

Development Control Committee Main Schedule

Schedule of Applications for
Planning Permission

9th March 2012

Applications Entered on Development Control Committee Schedule

Item No.	Application Number/ Schedule	Location	Case Officer	Page No.
01.	<u>12/0016</u> A	Caxton Road, Newtown Industrial Estate, Carlisle CA2 7HS	<u>SG</u>	1
02.	<u>11/1065</u> A	Former Laboratories, Talkin, Brampton, CA8 1LE	<u>RJM</u>	12
03.	<u>11/1008</u> A	Garage to rear of Geltsdale Avenue, Carlisle CA1 2RL	<u>SD</u>	29
04.	<u>11/1037</u> A	Rosegarth, Brier Lonning, Hayton, Carlisle, CA8 9HL	<u>ST</u>	42
05.	<u>11/1095</u> A	Hillside, Great Corby, Carlisle, CA4 8LT	<u>RB</u>	51
06.	<u>11/0301</u> C	Low Wood, Warwick Bridge, Carlisle, CA4 8RF	<u>SE</u>	60
07.	<u>11/0610</u> D	Knockupworth Farm, Burgh by Sands, Carlisle, CA2 7RF	<u>SG</u>	63
08.	<u>11/0714</u> D	Springwell Farm, Talkin	<u>RJM</u>	66
09.	<u>11/0922</u> D	Land at Water Street, Carlisle, CA2 5AW	<u>RJM</u>	70
10.	<u>11/1098</u> D	Dundonald, Low Row, Brampton, CA8 2LN	<u>ST</u>	74
11.	<u>11/1101</u> D	Pirelli Tyres Limited, Dalston Road, Carlisle, CA2 6AR	<u>ARH</u>	76

The Schedule of Applications

This schedule is set out in five parts:

SCHEDULE A - contains full reports on each application proposal and concludes with a recommendation to the Development Control Committee to assist in the formal determination of the proposal or, in certain cases, to assist Members to formulate the City Council's observations on particular kinds of planning submissions. In common with applications contained in Schedule B, where a verbal recommendation is made to the Committee, Officer recommendations are made, and the Committee's decisions must be based upon, the provisions of the Development Plan in accordance with S54A of the Town and Country Planning Act 1990 unless material considerations indicate otherwise. To assist in reaching a decision on each planning proposal the Committee has regard to:-

- relevant planning policy advice contained in Government Circulars, Planning Policy Guidance Notes, Development Control Policy Notes and other Statements of Ministerial Policy;
- the adopted provisions of the Cumbria and Lake District Joint Structure Plan;
- the City Council's own statement of approved local planning policies including the Carlisle District Local Plan;
- established case law and the decisions on comparable planning proposals
- including relevant Planning Appeals.

SCHEDULE B - comprises applications for which a full report and recommendation on the proposal is not able to be made when the Schedule is compiled due to the need for further details relating to the proposal or the absence of essential consultation responses or where revisions to the proposal are awaited from the applicant. As the outstanding information and/or amendment is expected to be received prior to the Committee meeting, Officers anticipate being able to make an additional verbal report and recommendations.

SCHEDULE C - provides details of the decisions taken by other authorities in respect of those applications determined by that Authority and upon which this Council has previously made observations.

SCHEDULE D - reports upon applications which have been previously deferred by the Development Control Committee with authority given to Officers to undertake specific action on the proposal, for example the attainment of a legal agreement or to await the completion of consultation responses prior to the issue of a Decision Notice. The Reports confirm these actions and formally record the decision taken by the City Council upon the relevant proposals. Copies of the Decision Notices follow reports, where applicable.

SCHEDULE E - is for information and provides details of those applications which have been determined under powers delegated by the City Council since the previous Committee meeting.

The officer recommendations made in respect of applications included in the Schedule are intended to focus debate and discussions on the planning issues engendered and to guide Members to a decision based on the relevant planning considerations. The recommendations should not therefore be interpreted as an intention to restrict the Committee's discretion to attach greater weight to any planning issue when formulating their decision or observations on a proposal.

If you are in doubt about any of the information or background material referred to in the Schedule you should contact the Development Control Section of the Department of Environment and Development.

This Schedule of Applications contains reports produced by the Department up to the 24/02/2012 and related supporting information or representations received up to the Schedule's printing and compilation prior to despatch to the Members of the Development Control Committee on the 29/10/2012.

Any relevant correspondence or further information received subsequent to the printing of this document will be incorporated in a Supplementary Schedule which will be distributed to Members of the Committee on the day of the meeting.

SCHEDULE A

SCHEDULE A

Item No: 01

Date of Committee: 09/03/2012

Appn Ref No:
12/0016

Applicant:
Egertons Recovery Ltd

Parish:
Carlisle

Date of Receipt:
01/02/2012

Agent:
Taylor & Hardy

Ward:
Belle Vue

Location:

Caxton Road, Newtown Industrial Estate, Carlisle
CA2 7HS

Proposal: Variation Of Condition 7 (Drainage Details) Relating To Planning
Application 08/1089 (Revised Application)

REPORT

Case Officer: Sam Greig

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether the amended drainage details are acceptable;
2.2 Other matters.

3. Application Details

The Site

- 3.1 This application relates to Egertons Recovery Ltd, which is a vehicle recovery depot that is located within Caxton Road Industrial Estate. The Industrial Estate is situated off Newtown Road, one of the main thoroughfares into the city from the West. The company operates 24 hours a day, 7 days a week. The premises are situated at the south eastern extent of the Industrial Estate in close proximity to residential properties. The site is identified on the Urban Area Inset Map that accompanies the Carlisle District Local Plan as lying within a Primary Employment Area.

Background

- 3.2 Members may recall that a retrospective planning permission, for the change

of use of the depot to enable it to be used as a vehicle recovery centre, was approved at the Development Control Committee held on the 16th July 2010. The planning permission was subject to a series of conditions that the operators of the premises have to adhere to in order to ensure that the operation does not prejudice the living conditions of the occupiers of the neighbouring residential properties. One of these conditions required the surface of the vehicles storage area to be made good and drained to the foul sewer via an interceptor. Previous reports to the Development Control Committee in November 2010 and April 2011 outlined the difficulties that Egertons have had with complying with the approved scheme. In summary, the problems related to the change in levels across the site.

- 3.3 More recently an application to vary the approved surface water drainage details was scheduled to be considered by the Development Control Committee in December 2011; however, the application was withdrawn by the applicant prior to determination. Members may recall that the scheme proposed some minor changes to the surfacing and means of draining the yard; however, the most notable change was the applicant's proposal to discharge the surface water into a drain to the north of the site, as opposed to the adopted sewer located at the southern extent of Caxton Road. Despite various attempts to do so the applicant was unable to verify where the drain to the north of the site discharged to and, therefore, United Utilities advised the Council that it could not confirm that the revised details were acceptable, hence the fact that the application had been recommended for refusal.

The Proposal

- 3.4 This current application seeks approval to vary the requirements of Condition 7, which relates to the proposed means of draining the vehicles storage area. Under the approved scheme that applicant had assumed that a fall in level would enable the surface water to discharge into the adopted sewer near the junction of Caxton Road and Newtown Road; however, the level of the adopted sewer is such that a gravity based system would not work.
- 3.5 Under this current application it is proposed that any existing unsurfaced areas of yard are to be concreted and any cracked or damaged concrete will be repaired and all joints sealed, which reflects the approved scheme. The southern most section of the vehicles storage area, which is identified for the storage of vehicles under 2.5m in height, is to be surfaced with tarmac as opposed to concrete. The latter change is principally proposed as the use of tarmac, as opposed to concrete, will enable this section of the yard to be brought back into use more swiftly.
- 3.6 The surface water run-off from the vehicle storage area is proposed to pass through an interceptor that is located towards the northern extent of the storage yard. The interceptor is designed to separate any oil, petrol or other contaminants prior to the surface water being discharged into the sewer. In order to overcome the difficulties with the change in levels the applicant proposes to install a water pump. The surface water run off would pass through the interceptor and be stored in a chamber. Once the chamber

reaches a specified level the water would be pumped upwards, across the site, into the public sewer.

4. Summary of Representations

- 4.1 This application has been advertised by means of a site notice and notification letters sent to forty four neighbouring properties. At the time of preparing this report no written representations had been made during the consultation period.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objections;

Cumbria Constabulary - Crime Prevention: - no objections;

Environmental Services - Environmental Quality: - no objections;

Northern Gas Networks: - no objections;

Environment Agency: - no comments;

Community Services - Drainage Engineer: - no objections;

United Utilities: - no objections.

6. Officer's Report

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies CP5, CP6, CP11, CP12 and EC1 of the Carlisle District Local Plan 2001-2016.

- 6.2 The proposals raise the following planning issues:

1. Whether The Amended Details Are Acceptable.

- 6.3 Aside from some minor changes to the surfacing of the yard and the type of drainage kerbs to be used around its perimeter the scheme is broadly similar to that which has been approved. The key change relates to the installation of a pump to overcome the difficulties with the change in levels. Given that the pump and its associated storage chamber will be situated below the ground this variation to the approved scheme will have no notable impact upon the use of the site, its appearance or upon the living conditions of neighbouring residential properties. United Utilities has also raised no objections to the scheme and, consequently, the alterations proposed are regarded as acceptable.

- 6.4 Members are aware that Egertons Recovery Limited has been operating from

the site for sometime without having installed the appropriate surface water drainage infrastructure. To prevent any further delay in the implementation of these works it is the Officer's view that should Member be minded to support this application a condition is imposed which requires the drainage works to be completed within two months from the date that permission is granted.

- 6.5 Paragraph 4 of Circular 11/95: Use Of Conditions In Planning Permission advises that following the variation or removal of planning conditions the original planning permission will continue to subsist and, therefore, it is also pertinent to impose a condition that highlights the need to comply with the remaining conditions attached to the "Full" application.

2. Other Matters.

- 6.6 Members may be aware that in respect of previous applications by Egertons Recovery Ltd on this site local residents have expressed concern that they have experienced surface water drainage problems in recent years, which they believe are as a consequence of Egertons Recovery Ltd occupying the premises. Whilst the concerns of the residents are noted there is no evidence to substantiate this claim. Once the surface water drains are installed and surface water run off from vehicle storage area will be taken into the foul sewer, which should assist in reducing surface water run-off into the gardens of neighbouring properties if this does indeed occur at present as a consequence of Egertons occupation of the site.

Conclusion

- 6.7 In summary, for the reasons identified in this report it is Officers' view that the proposed variation to condition 7 is acceptable. In all aspects the proposal is compliant with the relevant policies contained in the Local Plan, but should only be approved subject to the imposition of those conditions identified.

7. Planning History

- 7.1 In June 2008 retrospective planning permission was refused for the change of use of the premises to enable it to be used for the recovery and storage of vehicles involved in accidents (Application 08/0423).
- 7.2 In July 2010 retrospective planning permission was granted by the Development Control Committee for the change of use of the premises to enable it to be used for the recovery and storage of vehicles involved in accidents (Application 08/1089).
- 7.3 On the 13th October 2010 the Council served a "Breach of Condition Notice" under Section 187A of the Town and Country Planning Act for failing to comply with Condition 6 of the Decision Notice. Condition 6 required the approved acoustic/visual barrier to be erected within two months from the date of permission having been granted, together with the installation of a surface water drain to the southern side of the bund.

- 7.4 The Breach of Condition Notice allowed the applicant a further 28 days to complete the outstanding work, which was not adhered to. Consequently, the Council took legal action against Egertons in the Magistrates Court; however, the Court decided that it was not necessary to pursue the matter as in January 2011 an application was granted to vary condition 6 of the 2008 approval (Application 11/0042). The acoustic barrier has since been erected in accordance with the approved scheme.
- 7.5 In 2011 an application was submitted to vary condition 7, which related to the approved means of draining surface water from the vehicle storage area (Application 10/0986). The application was due to be brought before the Development Control Committee in December 2011; however, the application was withdrawn by the applicant prior to consideration.

8. Recommendation: Grant Permission

1. The approved documents for this planning consent comprise:
 1. The Planning Application Form received 13th January 2012;
 2. The site location plan received 13th January 2012 (Drawing No. 11/023/1);
 3. The proposed site layout plan received 17th February 2012 (Drawing No. 11/023/01B/1);
 4. Technical details of the Klargester NSBD By-Pass Separator received 17th February; and
 5. The Notice of Decision; and
 6. Any such variation as may subsequently be approved in writing by the Local Planning Authority.

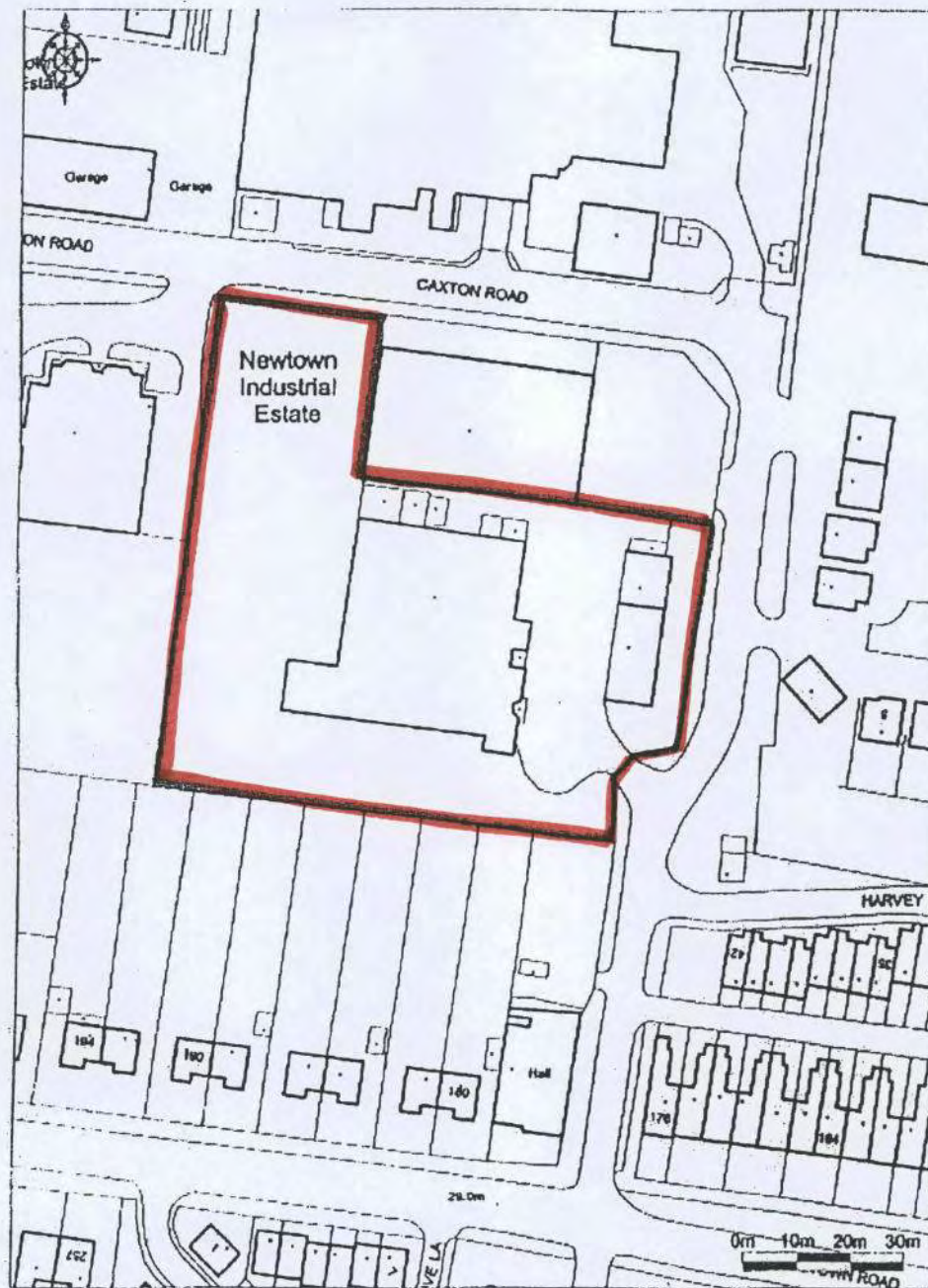
Reason: To define the permission.

2. Within two months from the date of this permission the vehicle storage area shall be surfaced and drained in accordance with the details contained on the site layout plan received 17th February 2012 (Drawing No. 11/023/01b/1).

Reason: To ensure that the installation of a suitable surface water drainage system and to ensure compliance with Policies CP11 and CP12 of the Carlisle District Local Plan 2001-2016.

3. With the exception of Condition 7, which has been varied by this consent, the development shall be carried out in accordance with the remaining conditions attached to the "Full" application 08/1089.

Reason: For the avoidance of doubt.



Ordnance
Survey

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DRAWING NO. 11/023/1

RECEIVED
13 JAN 2012
2012/0016

17 FEB 2012

12/0016

PLANTING SCHEDULE FOR BUND

All planting schemes to be agreed with the Planning Authority prior to work commencing.

The bund is 60 metres long and 4 metres wide at the base. The southern slope and the top of the bund are to be planted to create a visual and acoustic screen. Most of the plants are to be evergreen perennials, providing a visual barrier all year round. To provide some additional height 10 native species trees will be included, which will also be of benefit to birds and invertebrates. The suggested planting list and number of plants is as follows:

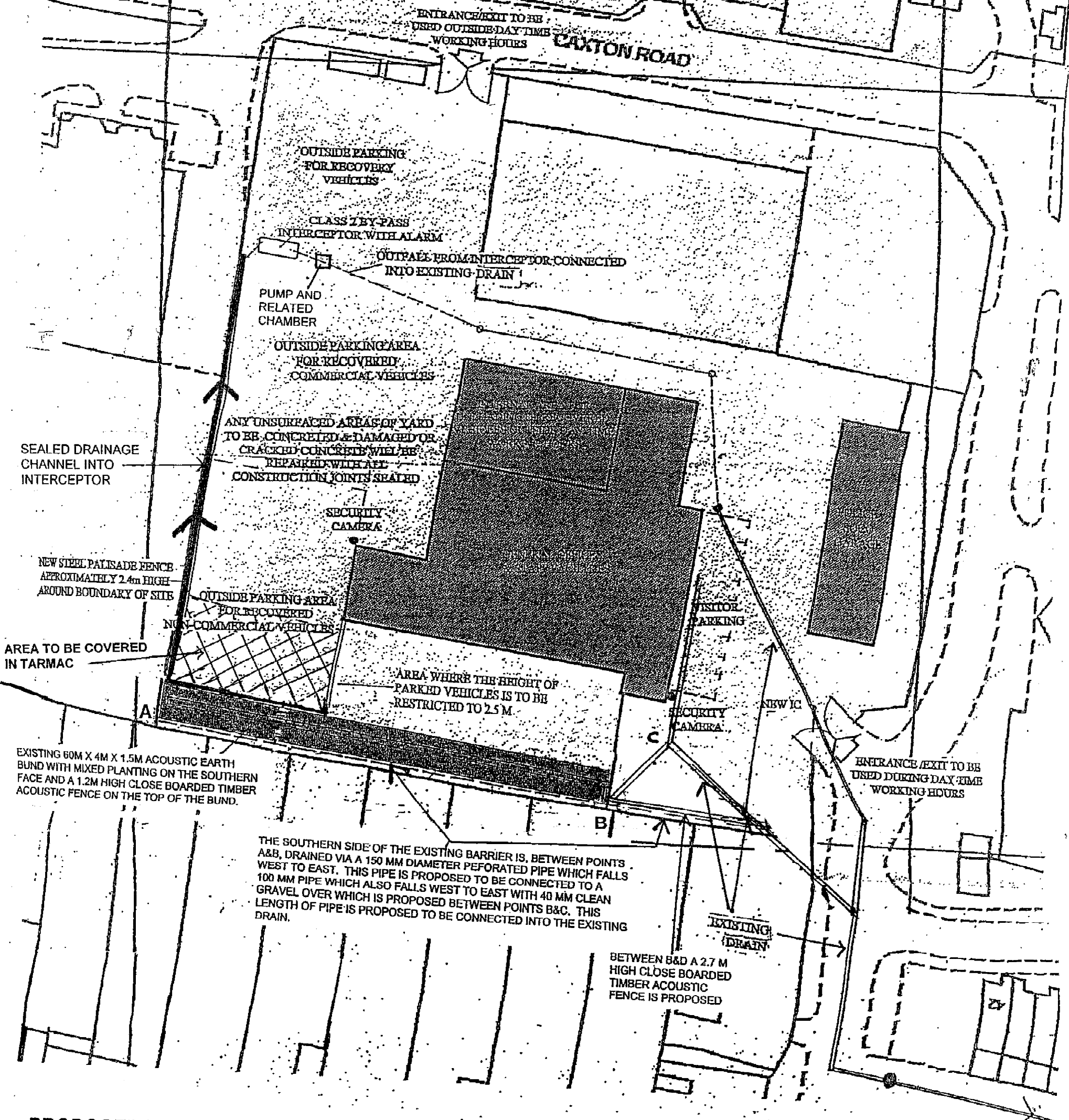
TREES

- 2 native trees, staked with tree ties (standard size)
- Sorbus aucuparia x4
- Betula pendula x4
- Crataegus monogyna x4
- Acer campestre x1
- Sorbus aria x1
- Prunus avium x1

SHRUBS

- Mostly evergreen, with some deciduous planting, at 3 plants per square metre, in 10 litre pots.
- Estimate requires about 1,25 shrubs
- Aucuba japonica
- Barberry umbellata
- Euonymus fortunei 'Silver queen'
- Photinia glabra 'Rubens'
- Prunus lusitanica
- Chamaecyparis arborescens
- Cytisus praecox
- Elaeagnus pungens 'Maculata'
- Hedera 'Midsummer beauty'
- Pieris japonica

SECTION THROUGH ACOUSTIC EARTH BUND
SCALE: 1:100
ALL FACES OF BUND TO BE SEEDED



PROPOSED VEHICLE RECOVERY DEPOT

SITE PLAN

CAXTON ROAD, CARLISLE

7

(REVISED 09.03.09)
(AND 03.04.09)
(AND 12.05.09)
(AND 14.06.10)
(AND 16.03.11)

PLAN No. 11/023/01b/1

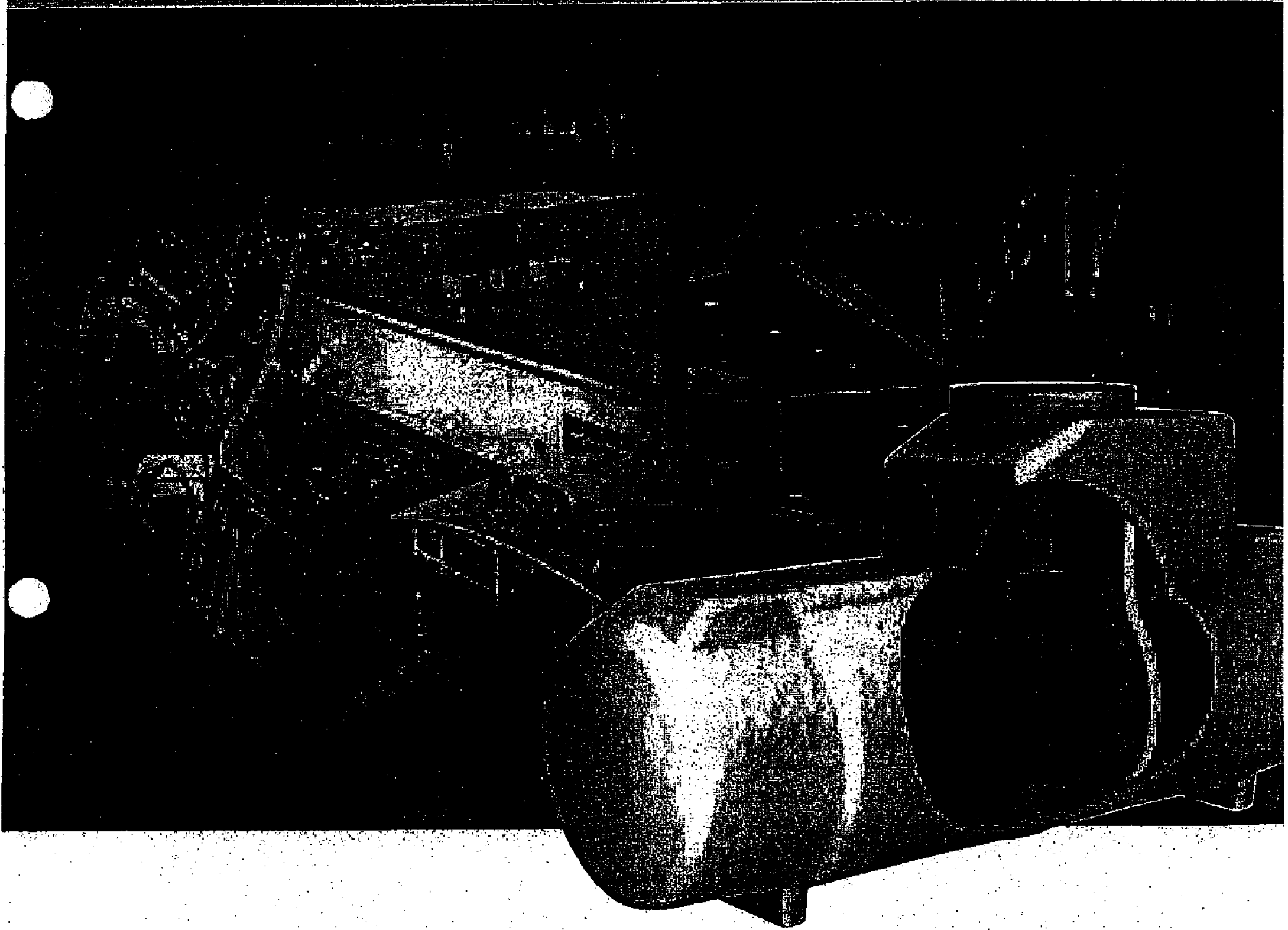
SCALE 1:500

and 17/2/12

Pollution Control

Separators

A Range of Fuel/Oil Separators for Peace of Mind



17 FEB 2012

12/0016

klargester.com


Klargester

Introduction

Surface water drains normally discharge to a watercourse or indirectly into underground waters (groundwater) via a soakaway. Contamination of surface water by oil, chemicals or suspended solids can cause these discharges to have a serious impact on the receiving water.

The Environment Regulators, Environment Agency, England and Wales, SEPA, Scottish Environmental Protection Agency in Scotland and Department of Environment & Heritage in Northern Ireland, have published guidance on surface water disposal, which offers a range of means of dealing with pollution both at source and at the point of discharge from site (so called 'end of pipe' treatment). These techniques are known as 'Sustainable Drainage Systems' (SuDS).

Where run-off is draining from relatively low risk areas such as car-parks and non-operational areas, a source control approach, such as permeable surfaces or infiltration trenches, may offer a suitable means of treatment, removing the need for a separator.

Oil separators are installed on surface water drainage systems to protect receiving waters from pollution by oil, which may be present due to minor leaks from vehicles and plant, from accidental spillage.

Effluent from industrial processes and vehicle washing should normally be discharged to the foul sewer (subject to the approval of the sewerage undertaker) for further treatment at a municipal treatment works.

Separator Standards and Types

A British (and European) standard (BS EN 858-1 and 858-2) for the design and use of prefabricated oil separators has been adopted. New prefabricated separators should comply with the standard.

Separator Classes

The standard refers to two 'classes' of separator, based on performance under standard test conditions.

Class I

Designed to achieve a concentration of less than 5mg/l of oil under standard test conditions, should be used when the separator is required to remove very small oil droplets.

Class II

Designed to achieve a concentration of less than 100mg/l oil under standard test conditions and are suitable for dealing with discharges where a lower quality requirement applies (for example where the effluent passes to foul sewer).

Both classes can be produced as full retention or bypass separators. The oil concentration limits of 5 mg/l and 100 mg/l are only applicable under standard test conditions. It should not be expected that separators will comply with these limits when operating under field conditions.

Full Retention Separators

Full retention separators treat the full flow that can be delivered by the drainage system, which is normally equivalent to the flow generated by a rainfall intensity of 65mm/hr. On large sites, some short term flooding may be an acceptable means of limiting the flow rate and hence the size of full retention systems.

Bypass Separators

Bypass separators fully treat all flows generated by rainfall rates of up to 6.5mm/hr. This covers over 99% of all rainfall events. Flows above this rate are allowed to bypass the separator. These separators are used when it is considered an acceptable risk not to provide full treatment for high flows, for example where the risk of a large spillage and heavy rainfall occurring at the same time is small.

Forecourt Separators

Forecourt separators are full retention separators specified to retain on site the maximum spillage likely to occur on a petrol filling station. They are required for both safety and environmental reasons and will treat spillages occurring during vehicle refuelling and road tanker delivery. The size of the separator is increased in order to retain the possible loss of the contents of one compartment of a road tanker, which may be up to 7,600 litres.

Selecting the Right Separator

The chart on the following page gives guidance to aid selection of the appropriate type of fuel/oil separator for use in surface water drainage systems which discharge into rivers and soakaways.

For further detailed information, please consult the Environment Agency Pollution Prevention Guideline 03 (PPG 3) 'Use and design of oil separators in surface water drainage systems' available from their website.

Klargester has a specialist team who provide technical assistance in selecting the appropriate separator for your application.

**Is there risk of oil
contaminating the
drainage from the site?**

Yes

Risk of
infrequent light
contamination
and potential
for small
spills only,
e.g. car park

Yes

Source control
SUDS must be
considered and
incorporated
where suitable

If not suitable

**Bypass
Separator with
alarm required**

**Class I if
discharge to
surface water^{2,3}**

**Class II if
discharge to
foul sewer¹**

Yes

Risk of regular
contamination
of surface water
run off with oil
and/or risk of
larger spills,
e.g. vehicle
maintenance
area, goods
vehicle parking
or vehicle
manoeuvring⁵

Yes

**Full Retention
Separator with
alarm required**

**Class I if
discharge to
surface water²**

**Class II if
discharge to
foul sewer¹**

Yes

Drainage will
also contain
dissolved oils,
detergents or
degreasers
such as vehicle
wash water and
trade effluents,
e.g. industrial
sites

Yes

**Trade effluents
must be
directed to the
foul sewer¹
It may need to
pass through
a separator
before
discharge to
sewer for
removal of
free oils**

Yes

Fuel oils are
delivered to
and dispensed
on site,
e.g. retail
forecourts

Yes

**Full Retention
'Forecourt'
Separator with
alarm required**

**Class I if
discharge to
surface water²**

**Class II if
discharge to
foul sewer^{1,4}**

No

Very low risk
of oil
contamination,
e.g. roof water

Yes

**Separator not
required**

Clean water
should not be
passed through
the separator
unless the size
of the unit is
increased
accordingly

Source control
SUDS should
be considered
where possible

The use of SUDS should be considered at all sites and they should be incorporated where suitable. SUDS can be used to polish the effluent from these separators before it enters the environment⁶

Waterproofer

Bypass Separator

NSBD Range

Application

Bypass separators are used when it is considered an acceptable risk not to provide full treatment, for very high flows, and are used, for example, where the risk of a large spillage and heavy rainfall occurring at the same time is small, e.g.

- Surface car parks
- Roadways
- Lightly contaminated commercial areas

Performance

Klargester were one of the first UK manufacturers to have separators tested to EN 858-1. Klargester have now added the NSBD bypass range to their portfolio of certified and tested models. The NSBD number denotes the maximum flow at which the separator treats liquids. The British Standards Institute (BSI) tested the required range of Klargester full retention separators and certified their performance in relation to their flow and process performance assessing the effluent qualities to the requirements of BS EN 858-1. Klargester bypass separator designs follow the parameters determined during the testing of the required range of bypass separators.

Each bypass separator design includes the necessary volume requirements for:

- Oil separation capacity
- Oil storage volume
- Silt storage capacity
- Coalescer

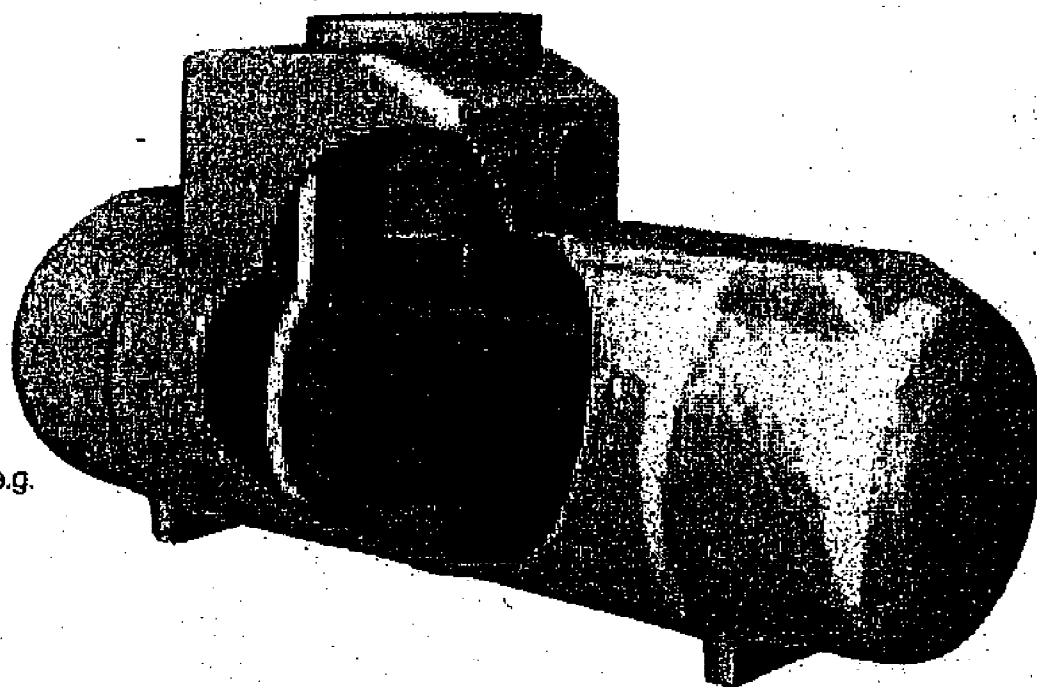
The unit is designed to treat 10% of peak flow. The calculated drainage areas served by each separator are indicated according to the formula given by PPG3 $NSB = 0.0018A(m^2)$.

Flows generated by higher rainfall rates will pass through part of the separator and bypass the main separation chamber.

Class I separators are designed to achieve a concentration of 5mg/litre of oil under standard test conditions.

Sizes & Specifications:

Nominal Size	Nominal Flow (l/s)	Peak Flow (l/s)	Drainage Area (m ²) PPG3 (0.0018)	Silt Storage Capacity (litres)	Oil Storage Capacity (litres)	Depth (mm)	Dia (mm)	Access Shaft Diameter (mm)	Base to Inlet (mm)	Base to Outlet (mm)	Standard Fall Access Unit	Min. Inlet (mm)	Standard Pipework Diameter
NSBD3	3	30	1670	300	45	1765	1225	750	1450	1350	100	500	150
NSBD4	4.5	45	2500	450	68	1765	1225	750	1450	1350	100	500	200
NSBD6	6	60	3335	600	90	1765	1225	750	1450	1350	100	500	200
NSBD8	8	80	4445	800	120	3065	1225	750	1450	1350	100	500	250
NSBD10	10	100	5560	1000	150	3065	1225	750	1450	1350	100	500	315
NSBD12	12	120	6670	1200	180	3915	1225	750	1450	1350	100	500	315
NSBD15	15	150	8335	1500	225	3915	1225	750	1450	1350	100	500	315
NSBD18	18	180	10000	1800	270	3200	2012	600	2110	2010	100	1000	375
NSBD24	24	240	13340	2400	360	3200	2012	600	2110	2010	100	1000	375
NSBD30	30	300	16670	3000	450	3915	2012	600	2110	2010	100	1000	450
NSBD36	36	360	20000	3600	540	3915	2012	600	2110	2010	100	1000	525
NSBD55	55	550	30560	5500	825	5085	2820	600	2310	2060	250	1000	600
NSBD72	72	720	40000	7200	1080	5820	2820	600	2310	2060	250	1000	675
NSBD84	84	840	46670	8400	1260	6200	2820	600	2310	2010	300	1000	750
NSBD96	96	960	53340	9600	1440	7375	2820	600	2310	2010	300	1000	825
NSBD110	110	1100	61110	11000	1650	7925	2820	600	2360	2010	350	1000	825
NSBD130	130	1300	72225	13000	1950	8725	2820	600	2360	2010	350	1000	825



Class II separators are designed to achieve a concentration of 100mg/litre of oil under standard test conditions.

Features

- Light and easy to install
- Class I and Class II designs
- Inclusive of silt storage volume
- Fitted inlet/outlet connectors
- Vent points within necks
- Oil alarm system available (required by BS EN 858-1 and PPG3)
- Extension access shafts for deep inverts
- Maintenance from ground level

To specify a nominal size Bypass Separator, the following information is needed:-

- The calculated flow rate for the drainage area served. Our designs are based on the assumption that any interconnecting pipework fitted elsewhere on site does not impede flow into or out of the separator and that the flow is not pumped
- The required discharge standard. This will decide whether a Class I or Class II unit is required
- The drain invert inlet depth
- Pipework type, size and orientation

Item No: 02

Date of Committee: 09/03/2012

Appn Ref No:
11/1065

Applicant:
Citadel Estates Ltd.

Parish:
Hayton

Date of Receipt:
16/12/2011

Agent:
Holt Planning Consultancy

Ward:
Great Corby & Geltsdale

Location:

Former Laboratories, Talkin, Brampton, CA8 1LE

Proposal: Demolition Of Existing Laboratory Building; Erection Of Terrace Of 4No. Dwellings (Revised Application) (Retrospective)

REPORT

Case Officer: Richard Maunsell

1. Recommendation

2. Main Issues

- 2.1 Principle Of Residential Development In Rural Area
- 2.2 Scale, Siting And Design
- 2.3 The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents.
- 2.4 Highway Matters

3. Application Details

The Site

- 3.1 This application seeks "Full" planning permission for the erection of four dwellings at the former laboratories, Talkin, Brampton. The site comprised of a single storey building of sandstone with painted render to the rear under a slate roof. The site is located within the village envelope towards the northern fringe of the village and is within a Landscape of County Importance.
- 3.2 The site is at a much lower level than the adjacent County highway. To the west and opposite the site is a row of terraced two storey properties of traditional construction that also incorporate interesting vernacular features. Immediately to the south is a large detached two storey property that has recently been constructed. Situated to the north are houses. The land rises steeply to the east that leads onto open countryside. Access to the site is to

the north of the building and is shared by the former research offices that are located close to the site to the north.

Background

- 3.3 Planning permission was granted in 2010 for the erection of four terraced dwellings. Two of the properties were approved for sale on the open market with two being provided for affordable rent.
- 3.4 The applicant has redesigned the scheme to ensure that the affordable housing can be delivered and to provide three bedroom houses.
- 3.5 The former laboratory building has been demolished and work has begun on site.

The Proposal

- 3.6 The proposal involves the erection of a terrace of four linked properties. The houses would be sited further back from the front boundary than the former building, varying from 9.8 metres to 10.3 metres and would occupy a similar width across its frontage. The two storey houses would be constructed from sandstone to the frontage and the gables with painted render to the rear. The roofs would be natural slate. The single storey elements of the building to the front and rear would both be constructed from stone.
- 3.7 The accommodation to be provided within each of the properties would comprise of a kitchen, lounge, hall, W.C., and utility room with three bedrooms and a bathroom above. Each property would have two dedicated parking spaces to the rear of the site together with two overall visitor parking spaces for the properties. The rear boundary of the site would be extended into the adjacent field to accommodate this.
- 3.8 The foul drainage system would connect into a private package treatment plant.
- 3.9 Two of the properties would be for sale on the open market and two would be available at an affordable rent.
- 3.10 The main components of the revised application are:
- The building would be set back from the front boundary from 10.8 metres to 10 metres compared to 10.7 metres and 9.8 metres of the approved scheme;
 - The finished floor level of the ground floor of the proposal will be 159.90 AOD compared to 163.30 to 160.00 of the approved scheme;
 - The properties will have three bedrooms as opposed to two;
 - The approved scheme showed a terrace of staggered properties whilst the current application proposes linear elevations with single store projections. In addition to the staggered footprint, the eaves height varied with a lower ridge height at the north-west corner, rising for both

properties in the middle plots and then lower at the south-east corner. As the application proposes a more uniform appearance, the eaves height will be higher than the lowest building but will remain at 5.3 metres, the height for the tallest approved property. The ridge height will increase by 0.9 metres between the lowest approved property and the current proposal; and

- Changes to the design and fenestration of the buildings.

4. Summary of Representations

4.1 This application has been advertised by means of a site notice and direct notification to the occupiers of nine of the neighbouring properties. At the time of writing this report, eight letters of objection have been received and the main issues raised are summarised as follows:

1. the revised application is not visually sympathetic to the character, appearance and amenity of the village which is within an Area of Outstanding Natural Beauty;
2. the scheme bears no resemblance to the approved scheme and the design looks cheap and utilitarian;
2. there is uncertainty over the revised details in respect of finished levels and building heights relative to the neighbours and the street scene;
3. the ridge height of the finished buildings will be considerably greater than the approved scheme;
4. the design has moved away from the staggered building and ridge lines on the individual plots and now proposes traditional two storey construction as opposed to the dormer and rooflight design in the original application which reflected the houses opposite;
5. there is no increase in parking provision as claimed in the application details;
6. the re-orientation of the dwellings means that the gardens will be to the front of the properties resulting in sheds, fences and childrens play equipment being sited forward of the dwellings which would comprise the appearance of the terrace;
7. the proposed level of the access road would be higher than that of the access to Banktop House and may prejudice access and use of the garage associated with that property; and
8. parking provision for ten cars will increase the flow of traffic through the village.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objection subject to the imposition of conditions;

Local Environment, Streetscene - Drainage Engineer: - comments awaited;

Natural England: - the previous comments submitted still apply which raise provide biodiversity advice but raise no objection;

Local Environment - Environmental Protection: - comments awaited;

Housing Strategy: - the provision of three bedroom units is acceptable; and

Hayton Parish Council: - the Parish Council object to the scheme on the basis that:

- the design of the houses bear little resemblance to the original plan;
- the design is not in keeping with adjacent properties and is out of character;
- the design looks cheap and utilitarian;
- the roofline is two metres higher than the original proposal and would overwhelm adjacent properties;
- external walls are to be rendered including the gables which is no in keeping.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, DP10, CP1, CP3, CP5, CP9, CP12, H1, H2, T1 and LE29 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues.

1. Principle Of Residential Development In Rural Area

6.2 The principle of residential development has been established through the grant of the previous planning permission and the lawful implementation made by the applicant. The application seeks to provide two dwellings for sale on the open market and two dwellings that would remain affordable for rent in perpetuity. This was secured by a S106 agreement and, subject to a Deed of Variation, the dwellings proposed by this revised application would remain affordable in perpetuity, which would be consistent in principle with the approved scheme.

6.3 The previously approved scheme sought consent for two bedroom properties with the current submission seeking consent for three bedroom properties. Three bedroom properties are considered more desirable in the rural area and will fulfil a greater housing need. This has been confirmed by the Council's Housing Officer.

2. Scale, Siting And Design

6.4 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policy CP5 of the Local

Plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. Development of this frontage site within the village will have a significant impact on the character of the area unless it is sympathetically designed.

- 6.5 The site is within a Landscape of County Importance but not within the AONB. The terrace of properties to the west and directly opposite the application site is distinctive insofar as they are stone fronted with architectural detail and timber fascia boards. Some of the architectural features such as ventilation slit windows, arched windows, stone verges and cat slide roof that were part of the approved scheme, do not appear on the proposed houses. It could be argued that the approved scheme better reflects the appearance of the neighbouring properties; however, the proposed development is of reasonable architectural merit in its own right and the scale and use of appropriate materials is acceptable.
- 6.6 The existing ground level adjacent to the access is 158.56 AOD and the finished floor level of the properties would be 159.90 AOD. In essence, the ground level of the site would be raised to accommodate the development but this would be between 0.1 metre and 0.4 metres lower than the approved scheme. The finished floor levels would be less than the approved scheme and the ridge height would be no higher than the highest ridge of the approved properties.
- 6.7 Some of the objectors have raised concerns that the scale of development would not be in keeping with the character of the area. The development would be large in scale but the siting and use of appropriate materials means that it would not be obtrusive within the street scene.
- 6.8 Whilst the terrace to the west abuts the pavement this is not a characteristic of the built form of the village; furthermore, there are both ground and first floor windows that directly face the site. The proposed scheme is set further within the site than the approved scheme. It is therefore appropriate to consider the development against the Supplementary Planning Document "Achieving Well Designed Housing". It requires that a distance of 21 metres is provided between primary windows. The proposed properties have been set back from the frontage of the site to obtain this distance.
- 6.9 Given the restricted nature of the site, it would be appropriate to condition any planning consent that future alterations, extensions and outbuildings require planning consent.

3. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents.

- 6.10 The reuse of the site for residential use is acceptable. The preceding paragraphs have dealt with the proximity of the proposed dwellings and the issue of overlooking. Although the height of some of the buildings would be increased, the ridge of the dwellings would be comparable and in keeping

with the row of terraced properties directly opposite the site. The site previously comprised of a single storey building that is set down below the level of the road. The view of the site will undoubtedly alter from the neighbouring properties; however, the scale siting and design mean that the living conditions of the occupiers of that property will not be compromised through loss of light, loss of privacy or over dominance.

- 6.11 Given the orientation of the application site with adjacent properties, it is not considered that the living conditions of the occupiers would suffer from loss of privacy or unacceptable levels of noise or disturbance. The development would not result in an overall loss of daylight or sunlight due to the distances involved between the application site and the residential properties.

4. Highway Matters

- 6.12 The site is served from an existing vehicular access that leads from the County highway. The access comprises of a concrete apron which slopes steeply down to the site. Several objectors have raised concerns that the access is inappropriate to deal with the level of car parking use associated with the properties. The access would be improved insofar as the steep incline would be removed. The level of access has to be considered in terms of the previous use of the site.
- 6.13 A further highway concern raised by neighbours relates to the level of car parking provision. The Design and Access Statement states that the parking provision has been increased by the revised scheme. Whilst there is some minor changes to the layout of the parking, the overall level remains at two spaces per dwelling together with two visitor spaces. Members will note that the Highway Authority has raised no objection.
- 6.14 A neighbour has raised objections that if the ground level of the site is increased, access to neighbouring garages and driveways would be prohibited. The applicant previously provided an additional drawing where the levels were annotated. The levels proposed were acceptable and involved alterations on the applicant's own land.

Conclusion

- 6.15 In overall terms, the principle of residential development on the site has been granted though the previous planning permission. The development would provide three bedroom properties with two houses for rent at a discounted affordable rate that would be secured in perpetuity. In this respect, the development far exceeds the tenure of housing require by Local Plan policies in that they would be for rent and affordable. A Deed of Variation is required to the S106 agreement that would ensure that they remain available as such in perpetuity. The two open market houses are required to enable the development.
- 6.16 The dwellings would be set back from the frontage of the site and the scale, design and massing would be appropriate to the character and appearance of

the area. Whilst there have been revisions to the design and materials, the scheme remains appropriate. The frontage of the properties being constructed from red sandstone and reclaimed slate. Whilst the fenestration and orientation of the elevations has altered, the scheme would remain of a high standard and would be sympathetic to the character and appearance of the village.

- 6.17 The properties would not result in any demonstrable harm to the living conditions of any neighbouring residential dwellings. The combination of these elements would result in a development that would enhance its appearance within the village and in all other aspects the proposal is compliant with the objectives of the relevant Local Plan policies.

7. Planning History

- 7.1 In 2011, planning permission was granted for the demolition of the existing laboratory building and erection of terrace of four dwellings.

8. Recommendation: Grant Permission

1. The approved documents for this Planning Permission comprise:
 1. the Planning Application Form received 9th December 2011;
 2. the Location Plan received 9th December 2011 (Drawing no. 08/2010/00B);
 3. the Site Plan received 9th December 2011 (Drawing no. 07/2011/05);
 4. the Block Plan received 9th December 2011 (Drawing no. 08/2010/02A);
 5. the Proposed Ground Floor Plan received 9th December 2011 (Drawing no. 07/2011/06A);
 6. the Proposed First Floor Plan received 9th December 2011 (Drawing no. 07/2011/07A);
 7. the South-East and South-West Elevations received 9th December 2011 (Drawing no. 07/2011/09A);
 8. the North-East and North-West Elevations received 9th December 2011 (Drawing no. 07/2011/08A);
 9. the Design and Access Statement received 9th December 2011;
 10. the Notice of Decision; and
 11. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

2. Samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority before any work is commenced. The development shall then be undertaken in accordance with the approved details.

Reason: To materials used are appropriate to the surrounding buildings and contribute to the character of the area in accordance with the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

3. Within one month from the date of this permission, details shall be submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details and completed prior to the occupation of the first dwelling.

Reason: To ensure that materials to be used are acceptable and in compliance with the objectives of Policy CP5 Carlisle District Local Plan 2001-2016.

4. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained in accordance with details that have been submitted to and agreed in writing by Local Planning Authority in consultation with the Highway Authority within one month from the date of this permission.

Reason: In the interests of highway safety and to support Local Transport Policies LD8.

5. The access and parking/ turning requirements shall be substantially met before any building work commences on site so that constructional traffic can park and turn clear of the highway.

Reason: The carrying out of this development without the provision of these facilities during the construction works is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

6. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the dwelling units to be erected in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the Local Planning Authority.

Reason: To ensure that the character and attractive appearance of the buildings is not harmed by inappropriate alterations and/or extensions and that any additions which may subsequently be proposed satisfy the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no gates, fences, walls or other means of enclosure shall be erected or constructed in front of the forwardmost part of the front of the

dwellings or north-west of unit 1 other than those expressly authorised by this permission, without the written consent of the Local Planning Authority.

Reason: To ensure that any form of enclosure to the front gardens of the properties is carried out in a co-ordinated manner in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. Within one month from the date of this permission, particulars of height and materials of all screen walls and boundary fences shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure that the appearance of the area is not prejudiced by lack of satisfactory screening which is not carried out in a co-ordinated manner and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. Within one month from the date of this permission, a scheme for the provision of surface water drainage works shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of surface water disposal and in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

10. In the event that contamination is discovered within the site that was not previously identified in the Preliminary Geotechnical and Ground Contamination Desk Top Review works shall cease with immediate effect. No further works shall continue on site until such time as:

- (a) the Local Planning Authority has been notified in writing;
- (b) a detailed risk assessment shall be carried out to determine proposals as may be necessary for the remediation of the site;
- (c) there shall have been submitted to the Local Planning Authority the results of the detailed site investigation;
- (d) such remediation measures as are identified in the detailed site investigation shall be submitted to the Local Planning Authority for approval in writing; and,
- (e) such remediation proposals as are agreed by the Local Planning Authority shall have been completed to the reasonable satisfaction of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors in accordance with Policy LE29 of the Carlisle

District Local Plan 2001-2016.

11. The development hereby approved shall be undertaken in accordance with paragraphs F1 and G1 of the "Survey For Bats At Talkin Village Disused Laboratory" submitted by Sally Phillips received on 26th October 2010 under application reference 10/0965.

Reason: In order not to disturb or deter the nesting or roosting of bats, a species protected by the Wildlife and Countryside Act 1981 in accordance with the objectives of Policy CP2 of the Carlisle District Local Plan 2001-2016.

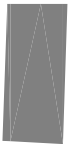


LOCATION PLAN 1:1250

RV	DATE	DESCRIPTION
A	14.12.10	BLOCK PLAN REMOVED AND LOCAL BUILDING ZONES HIGHLIGHTED
B	05.12.11	LEVELS & LAYOUT AMENDED

SANDY JOHNSTON
ARCHITECT
RIBA

LOCATION PLAN
Replacement of laboratories with 4 new terraced houses,
Talkin for Chadel Estates
DATE: DEC 2011 DWG: 08/2010/00B SCALE 1:1250



Elev=163.87



Elev=163.87

158.93



SANDY JOHNSTON
ARCHITECT
RIBA

SITE PLAN			
4 NEW DWELLINGS, TALKIN VILLAGE FOR CITADEL ESTATES			
SEPT 2011	07/2011/05	1:200	
REVISION A	SITE LEVELS & PLAN	05/12/2011	

PROPOSED LEVELS
+158.54

EXISTING LEVELS
157.76



existing
ground level
to be retained

turning
head

visitors
parking

existing
ground level
to be retained

stone retaining
boundary walls

driveway

2 parking spaces
per dwelling

existing
vehicular
access

new pedestrian
access

**PLOT
4**

**PLOT
3**

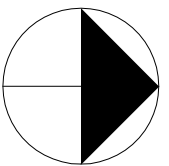
**PLOT
2**

**PLOT
1**

front gardens

stone
boundary
walls

adjacent property
not fully surveyed



BLOCK PLAN 1:200

BLOCK PLAN

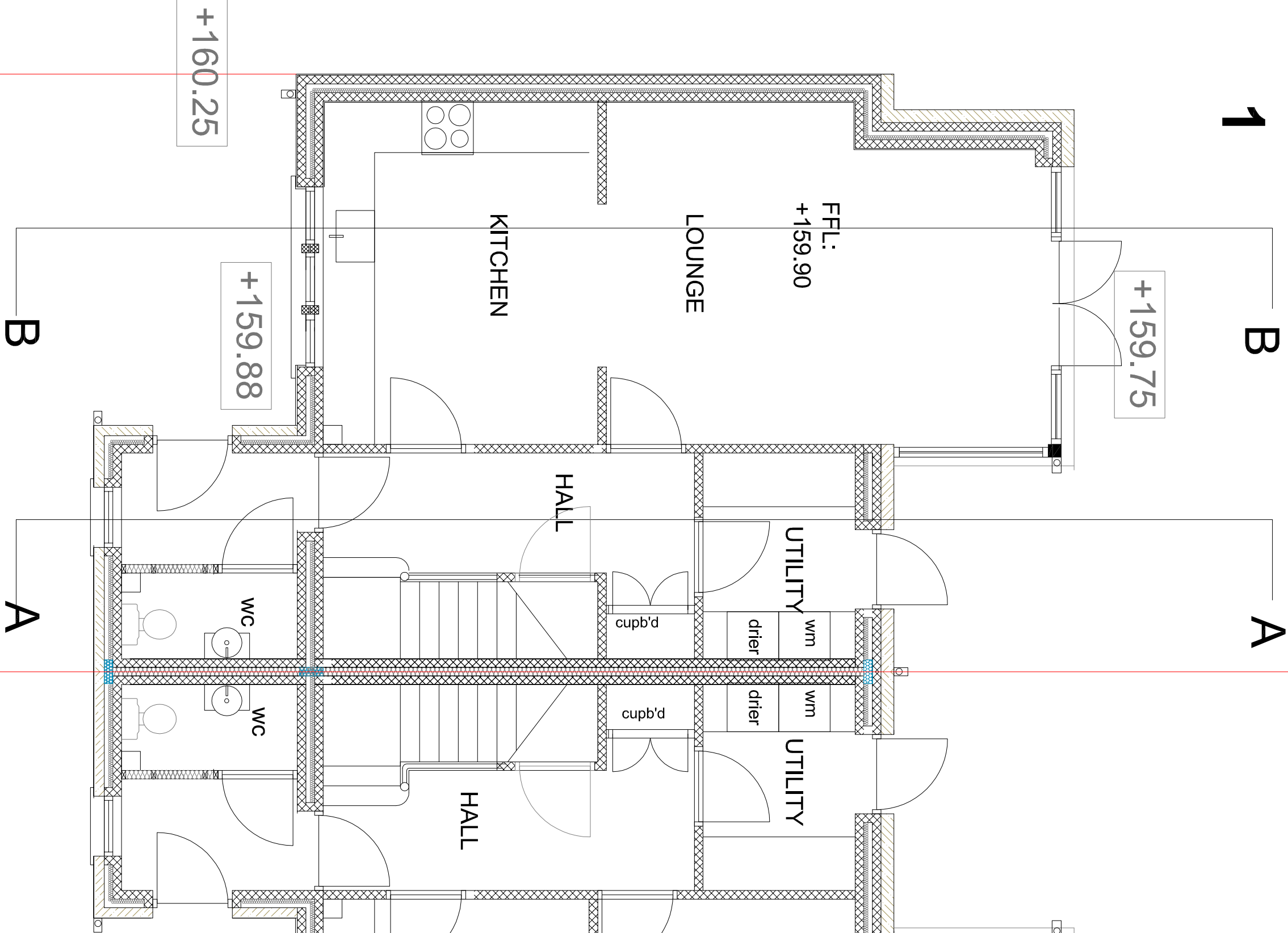
SANDY JOHNSTON
ARCHITECT
RIBA

Replacement of laboratories with 4 new terraced houses,
Talkin for Chadel Estates
DATE: DEC 2010 DWG: 08/2010/02A SCALE 1:200
REVISION A LEVELS & LAYOUT 05/12/2011

RV	DATE	DESCRIPTION
A	05/12/2011	LEVELS & LAYOUT

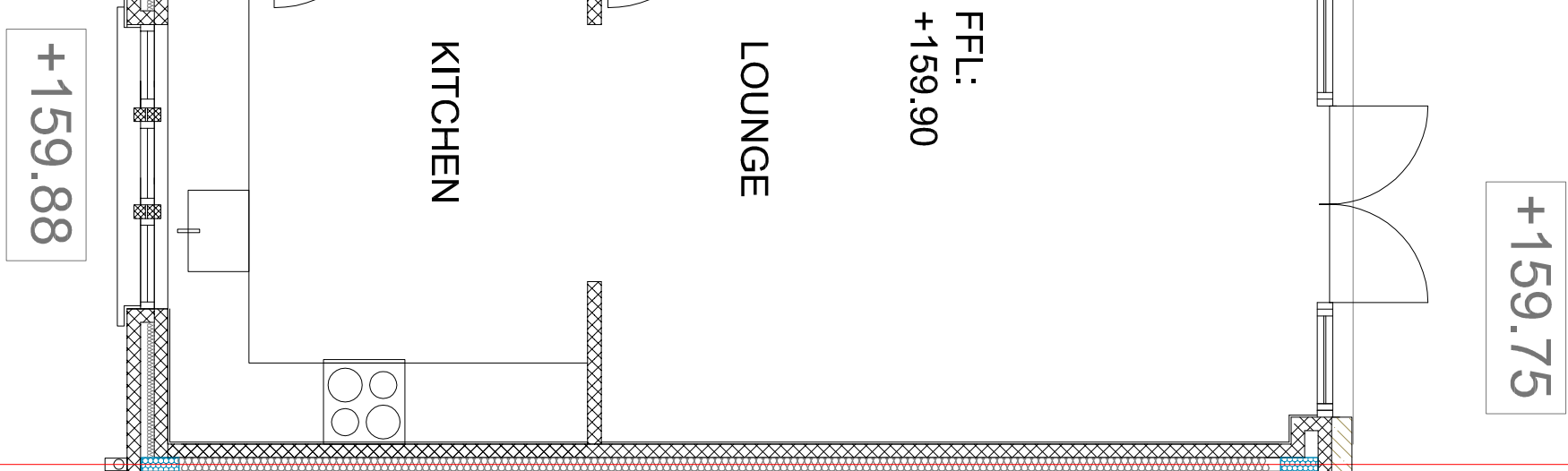
PLOT

1



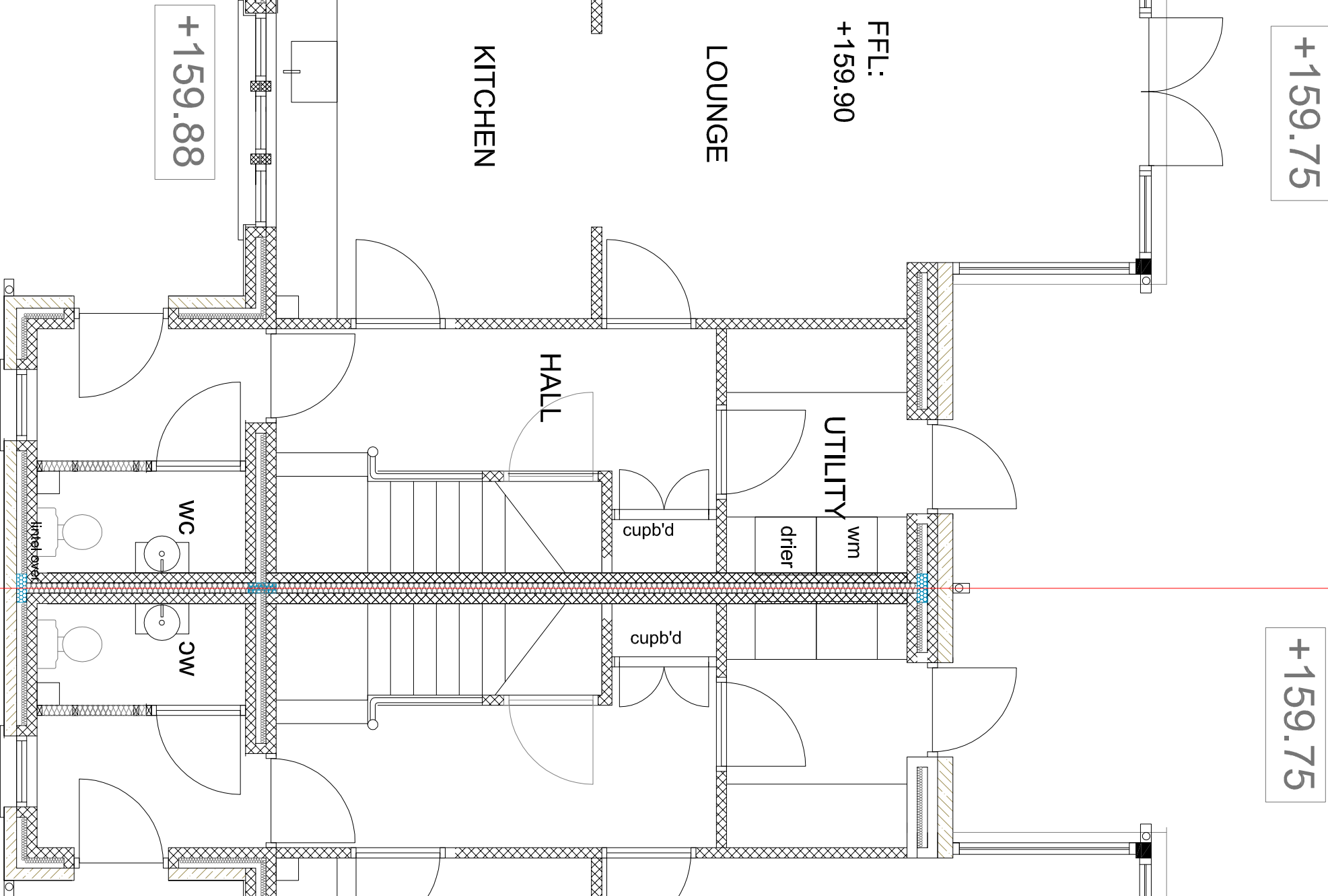
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2



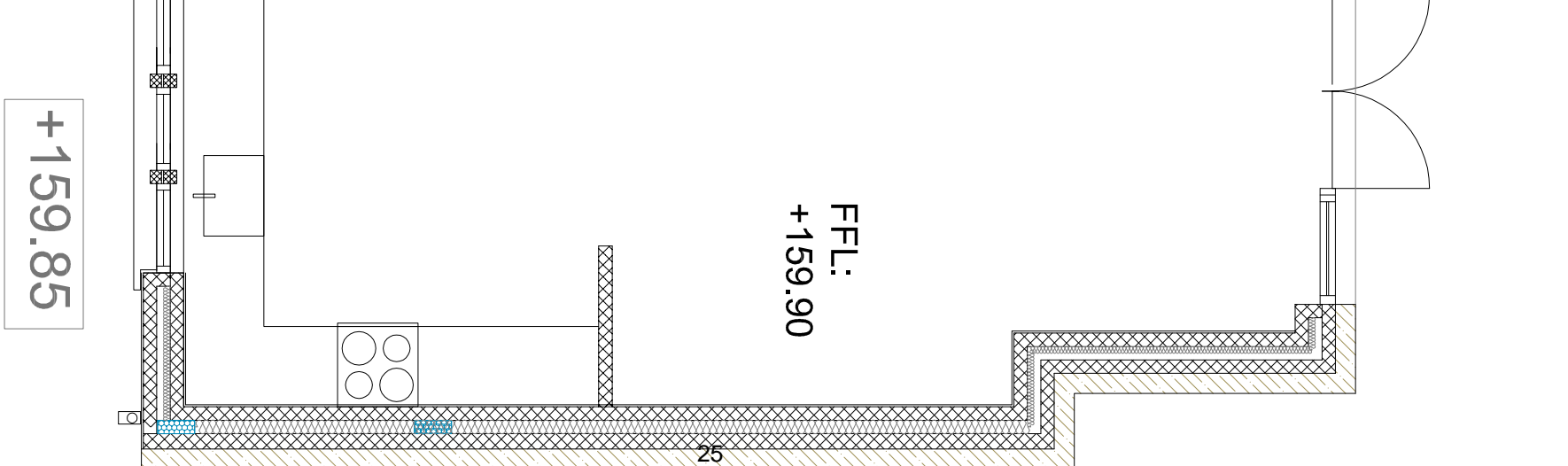
PLOT

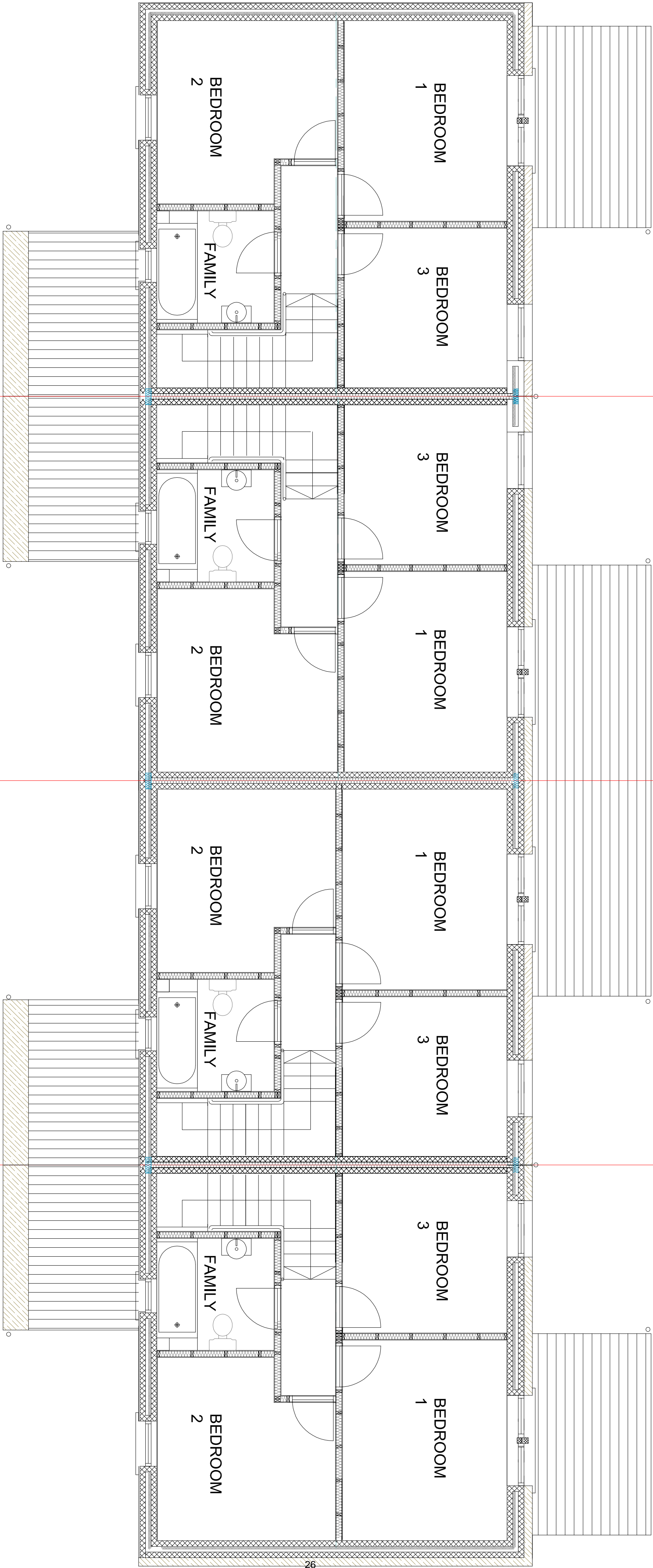
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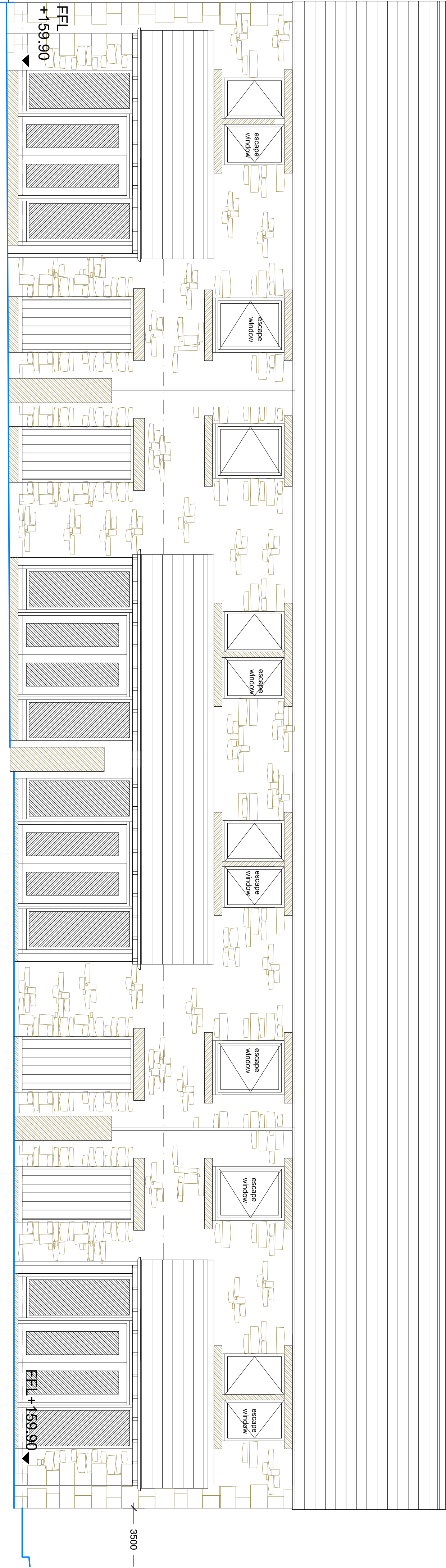


PLOT

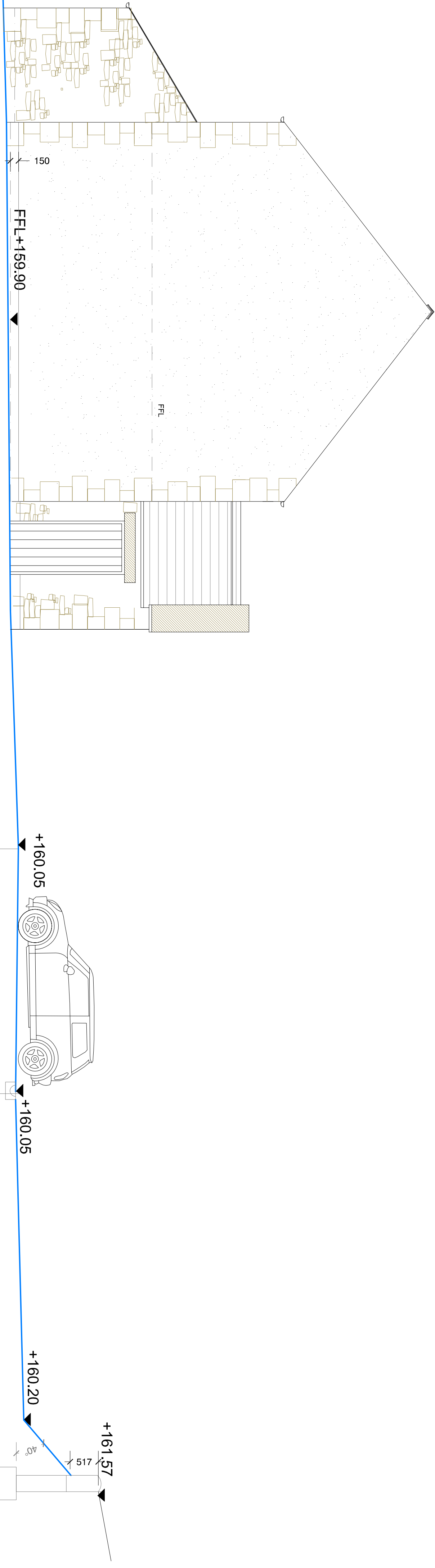
4







SOUTH-WEST ELEVATION 1:50



SOUTH-EAST ELEVATION 1:50

Item No: 03

Date of Committee: 09/03/2012

Appn Ref No:
11/1008

Applicant:
S Tyrrell Roofing

Parish:
Carlisle

Date of Receipt:
23/11/2011

Agent:

Ward:
Botcherby

Location:

Garage to rear of Geltsdale Avenue, Carlisle CA1
2RL

Proposal: Change Of Use Of Garage And Adjacent Land To Storage For Roofing
Materials (Retrospective Application)

REPORT

Case Officer: Stephen Daniel

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Proposal Is Acceptable In Principle
2.2 Impact On The Character Of Area
2.3 Impact On The Living Conditions Of The Occupiers Of Neighbouring
Properties

3. Application Details

The Site

- 3.1 Members will recall that this application was deferred at the last committee so that a site visit could be undertaken.
- 3.2 The garage is located at the end of a block of seven garages, which are accessed from Geltsdale Avenue. Residential properties surround the garage block, with dwellings at Chapelbrow being located to the south and those on Geltsdale Avenue adjoining the garages to the east and west.
- 3.3 The garages are constructed of brick, with timber doors. A number of the garages are in a poor state of repair and appear to be unused, with grass

and weeds growing in front of some of them. The applicant has fenced off the area in front of his garage with a steel palisade fence/ gates to improve security. The fence is dark green, with the gates being galvanised steel. The access road into the garages has recently been repaired with hardcore by the applicant.

Background

3.4 The applicant has submitted some supporting information, which is summarised below.

- the garage is used for light storage of roofing products, including scaffolding;
- the garage is only used 2-3 times a week at most;
- a large amount of work has been undertaken at the garage in recent weeks in order to prepare it for business use and this work has now been completed. These works have included the removal of a bank to side of garage; erection of metal fence in front of garage; putting hardcore at entrance of garage; putting hardcore on land surrounding the end garage; the erection of fence for 1a Geltsdale (next to garage); and roofing work for 1a Geltsdale;
- the metal fence was erected to stop people taking a short cut through the garages from Chapelbrow and to improve security for the business;
- no other owners of the garages have a right of way over the land that has been fenced off (this has been confirmed by the applicant's solicitor);
- putting hardcore down has stopped the access from getting churned up;
- no more building materials will be dropped off as all the building work has been carried out and no more skips or any other wagons will access the land in connection with the business;
- the garage will only be used between the hours of 8.30am and 5pm, so noise will be kept to a minimum;
- my vehicle will be parked on my own land (behind the fence).

The Proposal

3.5 The applicant is seeking retrospective planning permission to use the garage and the area to the front of the garage, which has been fenced off, for the storage of roofing materials and the applicant's scaffolding. The business would be operated in accordance with the details set out above.

4. Summary of Representations

4.1 This application has been advertised by means of a site notice and notification letters sent to ten neighbouring properties. In response two letters of objection (one sent by the Chair of the Botcherby Residents Action Group, on behalf of local residents), a petition signed by eighteen local residents, one letter of support and one comment have been received. Cllr Betton has also objected to the proposal.

4.2 The letters of objection make the following points:

- the applicant's vehicles are causing damage to the entrance of the block of 7 garages;
- the ground in front of the garages is getting churned up with the applicant's vehicles and also by skip wagons which collect full skips or drop off empty ones;
- the road surface entry to the garages is not a hard surface and is not suitable for heavy commercial vehicles (skip vehicles etc). The damage to the entry creating a mud bath has created a hazard to other garage users. The owner of the garage has tried to rectify the "mud bath" in question on two occasions after complaints made to the planning office. However, the gravel laid only serves as a temporary measure the weight of the commercial vehicles quickly return the surface to a mud bath;
- if the applicant is loading his vehicles or having roofing material delivered the other garage users have to wait;
- a number of industrial vans, pick-ups etc are parked at the forefront of the other garages, thus restricting/preventing other garage owners using their own garages for personal use;
- these garages were built for domestic use not commercial use;
- the garage is positioned at the end of the block and has been segregated from the others with iron rails used to secure prisoners in jail;
- the land at the front of the garage is used as a building site for skips and other building materials;
- Geltsdale Avenue is a one way road and parking is restricted to one side of the narrow road. Commercial vehicles have great difficulty exiting the garage because of parked cars and mount the pavements/grass verges. This not only creates a danger to children playing but has created a mud bath on the verges thus creating a hazard to the general public;
- there is also the noise aspect of loading and unloading early in the

morning and this is not acceptable within a residential area.

- 4.3 A petition has been received which objects to the change of use of the garage. This has been signed by eighteen local residents.
- 4.4 Cllr Betton has raised the following objections to the application:
- the entrance road is very narrow and access is limited by way of vehicle width and the garage is a private garage for private use only;
 - the grass verges/road at the entrance have been damaged and churned up. This could be a future problem for residents of the area with large vehicles loading/ unloading on a frequent/ regular basis. The land is unadopted and this could be a future problem by way of who will pay for future damage caused;
 - the area is a quiet residential area and this could change due to the proposal causing noise nuisance at unwanted times of the day on a regular basis;
 - Geltsdale Avenue is one way and residents cars already park on the left of the narrow road by the garages. Evidence of the churned up road entrance and verges suggest large vehicles have churned the area up because of limited space;
 - Geltsdale Avenue has had road improvements recently completed and future large vehicle use could cause concern;
 - the area has already been fenced off and vehicle turning access for existing tenants is difficult in the small area left - there will also be inconvenience caused to tenants who wish to park outside their residential garages as they will not be able to due to change of use if granted;
 - the garages are in a residential area and are described and defined as garages for residential use.
- 4.5 The letter of support has been submitted by a resident who lives directly adjacent to the garage block. This states that having endured seven years of members of the public using this area as a shortcut to and from the Chapelbrow Estate and numerous accounts of vandalism i.e. fires/ break-ins and general anti-social behaviour, the situation has improved 100% and these events no longer occur since the applicant moved in. Maybe the situation regarding the surface of the lane could be improved by the introduction of a more permanent road surface.
- 4.6 One comment has been received. This states that the substantial work in reinforcing the fencing between the garages and the Chapelbrow development and the additional gated steel fence adjoining the end garage has provided excellent security against people using the area as a shortcut between the two areas and also as a gathering place for youths. The only

problem which has arisen as a result of the frequent use by heavy vehicles is that the dirt track leading to the garages is being eroded quite significantly, causing muddy conditions which are being transferred onto pedestrian areas.

The residents of Geltsdale Avenue fought a hard battle with the help of Cllr Betton, to have the road and pavements improved and resurfaced and to see them sullied causes resentment. As a goodwill gesture maybe the applicant would be amenable to tarmacing the dirt track and eliminating this problem.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objections, providing the vehicles using the site are <7.5t gwv.

6. Officer's Report

Assessment

6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, H2, CP5 and CP6 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:

1. Whether The Proposal Is Acceptable In Principle

6.2 The garages are located in a residential area and have historically been used as residential garages. The proposal is seeking to use one of the garages to store roofing materials. The use would only attract approximately three visits to the garage per week between the hours of 8.30am and 5pm. The proposed use would not, therefore, be dissimilar to the residential use of the garage and might actually lead to fewer vehicles movements than if the garage was used to store a car. In light of the above, the use of the single garage for proposed storage of roofing materials would be acceptable in principle.

2. Impact Of The Proposal On The Character Of The Area

6.3 The applicant is currently using the area to the front of the garages to store materials and this looks unsightly. He has also used this area to store skips, whilst the site was being cleared and the garage repaired. Following discussions with the applicant, it is apparent that skips are no longer needed at the site. It is suggested that a condition is added to the permission to restrict the area of open storage to an area to the south of the existing garage block and to limit its height to 1m.

6.4 Some local residents have commented on the unsightly appearance of the palisade fence/ gates, which have been erected to the front of the garage. These are visible from Geltsdale Avenue and the galvanised steel gates are prominent from the road and do look unsightly. If these gates were painted dark green, to match the fence, this would improve their visual appearance. This can be secured by condition.

3. Impact On The Living Conditions Of The Occupiers Of Any Neighbouring Properties

- 6.5 The applicant is proposing to visit the garage three times per week in a transit van. Visits would take place between the hours of 8.30am and 5.30pm from Mondays to Saturdays. It is suggested that conditions are added to the permission to make it personnel to the applicant; to restrict the hours of use; to limit the areas of open storage; and to ensure that the gates are painted dark green to match the fence. In light of the above, the proposal would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties.

Conclusion

- 6.6 In overall terms, the proposal would be acceptable in principle. It would not have an adverse impact on the character of the area or on the living conditions of the occupiers of any neighbouring properties. In all aspects the proposal is considered to be compliant with the objectives of the relevant adopted Local Plan policies.

7. Planning History

- 7.1 There is no planning history relating to this site.

8. Recommendation: Grant Permission

1. The approved documents for this Planning Permission comprise:
1. the submitted planning application form, received 18 November 2011;
 2. Site Location Plan, received 18 November 2011 (Drawing No. 001);
 3. Block Plan, received 23 November 2011 (Drawing No. 002);
 4. Plan Identifying Outside Storage Area, received 11 January 2012;
 5. the Notice of Decision; and
 6. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

2. The premises shall be used for the storage of roofing materials and the applicant's scaffolding and for no other purpose.

Reason: To preclude the possibility of the use of the premises for purposes inappropriate in the locality, in accordance with

Policies CP5, CP6 and H2 of the Carlisle District Local Plan 2001-2016.

3. This permission shall not be exercised by any person other than Mr Sean Tyrell (S Tyrell Roofing).

Reason: But for the special circumstances of the applicant permission would not be forthcoming and in order to safeguard the character of the area and to protect the amenity of local residents, in accordance with the objectives of Policies H2, CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

4. The garage shall only be used between the hours of 8.30am to 5.30pm on Mondays to Saturdays and shall not operate at all on Sundays or statutory holidays.

Reason: To prevent disturbance to nearby occupants in accordance with Policies CP5, CP6 and H2 of the Carlisle District Local Plan 2001-2016.

5. No materials shall be stored or deposited in the open area to the front of the garage. Any materials that are stored on the site shall be stored in accordance with Drawing 003 (Plan Identifying Outside Storage Area), received on 11 January 2012.

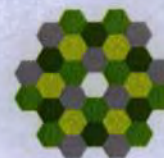
Reason: To ensure that the proposed development does not have an adverse visual impact on the character of the area, in accordance with Policies CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

6. Within 2 months of the date of this permission, the applicant shall paint the gates a dark green colour.

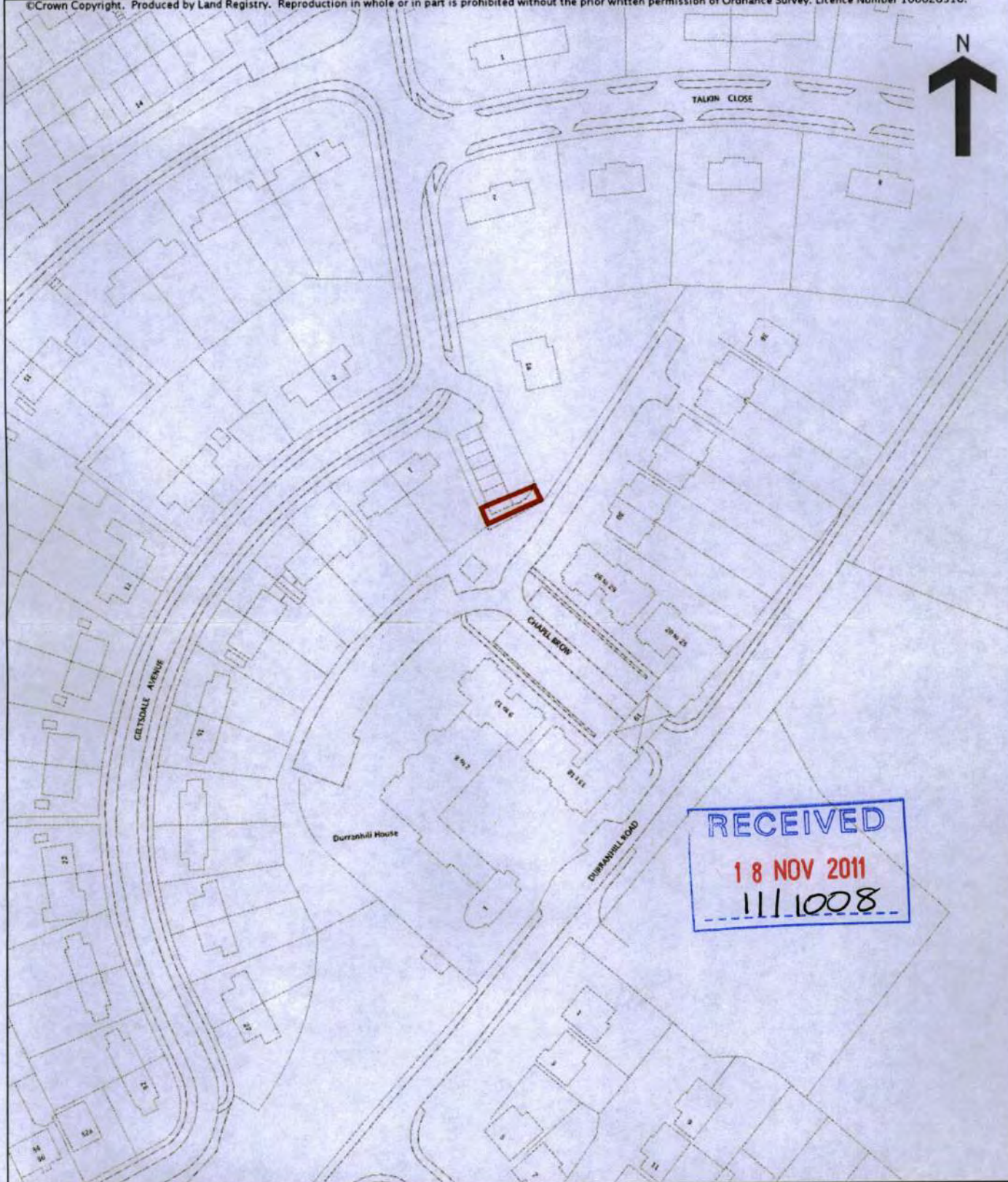
Reason: To ensure that the proposed development does not have an adverse visual impact on the character of the area, in accordance with Policies CP5 and CP6 of the Carlisle District Local Plan 2001-2016.

Land Registry
Official copy of
title plan

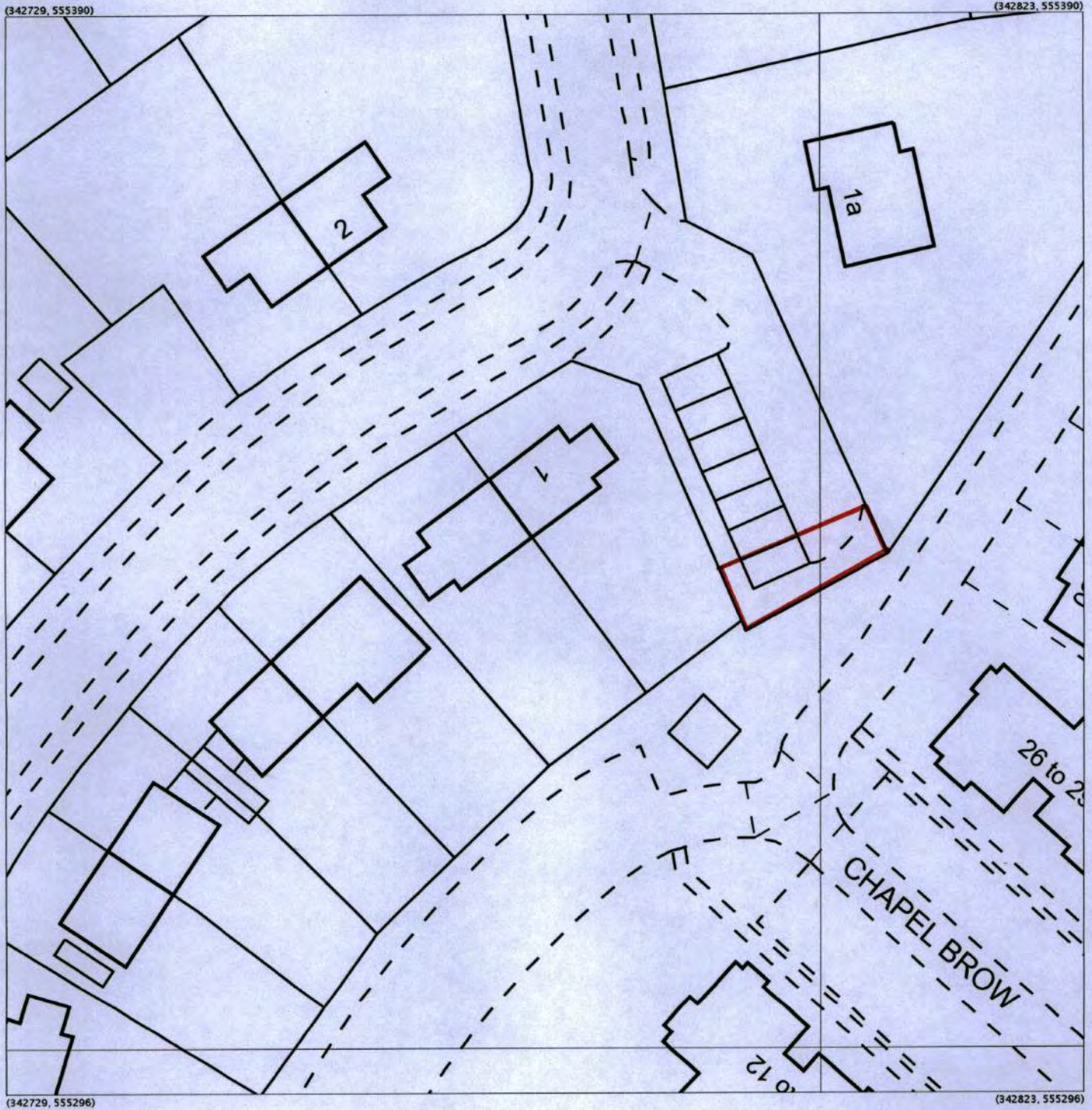
Title number **CU240084**
Ordnance Survey map reference **NY4255SE**
Scale **1:1250**
Administrative area **CUMBRIA : CARLISLE**



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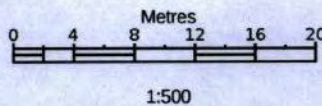
SITE LOCATION PLAN: DRG. NO. 001.



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Supplied by: **Latitude Mapping Ltd**
Reference: OI342847
Centre coordinates: 342776 555343

1 GELTSDALE AVENUE
CARLISLE
CA1 2RL



BLOCK PLAN
DRG NO. 002

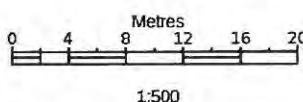
The area highlighted in red is where I will store my roofing materials, therefore keeping them out of public view. The materials I will store will not exceed 1 meter in height.



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Supplied by: Latitude Mapping Ltd
Reference: OI342847
Centre coordinates: 342776 555343

1 GELTS DALE AVENUE
CARLISLE
CA1 2RL





11/1008
22 DEC 2011

Hello the residents of Geltsdale Ave, my name is Sean Tyrrell I'm sure you have already heard of my name. Just thought I would take some time to write to you all, as I hear you all have some concerns about me coming to your area. I am a reasonable person and would like to ask anyone who has any issues about my use, to come and talk to me.

Anyway just think I should talk about my intended use of the garage, I am not about turning your road into a constant building site. I intend on using it for the light storage of my roofing products. As I am not a builder there will be very little in the way of these. I also have a scaffold which I store in my garage.

I estimate I will only use the garage 2-3 times a week at most, the reason you have seen so much of me up until now was the work I have been doing in the area. As listed:-

- Removal of bank to side of garage
- Erection of fence for 1a Geltsdale (next to garage)
- Roofing work for 1a Geltsdale
- Erection of metal fence in front of garage
- Hardcore and free standing to entrance of garage
- Hardcore and free standing to land surrounding my garage

Think I should mention that in the completion of all this work you will start to barely notice me around. The reason for the metal fence was after, in talking with owner of 1a Geltsdale I found out people were using the lane as a short cut. So the idea came of putting a fence up to stop this came about. Also to protect any of my roofing products being broken or stolen. I made sure my actions in doing this were correct, by contacting my solicitor; she informed me my garage was in the unique position of being able to do this, being the end one. And no other owners of the garages have right of way over my land.

I would never have done this if anyone had expressed any objections to this, I ran this past a fireman who also has a garage on the block, and he expressed no concern. He did have one though in being that the land was getting churned up, so I told him that would sort it. With putting some hardcore down, he was happy and in doing so I think I made a friend.

I have since found out about a petition against me being there, and I do understand about all the issues I have read. So I have decided to act on them, all being listed below

- Skips getting dropped off
- Building materials dropped off
- Possible noise on me collecting my products
- Blocking people from their garages

I would like to say there will be no building materials dropped off, at any point in the future, as all work has been carried out. No more skips or any other wagons will access the land in connection with me being there.

Also I will only use the garage between the hours of 8.30am and 5pm, so noise will be to a minimum, and will park my vehicle on my own land. So I can not prevent anyone from accessing their garage.

I really hope these things will put people's minds to rest on the way things are going to be on Geltsdale Ave, I understand this is your Avenue and you come first "as you should! The last thing I would like to say is I hold no ill feeling with anyone about the events that have arisen. Being objections and partition! I'm here to be spoken to and will continue to be whatever the eventual decision.

Thanks for taking the time to read this and hope you all have a good and peaceful Christmas.

Regards Sean Tyrrell

Item No: 04

Date of Committee: 09/03/2012

Appn Ref No:
11/1037

Applicant:
Mr Adrian Mason

Parish:
Hayton

Date of Receipt:
28/11/2011

Agent:
Architects Plus (UK) Ltd

Ward:
Hayton

Location:

Rosegarth, Brier Lonning, Hayton, Carlisle, CA8
9HL

Proposal: Demolition Of Existing Detached Garage And Erection Of 1No.
Detached Bungalow

REPORT

Case Officer: Shona Taylor

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Principle Of The Proposed Development Is Acceptable
- 2.2 Whether The Scale, Layout And Design Of The Development Is Acceptable
- 2.3 The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents
- 2.4 Highway Matters
- 2.5 Impact Upon Trees

3. Application Details

The Site

- 3.1 The application site is located within the settlement of Hayton, the plot is part of the curtilage of Rosegarth, a detached bungalow set within a large garden. There is an existing detached garage to the north west of Rosegarth, which is accessed via the north east of the site, with the public highway, Brier Lonning, located to the east of Rosegarth. The boundaries of the property are treated by way of a sandstone wall to the highway, with a mixture of close boarded fencing and hedging surrounding the remainder of the site.

The Proposal

- 3.2 The application seeks consent for the erection of a detached property, with an attached garage. The submitted drawings illustrate a single storey bungalow, with 12 solar pv units on the south-west elevation. Vehicular and pedestrian access to the proposed property would be via a shared access with the adjacent property, Rosegarth.
- 3.3 The accommodation provided would consist of an entrance hall, lounge, family room/dining room, kitchen, utility, bathroom. and garage with three bedrooms, one of which will be en-suite. The building would be finished from rendered blockwork walls with sandstone features, under a concrete tile roof. The windows would be double glazed timber effect upvc units.

4. Summary of Representations

- 4.1 This application has been advertised by means of a site notice and notification letters sent to neighbouring properties. In response one letter of objection has been received. The grounds of objection are summarised as;
1. There is a culverted watercourse which runs through this property and the neighbouring property, there is an inspection lid to the rear of the garage that is intended to come off should the water rise in the covered beck, releasing the flood water into the field beyond. As such the control and maintainance of this stream needs to be a priority.

5. Summary of Consultation Responses

Cumbria County Council - Highway Authority: - no objection subject to the inclusion of two conditions;
Clerk to Hayton Parish Council: - supports the neighbours concerns, regarding the potential flood risk and whether the sewerage system as it presently exists can cope with additional expansion within the village;
Carlisle Airport: - no objections.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, CP5, CP6, CP12, H1, and T1 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:
1. Whether The Principle Of The Proposed Development Is Acceptable.
- 6.2 The application site lies within the settlement boundary of Hayton, which is identified as a Local Service Centre by Policy H1 of the Local Plan. As such the principle of residential accommodation is acceptable, subject to

compliance with the criteria identified in Policy H1 and other relevant policies contained within the Local Plan.

2. Whether The Scale, Layout And Design Of The Development Is Acceptable.

6.3 The footprint of the proposal is similar to that of the surrounding dwellings and the ridge height of the new dwelling will be approximately 0.7 metres lower than that of the adjacent property, Rosegarth. The external appearance when viewed from the front elevation utilises design features of the adjacent properties, including the sandstone quoins.

6.4 The property will be set back from the roadside by a minimum of 20m, and will be viewed behind the existing trees, hedging and sandstone wall. As such it is not considered that the dwelling would have an impact that would adversely affect the character or appearance of the surrounding area

3. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents.

6.5 The majority of the neighbouring properties are positioned sufficient distance away or orientated in such a way not to be directly affected as a result of loss of loss, loss of privacy or overdominance.

6.6 Whilst it is noted that the proposed dwelling is situated 1.5m away from Rosegarth at the closest point, due to the position of the properties, located on an oblique angle to each other, along with their orientation, it is not considered that there would be any issues of overlooking or privacy.

4. Highway Matters

6.7 The Highway Authority has raised no objections to the proposal, and are satisfied that the access and parking facilities at Rosegarth are adequate to support a second dwelling. They have recommended that two planning conditions are imposed.

5. Impact Upon Trees

6.8 The City Councils tree officer has confirmed no objections to the proposal, but has however requested that a condition is attached, requesting a scheme of tree protection being agreed in writing with the Local Authority prior to the commencement of any works on site.

6. Other Issues

6.9 The Parish Council and the occupier of a neighbouring property have raised concerns about the development, due to the fact that there have been issues with flooding at the site, due to a culverted stream which runs through the site. The Councils drainage engineer has been consulted as a result of these

concerns, stating that whilst she is aware of the culvert she has not had any reports of flooding at the site, although it is noted that if the owner deals with the flooding, as has been stated, then there would have been no reason for them to inform her.

- 6.10 The drainage engineer has noted that the applicant is proposing to discharge the surface water to a soakaway, which she considers will be acceptable, providing the soakaway is not allowed to be further connected to the culvert. She has also noted that if the proposal is to be granted permission then her advice would be that floor levels of the property should be above previous flood levels, but without any increase in garden levels so that the risk to other properties is minimised. This can be secured by a condition requiring details of the proposed levels to be submitted.

Conclusion

- 6.8 In overall terms, the principle of the development is acceptable. The scale, siting and massing of the proposed dwelling is acceptable in relation to the adjacent property, its setting and the street scene. The living conditions of neighbouring properties would not be compromised through unreasonable overlooking or overdominance. Adequate car parking, access and amenity space would be provided to serve the dwelling. In all aspects the proposal is compliant with the objectives of the Local Plan policies.

7. Planning History

- 7.1 There is no relevant planning history.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
1. the submitted planning application form;
 2. the location plan received 28th November 2011 (drawing number 10057-00);
 3. the existing site survey received 28th November 2011 (drawing number 10057-01);
 4. the proposed plans and elevations received 28th November 2011 (drawing number 10057-02A);
 5. the tree survey schedule received 28th November 2011;
 6. the design and access statement received 28th November 2011;

7. the Notice of Decision; and
8. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. Notwithstanding any description of materials in the application no development shall be commenced until samples or full details of materials to be used externally on the building(s) have been submitted to and approved by the Local Planning Authority. Such details shall include the type, colour and texture of the materials.

Reason: To ensure that materials to be used are acceptable and in accord with CP5 of the Carlisle District Local Plan 2001-2016.

4. No development hereby approved by this permission shall commence until details of the proposed hard surface finishes to all public and private external areas within the proposed scheme have been submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved details.

Reason: To ensure that materials to be used are acceptable and in compliance with the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. No development hereby approved by this permission shall commence until a scheme for the provision of surface water drainage works has been submitted to and approved in writing by the Local Planning Authority. Such a scheme shall be constructed and completed in accordance with the approved plans.

Reason: To ensure a satisfactory means of surface water disposal and in accord with Policy CP12 of the Carlisle District Local Plan 2001-2016 and in order to protect the safety, operational need and integrity of the railway.

6. No development hereby approved by this permission shall commence until a scheme for the conveyance of foul drainage has been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be brought into use the approved drainage scheme has been constructed and completed in accordance with the approved plans.

Reason: To prevent pollution of the water environment in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

7. The changes to the existing access and revised parking/turning facilities for the property known as 'Rosegarth', and for the new dwelling shall be substantially met before any building work on the new dwelling commences; and shall be maintained usable thereafter.

Reason: The carrying out of this development without provision being made at an early stage for these facilities to remain usable during the construction work is likely to lead to inconvenience and danger to road users and to support local transport policies LD8.

8. The new dwelling shall be occupied until the vehicular access, turning and parking requirements have been constructed in accordance with the approved plan and brought into use. These facilities shall be retained and capable of use at all times thereafter and shall not be removed or altered without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use, and to support Local Transport Plan Policies LD5, LD7 and LD8.

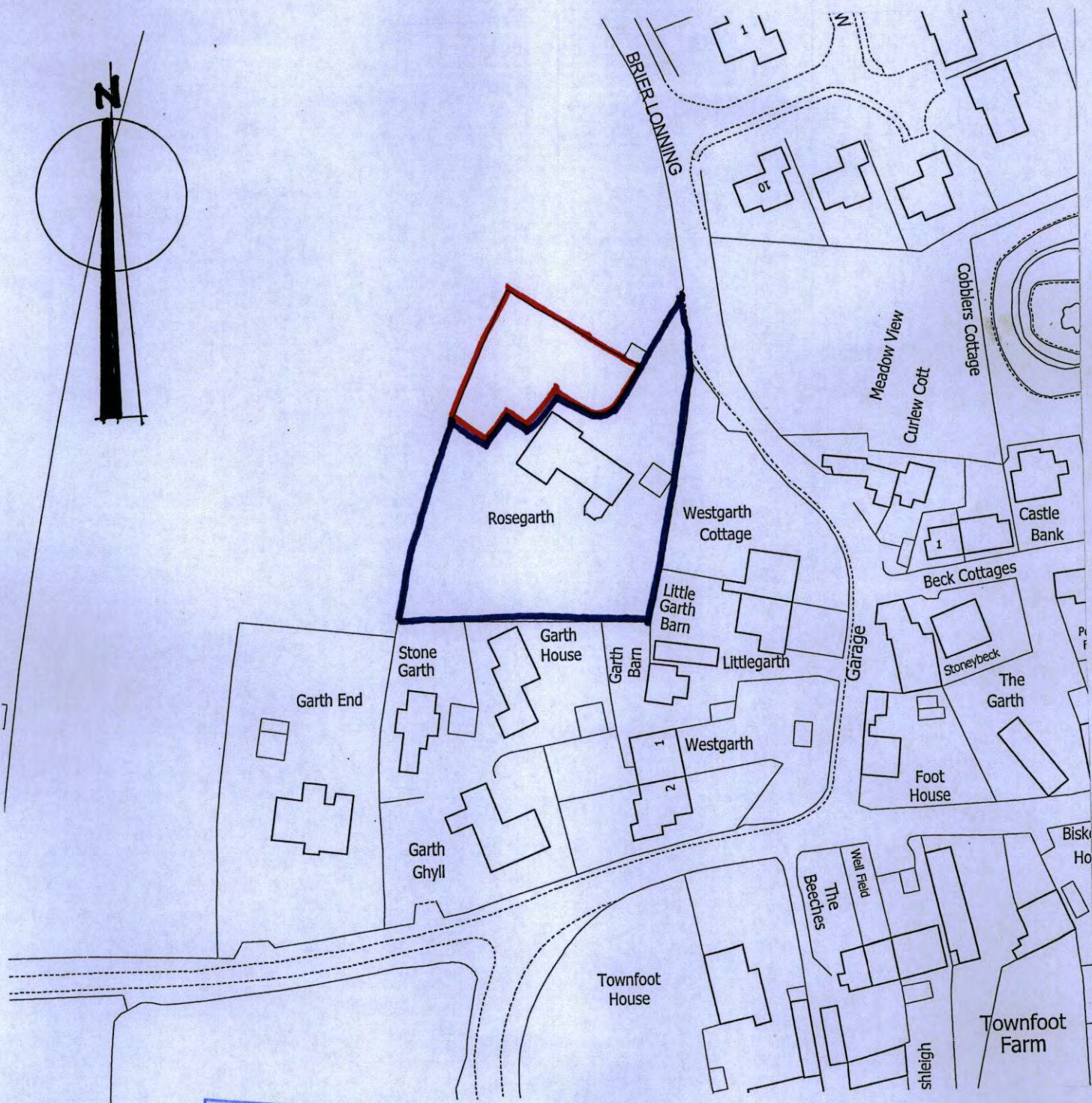
9. Details of the relative heights of the existing and proposed ground levels and the height of the proposed finished floor levels of the dwellings and any proposed garages shall be submitted to and approved in writing by the Local Planning Authority before any site works commence.

Reason: In order that the approved development overcomes any problems associated with the topography of the area, that it satisfies the requirements of the Drainage Engineer in relation to flood risk and that it meets the objectives of Policies H1 of the Carlisle District Local Plan 2001-2016.

10. Before any development is commenced on the site, including site works of any description, a scheme of tree protection shall be submitted to and approved in writing by, the Local Planning Authority.

Reason: In order to ensure that adequate protection is afforded to all trees/hedges to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

This drawing is copyright. Figured dimensions are to be followed in preference to scaled dimensions and particulars are to be taken from the actual work where possible.
Any discrepancy must be reported to the architect immediately and before proceeding.



revision
Rev. Date Description

Revised by

Project

New dwelling adjacent to
Rosegarth, Hayton

Drawing

LOCATION PLAN

Client

Mr A Mason

48

PLANNING ARCHITECTS PLUS

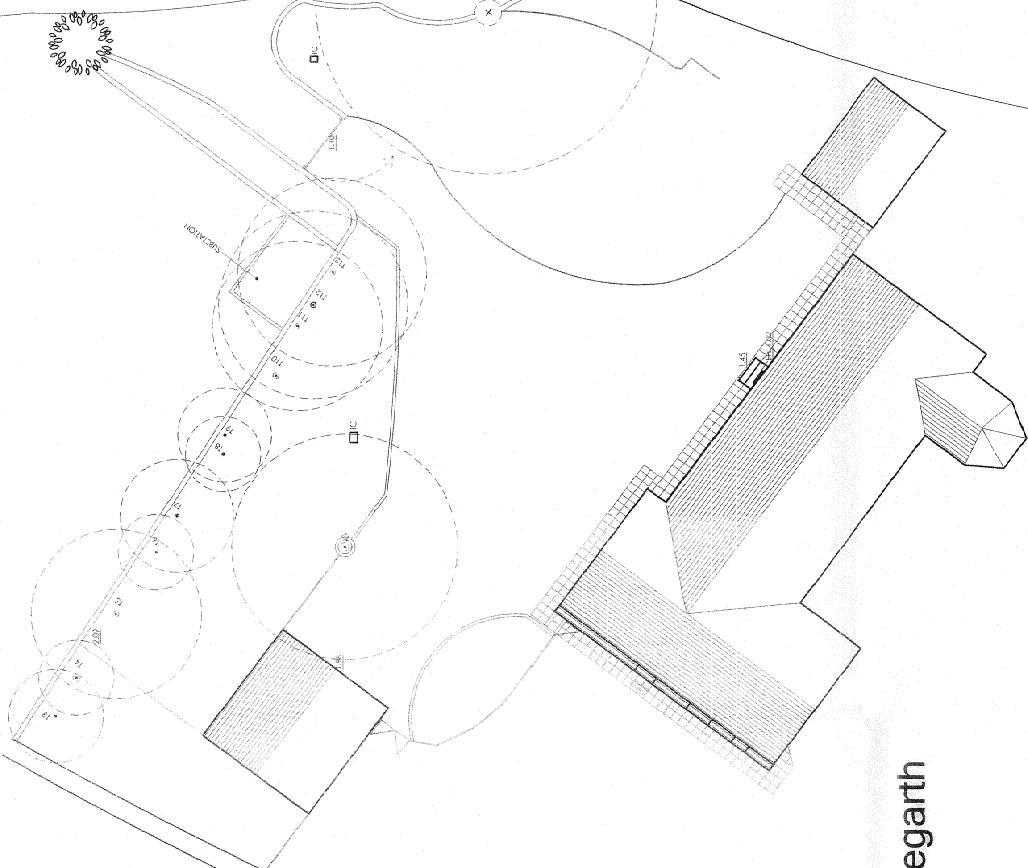
Scale	Date	Drawn	Comp.No.	Number
1:1250	11/11	DB	P01	10057-00



Architects Plus (UK) Limited
Victoria Galleries, Viaduct House, Victoria Viaduct, Carlisle, CA3 8AN
tel: 01228 515144
fax: 01228 515033
Registered In England No. 4221140
email: ap@architectsplus.co.uk
web: www.architectsplus.co.uk

Meadow View

Curlew Cott



Rosegarth

Westgarth Cottage

Little Garth
Cottage

Garth
Barn

Garth House

Stone Garth

Beck Cottages

Garage

Littlegarth

ARCHITECTS

PLU S

Project

Mr A Mason

Rosegarth, Hayton

Stoneybeck

As Existing Site Survey

Scale 1:200

Date Nov-10

Drawn BD

Comp.No. S01

Number 10057-01

The garth

Architects Plus (UK) Limited

Registered in England No. 4221140

Victoria Galleries, Viaduct House, Victoria Viaduct, Carlisle, Cumbria, CA3 8AN

Tel: 01228 515144

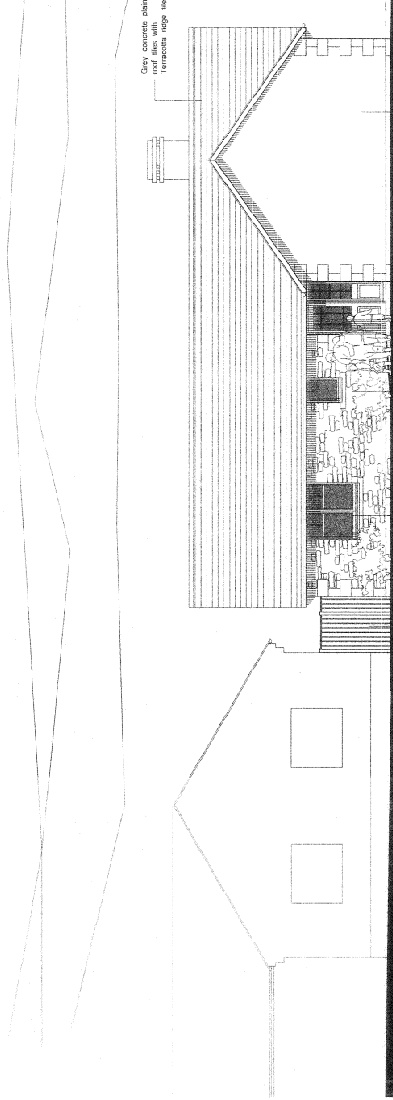
Fax: 01228 515033

email: ap@architectsplus.co.uk

web: www.architectsplus.co.uk

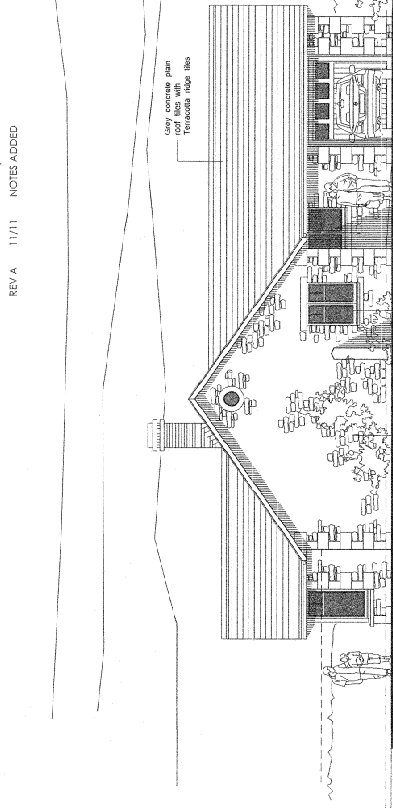
RECEIVED
28 NOV 2010
1110037

TREE PROTECTION MEASURES IN EXISTING TREE ON NORTH BOUNDARY
Prior to commencement on site, tree protection barriers to be erected along around edge of trees to be protected. The barriers to be erected adjacent to the existing tree, all to be in accordance with BS 1337.
Tree barrier fencing to be min 1200mm high. Chain-link fencing or other materials, rising by storage of timber, from reception of the accommodation, disposal of waste, or parking of vehicles to take place within the exclusion zone. Barrier to be retained and adequately maintained throughout the course of the development.
Where trees are to be removed, the contractor shall be responsible for the removal of the trees, all digging to be carried out by hand around the line of use of mechanical diggers. If roots smaller than 25mm diameter have to be cut, the roots shall be cut back clearly to appropriate pipe roots.
Roots larger than 25mm in diameter should be retained and protected unless otherwise agreed in writing by the planning authority.
Where trees are to be removed, the contractor shall be responsible for the removal of the trees, all digging to be carried out by hand around the line of use of mechanical diggers. If roots smaller than 25mm diameter have to be cut, the roots shall be cut back clearly to appropriate pipe roots.
Roots larger than 25mm in diameter should be retained and protected unless otherwise agreed in writing by the planning authority.
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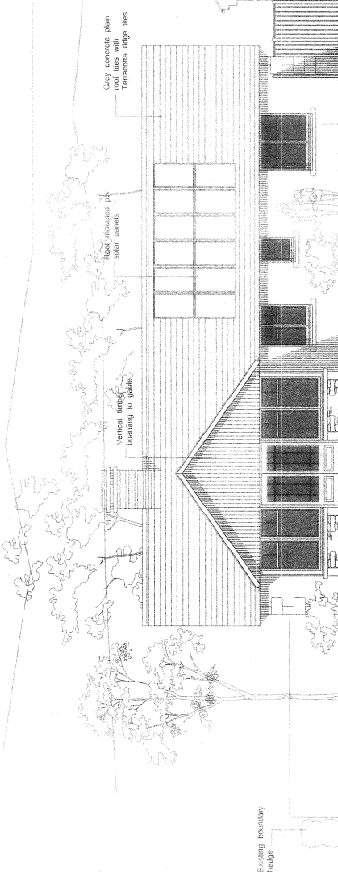
NORTH-EAST ELEVATION

Timber effect UPVC windows with Arstone finish
Self coloured render with Arstone finish



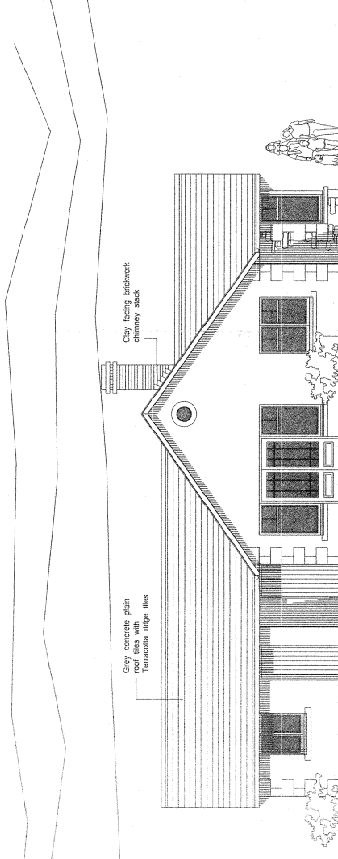
SOUTH-EAST ELEVATION

Natural Sandstone finish with Arstone finish
Timber effect UPVC windows with Arstone finish



SOUTH-WEST ELEVATION

Self coloured render with Arstone finish
1.5M high stone boundary wall and gate



NORTH-WEST ELEVATION

Self coloured render with Arstone finish
Self coloured render with Arstone finish

PROPOSED MATERIALS

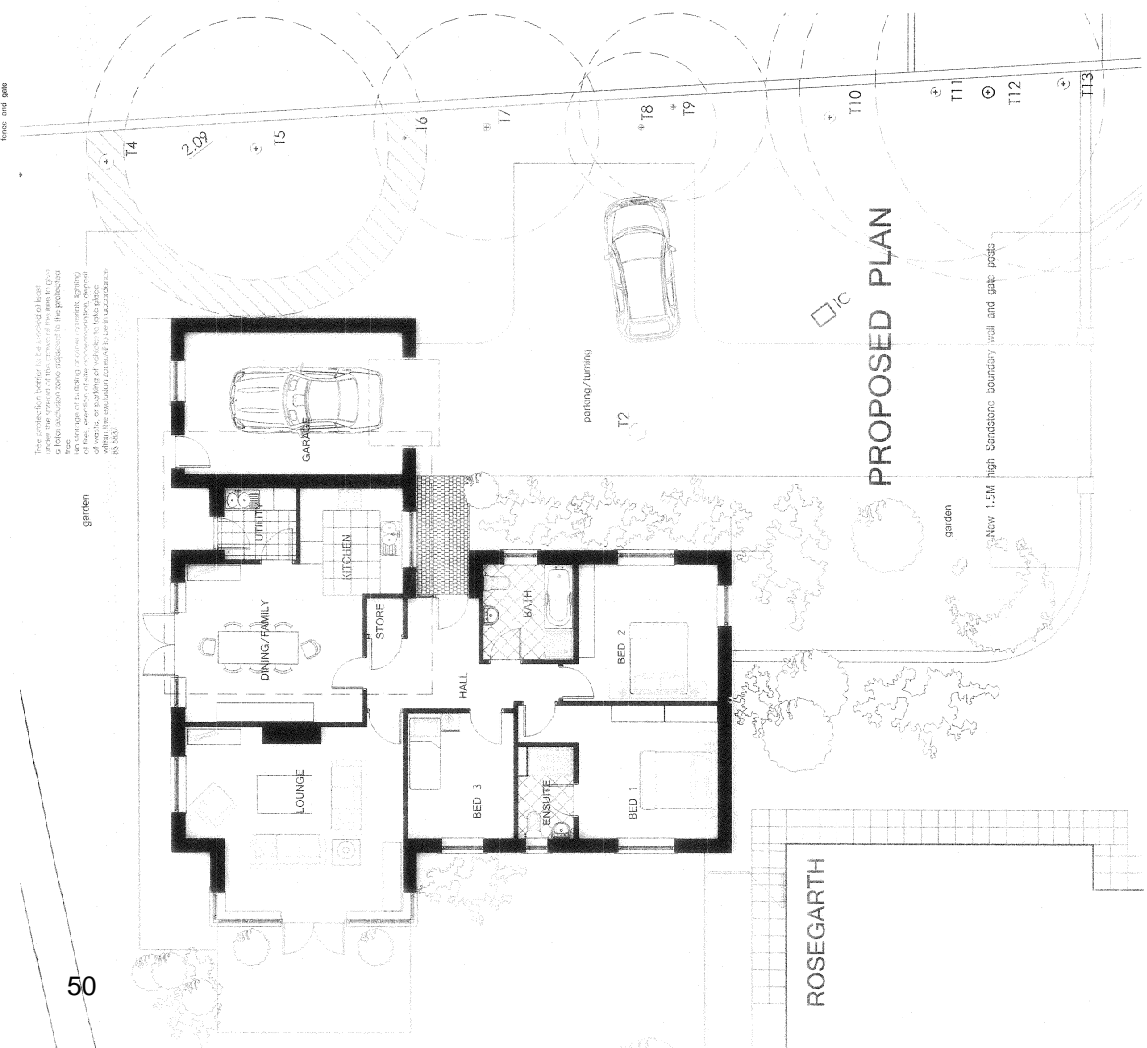
ROOF
Grey plain concrete roof tiles with Redland Half Round Dry Ridge Colour: Terracotta

WALLS
Natural sandstone with Arstone finish, sills and sandstone coping etc
Self coloured render - wood float finish

WINDOWS AND EXTERNAL DOORS
UPVC external doors and windows
Colour: Timber effect

BOUNDARY TREATMENT
Existing hedging to West boundary carefully retained.
Existing sandstone boundary walling to North of site retained and new matching 1.5M high sandstone walling built to front garden/entrance area
1.8M high timber boarded fencing to rear garden against Rosegarth

FOOTPATHS AND PAVING
Site entrance of existing terrace entrance roadway shared with Rosegarth.
Gravel access roadway to be extended into the site.
Parking/turning area of gravel finish
Block paving to patios and paths around new dwelling



PROPOSED PLAN

ROSEGARTH

PROPOSED SITE PLAN 1:200

PLANNING
ARCHITECTS
P L U S

Project
Mr A Mason,
Rosegarth, Hayton
Proposed dwelling

Scale Date Drawn Comp No. Number
1:100 12/01/11 DB P01 10057-02A
1:200

Architects Plus (UK) Limited
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Tel: 01228 515144
Email: ap@architectsplus.co.uk
Web: www.architectsplus.co.uk

RECEIVED
28 NOV 2011
11/037

Item No: 05

Date of Committee: 09/03/2012

Appn Ref No:
11/1095

Applicant:
Mr Fraser

Parish:
Wetheral

Date of Receipt:
11/01/2012

Agent:

Ward:
Great Corby & Geltsdale

Location:

Hillside, Great Corby, Carlisle, CA4 8LT

Proposal: Demolition Of Porch And Erection Of Replacement Porch And WC
Together With Redevelopment Of Single Storey Rear Extension (Part
Retrospective)

REPORT

Case Officer: Rebecca Burns

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Scale And Design Is Acceptable
- 2.2 Impact On The Living Conditions Of The Occupiers Of Neighbouring Properties
- 2.3 Impact Upon The Conservation Area And Adjacent Listed Buildings
- 2.4 Impact Upon Biodiversity And Ecology

3. Application Details

The Site

- 3.1 The existing dwelling is a semi-detached property constructed of brick and sandstone under a slate roof. The site is located within Great Corby Conservation Area and is situated between the Grade II listed buildings of Clematis Cottage and Hawthorn Cottage.

Background

- 3.2 In 2011 the existing single storey rear extension was demolished and redeveloped without planning permission.

The Proposal

- 3.3 This application is seeking permission to demolish the existing porch and erect a replacement porch with WC to the side elevation together with retrospective permission for a single storey rear extension.
- 3.4 The extension to provide the replacement porch and WC will measure 4m by 1.7m and will have a lean to roof with a maximum height of 3.3m. The porch will be constructed of rendered block work to the side and rear with a sandstone frontage and white UPVC windows and doors.
- 3.5 The single storey rear extension measures 6.4m by 3m with a lean to roof with a maximum height of 3.8m. The rear elevation is finished in sandstone with render on the side elevations under a slate roof.

4. Summary of Representations

- 4.1 This application has been advertised by the means of a site notice, a press notice and the direct notification of five neighbouring properties. No written or verbal representations have been received to date however the consultation period has not yet expired.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - no objection;
Clerk to Wetheral PC, Warwick Mill Business Village: - comments awaited.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies CP2, CP5, H11, LE12 and LE19 of the Carlisle District Local Plan 2001-2016. The proposals raise the following planning issues:
1. Impact Of The Proposal On The Living Conditions Of The Neighbouring Residents
- 6.2 There will be one window located on the north east elevation of the porch however this will replace an existing window on this elevation and, as such, will not cause any increase in overlooking to the neighbouring property, Hawthorn Cottage. There is one window on the rear elevation of the rear extension and one window and patio doors located on the south west elevation. The site is bounded to the south west by a 2.5m high wall which forms the side elevation of the rear extension to the attached property, Holmeview. The site is bounded to the rear by a 1.4 m high wall which delineates the gardens of the application site and the neighbouring property to the rear, 3 The Orchard, which is situated approximately 37m from the rear

elevation of the extension. Furthermore, the windows serving the rear extension are located in the same position as the windows of the previous extension and the scale and design is very similar to that of the extension which has been replaced.

- 6.3 Accordingly, the proposals will not adversely affect the living conditions of the residents of neighbouring properties on the basis of loss of light, overlooking or over dominance.

2. Whether The Proposal Is Appropriate To The Dwelling

- 6.4 The scale and height of the proposals are comparable to the existing property. The porch will be constructed from materials to match the existing dwelling and the rear extension has been sympathetically designed and constructed from materials which compliment the property. The rear extension is very similar in scale and design to the previous rear extension and the attached property, Holmeview, has an extension of comparable scale and design. Accordingly, the proposals compliment the existing dwelling in terms of design and materials to be used.

3. Impact Upon Conservation Area And Adjacent Listed Buildings

- 6.5 Policies LE12 and LE19 of the Carlisle District Local Plan 2001-2016 seek to ensure that proposals which affect listed buildings and conservation areas are in sympathy with their setting, scale, and character. The proposed porch will be set back from the principle elevation and will be constructed from materials that will compliment the original dwelling. Furthermore the porch will replace an existing glazed porch with timber cladding which is not in keeping with the property. The single storey rear extension has been constructed from materials which compliment the dwelling with the entire rear elevation finished in sandstone. The Heritage Officer has been consulted and has raised no objections to the application however has recommended that the applicant consider the use of timber doors and windows for the proposed porch. However, it has been noted that Hillside, and a number of other properties within the vicinity, have inserted UPVC windows and doors therefore it will not be possible to enforce the use of timber in this instance. In such circumstances, the proposals will not have an adverse impact on either the neighbouring Grade II listed buildings or the conservation area.

4. Impacts Upon Biodiversity And Ecology

- 6.6 When considering whether the proposal safeguards the biodiversity and ecology of the area it is recognised that local planning authorities must have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended), and Article 16 of the Habitats Directive before planning permission is granted. Article 16 of the Directive indicates that if there is reasonable likelihood of a European protected species being present then derogation may be sought when there is no satisfactory alternative and that the proposal will not harm

the favourable conservation of the protected species and their habitat.

The City Council's GIS layer identified the potential for water voles, otters, breeding birds, red squirrel, bats and swans. However, given that the proposal relates to works to an existing dwelling within an established residential area, it is unlikely that there will be any harm to the favourable conservation of any protected species or their habitats. An advisory note has been added to this consent requesting that should any protected species be found during the works that all work must cease immediately and the Local Planning Authority must be notified.

Conclusion

- 6.7 In overall terms the scale and design of the proposal is acceptable and there will not be any adverse impacts upon the residents of the neighbouring properties as a result of poor design, unreasonable overlooking or unreasonable loss of daylight or sunlight. Furthermore, there will not be any detrimental impact upon the conservation area, the neighbouring listed buildings or the biodiversity of the area. In all aspects the proposal is compliant with the relevant policies contained within the adopted Local Plan.

7. Planning History

- 7.1 In 2011 the rear extension was demolished and redeveloped without planning permission.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this planning permission comprise:

1. the planning application form received 21 December 2011;
2. the existing and proposed floor plan and elevations received 11 January 2012 (Drawing No. 30-12-11);
3. the site location plan received 21 December 2011;
4. the block plan received 21 December 2011;
5. the Design and Access Statement received 10 January 2012;
6. the Notice of Decision; and
7. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

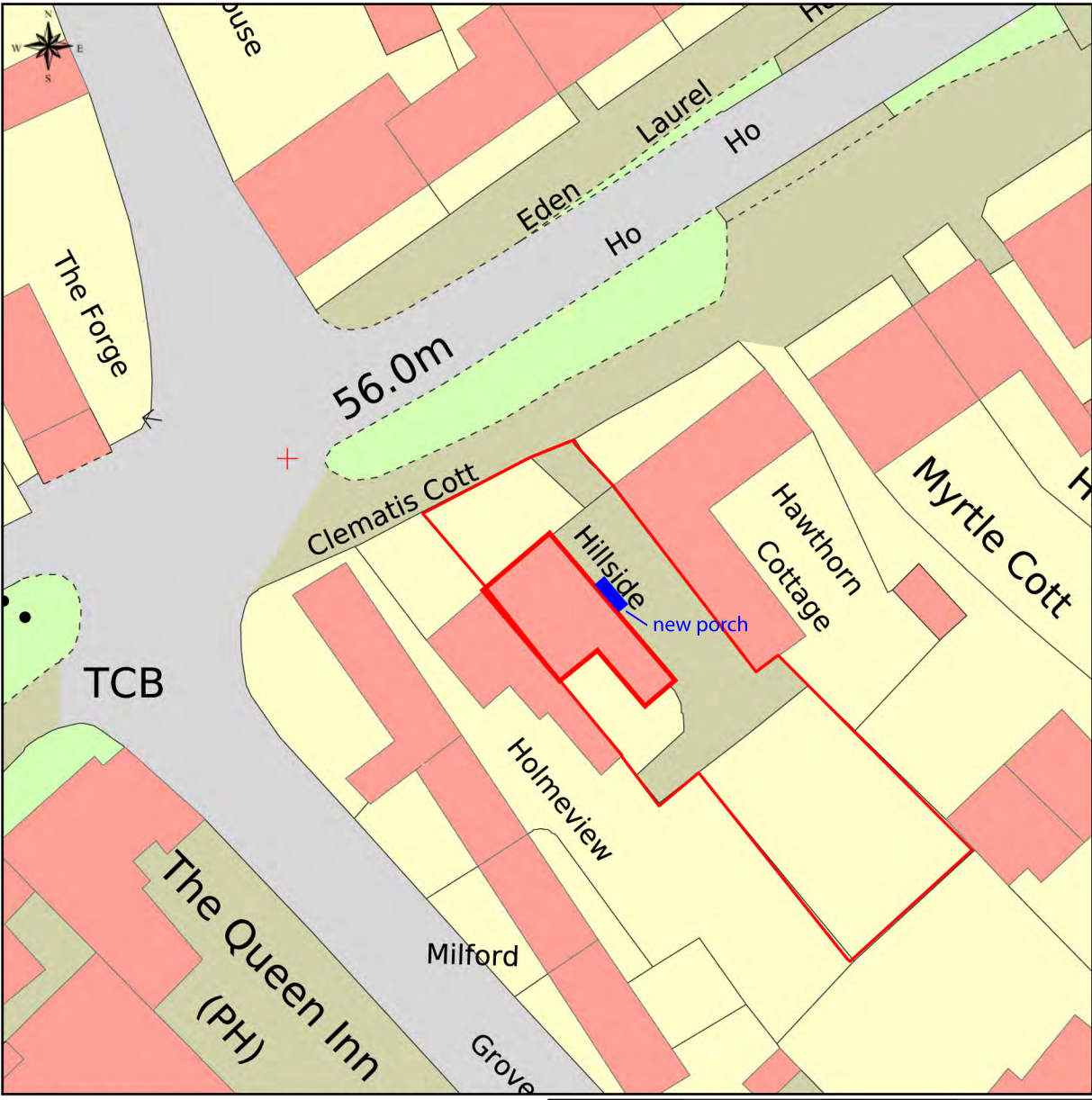
Reference: Porch to side of Hillside December 2011



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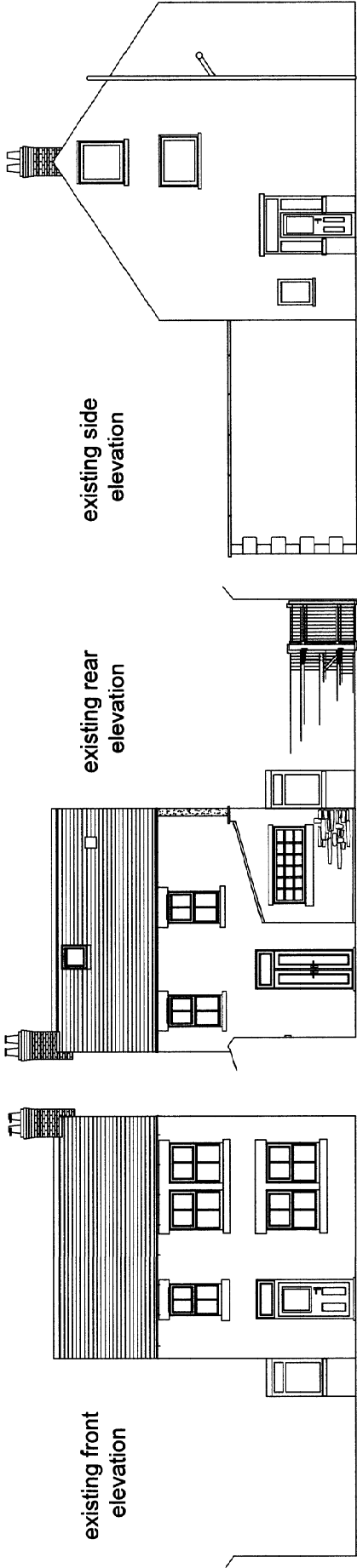
Reference: Porch to side of Hillside December 2011



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Scale: 1:500, paper size: A4

Reference:	Porch to side of Hillside December 2011		
Drawing:	Existing and proposed plans, elevations		
Dwg N°: 30-12-11	Scale 1:50/100 @ A1	Date: December 2011	



Foundations:
Concrete Strip Foundations. 600 mm below ground level: 600mm wide:

Walls:
300mm overall comprising 2 x 100mm concrete blocks with 80mm Celotex Cavity Insulation, with 225mm wall ties 600mm horizontally and 450mm vertically.

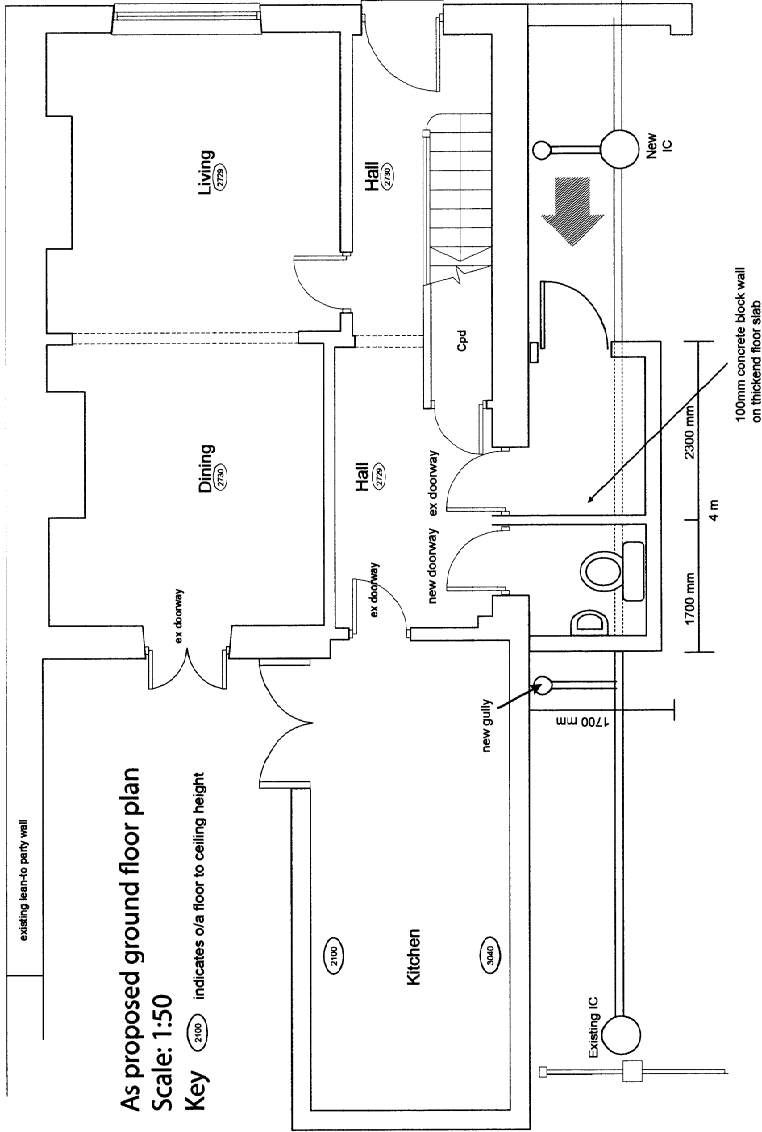
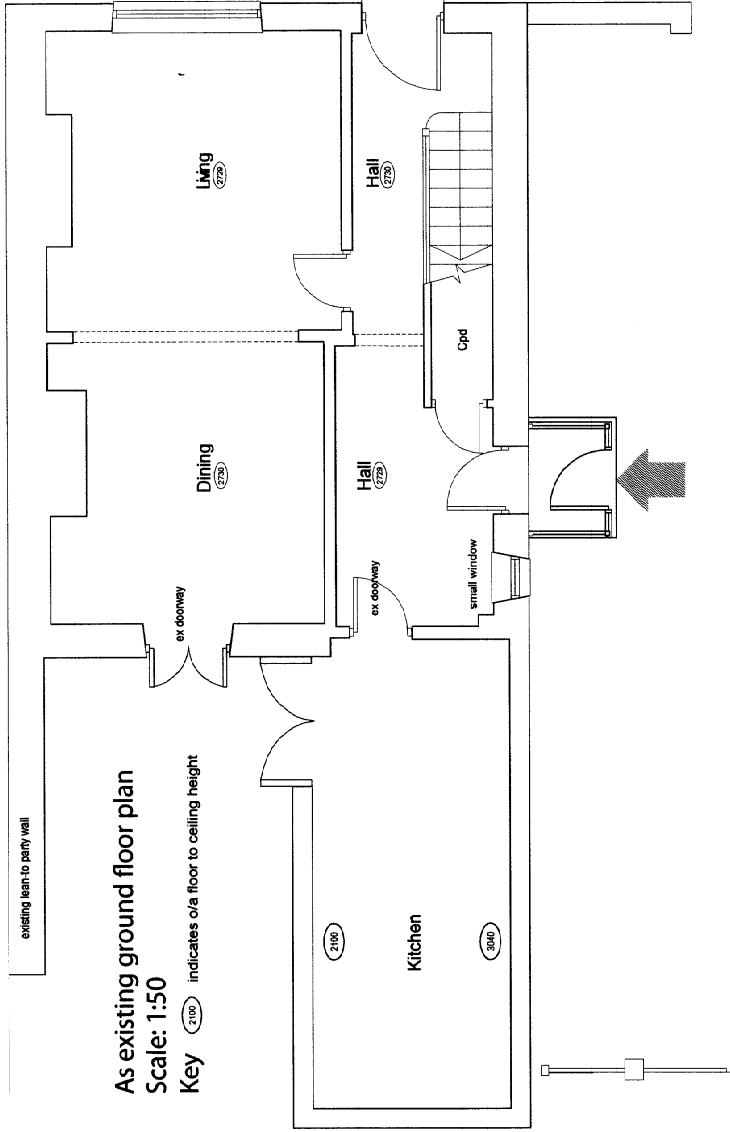
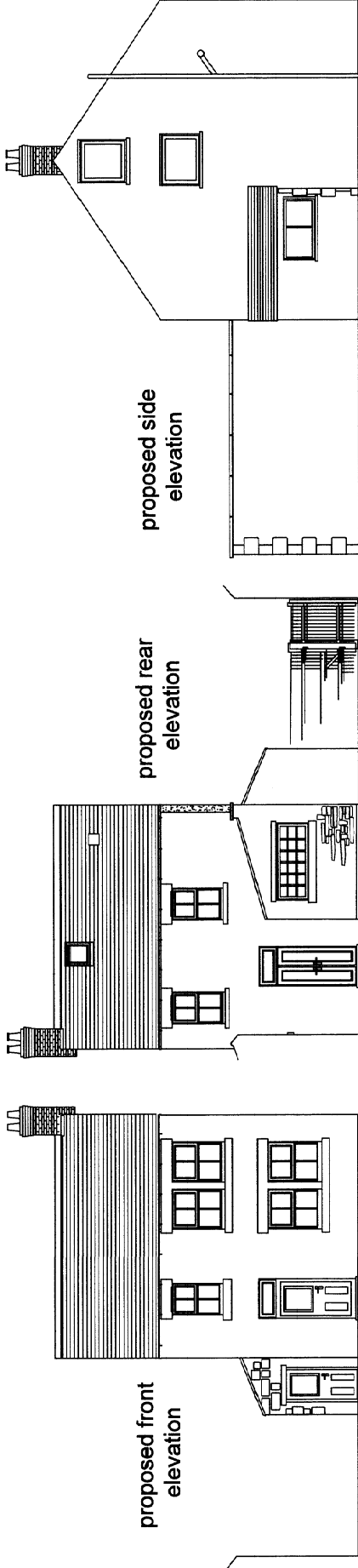
Roof:
150 x 50 c16 Birds Mouthed over 100 x 50 wall plate @ 400mm centres. Tyvek Supro underlay 50 x25 slaters lathes and 20 x 10 Welsh slate. 100 mm Kingspan insulation between rafters. 12.5 plasterboard and skim finish.

Floor:
65 mm thick screed on 500 guage D.P.M on 100mm Kingspan insulation. 1200 gauge visqueen D.P.M lapped with wall D.P.C on 150mm concrete slab, sand blinded consolidated hardcore, 25mm vertical edge strip insulation

Drains:
Replace old clay drains with 100mm plastic from new inspection chamber and reconnect past proposed toilet and porch extension. Cover with pea gravel and bridge over foundations

Internal walls:
Dot and dab 12.5 mm plasterboards and skim finish

Proposed toilet:
Connect new toilet to new drains and fit new wash basin and radiator. Fit 100mm extractor fan.



SCHEDULE B

SCHEDULE B

SCHEDULE C

SCHEDULE C

SCHEDULE C: Applications Determined by Other Authorities

11/0301

Item No: 06

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0301

Applicant:
Mr Gorst

Parish:
Wetheral

Date of Receipt:
15/04/2011

Agent:
Carleton Border Services
Ltd

Ward:
Great Corby & Geltsdale

Location:
Low Wood, Warwick Bridge, Carlisle, CA4 8RF

Grid Reference:
347434 555437

Proposal: Erection Of A Small Wind Turbine (11kW), 18.3m Hub Height, 24.8m To Tip To The South East Of The Property On A Reinforced Concrete Base Surrounded By A Security Fence (Revised Application)

Amendment:

REPORT

Case Officer: Suzanne Edgar

Decision on Appeals:

Appeal Against: Appeal against refusal of planning perm.

Type of Appeal: Written Representations

Report: The appeal site relates to Low Wood Farm, Warwick Bridge which is located approximately 300 metres to the east of the main road leading from Warwick Bridge to Great Corby. Full Planning Permission was sought for the erection of a small 11kw wind turbine (18.3 metre hub height, 24.8 metres to the tip) at land to the south-east of Low Wood Farm.

The application was determined under the City Councils Delegated Powers Scheme on 17th August 2011 when it was refused on the following grounds:

"The site of the proposed development is very close to Carlisle Airport lying approximately 4 km south of the airport and very close to the centreline of runway 01/19. Therefore an assessment is essential to determine whether or not such a development would create a conflict with aviation safety. In this instance Carlisle Airport has confirmed that the aviation assessment undertaken on behalf of the applicant is not detailed enough to inform the views of the Airport with regard to impact on flight safety and operations conducted within the safeguarding zone of Carlisle Airport. The

SCHEDULE C: Applications Determined by Other Authorities

11/0301

safeguarding zone being of significant importance to the performance of aerodrome navigation aids, radio aids or telecommunication systems. The applicant has presented counter arguments however the airport has confirmed that this still lacks sufficient detail, especially with regard to impact upon instrument flight procedures, to satisfy the airport. The instigation of any mitigation measures that could inform the imposition of any relevant conditions has also not been assessed. On this basis it is considered sensible to adopt a precautionary approach. In the absence of clear evidence to the contrary, it is considered that the proposed turbine may materially increase the level of risk, which would undermine the operational efficiency and safety of Carlisle Airport. It is considered that the harm that the proposed turbine could cause to flight safety and operations at Carlisle Airport is not outweighed by the benefit it would give to the contribution to renewable energy."

The Inspector identified the main issues to be:

- i) the effect of the proposal on the character and appearance of the area; and
- ii) the effect on air safety.

The Inspector considered that the proposal would make a small, but cumulatively significant, contribution to meeting renewable energy targets and reducing carbon dioxide emissions which outweighs the limited harm found to the appearance of the area. The Inspector was satisfied that there would be no unacceptable visual impact on the immediate and wider landscape.

The Inspector found that the proposal would not have an adverse impact upon air safety as the aviation assessment that was subsequently undertaken during the appeal process concluded no adverse impact upon aviation safety which subsequently led to Carlisle Airport withdrawing their objection.

The Inspector also noted that there was no compelling evidence that the proposal would adversely affect nature conservation or have a significant effect on a European Site. The Inspector also considered that due to the separation distance of the turbine from neighbouring dwellings there would be no adverse impact upon the living conditions of neighbouring residents by reason of shadow flicker or visual impact. The Inspector also noted that noise could be controlled by condition.

Overall the Inspector concluded that the benefits of the proposed development would outweigh its disadvantages and allowed the appeal.

Appeal Decision: Appeal Allowed with Conditions

Date: 31/01/2012

SCHEDULE D

SCHEDULE D

SCHEDULE D: Reports on Previously Deferred Decisions

Item No: 07

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/0610

Applicant:

Mr Young

Parish:

Beaumont

Date of Receipt:

05/08/2011

Agent:

Black Box Architects
Limited

Ward:

Burgh

Location:

Knockupworth Farm, Burgh by Sands, Carlisle, CA2
7RF

Grid Reference:

336821 556900

Proposal: Relocation Of Farmhouse And Farm Associated Shed

Amendment:

REPORT

Case Officer: Sam Greig

Details of Deferral:

Members will recall at Committee meeting held on 11th November 2011 that authority was given to the Director (Economic Development) to issue approval subject to the completion of a s106 agreement to ensure that the residential use rights of Knockupworth Cottage are extinguished upon occupation of the farmhouse hereby proposed.

The s106 agreement has been completed and the approval was issued on 27th January 2012.

Decision: Grant Permission

Date: 27/01/2012

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this planning consent comprise:

1. The Planning Application Form received 18th July 2011;
2. The site location plan received 25th October 2011 (Drawing No.

SCHEDULE D: Reports on Previously Deferred Decisions

- 11-120-04B);
3. The proposed block plan received 11th October 2011 (Drawing No. 11-120-21C);
 4. The proposed elevations and floor plans received 11th October 2011 (Drawing No. 11-120-01D);
 5. The cross section and site layout received 11th October 2011 (Drawing No. 11-120-20D);
 6. The Supplementary Planning Statement received 18th July 2011;
 7. The Farm Appraisal and Assessment of Agricultural Need received 18th July 2011;
 8. The Phase 1 Contamination Desk Study 5th August 2011;
 9. The Notice of Decision; and
 10. Any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. The agricultural shed and the farmhouse hereby approved shall be erected contemporaneously and the farmhouse shall not be occupied until the agricultural shed is complete and available for use.

Reason: To prevent the farmhouse being erected without work commencing on the agricultural building, which would undermine the objectives outlined in Policies DP1 and H7 of the Carlisle District Local Plan 2001-2016.

4. Notwithstanding any description of materials in the application no development shall be commenced until samples or full details of materials to be used externally on the building(s) have been submitted to and approved by the Local Planning Authority.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. No development shall take place until full details of hard and soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

Reason: To ensure that an acceptable landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

SCHEDULE D: Reports on Previously Deferred Decisions

6. Before any development is commenced on the site, including site works of any description, a protective fence shall be erected around those hedges to be retained in accordance with a scheme that has been submitted to and agreed, in writing, by the Local Planning Authority. Within the areas fenced off the existing ground level shall be neither raised nor lowered, except in accordance with the approved scheme, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. If any trenches for services are required in the fenced off area, they shall be excavated or back filled by hand and any roots encountered with a diameter of 25mm or more shall be left unsevered. The fence shall thereafter be retained at all times during construction works on the site.

Reason: In order to ensure that adequate protection is afforded to all hedges to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. No development shall commence until details of the proposed means of foul and surface water disposal have been submitted to and approved, in writing, by the Local Planning Authority. The development shall be carried out in accordance with the approved scheme.

Reason: To ensure that adequate means of foul and surface water disposal in accordance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

8. Notwithstanding the provisions of the Schedule 1, Part 2, Class E (a) of the Town and Country Planning (General Permitted Development) Order 1995, (or any Order revoking and re-enacting that Order), no detached outbuildings shall be erected without the permission of the Local Planning Authority and the approval by them of the design, siting and external appearance of such buildings.

Reason: To prevent the proliferation of outbuildings whose external appearance or siting may be out of keeping with the countryside landscape in accordance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

9. Details showing the provision within the site for the parking, turning and loading and unloading of vehicles and for vehicles to enter and leave the site in a forward direction shall be submitted to the Local Planning Authority for prior written approval. The development shall not be brought into use until any such details have been approved and the parking, loading, unloading and manoeuvring facilities constructed in accordance with the approved scheme. The approved parking, loading, unloading and manoeuvring areas shall be kept available for those purposes at all times and shall not be used for any other

SCHEDULE D: Reports on Previously Deferred Decisions

purpose.

Reason: To ensure that all vehicles can be properly and safely accommodated clear of the highway and to support Local Transport Plan Policies LD7 and LD8.

Item No: 08

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0714

Applicant:
Mr Montgomery

Parish:
Hayton

Date of Receipt:
31/08/2011

Agent:
Holt Planning Consultancy
Ltd

Ward:
Great Corby & Geltsdale

Location:
Springwell Farm, Talkin

Grid Reference:
355150 557818

Proposal: Relocation And Revision Of Lawfully Implemented Dwelling (Planning Ref: 10/0683)

Amendment:

1. Revised Site Location Plan Showing The Dwelling Resited
2. Revised Block Plan Showing The Dwelling Resited
3. Revised Landscape Materplan Showing The Dwelling Resited

REPORT

Case Officer: Richard Maunsell

Details of Deferral:

Members will recall at the Development Control Committee meeting held on 11th November 2011 that authority was given to the Director (Economic Development) to issue approval subject to receipt of the satisfactorily completed Unilateral Undertaking whereby the Owner undertakes that the earlier planning permission granted under reference 10/0200 shall not be implemented; and that no further works shall be carried out pursuant to the planning permission granted under reference (10/0683).

This has been completed and the decision issued on 27th January 2012.

Decision: Grant Permission

Date: 27/01/2012

SCHEDULE D: Reports on Previously Deferred Decisions

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form;
2. the location plan, drawing number 12/2009/34B dated 21st October 2011;
3. the block plan, drawing number 12/2009/36A dated 18th October 2011;
4. the proposed ground floor plan, drawing number 12/2009/30 dated 23rd August 2011;
5. the proposed first floor plan, drawing number 12/2009/31 dated 23rd August 2011;
6. the proposed north and west elevations, drawing number 12/2009/32 dated 23rd August 2011;
7. the proposed south and east elevations, drawing number 12/2009/33 dated 23rd August 2011;
8. the west and north courtyard elevations and east garage elevation, drawing number 12/2009/35 dated 23rd August 2011;
9. the landscape masterplan, drawing number SPR/01a dated 14th August 2011;
10. the flood risk map extract dated 22nd August 2011;
11. the historic environment features map dated 22nd August 2011;
12. the planning statement dated 22nd August 2011;
13. the Notice of Decision; and
14. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt and to ensure compliance with Policy H10 of the Carlisle District Local Plan 2001-2016.

3. The development shall be carried out in accordance with the details submitted to discharge conditions 3 (materials samples) and 5 (surface water drainage) of the previously approved permission 10/0683 approved under application reference 11/0647.

Reason: To ensure the use of materials and means of surface water are acceptable in accordance with Policies CP5 and CP12 of the Carlisle District Local Plan 2001-2016.

4. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) there shall be no enlargement or external alterations to the dwelling

SCHEDULE D: Reports on Previously Deferred Decisions

unit to be erected in accordance with this permission, within the meaning of Schedule 2 Part (1) of these Orders, without the written approval of the Local Planning Authority.

Reason: To ensure compliance with the objectives of the Replacement Dwelling policy in accordance with Policy H10 of the Carlisle District Local Plan 2001-2016.

5. All works comprised in the approved details of the landscaping Master Plan drawing reference SPR/01C shall be carried out in the first planting and seeding season following the occupation of the dwelling or completion of the development, whichever is the sooner. Any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species.

Reason: To ensure that a satisfactory landscaping scheme is implemented in accord with Policy CP3 of the Carlisle District Local Plan 2001-2016.

6. No development hereby approved by this permission shall commence until details of the specification and location of root protection barriers have been submitted in writing to and approved by the local planning authority. The root protection barriers as agreed shall be erected prior to commencement of any works on site and no machinery or vehicles shall be parked within, or materials stored, dumped or spilled within that area. In the event of trenches or excavations exposing tree roots of 50mm/ 2 inches diameter or more, these should be carefully retained and protected by suitable measures including (where otherwise unavoidable) bridging trenches. No severance of tree roots 50mm/ 2 inches or more in diameter shall be undertaken without prior notification to, and the subsequent approval in writing of the Local Planning Authority and where such approval is given, the roots shall be cut back to a smooth surface.

Reason: To protect the trees on and adjacent the site in accordance with Policy CP3 of the Carlisle District Local Plan 2001-2016.

7. Prior to the installation of the roof timbers on the replacement dwelling, the existing dwelling on the site known as 'Springwell Farm House' shall be demolished and the site cleared.

Reason: To prevent the retention of the existing dwelling that would be contrary to Policy H1 of the Carlisle District Local Plan 2001-2016.

8. The premises shall be occupied as a single, self contained family dwellinghouse, and at no time shall any of the ancillary buildings be sub-divided

SCHEDULE D: Reports on Previously Deferred Decisions

and occupied independently of the remainder of the property.

Reason: The Local Planning Authority are not prepared to permit the establishment of a separate unit of accommodation on this site in accordance with Policy DP1 of the Carlisle District Local Plan.

9. No development hereby approved by this permission shall commence until details of the ground source heat pump, solar panels and grey water recycling system have been submitted to and approved in writing by the Local Planning Authority. Such details shall include scale drawings illustrating the siting together with the size of the equipment. The development shall then be undertaken in accordance with the approved details.

Reason: For the avoidance of doubt and to ensure compliance with Policy CP9 of the Carlisle District Local Plan 2001-2016.

10. The use shall not commence until visibility splays providing clear visibility of 2.4m measured down the centre of the access road and 160m along both nearside carriageway edges of the U1206 have been provided at the junction of the access with the Highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to be grown within the visibility splays, so as to obstruct them. The visibility splays shall be attained before the general development commences, so that construction traffic is safeguarded.

Reason: In the interests of highway safety to ensure compliance with criterion 5 of Policy H1 of the Carlisle District Local Plan 2001-2016 and to support Local Transport Plan Policies LD7 and LD8.

11. The whole of the access area bounded by the carriageway edge, entrance gates and the splays shall be constructed and drained in accordance with details submitted to and approved in writing by the Local Planning Authority in consultation with the Highway Authority. The details shall be in accordance with those required under the Streetworks Licence of the Highways Act 1980. The access shall be undertaken in accordance with the approved details and completed prior to the occupation of the dwelling.

Reason: In the interests of highway safety to ensure compliance with criterion 5 of Policy H1 of the Carlisle District Local Plan 2001-2016 and to support Local Transport Plan Policies LD5, LD7 and LD8.

SCHEDULE D: Reports on Previously Deferred Decisions

Item No: 09

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0922

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
21/10/2011 23:00:36

Agent:
Day Cummins Limited

Ward:
Currock

Location:
Land at Water Street, Carlisle, CA2 5AW

Grid Reference:
340188 555237

Proposal: Proposed Female And Family Accommodation Comprising 10No. Residential Units With Communal And Staff Facilities, Associated Parking, Vehicle Access and Landscaping

Amendment:

1. Revised drawings that amend the internal layout and fenestration of the building.

REPORT

Case Officer: Richard Maunsell

Details of Deferral:

Members will recall at Committee meeting held on 16th December 2011 that authority was given to the Assistant Director (Economic Development) to issue approval subject to no objection being raised by the Environment Agency.

Members also authorised the Assistant Director (Economic Development) to discuss the future use and potential for the parcel of land to the south-west of the proposed building, bounded by Currock Street and Water Street, to be used as a play area.

These items have been resolved and the approval was issued on 20th January 2012.

Decision: Grant Permission

Date: 20/01/2012

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

SCHEDULE D: Reports on Previously Deferred Decisions

2. The approved documents for this Planning Permission comprise:
 1. the Planning Application Form received 21st October 2011;
 2. the Site Plan received 21st October 2011 (Drawing no. 001);
 3. the Proposed Site Plan/ Block Plan received 20th January 2012 (Drawing no. 03 Rev B);
 4. the Proposed Floor Plans received 30th November 2011 (Drawing no. 04 Rev A);
 5. the Proposed Elevations received 20th January 2012 (Drawing no. 05 Rev C);
 6. the Proposed Elevations received 20th January 2011 (Drawing no. 05/1);
 7. the Design and Access Statement received 20th January 2012;
 8. the Phase 1 Desk Study written by Meridian Geoscience Ltd received on 24th October 2011;
 9. the Notice of Decision; and
 10. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. No development hereby approved by this permission shall be commenced until samples or full details of all materials to be used on the exterior shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

4. No development hereby approved by this permission shall be commenced until particulars of height, materials and coping detail of all screen walls shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

5. No development hereby approved by this permission shall be commenced until have been submitted of the proposed hard surface finishes to all public and private external areas within the proposed scheme and approved in writing by the Local Planning Authority. The development shall then be undertaken in accordance with the approved details.

Reason: To ensure the suitable use of materials and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

SCHEDULE D: Reports on Previously Deferred Decisions

6. No development hereby approved by this permission shall take place until details of a landscaping scheme have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that a satisfactory landscaping scheme is prepared in accord with Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the building or the completion of the development, whichever is the sooner, and maintained thereafter to the satisfaction of the Council; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016.

8. No development hereby approved by this permission shall be commenced until details of the Sustainable Urban Drainage system has been submitted to and approved in writing by the Local Planning Authority. These details should include the type of SUDS; hydraulic design details/calculations; pollution prevention and water quality treatment measures together with details of pollutant removal capacity; operation, maintenance and adoption details; and any details related to the attenuated release of water from the site including any measure for the re-use of greywater. The development shall then be undertaken in accordance with the approved details.

Reason: In order to ensure that surface water run-off is not unacceptably increased by the development in accordance with the objectives of Policy CP10 of the Carlisle District Local Plan 2001-2016.

9. New ground floor windows and doors abutting the highway shall be of a type which cannot open outwards into the highway unless otherwise agreed in writing by the Local Planning Authority.

Reason: To minimise possible danger to other highway users. To support Local Transport Plan Policies LD7 and LD8.

10. The submitted details showing the provision within the site for the parking, turning and loading and unloading of vehicles visiting the site, including the provision of parking spaces for staff and visitors, shall be kept available for

SCHEDULE D: Reports on Previously Deferred Decisions

those purpose for as long as the Use continues and shall not be used for any other purpose unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure a minimum standard of parking provision is made within the site for vehicles visiting the site and to support Local Transport Plan Policies LD7 and LD8.

11. The whole of the access/ parking bays area bounded by the kerb of South John St., the entrance gates/ wall, shall be constructed and drained in accordance with the details that have been submitted to and agreed in writing by the Local Planning Authority.

Reason: In the interests of road safety. To support Local Transport Plan Policies LD5, LD7 and LD8.

12. Prior to the commencement of the development approved by this planning permission (or such other date or stage in the development as may be agreed in writing with the Local Planning Authority), the following components of a scheme to deal with the risks associated with contamination of the site shall each be submitted to and approved, in writing, by the Local Planning Authority:

1. A preliminary risk assessment which has identified;
 - all previous uses;
 - potential contaminants associated with those uses;
 - a conceptual model of the site indicating sources, pathways and receptors;
 - potentially unacceptable risks arising from contamination at the site.
2. A site investigation scheme, based on (1) to provide information for a detailed assessment of the risk to all receptors that may be affected, including those off site.
3. The results of the site investigation and detailed risk assessment referred to in (2) and, based on these, an options appraisal and remediation strategy giving full details of the remediation measures required and how they are to be undertaken.
4. A verification plan providing details of the data that will be collected in order to demonstrate that the works set out in the remediation strategy in (3) are complete and identifying any requirements for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action.

Any changes to these components require the express consent of the Local Planning Authority. The scheme shall be implemented as approved.

Reason: To ensure the protection of controlled waters from potential land contamination in accordance with Policy LE29 of the Carlisle District Local Plan 2001-2016.

SCHEDULE D: Reports on Previously Deferred Decisions

13. Prior to commencement of development, a verification report demonstrating completion of the works set out in the approved remediation strategy and the effectiveness of the remediation shall be submitted to and approved, in writing, by the Local Planning Authority. The report shall include results of sampling and monitoring carried out in accordance with the approved verification plan to demonstrate that the site remediation criteria have been met. It shall also include any plan (a "long-term monitoring and maintenance plan") for longer-term monitoring of pollutant linkages, maintenance and arrangements for contingency action, as identified in the verification plan, and for the reporting of this to the Local Planning Authority. The long-term monitoring and maintenance plan shall be implemented as approved.

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority for, a remediation strategy detailing how this unsuspected contamination shall be dealt with. The remediation strategy shall be implemented as approved.

Reason: To ensure the protection of controlled waters from potential land contamination in accordance with Policy LE29 of the Carlisle District Local Plan 2001-2016.

Item No: 10

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1098

Applicant:
Mrs Bowey

Parish:
Nether Denton

Date of Receipt:
22/12/2011

Agent:
Green Design Architects

Ward:
Irthing

Location:
Dundonald, Low Row, Brampton, CA8 2LN

Grid Reference:
358353 563134

Proposal: Demolition Of Existing Conservatory And Erection Of Single Storey Extension To Provide Porch, Garden Room, Extended Lounge, Kitchen/Dining Room And Utility Together With Extension To Existing Garage

Amendment:

REPORT

Case Officer: Shona Taylor

SCHEDULE D: Reports on Previously Deferred Decisions

Details of Deferral:

Members resolved to give authority to the Director (Economic Development) to issue approval for the proposal subject to the expiration of the consultation period on the 3rd February 2012.

No further comments or consultation responses have been received within the consultation period. The approval was issued on 7th February 2012.

Decision: Grant Permission

Date: 07/02/2012

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:

1. the submitted planning application form;
2. the site location plan received 21st December 2011;
3. the block plan received 21st December 2011 (drawing 11/2087/00);
4. the existing plans and elevations received 21st December 2011 (drawing 11/2087/01A);
5. the proposed plans and elevations received 21st December 2011 (drawing 11/2087/05);
6. the Notice of Decision; and
7. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

3. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the objectives of Policy CP5 of the Carlisle District Local Plan 2001-2016 are met and to ensure a satisfactory external appearance for the completed development.

SCHEDULE D: Reports on Previously Deferred Decisions

Item No: 11

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1101

Applicant:

Pirelli Tyres Ltd

Parish:

Carlisle

Date of Receipt:

03/01/2012

Agent:

Pirelli Tyres Ltd

Ward:

Denton Holme

Location:

Pirelli Tyres Limited, Dalston Road, Carlisle, CA2
6AR

Grid Reference:

339015 553519

Proposal: Extension To Existing Building To House Electrical Switchgear

Amendment:

REPORT

Case Officer: Angus Hutchinson

Details of Deferral:

Members will recall at Committee meeting held on 27th January 2012 that authority was given to the Director (Economic Development) to issue approval subject to no objections being received prior to the expiration of the publicity period (03/02/12). No objections were received and approval was issued on 7th February 2012.

Decision: Grant Permission

Date: 07/02/2012

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this Planning Permission comprise:
 1. the submitted planning application form and Design and Access Statement;
 2. drawing numbers PL1002/1155/01 Rev A, /02 and /03;
 3. the Notice of Decision; and
 4. any such variation as may subsequently be approved in writing by the Local Planning Authority.

SCHEDULE D: Reports on Previously Deferred Decisions

Reason: For the avoidance of doubt.

SCHEDULE E

SCHEDULE E

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 14/01/2012 and 24/02/2012

Appn Ref No:

08/0896

Applicant:

Messrs I & NF Milbourn

Parish:

Stanwix Rural

Date of Receipt:

01/09/2008 11:34:51

Agent:

Edwin Thompson LLP

Ward:

Stanwix Rural

Location:

Walby Grange, Walby, CA6 4QL

Grid Reference:

343852 560384

Proposal: Discharge of conditions 1 (details of parking, turning, loading/unloading of vehicles); 6 (location of car park); and 7 (undertaking for road improvements) of application 08/0461

Amendment:

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

10/0874

Applicant:

Gribbon, Manson and
McBride

Parish:

Arthuret

Date of Receipt:

29/09/2010

Agent:

Rodney Jeremiah

Ward:

Longtown & Rockcliffe

Location:

Land adjacent 21 Old Road/Bellsfield, Longtown,
CA6 5TH

Grid Reference:

338622 568573

Proposal: Construction Of 6no. Two Storey Houses (Outline/Revised Application)

Amendment:

Decision: Granted Subject to Legal Agreement

Date: 17/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/0448

Applicant:

Border Commercial
Vehicles

Parish:

Rockcliffe

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:

08/06/2011

Agent:

S Buttler Chartered
Architect

Ward:

Longtown & Rockcliffe

Location:

Premises formerly "The Highland Laddie," Todhills,
Blackford, Carlisle, Cumbria, CA6 4HB

Grid Reference:

336835 563102

Proposal: Change Of Use Of Former Public House To Live/Work Unit

Amendment:

Decision: Granted Subject to Legal Agreement

Date: 03/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/0511

Applicant:

Lloyd Ltd

Parish:**Date of Receipt:**

14/06/2011 13:01:29

Agent:

Hyde Harrington

Ward:

Belah

Location:

Lloyd Ltd, Unit 51 Kingstown Broadway, Carlisle,
CA3 0EF

Grid Reference:

339223 559015

Proposal: Change Of Use Of Part Of Existing Agricultural Showroom, Workshop
And Offices To Provide Garden Machinery Showroom, Equestrian Sales
Area And An External 4 x 4 Vehicle Sales Area; Together With The
Erection Of A Side Extension To Provide Lawnmower Workshop
(Retrospective Application)

Amendment:

Decision: Grant Permission

Date: 16/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/0755

Applicant:

Mr T Briggs

Parish:

Carlisle

Date of Receipt:

10/10/2011

Agent:**Ward:**

Castle

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:
117 Warwick Road, Carlisle, Cumbria, CA1 1JZ

Grid Reference:
340755 555930

Proposal: Internal Alterations (LBC)

Amendment:

Decision: Grant Permission

Date: 31/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0852

Applicant:
Mr & Mrs L Barnes

Parish:
Wetheral

Date of Receipt:
29/09/2011

Agent:
TSF Developments Ltd

Ward:
Great Corby & Geltsdale

Location:
Hollygarth, 10 The Orchard, Great Corby, Carlisle,
CA4 8LS

Grid Reference:
347337 554415

Proposal: Single Storey Rear Extension To Existing Kitchen And First Floor Side
Extension To Provide 1No. En-Suite Bedroom And Balcony Above
Garage

Amendment:

Decision: Grant Permission

Date: 26/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0855

Applicant:
Nestle UK Ltd

Parish:
Dalston

Date of Receipt:
11/01/2012

Agent:
CAD Works Design
Engineering

Ward:
Dalston

Location:
Nestle UK Ltd, Carlisle Road, Dalston, Carlisle,
Cumbria, CA5 7NH

Grid Reference:
337355 550836

Proposal: Erection Of 8m Tall x 3m Diameter Tank And Associated Pipework For
The Use Of Condensate Buffer Storage To The Rear Of Existing Boiler
House (Retrospective Application)

SCHEDULE E: Decisions Issued Under Delegated Powers

Amendment:

Decision: Grant Permission

Date: 15/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0878

Applicant:
Mr R Park

Parish:
Orton

Date of Receipt:
14/12/2011

Agent:
Jock Gordon

Ward:
Burgh

Location:
Baldwinholme Farm, Baldwinholme, Carlisle, CA5
6LJ

Grid Reference:
333786 552037

Proposal: Change Of Use Of Outbuilding To A Domestic Annexe

Amendment:

Decision: Grant Permission

Date: 23/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/0879

Applicant:
McKnight & Son Builders

Parish:
Wetheral

Date of Receipt:
07/10/2011

Agent:
HTGL Architects Ltd

Ward:

Location:
Holme Eden Farm, Warwick Bridge, Carlisle,
Cumbria, CA4 8RE

Grid Reference:
347215 562867

Proposal: Discharge Of Conditions 3 (Materials); 10 (Level 3 Survey); 14 (Surface Water Drainage), 15 (Scheme To Protect/Enhance The River Corridor) And 16 (Scheme To Protect Cairn Beck From Building Materials During Construction) Of Previously Approved Planning Permission 10/1062

Amendment:

Decision: Grant Permission

Date: 08/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/0917	Applicant: BP Oil UK Ltd	Parish: Rockcliffe
Date of Receipt: 14/11/2011	Agent: Brian Barber Associates	Ward: Longtown & Rockcliffe

Location: BP Oil Moss Motorway Service Area, M74 Southbound, Todhills, Carlisle, CA6 4HA	Grid Reference: 337370 562387
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Proposal: Discharge Of Condition 3 (Contamination) Of Previously Approved Planning Application 10/0268

Amendment:

Decision: Withdrawn by Applicant/or by default

Date: 24/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/0920	Applicant: Persimmon Homes	Parish: Wetheral
Date of Receipt: 26/10/2011	Agent:	Ward: Wetheral

Location: Land adjacent Alexandra Drive, Durranhill Road, Carlisle	Grid Reference: 342900 555248
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Proposal: Variation Of Condition 2 Of Application 10/0792 To Substitute The Approved Site Layout Plan With An Amended Layout Plan, Which Has Been Adjusted To Account For A Water Main Easement Resulting A Staggered Facade To The Terraced Block Of Houses On Plots 37-39, The Removal Of The Garage Block Serving These Properties And The Reorientation Of The Dwelling To Plot 49

Amendment:

Decision: Grant Permission

Date: 09/02/2012

Between 14/01/2012 and 24/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No: 11/0942 **Applicant:** Mr Jonathan Woodmass **Parish:** Kingwater

Date of Receipt: 05/12/2011 **Agent:** Hogg & Robinson (Design Services) Limited **Ward:** Irthing

Location: Heugh Brae, West Hall, Brampton, CA8 2EJ **Grid Reference:** 356503 567134

Proposal: Conversion Of Existing Stone Barns Into 2no. Holiday Let Accommodation

Amendment:

Decision: Grant Permission

Date: 26/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/0993 **Applicant:** Orton Grange Farm **Parish:** Orton

Date of Receipt: 17/11/2011 **Agent:** Gray Associates Limited **Ward:** Burgh

Location: Orton Grange Farm, Orton Grange, Carlisle, CA5 6LA **Grid Reference:** 335212 551975

Proposal: Extension To Farm Shop Comprising Erection Of Food Hall Together With Additional Car Parking

Amendment:

Decision: Grant Permission

Date: 16/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1005 **Applicant:** Mrs Elizabeth Bird **Parish:**

Date of Receipt: 16/01/2012 **Agent:** **Ward:** Morton

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:
3 Kelvin Grove, Carlisle, Cumbria, CA2 6HE

Grid Reference:
338832 554769

Proposal: Erection Of Single Storey Side Extension To Provide Extended Kitchen
And Workshop With Storage In Roof Space

Amendment:

Decision: Grant Permission

Date: 21/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1010

Applicant:
Mr R & Mrs M Fisher

Parish:
Kirkandrews

Date of Receipt:
23/11/2011

Agent:
Edwin Thompson

Ward:
Longtown & Rockcliffe

Location:
Smalmstown Farm, Longtown, Carlisle, CA6 5LH

Grid Reference:
336393 569491

Proposal: Alteration To Access Track And Junction

Amendment:

Decision: Grant Permission

Date: 31/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1014

Applicant:
Brampton Rural Housing
Society

Parish:
Brampton

Date of Receipt:
24/11/2011

Agent:
Ashton Design

Ward:
Brampton

Location:
Land at 17 & 18 Greenhill, Brampton, CA8 1SU

Grid Reference:
352506 560635

Proposal: Demolition Of 2No. Semi Detached Dwellings; Erection Of 4No. Flats;
Extension Of Existing Site Boundaries To Include Additional Land

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 01/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1018

Applicant:
Mr Graeme Howe

Parish:
Carlisle

Date of Receipt:
22/11/2011

Agent:
S & H Construction

Ward:
Belle Vue

Location:
78 Crown Road, Carlisle, Cumbria, CA2 7QQ

Grid Reference:
337230 555866

Proposal: First Floor Side Extension To Provide Additional Bedroom
Accommodation

Amendment:

Decision: Grant Permission

Date: 22/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1021

Applicant:
Mr Spedding

Parish:
Hethersgill

Date of Receipt:
23/11/2011 13:00:35

Agent:
RodneyJeremiah

Ward:
Lyne

Location:
Stoneflatts, Kirklington, Carlisle, CA6 6DL

Grid Reference:
345261 566012

Proposal: Erection Of Agricultural Building

Amendment:

Decision: Grant Permission

Date: 16/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1022

Applicant:
Mr Hebson

Parish:
Wetheral

Date of Receipt:
23/11/2011 13:00:55

Agent:
H & H Bowe Ltd

Ward:
Wetheral

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

Chapel Farm, Front Street, Cotehill, Carlisle, CA4 0DZ

Grid Reference:

346907 550363

Proposal: Proposed Extension To Existing Agricultural Building

Amendment:

Decision: Grant Permission

Date: 18/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1024

Applicant:

Mr S Hayhoe

Parish:

Date of Receipt:

29/11/2011

Agent:

Ward:

Stanwix Urban

Location:

71 Etterby Lea Road, Stanwix, Carlisle, Cumbria, CA3 9JP

Grid Reference:

339757 557438

Proposal: Two Storey Side And Rear Extension To Provide Study, Toilet, Utility Area And Enlarged Kitchen On Ground Floor With 1No. Bedroom, Enlarged Bathroom And Enlarged Bedroom Above

Amendment:

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1025

Applicant:

Mrs Boyd

Parish:

St Cuthberts Without

Date of Receipt:

05/12/2011

Agent:

Sawyer Construction

Ward:

Wetheral

Location:

110 Valley Drive, Carlisle, CA1 3TR

Grid Reference:

343281 554273

Proposal: Erection Of Single Storey Side Extension

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 09/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1028

Applicant:
Mr & Mrs Aston

Parish:
Dalston

Date of Receipt:
23/11/2011 23:01:01

Agent:
Brier Associates

Ward:
Dalston

Location:
Beech House, Stockdalewath, Dalston, Carlisle,
CA5 7DN

Grid Reference:
338412 545139

Proposal: Removal Of Barn Roof To Enable The Replacing Of Its Structure And
Raising Of Door Head Lintel (LBC)

Amendment:

Decision: Grant Permission

Date: 18/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1029

Applicant:
Marstons Inns and
Taverns/Wildgoose
Construction

Parish:
Kingmoor

Date of Receipt:
25/11/2011

Agent:
Peacock and Smith

Ward:
Stanwix Rural

Location:
Brunthill, Kingmoor Park, Carlisle

Grid Reference:
338312 559535

Proposal: Discharge Of Conditions 4 (Surface Water Scheme); 6 (Contamination
Scheme) And 9 (Provision Of Ramps) Of Previously Approved
Permission 11/0475

Amendment:

Decision: Grant Permission

Date: 19/01/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1031	Applicant: Mr Thomas Hughes	Parish: Orton
Date of Receipt: 24/11/2011	Agent:	Ward: Burgh
Location: Cross House, Great Orton, Carlisle, CA5 6NA		Grid Reference: 332836 554270
Proposal: Erection Of Detached Double Garage		
Amendment:		

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1032	Applicant: Indiagate	Parish: Carlisle
Date of Receipt: 05/12/2011	Agent: Manning & Elliott	Ward: Currock
Location: 30-34 Botchergate, Carlisle, CA1 1QS		Grid Reference: 340354 555508
Proposal: Change Of Use Of Retail Unit To Licensed Restaurant		
Amendment:		

Decision: Grant Permission

Date: 25/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1035	Applicant: Mr Andrew Bell	Parish:
Date of Receipt: 04/01/2012	Agent:	Ward: Stanwix Urban
Location: Mayfair, 12 Marlborough Gardens, Carlisle, CA3 9NH		Grid Reference: 339846 557005

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Alterations To Make The Entrance Drive Larger, Installation Of Electric Gates And Additional Post To Make Separate Pedestrian Entrance

Amendment:

Decision: Grant Permission

Date: 15/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1036

Applicant:
Mr Andrew Bell

Parish:

Date of Receipt:
04/01/2012

Agent:

Ward:
Stanwix Urban

Location:
Mayfair, 12 Marlborough Gardens, Carlisle, CA3
9NH

Grid Reference:
339846 557005

Proposal: Alterations To Make The Entrance Drive Larger, Installation Of Electric Gates And Additional Post To Make Separate Pedestrian Entrance
(Conservation Area Consent)

Amendment:

Decision: Grant Permission

Date: 15/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1038

Applicant:
TG & K Fisher

Parish:
Irthington

Date of Receipt:
30/11/2011

Agent:
H & H Bowe Ltd

Ward:
Stanwix Rural

Location:
The Glebe, Hethersgill, Carlisle, CA6 6EZ

Grid Reference:
348853 564982

Proposal: Proposed Crop Store

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 16/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1043

Applicant:
Mr D Clark

Parish:
St Cuthberts Without

Date of Receipt:
05/12/2011

Agent:
Jock Gordon

Ward:
Dalston

Location:
The Vicarage, Wreay, Carlisle, Cumbria, CA4 0RL

Grid Reference:
343644 548838

Proposal: Erection Of Single Storey Side Extension To Provide Garage And Utility Room Together With Formation Of New Vehicular Access

Amendment:

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1046

Applicant:
Next Group plc

Parish:
Carlisle

Date of Receipt:
15/12/2011

Agent:
Roger Tym & Partners

Ward:
Belah

Location:
Unit A, Greymoorhill Retail Park, Parkhouse Road,
Carlisle, CA3 0JR

Grid Reference:
339415 559577

Proposal: Display Of 5no. Internally Illuminated Fascia Signs And 2no. Non-Illuminated Signs To Shopfront

Amendment:

Decision: Grant Permission

Date: 20/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1050

Applicant:
Mr Paul Birks

Parish:
Carlisle

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:
01/12/2011

Agent:

Ward:
Belah

Location:
2 Lyne Close, Carlisle, CA3 0EB

Grid Reference:
338991 558548

Proposal: Erection Of Single Storey Front And Rear Extension To Provide
Extended En-Suite Bedroom And Kitchen/Lounge

Amendment:

Decision: Grant Permission

Date: 16/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1052

Applicant:
Mrs C Smith

Parish:
Carlisle

Date of Receipt:
02/12/2011

Agent:

Ward:
Belah

Location:
4 Belah Road, Carlisle, Cumbria, CA3 9RZ

Grid Reference:
339225 557632

Proposal: Erection Of First Floor Side Extension To Provide 1no. Bedroom

Amendment:

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1053

Applicant:
Mr R Hartley

Parish:
Carlisle

Date of Receipt:
02/12/2011

Agent:

Ward:
Morton

Location:
15 Kentmere Grove, Carlisle, CA2 6JD

Grid Reference:
338587 554504

Proposal: Erection Of First Floor Side Extension To Provide 1no. Bedroom And
Landing

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 18/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1054

Applicant:
Henry Lonsdale Trust

Parish:
Wetheral

Date of Receipt:
09/12/2011

Agent:
H & H Bowe Ltd

Ward:
Wetheral

Location:
Henry Lonsdale Home, Rosehill, Warwick on Eden,
Carlisle, CA4 8AA

Grid Reference:
343475 556142

Proposal: Installation Of 2no. CCTV Cameras & 1no. Security Light To Side Of
Building Together With Associated Equipment & Cables (LBC)

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1055

Applicant:
Mr David Pattison

Parish:
Carlisle

Date of Receipt:
05/12/2011

Agent:
Carlisle City Council

Ward:
Upperby

Location:
91 Upperby Road, Carlisle, Cumbria, CA2 4JL

Grid Reference:
340918 553841

Proposal: Demolition Of Existing Conservatory And Erection Of Single Storey Rear
Extension To Provide Bedroom And Shower Room

Amendment:

Decision: Grant Permission

Date: 25/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

Applicant:

Parish:

SCHEDULE E: Decisions Issued Under Delegated Powers

11/1057 Mr John Armstrong Arthuret

Date of Receipt: **Agent:** **Ward:**
12/12/2011 Siac Wind Energy Longtown & Rockcliffe

Location: **Grid Reference:**
Broomhills, Longtown, Carlisle, CA6 5TS 342903 568232

Proposal: Variation Of Condition 2 (Approved Plans) Of Previously Approved Appn
Ref: 10/0943

Amendment:

Decision: Grant Permission

Date: 23/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: **Applicant:** **Parish:**
11/1058 Mr Ian Montgomery Carlisle

Date of Receipt: **Agent:** **Ward:**
19/12/2011 Currock

Location: **Grid Reference:**
65 Currock Park Avenue, Carlisle, Cumbria, CA2
4DJ 340081 554144

Proposal: Erection Of Replacement Conservatory

Amendment:

Decision: Grant Permission

Date: 24/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: **Applicant:** **Parish:**
11/1059 Mr G Barrett Carlisle

Date of Receipt: **Agent:** **Ward:**
16/12/2011 St Aidans

Location: **Grid Reference:**
41 Brunton Avenue, Carlisle, CA1 2AU 341368 555749

Proposal: Extension To Existing Single Storey Side Extension To Provide

SCHEDULE E: Decisions Issued Under Delegated Powers

Extended Kitchen And Utility On Ground Floor With First Floor Extension
To Provide 2no. Bedrooms

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1061

Applicant:
Mr I Cogan

Parish:
Wetheral

Date of Receipt:
13/12/2011

Agent:

Ward:
Wetheral

Location:
4 Park Close, Scotby, Carlisle, CA4 8AX

Grid Reference:
343825 555476

Proposal: Erection Of Two Storey Side Extension Providing Drive Through Garage
On Ground Floor, En-Suite Bedroom On First Floor And 1no. Bedroom
Within The Roof Space

Amendment:

Decision: Grant Permission

Date: 31/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1062

Applicant:
Mr Roger Sealey

Parish:
Carlisle

Date of Receipt:
13/12/2011

Agent:

Ward:
Denton Holme

Location:
The Bay, Denton Mills, Denton Holme, Carlisle

Grid Reference:
339738 554503

Proposal: Change Of Use From Pub/Restaurant To Resource Training And Activity
Centre

Amendment:

Decision: Grant Permission

Date: 01/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1064

Applicant:
UK Black Cat

Parish:
Carlisle

Date of Receipt:
14/12/2011

Agent:

Ward:
Belle Vue

Location:
65 Burgh Road, Carlisle, CA2 7NB

Grid Reference:
337513 556211

Proposal: Erection Of Purpose Built Shed To Be Used As A Cattery/Domestic
Garden Store Within Garden

Amendment:

Decision: Grant Permission

Date: 07/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1066

Applicant:
Mr Roger Sealey

Parish:

Date of Receipt:
15/12/2011

Agent:

Ward:
Denton Holme

Location:
The Bay, Denton Mills, Denton Holme, Carlisle

Grid Reference:
339738 554503

Proposal: Change Of Use From Pub/Restaurant To Resource Training And Activity
Centre (LBC)

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1067

Applicant:
Mrs Elizabeth Morton

Parish:
Beaumont

Date of Receipt:
12/12/2011

Agent:

Ward:
Burgh

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

Sunnyside, Kirkandrews On Eden, Carlisle,
Cumbria, CA5 6DJ

Grid Reference:

335273 558382

Proposal: Erection Of Single Storey Side And Rear Extension To Provide Utility
And Sunroom

Amendment:

Decision: Grant Permission

Date: 18/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1069

Applicant:

Mr Stephen Whyberd

Parish:

Arthuret

Date of Receipt:

13/12/2011

Agent:

Mr Peter Orr

Ward:

Longtown & Rockcliffe

Location:

The Gables Cottage, Netherby Road, Longtown

Grid Reference:

338120 569080

Proposal: Demolition Of Existing Conservatory And Erection Of Orangery

Amendment:

Decision: Grant Permission

Date: 19/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1070

Applicant:

Mr S Peel

Parish:

Wetheral

Date of Receipt:

19/12/2011

Agent:

Philip Turner Associates

Ward:

Great Corby & Geltsdale

Location:

Oakdene, 13 Broadwath Holdings, Heads Nook,
Brampton, Cumbria, CA8 9BB

Grid Reference:

348486 554946

Proposal: Erection Of General Storage Shed And Workshop (Part Retrospective)

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 10/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1071

Applicant:
The Govenors

Parish:
Hayton

Date of Receipt:
14/12/2011

Agent:
Philip Turner Associates

Ward:
Hayton

Location:
Hayton C of E School, Brampton, Cumbria, CA8
9HR

Grid Reference:
350753 557682

Proposal: Proposed Unisex Disabled WC Facility And Male/Female WC Facilities
And Erection of 1no. Open Fronted Shed (Revised Application)

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1072

Applicant:
Uma Buddhist Centre

Parish:

Date of Receipt:
13/12/2011 16:00:40

Agent:
Gray Associates Limited

Ward:
Castle

Location:
16 & 18 Spencer Street, Carlisle, CA1 1BG

Grid Reference:
340384 555951

Proposal: Change Of Use From Vacant Offices To Buddhist Centre Providing
Classes In Buddhism And Meditation On The Ground Floor With Small
Retail Shop And Tea Room (Incidental To The Principle Function As A
Buddhist Meditation Centre). Residential Accommodation Will Be
Provided To The Full First Floor Area And Part Of The Ground Floor

Amendment:

1. Certificate of Ownership B

Decision: Grant Permission

Date: 31/01/2012

Between 14/01/2012 and 24/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:
11/1073

Applicant:
Uma Buddhist Centre

Parish:

Date of Receipt:
13/12/2011 16:00:40

Agent:
Gray Associates Limited

Ward:
Castle

Location:
16 & 18 Spencer Street, Carlisle, CA1 1BG

Grid Reference:
340384 555951

Proposal: Internal Alterations (LBC)

Amendment:

1. Certificate of Ownership B

Decision: Grant Permission

Date: 31/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1074

Applicant:
The Govenors

Parish:
Hayton

Date of Receipt:
14/12/2011

Agent:
Philip Turner Associates

Ward:
Hayton

Location:
Hayton C of E School, Brampton, Cumbria, CA8
9HR

Grid Reference:
350753 557682

Proposal: Proposed Unisex Disabled WC Facility And Male/Female WC Facilities
And Erection of 1no. Open Fronted Shed (Revised Application) (LBC)

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1076

Applicant:
Mr Ernie Coulthard

Parish:
Carlisle

Date of Receipt:
05/01/2012

Agent:
Quadrangle Architectural
Design

Ward:
Belah

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

Solway DAF, Site 59, Westmoor Road, Carlisle,
CA3 0HD

Grid Reference:

338936 558964

Proposal: Erection Of 2no. Additional Service Bays And Alteration To Wash Bay
Amendment:

Decision: Grant Permission

Date: 13/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1077

Applicant:

Mr D Longford

Parish:

Carlisle

Date of Receipt:

16/12/2011

Agent:**Ward:**

Harraby

Location:

8 Cumwhinton Road, Harraby, Carlisle, Cumbria,
CA1 3LA

Grid Reference:

342071 553889

Proposal: Erection Of Two Storey Side Extension To Provide Study On Ground
Floor With En-Suite Bedroom Above

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1078

Applicant:

Cumbria Wildlife Trust

Parish:

Stanwix Rural

Date of Receipt:

16/12/2011

Agent:

Ms Kay Foster

Ward:

Stanwix Rural

Location:

Gosling Sike Farm, Houghton, Carlisle, Cumbria

Grid Reference:

341028 558701

Proposal: Creation Of Ponds Within Existing Area Of Wet Meadows

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 08/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1079

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
23/12/2011

Agent:
Carlisle City Council

Ward:
Castle

Location:
Tullie House Museum & Art Gallery, Castle Street,
Carlisle, CA3 8TP

Grid Reference:
339780 556038

Proposal: Replacement Of Roof Light (LBC)

Amendment:

Decision: Grant Permission

Date: 07/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1080

Applicant:
Hayley Group PLC

Parish:
Carlisle

Date of Receipt:
19/12/2011

Agent:
Taylor & Hardy

Ward:
Belah

Location:
Site 74 Kingstown Broadway, Kingstown Industrial
Estate, Carlisle

Grid Reference:
339116 559518

Proposal: Change Of Use Of Car Showroom To A Depot For An Engineering
Inventory Supplier

Amendment:

Decision: Grant Permission

Date: 07/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1081

Applicant:
Miss Deborah Otterburn

Parish:
Arthuret

SCHEDULE E: Decisions Issued Under Delegated Powers

Date of Receipt:

21/12/2011

Agent:

TSF Developments Ltd

Ward:

Longtown & Rockcliffe

Location:

Unit 7, Brisco Burn Business Park, Longtown,
Carlisle, CA6 5TR

Grid Reference:

340029 567383

Proposal: Siting Of Modular Building For Use As Offices Together With Formation
Of Parking Area

Amendment:

1. Revised Drawings Incorporating Disabled Access Provisions

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1084

Applicant:

Sainsbury's Supermarket
Ltd

Parish:**Date of Receipt:**

20/12/2011 23:01:18

Agent:

Turley Associates

Ward:

Castle

Location:

L/A Junction of Bridge Street and Bridge Lane,
Carlisle CA2 5TA

Grid Reference:

339343 556110

Proposal: Discharge Of Condition 16 (Lighting Scheme) Of Previously Approved
Appn 09/0512

Amendment:

Decision: Grant Permission

Date: 20/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1086

Applicant:

Mr & Mrs Bousfield

Parish:

Kirklington Middle

Date of Receipt:

19/12/2011 08:00:33

Agent:

Red Raven Design Ltd

Ward:

Lyne

SCHEDULE E: Decisions Issued Under Delegated Powers

Location:

Fergus Hill, Kirklington, Carlisle, CA6 6DA

Grid Reference:

342542 566192

Proposal: Replace Existing Flat Roof Rear Offshoot With Part Single And Part Two Storey Extensions Including General Renovation And Restoration Of Internal And External Areas

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1087

Applicant:

Mr & Mrs Bousfield

Parish:

Kirklington Middle

Date of Receipt:

19/12/2011 08:00:33

Agent:

Red Raven Design Ltd

Ward:

Lyne

Location:

Fergus Hill, Kirklington, Carlisle, CA6 6DA

Grid Reference:

342542 566192

Proposal: Replace Existing Flat Roof Rear Offshoot With Part Single And Part Two Storey Extensions Including General Renovation And Restoration Of Internal And External Areas (LBC)

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

11/1090

Applicant:

Mr Mark Ashworth

Parish:

Irthington

Date of Receipt:

21/12/2011

Agent:

Mr John Sanderson

Ward:

Stanwix Rural

Location:

The Hollies, Irthington, Carlisle, CA6 4NN

Grid Reference:

350047 561801

Proposal: Raising Roofpitch On Adjoining Log Store To Accommodate New Slate Roof Together With Replacement Rainwater Goods To Dwelling (LBC) (Revised Application)

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 30/01/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1091

Applicant:
Mr & Mrs Sykes

Parish:
Castle Carrock

Date of Receipt:
20/12/2011 13:00:39

Agent:
Bell Cornwell LLP

Ward:
Great Corby & Geltsdale

Location:
The Weary Inn and Restaurant, Castle Carrock,
Brampton, CA8 9LU

Grid Reference:
354261 555371

Proposal: Change Of Use From Inn/Restaurant To Holiday Accommodation And
Alterations To Create 4No. Holiday Units (Revised Application)

Amendment:

Decision: Grant Permission

Date: 13/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1093

Applicant:
Mr Byers

Parish:
Arthuret

Date of Receipt:
23/12/2011

Agent:
Rodney Jeremiah

Ward:
Longtown & Rockcliffe

Location:
21 Old Road, Longtown, Carlisle, CA6 5TH

Grid Reference:
338594 568559

Proposal: Erection Of Single Storey Extension To Provide 1no. En-Suite Bedroom
Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:

Applicant:

Parish:

SCHEDULE E: Decisions Issued Under Delegated Powers

11/1094 Sainsbury's Supermarket
Ltd

Date of Receipt: 10/01/2012
Agent: Turley Associates
Ward: Castle

Location: Land at Bridge Street and Bridge Lane, Carlisle
CA2 5TA
Grid Reference: 339343 556110

Proposal: Discharge Of Conditions D (Car Parking Area During Construction); F & H (Scheme For Historic Building Recording/Archaeological Investigation) Of Previously Approved Permission 11/0001/DEM

Amendment:

Decision: Grant Permission

Date: 10/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1099
Applicant: Courtesy Shoes Ltd
Parish:

Date of Receipt: 04/01/2012
Agent:
Ward: Denton Holme

Location: Unit 3 Byron House, The Maltings, Shaddongate,
Carlisle, Cumbria, CA2 5TU
Grid Reference: 339520 555934

Proposal: Display Of 5no. Externally Illuminated Fascia Signs

Amendment:

Decision: Grant Permission

Date: 08/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No: 11/1102
Applicant: Mr & Mrs Blake
Parish: Carlisle

Date of Receipt: 23/12/2011
Agent: Jock Gordon
Ward: Belle Vue

Location:
Grid Reference:

SCHEDULE E: Decisions Issued Under Delegated Powers

50 Moorhouse Road, Carlisle, Cumbria, CA2 7LU

337491 556145

Proposal: Erection Of First Floor Rear Extension To Provide Extended Bedroom And Single Storey Side And Rear Extension To Provide Shower Room, Extended Kitchen And Conservatory

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1103

Applicant:
Mr Darren Coulson

Parish:
Carlisle

Date of Receipt:
23/12/2011

Agent:

Ward:
Upperby

Location:
29 Brisco Meadows, Upperby, Carlisle, Cumbria,
CA2 4NY

Grid Reference:
341266 553399

Proposal: Erection Of Two Storey Side Extension To Provide Sitting Room And Porch On Ground Floor With En-Suite Bedroom Above

Amendment:

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1104

Applicant:
Mr Michael Hobbs

Parish:
Carlisle

Date of Receipt:
23/12/2011

Agent:

Ward:
Denton Holme

Location:
28 Bedford Road, Carlisle, Cumbria, CA2 5QE

Grid Reference:
339082 555359

Proposal: Erection Of Single Storey Rear Extension To Provide Kitchen/Dining Room

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 02/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
11/1106

Applicant:
Prudential Assurance
Society Ltd

Parish:
Carlisle

Date of Receipt:
23/12/2011 13:00:30

Agent:
Blue Sky Planning Ltd

Ward:
Belah

Location:
Currys plc, Unit A, Greymoorhill Retail Park,
Parkhouse Road, Carlisle, CA3 0JR

Grid Reference:
339415 559577

Proposal: Certificate Of Proposed Lawful Development For Occupation Of Unit For
Sale Of Leisure Goods

Amendment:

Decision: Grant Permission

Date: 07/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0001

Applicant:
Mr & Mrs Aston

Parish:
Dalston

Date of Receipt:
03/01/2012

Agent:
Brier Associates

Ward:
Dalston

Location:
Beech House, Stockdalewath, Dalston, Carlisle,
CA5 7DN

Grid Reference:
338553 545182

Proposal: Non Material Amendment Of Previously Approved Planning Permission
11/0096

Amendment:

Decision: Amendment Accepted
27/01/2012

Date:

Between 14/01/2012 and 24/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:
12/0003

Applicant:
Mr Thomas Fisher

Parish:
Hayton

Date of Receipt:
04/01/2012

Agent:
Abacus Building Design

Ward:
Hayton

Location:
Geltside Farm, Corby Hill, Brampton, CA8 1TA

Grid Reference:
351658 559193

Proposal: Single Story Rear Extension To Provide Enlarged Kitchen; Change Of Use Of Barn/Store To Residential Use (Utility Room)

Amendment:

Decision: Grant Permission

Date: 07/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0006

Applicant:
Carlisle City Council

Parish:
Carlisle

Date of Receipt:
06/01/2012

Agent:

Ward:
Denton Holme

Location:
Depot, Bousteads Grassing, Rome Street, Carlisle,
Cumbria, CA2 5LG

Grid Reference:
340071 554862

Proposal: Erection Of 3 Metre Palisade Fence (Revised Application)

Amendment:

Decision: Grant Permission

Date: 15/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0012

Applicant:
Mr Fisher

Parish:
Carlisle

Date of Receipt:
09/01/2012 08:00:26

Agent:
Brier Associates

Ward:
Castle

Location:
37 Bedford Road, Carlisle, CA2 5QD

Grid Reference:
339003 555364

SCHEDULE E: Decisions Issued Under Delegated Powers

Proposal: Erection Of Single Storey Rear Extension To Provide Kitchen/Dining Room, Utility And WC

Amendment:

Decision: Grant Permission

Date: 17/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0015

Applicant:
Mr Ian Postlethwaite

Parish:
Burgh-by-Sands

Date of Receipt:
12/01/2012

Agent:
Phoenix Architects

Ward:
Burgh

Location:
Fauld Farm, Burgh by Sands, Carlisle, CA5 6AN

Grid Reference:
332383 559088

Proposal: Discharge Of Conditions 4 (Details Of Doors/Window/Shutters), 5 (Details Of Glazed Viewing Screen) And 7 (Pipework, Ventilation Ducts And Flues) Of Previously Approved Listed Building Consent 10/1143

Amendment:

Decision: Grant Permission

Date: 22/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0029

Applicant:
Mr P Knapton

Parish:
Beaumont

Date of Receipt:
18/01/2012

Agent:

Ward:
Burgh

Location:
Weavers Cottage, Kirkandrews on Eden Carlisle
CA5 6DJ

Grid Reference:
335422 558401

Proposal: Erection Of First Floor To Provide 2No. Bedrooms And Bathroom

Amendment:

SCHEDULE E: Decisions Issued Under Delegated Powers

Decision: Grant Permission

Date: 24/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0034

Applicant:
Nestle UK Ltd

Parish:
Dalston

Date of Receipt:
19/01/2012 10:08:39

Agent:
Ashwood Design
Associates

Ward:
Dalston

Location:
Nestle UK Limited, Dalston, Carlisle, CA5 7NH

Grid Reference:
337355 550836

Proposal: Construction Of Temporary (3 Years) Contractors Car Park Allowing Existing Contractors Car Park To Be Used As A Site Compound For Duration Of Construction Of Egron Upgrade 2 Project (Approved Under Planning Ref - 11/0713)

Amendment:

Decision: Grant Permission

Date: 20/02/2012

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0036

Applicant:
Citadel Estates Limited

Parish:
Wetheral

Date of Receipt:
19/01/2012 10:09:02

Agent:
Holt Planning Consultancy
Ltd

Ward:
Wetheral

Location:
Skelton House, Wetheral, Carlisle, CA4 8JG

Grid Reference:
346434 554574

Proposal: Discharge Of Condition 4 (Level 3 Survey) Of Previously Approved Permission 10/1067

Amendment:

Decision: Grant Permission

Date: 01/02/2012

Between 14/01/2012 and 24/02/2012

SCHEDULE E: Decisions Issued Under Delegated Powers

Appn Ref No:
12/0051

Applicant:
G & J Seddon Ltd

Parish:
Carlisle

Date of Receipt:
26/01/2012

Agent:
Condy Lofthouse Architects Harraby

Ward:

Location:
The Inglewood, Pennine Way, Carlisle, CA1 3QD

Grid Reference:
342158 554542

Proposal: Discharge Of Conditions 6 (Vehicular Access); 15 (Site Investigation Ground Contamination) And Condition 16 (Foul And Surface Water Drainage) Of Previously Approved Planning Application 09/1125

Amendment:

Decision: Partial Discharge of Conditions
17/02/2012

Date:

Between 14/01/2012 and 24/02/2012

Appn Ref No:
12/0066

Applicant:
Mr Nelson

Parish:
St Cuthberts Without

Date of Receipt:
30/01/2012

Agent:

Ward:
Dalston

Location:
Howgill Farm, Carleton, Carlisle, CA4 0BS

Grid Reference:
344619 550266

Proposal: Discharge Of Condition 7 (Bat Monitoring Scheme) Of Previously Approved Planning Application 11/0805

Amendment:

Decision: Partial Discharge of Conditions
24/02/2012

Date:
