosions, pilings, boring or deep excavations?

You need to call us for minimum safe working distances before you get started.

Financial penalties

- You will need to cover the costs of any damage to our infrastructure.
- We will charge you for any alterations needed to surface boxes or manholes caused by your work.
- If we have to move our infrastructure as a result of your work, you will need to cover the cost.

Exposed plant

- You must support our infrastructure at all times, and protect any exposed elements from impact.
- Never weld or use hot substances if there is a risk of damaging plastics or protective pipe coatings.

Make sure that you build shuttering to stop fresh concrete from encasing our infrastructure.

Access

We need access to our infrastructure at all times so make sure that access isn't blocked by temporary structures and piles of spoil.

Crossing our plant with heavy equipment

Always ask our permission before you place heavy goods, equipment and vehicles on our infrastructure.

Smell gas or suspect a gas leak?

1. Call **0800 111 999** immediately.
2. Move away from the gas pipe.
3. Don't attempt to block the leak.
4. Evacuate people from surrounding buildings.
5. Put out naked flames.

Questions?



Call: 0800 040 7766



Email: beforeyoudig@northerngas.co.uk


The map shows the Monkhill area with the following details:

- Proposed Development Boundary:** A red line outlines the area for development, including several residential plots and a larger area labeled 'Monkhill Farm'.
- Key Locations:**
 - Monkhill Church:** Located in the upper left, with a callout box pointing to 'see sketch A'.
 - Monkhill Primary School:** Located in the lower right, with a red pin icon.
 - Harrison Gardens:** A residential development area in the lower right, with lots numbered 1 through 5.
- Other Features:**
 - Monkhill Farm:** A large area in the center-right, with a red line indicating a proposed development boundary.
 - Monkhill Road:** A major road running diagonally across the map.
 - Monkhill Burn:** A watercourse running along the bottom edge of the map.
- Annotations:**
 - Various lot numbers and area measurements are provided throughout the map.
 - A red line with arrows indicates the proposed development boundary.
 - A blue line with arrows indicates the proposed development boundary.

The screenshot shows the 'Legend' window in ArcGIS Pro, displaying the symbology for the 'Network' layer. The legend is organized into four columns: Planes, Network Types, Network Assets, and Distribution Assets. Each column lists various network components with corresponding symbols and colors. The 'Network' layer is currently selected, and the legend shows its detailed symbology.

Planes	Network Types	Network Assets	Network Assets (Detailed)	Distribution Assets
Horizontal Plane	Horizontal Line	Horizontal Line	Horizontal Line	Horizontal Line
Vertical Plane	Vertical Line	Vertical Line	Vertical Line	Vertical Line
Diagonal Plane	Diagonal Line	Diagonal Line	Diagonal Line	Diagonal Line
Network Type	Network Type	Network Type	Network Type	Network Type
Network Asset	Network Asset	Network Asset	Network Asset	Network Asset
Distribution Asset	Distribution Asset	Distribution Asset	Distribution Asset	Distribution Asset

This plan shows those pipes owned by Northern Gas Networks or the relevant Gas Distribution Network in their roles as Licensed Gas Transporters (GTs). Gas pipes owned by other GTs, or otherwise privately owned, may be present in this area. Information regarding such pipes should be obtained from the relevant gas transporter. The accuracy of this information is not guaranteed. Service pipes, valves, syphons, sub connections, etc. are not shown but their presence should be anticipated. No liability of any kind whatsoever is accepted by Northern Gas Networks or its subsidiaries for any damage, injury, loss or death, or contractors for any error or omission. Safe digging practices, in accordance with HSE/G47, must be followed at all times. No excavation should be undertaken without the appropriate permits before any mechanical plant is used. It is your responsibility to ensure that this information is provided to all persons (either direct labour or contractors) working for you on or near gas apparatus. The information is valid for the plan shown. The information is valid for a period of 21 days from the date of issue. This plan is reproduced on the CD by permission of Northern Gas Networks, with the sanction of the Gas Distribution Network. © 2000 Northern Gas Networks. All Rights Reserved.

User ID	Jennie Adams
Date	09/09/2020
Grid Ref	334380 / 558520
	
<p>Internal Use Only</p>	

Drainage & Water Search (Commercial)



Search Details

Prepared for: Minihan Mcalister Limited

Matter: JCM/1701/1

Client address: Warwick Mill Business Centre, Warwick Bridge, Carlisle, CA4 8RR

Property:

Land at, Hallcroft, Monkhill, Burgh By Sands, Carlisle, CA5 6DB

Water Company:

United Utilities Water Plc

Grasmere House, Lingley Mere Business Park, Warrington, WA5 3LP

Date Returned:
31/03/2020

Property type:
Commercial

This search was compiled by the Water Company above and provided by InfoTrack Ltd – t: 0207 186 8090, e: helpdesk@infotrack.co.uk. This search is subject to terms and conditions issued by InfoTrack which can be viewed at www.infotrack.co.uk or supplied on request. This search is also subject to terms and conditions issued by the Water Company, available on request. InfoTrack are registered with the Property Codes Compliance Board (PCCB) as subscribers to the Search Code. The PCCB independently monitors how registered firms maintain compliance with the Code. Visit www.propertycodes.org.uk for more information.



InfoTrack UK Limited, Level 11, 91 Waterloo Road, London, SE1 8RT
T: 0207 186 8090 E: helpdesk@infotrack.co.uk

Commercial drainage and water enquiry

Responses to a drainage and water enquiry for commercial premises or development sites.

Client:

Client ref: InfoTrack-8014951

InfoTrack Limited

91
Waterloo Road,
London,
SE1 8RT

Order number: UUPS-ORD-159681

Received date: 30/03/2020

Response date: 31/03/2020

FAO:

The following records were searched in compiling this report:

The map of public sewers
The map of waterworks
Water and sewerage billing records
Adoption of public sewers records
Building over public sewer records
Adoption of public water mains records
Water supply clarification

Property address: Land at, Hallcroft Monkhill, Burgh By Sands, Carlisle, CA5 6DB

Please Note - We must make you aware that due to the introduction of the open market with effect from 1st April 2017 for commercial customers, Property Searches will no longer be able to resolve issues regarding some discrepancies within the report. Due to the change in the structure of the market the retailer is now responsible for taking ownership of certain issues, particularly relating to billing/tariff charges as well as, but not limited to change of usage of a property.

Enquiries and Responses

The records were searched by Joanne Jones for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

This search report was prepared by Joanne Jones for United Utilities who does not have, nor is likely to have, any personal or business relationship with any person involved in the sale of the property.

How to contact us:

United Utilities Water Limited
Property Searches
Haweswater House
Lingley Mere Business Park
Great Sankey
Warrington
WA5 3LP

Telephone: 0370 7510101

E-mail: propertysearches@uuplc.co.uk

What is included:

1. Summary of findings and key
2. Detailed findings of the CON29DW
3. Guidance for interpretation
4. Terms and conditions
5. Complaints policy

If you are planning works anywhere in the North West, please read our access statement before you start work to check how it will affect our network. <http://www.unitedutilities.com/work-near-asset.aspx>.

To help understand the implications of the drainage and water enquiries report a summary guide to the content of the full report is provided below.

✓ This response represents the typical situation for a property.

⚠ The attention of the purchaser is drawn to this response. The purchaser may wish to make further investigations into this situation.

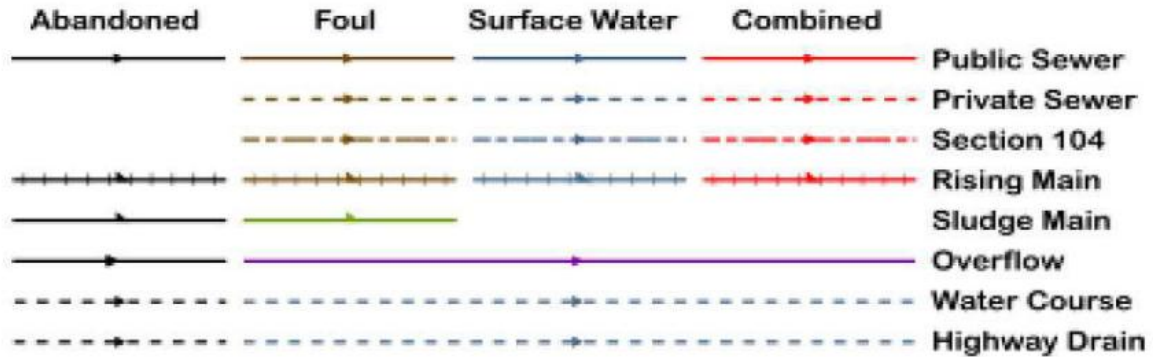
✗ This response represents an uncommon situation for a property and the purchaser should carefully consider its implications.

Question	Report Schedule	Answer	
1	Where relevant, please include a copy of an extract from the public sewer map.	Yes & in vicinity	✓
2	Where relevant, please include a copy of an extract from the map of waterworks.	Yes & in vicinity	✓
3	Does foul water from the property drain to a public sewer?	Plot of land	⚠
4	Does surface water from the property drain to a public sewer?	Plot of land	⚠
5	Is a surface water drainage charge payable?	No	✗
6	Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?	None	✓
6.1	Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?	None	✓
7	Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?	None	⚠
7.1	Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?	None	✓
8.1	Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	No	✓
8.2	Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?	No	✓
9	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?	None	✓
10	Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?	No	✓
11	Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.	Yes	✓
12	Is the property connected to mains water supply?	Plot of Land	⚠
13	Are there any water mains, resource mains or discharge pipes within the boundaries of the property	No	✓

Question	Report Schedule	Answer	
14	Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?	No	✓
15	Is the building at risk of receiving low water pressure or flow?	No	✓
16	What is the clarification of the water supply for the property?	Soft	✓
18	Please include details of the location of any water meter serving the property.	No meter	✓
19.1	Who is responsible for providing the sewerage services for the property?	United Utilities	✓
19.2	Who is responsible for providing the water services for the property?	United Utilities	✓
20	Who bills the property for sewerage services?	Retailer sewer	✓
21	Who bills the property for water services?	Retailer water	✓
22	Has a customer been granted a trade effluent consent at this property?	No	✓
23	Is there an easement affecting the property?	No	✓



Wastewater Symbolology



All point assets follow the standard colour convention: **red** – combined **brown** - foul
blue – surface water **purple** - overflow

Manhole	Side Entry Manhole
Head of System	Outfall
Extent of Survey	Screen Chamber
Rodding Eye	Inspection Chamber
Inlet	Bifurcation Chamber
Discharge Point	Lamp Hole
Vortex	T Junction / Saddle
Penstock	Catchpit
Washout Chamber	Valve Chamber
Valve	Vent Column
Air Valve	Vortex Chamber
Non Return Valve	Penstock Chamber
Soakaway	Network Storage Tank
Gully	Sewer Overflow
Cascade	Ww Treatment Works
Flow Meter	Ww Pumping Station
Hatch Box	Septic Tank
Oil Interceptor	Control Kiosk
Summit	
Drop Shaft	Change of Characteristic
Orifice Plate	

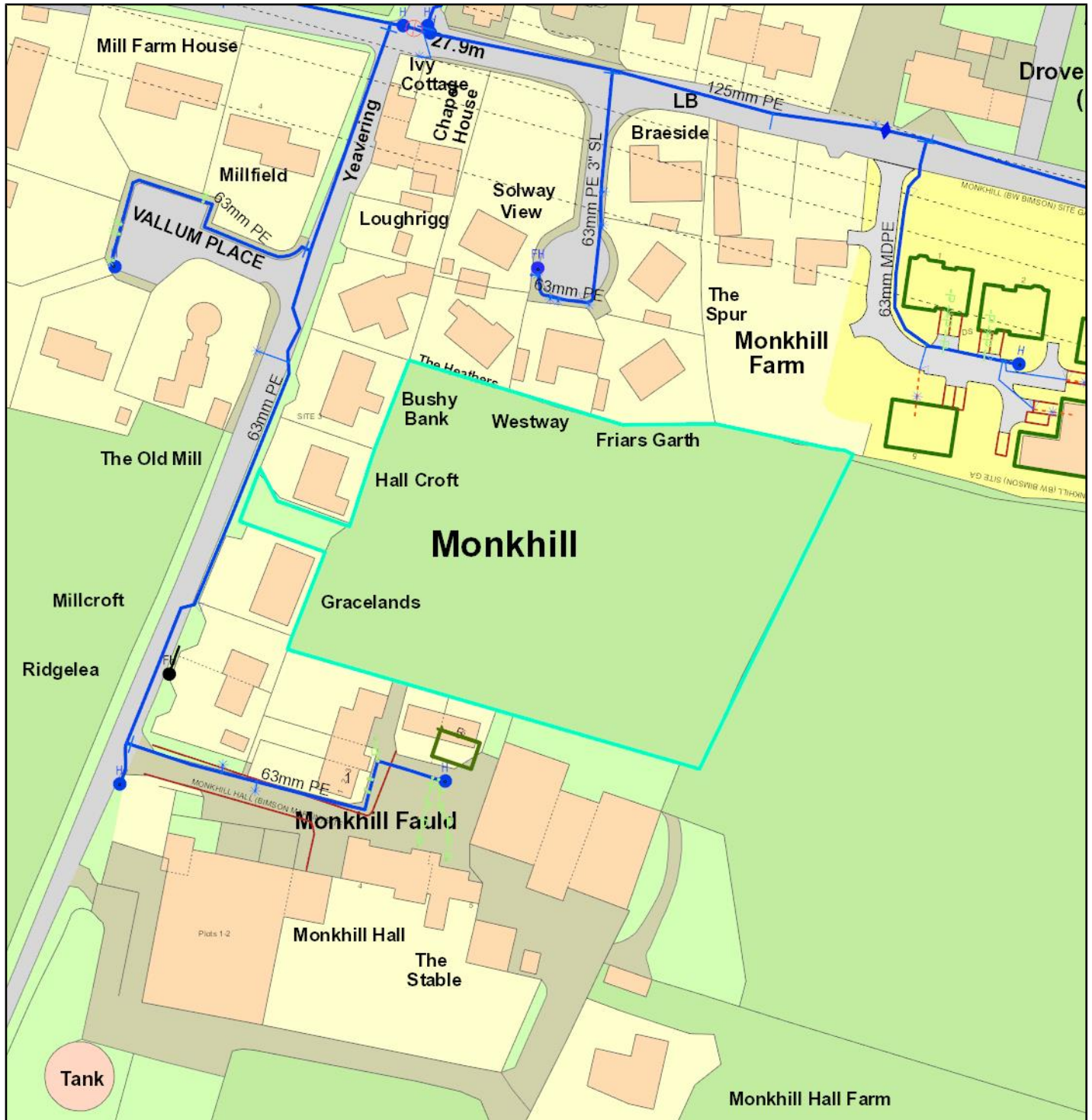
Clean Water Symbolology

Proposed	Abandoned	Live	
			Distribution Main
			Trunk Main
			Comms Pipe
			Private Pipe
			Concessionary Service
			Raw Water
			LDTM Raw Water
			LDTM Treated Water
			Air Valve
			AC Valve, open
			AC Valve, closed
			CC Valve, open
			CC Valve, closed
			Non Return Valve
			Pressure Management Valve
			OMS Valve
			Stop Tap
			Flow Meter
			Domestic Meter
			Commercial Meter
			Pump
			Hydrant
			Fire Hydrant
			Anode
			Chlorination Point
			De-chlorination Point
			Strainer Point
			Access Point
			Hatch Box
			IP Point
			Sampling Station
			Logger Box
			Bore Hole
			Inlet Point
			Bulk Supply Point
			End Cap
			Site Termination
			Change of Characteristic
			Condition Report
			<u>Property Types</u>
			Water Tower
			Valve House
			Booster Pumping Station
			Intake Pumping Station
			Water Treatment Works
			Supply Reservoir
			Service Reservoir
			Impounding Reservoir
			Pipe Bridge

Symbolology for proposed assets is the same as above, but shown in green
Symbolology for abandoned assets is the same as above, but shown in black

WATER RECORD

Land at, Hallcroft Monkhill, Burgh By Sands, Carlisle, CA5 6DB



The position of underground apparatus shown on this plan is approximate only and is given in accordance with the best information currently available. The actual positions may be different from those shown on the plan and private pipes, sewers or drains may not be recorded. United Utilities Water PLC will not accept any liability for any damage caused by the actual positions being different from those shown.

© United Utilities Water PLC 2017. The plan is based upon the Ordnance Survey Map with the sanction of the Controller of H.M. Stationery Office, Crown copyright 100022432 and United Utilities Water PLC copyrights are reserved. Unauthorised reproduction will infringe these copyrights.

Question 1	Where relevant, please include a copy of an extract from the public sewer map.
Answer	A copy of an extract of the public sewer map within the vicinity of the property is included.
Guidance	<p>1. The Water Industry Act 1991 defines Public Sewers as those which (United Utilities) have responsibility for. Other assets and rivers, water courses, ponds, culverts or highway drains may be shown for information purposes only.</p> <p>2. Any private sewers or lateral drains which are indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended these details be checked with the developer.</p> <p>3. The Sewerage Undertaker has a statutory right of access to carry out work on its assets, subject to notice. This may result in employees of the Sewerage Undertaker or its contractors needing to enter the property to carry out work.</p>
Question 2	Where relevant, please include a copy of an extract from the map of waterworks.
Answer	A copy of an extract of the map of waterworks is included, showing water mains, resource mains or discharge pipes in the vicinity of the property.
Guidance	<p>The "water mains" in this context are those which are vested in and maintainable by the Water Undertaker under statute.</p> <p>Assets other than public water mains may be shown on the plan, for information only. Water Undertakers are not responsible for private supply pipes connecting the property to the public water main and do not hold details of these. These may pass through land outside of the control of the seller, or may be shared with adjacent properties. The buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.</p> <p>If an extract of the public water main record is enclosed, it will show known public water mains in the vicinity of the property. It should be possible to estimate the likely length and route of any private water supply pipe connecting the property to the public water network.</p> <p>The presence of a public water main running within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice. This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.</p>
Question 3	Does foul water from the property drain to a public sewer?
Answer	This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer.
Guidance	<p>Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system, and do not hold details of these.</p> <p>The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility, with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.</p> <p>If foul water does not drain to the public sewerage system the property may have private facilities in the form of a cesspit, septic tank or other type of treatment plant.</p> <p>If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.</p>

Question 4 Does surface water from the property drain to a public sewer?

Answer This enquiry appears to relate to a plot of land or a recently built property. It is recommended that drainage proposals are checked with the developer. If the property was constructed after the 6th April 2015 the surface water drainage may be served by a sustainable drainage system.

Guidance Sewerage Undertakers are not responsible for any private drains or sewers that connect the property to the public sewerage system and do not hold details of these.

The property owner will normally have sole responsibility for private drains serving the property and may have shared responsibility with other users, if the property is served by a private sewer which also serves other properties. These may pass through land outside of the control of the seller and the buyer may wish to investigate whether separate rights or easements are needed for their inspection, repair or renewal.

In some cases, Sewerage Undertakers' records do not distinguish between foul and surface water connections to the public sewerage system. If on inspection the buyer finds that the property is not connected for surface water drainage, the property may be eligible for a rebate of the surface water drainage charge. Details can be obtained from the Sewerage Undertaker.

If surface water does not drain to the public sewerage system the property may have private facilities in the form of a soakaway or private connection to a watercourse. If an extract from the public sewer map is enclosed, this will show known public sewers in the vicinity of the property and it should be possible to estimate the likely length and route of any private drains and/or sewers connecting the property to the public sewerage system.

Question 5 Is a surface water drainage charge payable?

Answer Records indicate that a surface water drainage charge is not applicable for the property.

Guidance Since 1st April 2017 commercial customers can choose their retailer for clean, waste or both services. For more information on any applicable surface water charges you will need to contact the current owner of the property to find out who the current retailer is. Details of the retailer for a property can be found on the current occupiers bill. For a list of all potential retailers of water and waste water services for the property please visit www.open-water.org.uk.

Please note if the property was constructed after 6th April 2015 the Surface Water drainage may be served by a Sustainable Drainage System. Further information may be available from the Developer.

Question 6 Does the public sewer map indicate any public sewer, disposal main or lateral drain within the boundaries of the property?

Answer The public sewer map included indicates that there are no public sewers, disposal mains or lateral drains within the boundary of the property. However from the 1st October 2011 there may be additional public sewers, disposal mains or lateral drains which are not recorded on the public sewer map which may further prevent or restrict development of the property. If you are considering any future development at this property which may require build over consent, please complete the enquiry form by accessing the following link <http://www.unitedutilities.com/planning-wastewater-guidance.aspx>.

Guidance The approximate boundary of the property has been determined by reference to the Ordnance Survey record. A property of this type will normally be served by a shared sewer passing through the boundaries of several properties. It is therefore likely that a public sewer or lateral drain is present within the property boundary.

Please note that from 1st October 2011 the majority of private sewers and lateral drains connected to the public network as of 1st July 2011 transferred into public ownership and therefore it is possible there may be additional public assets which may not be shown on the public sewer plan.

The presence of public assets running within the boundary of the property may restrict further development. If there are any plans to develop the property further enquiries should be made to United Utilities Build Over department.

United Utilities Water has a legal right of access to carry out work on its assets, subject to notice. This may result in employees of the Company or its contractors needing to enter the property to carry out work.

Question 6.1 Does the public sewer map indicate any pumping station or any other ancillary apparatus within the boundaries of the property?

Answer The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within the boundaries of the property. However, from the 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time

Guidance From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:

- * serve a single property, and are outside the property boundary or
- * serves two or more properties

Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.

Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.

Question 7 Does the public sewer map indicate any public sewer within 30.48 metres (100 feet) of any buildings within the property?

Answer The public sewer map included indicates that there are no public sewers within 30.48 metres (100 feet) of a building within the boundary of the property. However from the 1st October 2011 private sewers will be transferred into public ownership and may not be recorded on the public sewer map and it is our professional opinion that there will be a public sewer within 30.48 (100 feet) of a building within the boundary of the property.

Guidance From 1st October 2011 there may be additional lateral drains and/or public sewers which are not recorded on the public sewer map but are also within 30.48 metres (100 feet) of a building within the property.

The presence of a public sewer within 30.48 metres (100 feet) of the building(s) within the property can result in the Local Authority requiring a property to be connected to the public sewer.

The measure is estimated from the Ordnance Survey record, between the building(s) within the boundary of the property and the nearest public sewer.

Sewers indicated on the extract of the public sewer map as being subject to an agreement under Section 104 of the Water Industry Act 1991 are not an 'as constructed' record. It is recommended that these details are checked with the developer, if any.

Assets other than public sewers may be shown on the copy extract for information only.

Question 7.1 Does the public sewer map indicate any public pumping station or any other ancillary apparatus within 50 metres of any buildings within the property?

Answer The public sewer map included indicates that there is no public pumping station or other ancillary apparatus within 50 metres of any buildings within the property. However, from 1st October 2016 private pumping stations which serve more than one property will be transferred into public ownership but may not be recorded on the public sewer map until that time.

Guidance	<p>From 1 October 2016 United Utilities will be responsible for private pumping stations (though we may take ownership of some stations before this date) that either:</p> <ul style="list-style-type: none"> * serve a single property, and are outside the property boundary or * serves two or more properties. <p>Only private pumping stations installed before 1st July 2011 will be transferred into our ownership. United Utilities will be responsible for all associated costs, maintenance, repairs and any necessary upgrade work.</p> <p>If you think there might be a private pumping station on your land or near your business property, please let us know by completing this questionnaire with as much information as possible, please visit our website http://www.unitedutilities.com/ppstransfer.aspx.</p> <p>Where the property is part of a very recent or ongoing development and the sewers/pumping station are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains, sewers and pumping stations for which they will hold maintenance and renewal liabilities.</p>
Question 8.1	Are any foul sewers or lateral drains serving or which are proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?
Answer	Records confirm that foul sewers and/or lateral drains serving the development, of which the property forms part are not the subject of an existing adoption agreement or an application for such an agreement.
Guidance	<p>This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.</p> <p>Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.</p> <p>Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.</p>
Question 8.2	Are any surface water pipes or lateral drains serving, or which are proposed to serve the property, the subject of an existing adoption agreement or an application for such an agreement?
Answer	Records confirm that the surface water sewer(s) and/or surface water lateral drain(s) are not the subject of an adoption agreement and it is recommended that responsibility for maintenance of these is checked with the developer as this may be due to a Sustainable Drainage Scheme (SUDS)
Guidance	<p>This enquiry is of interest to purchasers of new property who will want to know whether or not the property will be linked to a public sewer.</p> <p>Where the property is part of a very recent or ongoing development and the sewers are not the subject of an adoption application, buyers should consult with the developer to ascertain the extent of private drains and sewers for which they will hold maintenance and renewal liabilities.</p> <p>Final adoption is subject to the developer complying with the terms of the adoption agreement under Section 104 of the Water Industry Act 1991.</p>
Question 9	Has a sewerage undertaker approved or been consulted about any plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain?
Answer	There are no records in relation to any approval or consultation about plans to erect a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain. However, the sewerage

undertaker might not be aware of a building or extension on the property over or in the vicinity of a public sewer, disposal main or drain.

Guidance

From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership and the sewerage undertaker may not have granted approval or been consulted about any plans to erect a building or extension on the property over or in the vicinity of these assets.

Prior to 2003 United Utilities Water Limited had sewerage agency agreements with the local authorities therefore details of any agreements/consents or rejections may not have been forwarded on to our offices before this date.

Buildings or extensions erected over a sewer in contravention of building controls may have to be removed or altered.

Question 10

Is the building which is or forms part of the property at risk of internal flooding due to overloaded public sewers?

Answer

The building is not recorded as being at risk of internal flooding due to overloaded public sewers. From the 1st October 2011 private sewers, disposal mains and lateral drains were transferred into public ownership it is therefore possible that a property may be at risk of internal flooding due to an overloaded public sewer which the sewerage undertaker is not aware of. For further information it is recommended that enquiries are made of the vendor.

Guidance

1. A sewer is "overloaded" when the flow from a storm is unable to pass through it due to a permanent problem (e.g. flat gradient, small diameter). Flooding as a result of temporary problems such as blockages, siltation, collapses and equipment or operational failures are excluded.

2. "Internal flooding" from public sewers is defined as flooding, which enters a building or passes below a suspended floor. For reporting purposes, buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

3. These are defined as properties that have suffered or are likely to suffer internal flooding from public foul, combined or surface water sewers due to overloading of the sewerage system more frequently than the relevant reference period (either once or twice in ten years) as determined by the Sewerage Undertaker's reporting procedure.

4. Flooding as a result of storm events proven to be exceptional and beyond the reference period of one in ten years are not included.

5. Properties may be at risk of flooding but not included where flooding incidents have not been reported to the Sewerage Undertaker.

6. Public sewers are defined as those for which the Sewerage Undertaker holds statutory responsibility under the Water Industry Act 1991.

7. It should be noted that flooding can occur from private sewers and drains which are not the responsibility of the Sewerage Undertaker.

8. This report excludes flooding from private sewers and drains and the Sewerage Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

Question 11

Please state the distance from the property to the nearest boundary of the nearest sewage treatment works.

Answer

The nearest Sewage Treatment Works is 1.1 miles (1.77 km), North East of the property. The name of the Sewage treatment works is Cargo WwTW. The owner is United Utilities

Guidance

The nearest sewage treatment works will not always be the sewage treatment works serving the catchment within which the property is situated i.e. the property may not necessarily drain to this works.

The Sewerage Undertaker's records were inspected to determine the nearest sewage treatment works.

It should be noted therefore that there may be a private sewage treatment works closer than the one detailed above that has not been identified. As a responsible utility operator, United Utilities Water Limited seeks to manage the impact of odour from operational sewage works on the surrounding area.

This is done in accordance with the "Code of Practice on Odour Nuisance from Sewage Treatment Works" issued via the Department of Environment, Food and Rural Affairs (DEFRA).

This Code recognises that odour from sewage treatment works can have a detrimental impact on the quality of the local environment for those living close to works.

However DEFRA also recognises that sewage treatment works provide important services to communities and are essential for maintaining standards in water quality and protecting aquatic based environments. For more information visit www.unitedutilities.com.

Question 12 **Is the property connected to mains water supply?**

Answer **This enquiry relates to a plot of land or a recently built property. It is recommended that the water supply proposals are checked with the developer.**

Guidance If the property is supplied by private water mains please note that details of private supplies are not kept by the Water Undertaker. The situation should be checked with the current owner of the property.

Question 13 **Are there any water mains, resource mains or discharge pipes within the boundaries of the property**

Answer **The map of waterworks does not indicate any water mains, resource mains or discharge pipes within the boundaries of the property.**

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record.

The presence of a public water main within the boundary of the property may restrict further development within it. Water Undertakers have a statutory right of access to carry out work on their assets, subject to notice.

This may result in employees of the Water Undertaker or its contractors needing to enter the property to carry out work.

Question 14 **Is any water main or service pipe serving or which is proposed to serve the property the subject of an existing adoption agreement or an application for such an agreement?**

Answer **Records confirm that water mains or service pipes serving the property are not the subject of an existing adoption agreement or an application for such an agreement.**

Guidance This enquiry is of interest to purchasers of new premises who will want to know whether or not the property will be linked to the mains water supply.

Question 15 **Is the building at risk of receiving low water pressure or flow?**

Answer **Records confirm that the building is not recorded by the water undertaker as being at risk of receiving low water pressure or flow.**

Guidance The boundary of the property has been determined by reference to the Ordnance Survey record. "Low water pressure" means water pressure below the regulatory reference level which is the minimum pressure when demand on the system is not abnormal. Water undertakers report properties receiving pressure below the reference level, provided that allowable exclusions do not apply (i.e. events which can cause pressure to temporarily fall below the reference level). Reference level: The reference level of service is a flow of 9l/min at a pressure of 10m head on the customer's side of the main stop tap (mst). The reference level applies to a single property. The reference level of

service must be applied on the customer's side of a meter or any other company fittings that are on the customer's side of the main stop tap. Where a common service pipe serves more than one property, the flow assumed in the reference level must be appropriately increased to take account of the total number of properties served. Surrogate for the reference level: Because of the difficulty in measuring pressure and flow at the mst, companies may measure against a surrogate reference level. Companies should use a surrogate of 15m head in the adjacent distribution main unless a different level can be shown to be suitable. In some circumstances companies may need to use a surrogate pressure greater than 15m to ensure that the reference level is supplied at the customer's side of the mst (for example in areas with small diameter or shared communication pipes).

There are a number of circumstances under which properties identified as receiving low pressure should be excluded from the reported figure. The aim of these exclusions is to exclude properties which receive a low pressure as a result of a one-off event and which, under normal circumstances (including normal peaks in demand), will not receive pressure or flow below the reference level. Companies must maintain verifiable, auditable records of all the exclusions that they apply in order to confirm the accuracy and validity of their information. Allowable exclusions includes Abnormal demand, Planned maintenance, One off incidents, Low pressure incidents of short duration and common supply.

Abnormal demand:

This exclusion is intended to cover abnormal peaks in demand and not the daily, weekly or monthly peaks in demand, which are normally expected. Water undertakers exclude figures from properties which are affected by low pressure only on those days with the highest peak demands. During the yearly report water undertakers may exclude, for each property, up to five days of low pressure caused by peak demand.

Planned maintenance:

Water undertakers will not report low pressures caused by planned maintenance. It is not intended that water undertakers identify the number of properties affected in each instance. However, water undertakers must maintain sufficiently accurate records to verify that low-pressure incidents that are excluded because of planned maintenance, are actually caused by maintenance.

One-off incidents:

This exclusion covers a number of causes of low pressure; mains bursts; failures of company equipment (such as pressure reducing valves or booster pumps); fire fighting and action by a third party. However, if problems of this type affect a property frequently, they cannot be classed as one-off events and further investigation will be required before they can be excluded.

Low pressure incidents of short duration:

Properties affected by low pressures that only occur for a short period, and for which there is evidence that incidents of a longer duration would not occur during the course of the year, may be excluded.

A company must maintain a minimum pressure in the communication pipe of seven metres static head (0.7 bar). If pressure falls below this on two occasions, each occasion lasting more than one hour, within a 28-day period, the company must automatically make a GSS payment to the customer. There are exceptions to the requirement to make a GSS payment if the pressure standard is not met. These are: a payment has already been made to the same customer in respect of the same financial year; it is impractical for the company to have identified the particular customer as being affected, and the customer has not made a claim within three months of the date of the latter occasion; industrial action by the company's employees makes it not feasible to maintain the pressure standard; the act or default of a person other than the company's representative make it not feasible to maintain the pressure standard; or the pressure falls below the minimum standard due to necessary works taking place or due to a drought.

It should be noted that low water pressure can occur from private water mains, private supply pipes (the pipework from the external stop cock to the property) or internal plumbing which are not the responsibility of the Water Undertaker. This report excludes low water pressure from private water mains, supply pipes and internal plumbing and the Water Undertaker makes no comment upon this matter. For reporting purposes buildings are restricted to those normally occupied and used for residential, public, commercial, business or industrial purposes.

Question 16

What is the clarification of the water supply for the property?

Answer

The water supplied to the property has an average water hardness of 97mg/l calcium carbonate, which is defined as soft by United Utilities

Guidance

The hardness of water is due to the presence of calcium and magnesium minerals that are naturally present in the water. The usual signs of a hard water supply are scaling inside kettles, poor lathering of soaps and scum.

What is water hardness?

Hard water is formed when water passes through or over limestone or chalk areas and calcium and magnesium ions dissolve into the water. The hardness is made up of two parts: temporary (carbonate) and permanent (non-carbonate) hardness. When water is boiled, calcium carbonate scale can form, which can deposit on things like kettle elements. The scale will not stick to kettles that have a plastic polypropylene lining but will float on the surface. The permanent hardness that comprises calcium and magnesium sulphate does not go on to form scale when heated or boiled.

How is water hardness measured?

Hardness is usually expressed in terms of the equivalent quantity of calcium carbonate (CaCO_3) in milligrams per litre or parts per million. You may also see hardness expressed as degrees of hardness in Clark (English) degrees, French or German degrees. Interconversion between the different measurements can be made by using the appropriate conversion factors below. There are no standard levels as to what constitutes a hard or a soft water. Table 1 gives an indication of the equivalents of calcium and calcium carbonate and the relative degree of hardness.

Water quality standards

There are no regulatory standards for water hardness in drinking water.

Water hardness in the North West

The majority of raw water in the United Utilities region comes from upland surface water reservoirs. The water in the reservoirs has little chance of passing through rocks and to dissolve the minerals that make water hard. Therefore, the majority of water in this region is soft or very soft. We supply water from a number of boreholes in the south of the region that are reasonably hard, but these tend to be blended with softer sources to meet demand. No water supply in the North West is artificially softened.

Can hard water be softened?

Yes, water can be softened artificially by the installation of a water softener or the use of 'jug type' filters. Medical experts recommend that a non-softened supply is maintained for drinking purposes because softened water may contain high levels of sodium. Softeners should be fitted after the drinking water tap and comply with the requirements of the Water Supply (Water Fittings) Regulations 1999. They should be maintained in accordance with manufacturers' instructions.

If you're interested in finding out more about the quality of your drinking water, please visit www.unitedutilities.com/waterquality and enter your postcode.

The Drinking Water Inspectorate is responsible for ensuring the quality of public water supplies. Visit their website at: www.dwi.defra.gov.uk.

Question 18

Please include details of the location of any water meter serving the property.

Answer

Records indicate that the property is not served by a water meter.

Guidance

Where the property is not served by a meter the current occupier can contact the retailer directly to advise on the current charging method, details of the retailer can also be found on the current occupiers bill.

Question 19.1

Who is responsible for providing the sewerage services for the property?

Answer **United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington, WA5 3LP**

Guidance Not applicable

Question 19.2 **Who is responsible for providing the water services for the property?**

Answer **United Utilities Water Limited, Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington, WA5 3LP**

Guidance Not Applicable

Question 20 **Who bills the property for sewerage services?**

Answer **Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills the property for sewerage services you will need to contact the owner of the property to find out who the retailer is.**

Guidance For a list of all potential retailers of wastewater services for the property please visit www.open-water.org.uk

Question 21 **Who bills the property for water services?**

Answer **Since 1st April 2017 commercial customers can choose their retailer. If you wish to know who currently bills the property for water services you will need to contact the owner of the property to find out who the retailer is.**

Guidance For a list of all potential retailers of water services for the property please visit www.open-water.org.uk

Question 22 **Has a customer been granted a trade effluent consent at this property?**

Answer **There is no record of a Trade Effluent consent at this property. Applications for Trade Effluent consents should be submitted via your retailer for info please visit <https://www.unitedutilities.com/services/wholesale-services/trade-effluent/>**

Guidance The owner/occupiers of Trade Premises do not have the right to discharge Trade Effluent to the public wastewater network. Any Trade Effluent Discharge Consent will be issued under Section 118 of the Water Industry Act 1991 and will be subject to conditions set by the Sewerage Undertaker.

Generally these conditions are to ensure:

- a) The Health and Safety of staff working within the wastewater network and at wastewater treatment plants.
- b) The apparatus of the wastewater network is not damaged.
- c) The flow of the contents of the wastewater network is not restricted.
- d) Equipment, plant, and processes at treatment works are not disrupted or damaged.
- e) Treatment of sewage sludge is not impeded and sludges are disposed of in an environmentally friendly manner.
- f) Final effluent discharge from wastewater treatment plants has no impact on the environment or prevents the receiving waters from complying with EU Directives.
- g) Potential damage to the environment via storm water overflows is minimised.

Disputes between an occupier of a Trade Premise and the Sewerage Undertaker can be referred to the Director General of Water Services (OFWAT).

Protecting Public Sewers - Discharges Section 111 of the Water Industry Act 1991, places prohibition on the discharge of the following into a public sewer, drain or a sewer that communicates with a public sewer.

i) Any matter likely to injure the sewer or drain, to interfere with the free flow of its contents or to affect prejudicially the treatment or disposal of its contents.

ii) Any chemical refuse or waste steam or any liquid of temperature higher than 43.3 degrees Celsius (110 degrees Fahrenheit).

iii) Any petroleum spirit or carbide of calcium. On summary conviction offences under this Section carry a fine not exceeding the statutory maximum or a term of imprisonment not exceeding two years, or both.

Please note any existing consent is dependant on the business being carried out at the property and will not transfer automatically upon change of ownership.

Question 23

Is there an easement affecting the property?

Answer

There is no record of a formal easement affecting this property.

Guidance

Not Applicable

Appendix 1- General interpretation

1. (1) In this Schedule-

"the 1991 Act" means the Water Industry Act 1991(a);

"the 2000 Regulations" means the Water Supply (Water Quality) Regulations 2000(b);

"the 2001 Regulations" means the Water Supply (Water Quality) Regulations 2001(c);

"adoption agreement" means an agreement made or to be made under Section 51A(1) or 104(1) of the 1991 Act (d);

"bond" means a surety granted by a developer who is a party to an adoption agreement;

"bond waiver" means an agreement with a developer for the provision of a form of financial security as a substitute for a bond;

"calendar year" means the twelve months ending with 31st December;

"discharge pipe" means a pipe from which discharges are made or are to be made under Section 165(1) of the 1991 Act;

"disposal main" means (subject to Section 219(2) of the 1991 Act) any outfall pipe or other pipe which-

- (a) is a pipe for the conveyance of effluent to or from any sewage disposal works, whether of a sewerage undertaker or of any other person; and
- (b) is not a public sewer;

"drain" means (subject to Section 219(2) of the 1991 Act) a drain used for the drainage of one building or any buildings or yards appurtenant to buildings within the same curtilage;

"effluent" means any liquid, including particles of matter and other substances in suspension in the liquid;

"financial year" means the twelve months ending with 31st March;

"lateral drain" means-

- (a) that part of a drain which runs from the curtilage of a building (or buildings or yards within the same curtilage) to the sewer with which the drain communicates or is to communicate; or
- (b) (if different and the context so requires) the part of a drain identified in a declaration of vesting made under Section 102 of the 1991 Act or in an agreement made under Section 104 of that Act (e);

"licensed water supplier" means a company which is the holder for the time being of a water supply licence under Section 17A(1) of the 1991 Act(f);

"maintenance period" means the period so specified in an adoption agreement as a period of time-

- (a) from the date of issue of a certificate by a Sewerage Undertaker to the effect that a developer has built (or substantially built) a private sewer or lateral drain to that undertaker's satisfaction; and
- (b) until the date that private sewer or lateral drain is vested in the Sewerage Undertaker;

"map of waterworks" means the map made available under Section 198(3) of the 1991 Act (g) in relation to the information specified in subsection (1A);

"private sewer" means a pipe or pipes which drain foul or surface water, or both, from premises, and are not vested in a Sewerage Undertaker;

"public sewer" means, subject to Section 106(1A) of the 1991 Act(h), a sewer for the time being vested in a Sewerage Undertaker in its capacity as such, whether vested in that undertaker-

- (a) by virtue of a scheme under Schedule 2 to the Water Act 1989(i);
- (b) by virtue of a scheme under Schedule 2 to the 1991 Act (j);
- (c) under Section 179 of the 1991 Act (k); or
- (d) otherwise;

"public sewer map" means the map made available under Section 199(5) of the 1991 Act (l);

"resource main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a trunk main, which is or is to be used for the purpose of-

- (a) conveying water from one source of supply to another, from a source of supply to a regulating reservoir or from a regulating reservoir to a source of supply; or
- (b) giving or taking a supply of water in bulk;

"sewerage services" includes the collection and disposal of foul and surface water and any other services which are required to be provided by a Sewerage Undertaker for the purpose of carrying out its functions;

"Sewerage Undertaker" means the company appointed to be the Sewerage Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated;

"surface water" includes water from roofs and other impermeable surfaces within the curtilage of the property;

"water main" means (subject to Section 219(2) of the 1991 Act) any pipe, not being a pipe for the time being vested in a person other than the water Undertaker, which is used or to be used by a Water Undertaker or licensed water supplier for the purpose of making a general supply of water available to customers or potential customers of the undertaker or supplier, as distinct from for the purpose of providing a supply to particular customers;

"water meter" means any apparatus for measuring or showing the volume of water supplied to, or of effluent discharged from any premises;

"water supplier" means the company supplying water in the water supply zone, whether a water undertaker or licensed water supplier;

"water supply zone" means the names and areas designated by a Water Undertaker within its area of supply that are to be its water supply zones for that year; and

"Water Undertaker" means the company appointed to be the Water Undertaker under Section 6(1) of the 1991 Act for the area in which the property is or will be situated.

(2) In this Schedule, references to a pipe, including references to a main, a drain or a sewer, shall include references to a tunnel or conduit which serves or is to serve as the pipe in question and to any accessories for the pipe.

- (a) 1991 c. 56.
- (b) S.I. 2000/3184. These Regulations apply in relation to England.
- (c) S.I. 2001/3911. These Regulations apply in relation to Wales.
- (d) Section 51A was inserted by Section 92(2) of the Water Act 2003 (c. 37). Section 104(1) was amended by Section 96(4) of that Act.
- (e) Various amendments have been made to Sections 102 and 104 by Section 96 of the Water Act 2003.
- (f) Inserted by Section 56 of and Schedule 4 to the Water Act 2003.
- (g) Subsection (1A) was inserted by Section 92(5) of the Water Act 2003.
- (h) Section 106(1A) was inserted by Section 99 of the Water Act 2003.
- (i) 1989 c. 15.
- (j) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (k) To which there are various amendments made by Section 101(1) of and Schedule 8 to the Water Act 2003.
- (l) Section 199 was amended by Section 97(1) and (8) of the Water Act 2003.

Appendix 2 - DRAINAGE AND WATER ENQUIRY (COMMERCIAL) AGREEMENT

The Customer, the Client and the Purchaser are asked to note this Agreement which govern the basis on which this drainage and water report is supplied

Definitions

'Company' means United Utilities Water Limited who produce the Report; its registered office being at Haweswater House, Lingley Mere Business Park, Lingley Green Avenue, Great Sankey, Warrington WA5 3LP, company number 2366678.

'Order' means any request completed by the Customer requesting the Report.

'Report' means the drainage and water report prepared by the Company in respect of the Property.

'Property' means the address or location supplied by the Customer in the Order.

'Customer' means the person, company, firm or other legal body placing the Order, either on their own behalf as Client, or, as an agent for a Client.

'Client' means the person, company or body who is the intended recipient of the Report with an actual or potential interest in the Property.

'Purchaser' means the actual or potential purchaser of the Property including their mortgage lender.

Agreement

1.1 The Company agrees to supply the Report to the Customer and the Client subject to this Agreement. The scope and limitations of the Report are described in clause 2 of this Agreement.

Where the Customer is acting as an agent for the Client then the Customer shall be responsible for bringing this Agreement to the attention of the Client and the Purchaser.

1.2 The Customer, the Client and the Purchaser agree that the placing of an Order for a Report and the subsequent provision of a copy of the Report to the Client and/ or the Purchaser indicates their acceptance of this Agreement.

The Report

Whilst the Company will use reasonable care and skill in producing the Report, it is provided to the Customer, the Client and the Purchaser on the basis that they acknowledge and agree to the following:

2.1 The information contained in the Report can change on a regular basis so the Company cannot be responsible to the Customer, the Client and the Purchaser for any change in the information contained in the Report after the date on which the Report was produced and sent to the Client.

2.2 The Report does not give details about the actual state or condition of the Property nor should it be used or taken to indicate or exclude actual suitability or unsuitability of the Property for any particular purpose, or relied upon for determining saleability or value, or used as a substitute for any physical investigation or inspection. Further advice and information from appropriate experts and professionals should always be obtained.

2.3 The information contained in the Report is based upon the accuracy, completeness and legibility of the address and/or plans supplied by the Customer or Client or Purchaser.

2.4 The Report provides information as to the location and connection status of existing services and other information in relation to drainage and water enquiries and should not be relied on for any other purpose. The Report may contain opinions or general advice to the Customer, the Client and the Purchaser. The Company cannot ensure that any such opinion or general advice is accurate, complete or valid and therefore accepts no liability in relation thereto.

2.5 The position and depth of apparatus shown on any maps attached to the Report are approximate and are furnished as a general guide only, and no warranty as to its correctness is given or implied. The exact positions and depths should be obtained by excavation trial holes and the maps must not be relied on in the event of excavation or other works made in the vicinity of the Company's apparatus.

Liability

3.1 The Company shall not be liable to the Client or the Purchaser for any failure defect or non-performance of its obligations arising from any failure to provide or delay in providing the Report to the extent that such failure or delay is due to an event or circumstance beyond the reasonable

control of the Company including but not limited to any delay, failure of or defect in any machine, processing system or transmission link or any failure or default of a supplier or sub-contractor of the Company or any provider of any third party Information except to the extent that such failure or delay is caused by the negligence of the Company.

3.2 Where a Report is requested for an address falling within a geographical area where two different companies separately provide Water and Sewerage Services, then it shall be deemed that liability for the information given by either company will remain with that company in respect of the accuracy of the information supplied.

A company supplying information which has been provided to it by another company for the purposes outlined in this agreement will therefore not be liable in any way for the accuracy of that information and will supply that information as an agent for the company from which the information was obtained.

3.3 The Report is produced for use in relation to individual commercial property transactions where the property is used solely for carrying on a trade or business, the property is intended to be developed for commercial gain or the property is not a single residential, domestic property. The Company's entire liability (except to the extent provided by clause 3.5) in respect of all causes of action arising by reason of or in connection with the Report (whether for breach of contract, negligence or any other tort, under statute or statutory duty or otherwise at all) shall be limited to £2,000,000

In any event, the Company shall not have any liability in contract, negligence or any other tort or for breach of statutory duty or otherwise in respect of any loss of profit, loss of revenue, loss of opportunity or anticipated savings, or any indirect or consequential loss or damage that may be suffered by the Customer, the Client or the Purchaser howsoever arising. The plans attached to the report are provided pursuant to the Company's statutory duty to make such plans available for inspection (notwithstanding the provisions of this clause) and attention is drawn to the notice on the plan(s) attached to the report which applies to the plan and its contents.

3.4 Where the Customer sells this Report to a Client or Purchaser under its own name or as a reseller of the Company (other than in the case of a bona fide legal adviser recharging the cost of the Report as a disbursement) the Company shall not in any circumstances (whether for breach of contract, negligence or any other tort, under statute or statutory duty, restitution or otherwise at all) be liable to the Customer for any loss (whether direct, indirect or consequential loss (all three of which terms include without limitation, pure economic loss, loss of profit, loss of business, depletion of goodwill and like loss)) or damage whatsoever caused in respect of the Report or any use of the Report or reliance placed upon it and the Customer shall indemnify and keep indemnified the Company in respect of any claim by the Client or the Purchaser that the Company may incur or suffer.

3.5 Nothing in this Agreement shall exclude the Company's liability for death or personal injury arising from its negligence or for fraud.

Copyright and Confidentiality

4.1 The Customer, the Client and the Purchaser acknowledge that the Report is confidential and is intended for the personal use of the Client and the Purchaser. The copyright and any other intellectual property rights in the Report shall remain the property of the

Company. No intellectual or other property rights are transferred or licensed to the Customer, the Client or the Purchaser except to the extent expressly provided herein.

4.2 The Customer or the Client or the Purchaser is entitled to make copies of the Report but may only copy Ordnance Survey mapping or data contained in or attached to the Report if they have an appropriate licence from the originating source of that mapping or data.

4.3 The Customer, The Client and the Purchaser agree (in respect of both the original and any copies made) to respect and not to alter any part of the Report including but not limited to the trademark, copyright notice or other property marking which appears on the Report.

4.4 The maps contained in the Report are protected by Crown Copyright and must not be used for any purpose outside the context of the Report.

4.5 The enquiries in the Report are protected by copyright by the Law Society of 113 Chancery Lane, London WC2A 1PL and must not be used for any purpose outside the context of the Report.

4.6 The Customer, the Client and the Purchaser agree to indemnify the Company against any losses, costs, claims and damage suffered by the Company as a result of any breach by either of them of the provisions of clauses 4.1 to 4.4 inclusive.

Payment

5.1 Unless otherwise stated all prices are inclusive of VAT. The Customer shall pay the price of the Report specified by the Company, without any set off, deduction or counterclaim.

5.2 Payment must be received in advance unless an account has been set up with the Company. In these cases, payment terms will be as agreed with the Company, but in any event any invoice must be paid within 30 days.

5.3 The Company reserves the right to increase fees on reasonable prior written notice at any time.

Data Protection

6.1 We will process any personal data you provide to us in accordance with applicable data protection laws and our Data Protection and Privacy Notice (<https://www.unitedutilities.com/privacy/>). In addition we will use your personal data to manage and administer the provision of the Report under this Agreement and to develop and improve the business and services we provide to our customers. We may also disclose it to other companies in the United Utilities group (being United Utilities Water Limited, its holding companies (and their subsidiary companies) and its subsidiary companies) and their sub-contractors in connection with those purposes, but it will not be processed for other purposes or disclosed to other third parties without your express permission or without lawful purpose under data protection law.

General

7.1 If any provision of this Agreement is or becomes invalid or unenforceable, it will be taken to be removed from the rest of this Agreement to the extent that it is invalid or unenforceable. No other provision of this Agreement shall be affected.

7.2 This Agreement shall be governed by English law and all parties submit to the exclusive jurisdiction of the English courts.

7.3 Nothing in this Agreement and conditions shall in any way restrict the Customer's the Client's or the Purchaser's statutory or any other rights of access to the information contained in the Report.

7.4 This Agreement and conditions may be enforced by the Customer, the Client and the Purchaser.

7.5 Before you agree to this Agreement, please note it is your responsibility to ensure your client/customer is aware of them and that any objections are raised accordingly.

Property Searches complaints procedure

In the event of any queries relating to this Report please e-mail, write or phone our customer team quoting the United Utilities reference detailed on the Report, We will endeavor to resolve any telephone contact or complaint at the time of the call.

Whilst we always try to resolve all complaints straight away, if this is not possible and you are not happy with the course of action taken by us you can ask us to escalate the issues internally via the complaints process detailed below.

We will listen to your complaint and do our best to deal with it immediately.

If we fail to give you a written substantive response within 5 working days the Company will compensate the Customer or the Client (as applicable) the amount of the original fee paid to the Company for the Report, regardless of the outcome of your complaint.

If it is a complex issue requiring more time, we will still get back to you within 5 working days and notify you of progress and update you with the new timescales.

If we consider your complaint to be justified or we have made any errors that substantially change the outcome of the search we will:

- Refund your Report fee
- Provide you with a revised Report (if requested)
- Take the necessary action within our power to put things right which may (where appropriate) include, at our complete discretion, financial compensation or the relocation/removal/installation of our affected water or sewerage assets.
- Keep you informed of any action required

If your complaint has gone through our full internal complaints procedure and you are not satisfied with the response or you believe that we have failed to comply with our internal complaints procedure you may be able to refer your complaint for consideration under The Property Ombudsman Scheme (TPOs). You can obtain further information by visiting www.tpos.co.uk or email admin@tpos.co.uk