

SCHEDULE A: Applications with Recommendation

13/0562

Item No: 02

Date of Committee: 30/08/2013

Appn Ref No:
13/0562

Applicant:
Magnus Homes Limited

Parish:
Wetheral

Date of Receipt:
19/07/2013

Agent:
Taylor & Hardy

Ward:
Wetheral

Location:

Land to the rear of Lime House, Wetheral, Carlisle,
Cumbria, CA4 8ET

Proposal: Erection Of 6no. Dwellings And Associated Parking, Engineering Works
And Landscaping (Revised Application)

REPORT

Case Officer: Shona Taylor

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Principle Of The Proposed Development Is Acceptable.
- 2.2 Scale, Layout And Design Of The Development.
- 2.3 The Impact Of The Proposal Upon The Conservation Area.
- 2.4 The Impact Of The Proposal Upon The Listed Building.
- 2.5 The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents.
- 2.6 Highway Issues.
- 2.7 Disposal Of Foul Sewage and Surface Water.
- 2.8 Open Space Contributions.
- 2.9 Affordable Housing.
- 2.10 Landscaping.

3. Application Details

The Site

- 3.1 Lime House is a large detached property overlooking Wetheral Village Green. It is constructed over three storeys plus a basement, the main frontage of which features a sandstone central wing with doric entrances, with two projecting side wings which are built from red brick. It is situated within approximately 0.5ha of grounds, the land to the rear is the subject of this application. There is an informal one way system via the two entrances from the green.

Background

- 3.2 The property was built in circa 1850 as a pair of Victorian Villas, however, it was used as a school from 1856, initially as a ladies seminary, then as a boys preparatory school. In 1993 permission was given to change the use of the building from a residential institution to offices, its most recent use.
- 3.3 Approval has previously been granted for the change of use of the building to nine flats with associated parking. An alternative proposal for the erection of 6 dwellings to the rear of Lime House was refused at a previous meeting of this Committee.

The Proposal

- 3.4 The plan that accompanies the application illustrates that it is proposed to erect six dwellings to the rear of Lime House. These consist of four detached properties and a pair of semi-detached dwellings, arranged as a group of three to the west of the site and a group of three to the north. The detached units are two-storey four bed properties and the semi detached properties are two-storey three bed properties.
- 3.5 Each property features a *minimum* of one parking space and a garage, with most having more than one space. There are also two additional visitor spaces on the site. Lime House has two entrances off the Green, which have historically been used as a one way system, this informal one-way system is proposed to be retained.
- 3.6 Each property has individual garden space and bin storage, ensuring adequate amenity space is available for the future occupiers of the dwellings.

4. Summary of Representations

- 4.1 This application has been advertised by means of site and press notices as well as notification letters sent to neighbouring properties, and neighbours have been advised of subsequent amended plans by way of letter. In response to the consultation eighteen representations have been received from individuals. Letters of objection have been received from the occupiers 16 individual properties and 2 comments have been received.
- 4.2 The grounds of objection to the revised proposal are summarised as:
1. it is within the Conservation Area and no development should take place;

2. the entrance and exit to Lime House are between blind bends in the road, traffic entering and leaving Lime House will be a hazard to other road users;
3. red squirrels live in the pine trees at the front of Lime House;
4. the proposal is out of keeping with the area and will have an adverse affect on the surround area both in terms of the environment and infrastructure;
5. there are still concerns relating to the limited accessed on both of the routes into and out of the site;
6. there are fire safety implications;
7. the refuse/recycling facilities are not acceptable;
8. there are too many dwellings for this area, four would be better;
9. the design of the properties is unimaginative;
10. too many trees are being sacrificed to develop this site;
11. there is no pavement access to the site;
12. the access is not suitable for larger vehicles;
13. emergency vehicles will not be able to enter the site;

5. Summary of Consultation Responses

Cumbria County Council - Highways & Transportation: - no objection, subject to the inclusion of conditions;

Wetheral Parish Council: - Members were pleased to see that the developer had met many of the concerns highlighted by the residents. There are still concerns regarding large vehicles accessing the site, the one way system, and the emptying of the Eurobins at the property, up the steep bank;

Local Environment - Environmental Protection: - have no further comments to make, therefore the previous condition relating to contamination is to be included;

Community Engagement, Housing and Health: - a contribution to affordable housing is required;

United Utilities: - no response received;

Northern Gas Networks: - no objections;

Cumbria County Council - Drainage: - no response received;

Cumbria County Council - Archaeological Services: - a condition should be included to secure an archaeological evaluation and, where necessary, a scheme of archaeological recording of the site be undertaken in advance of development.

Waste Services - Either eurobin or individual bins would be acceptable on this site. Recycling provision by kerbside container collections would be preferable.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies CP1, CP3, CP5, CP12, H1, H5, LE19 and T1 of the Carlisle District Local Plan 2001-2016. The National Planning Policy Framework (NPPF) which was adopted 27th March 2012 is also a material planning consideration in the determination of this application. The proposal

raises the following planning issues:

1. Whether The Principle Of The Proposed Development Is Acceptable.

- 6.2 The application site lies within the centre of the village of Wetheral, which is identified as a Local Service Centre by Policy H1 of the Local Plan. As such the principle of residential accommodation is acceptable, subject to compliance with the criteria identified in Policy H1 and other relevant policies contained within the Local Plan.

2. Scale, Layout And Design Of The Development.

- 6.3 A number of local residents previously objected on the basis that the scale and design of the proposal was inappropriate to the site and that it would harm the setting of the Conservation Area. The objectors, who were not necessarily opposed to the redevelopment of the site, said during the last application, that if the scheme was reduced both in height and number of units it could potentially be more acceptable.
- 6.4 Whilst this latest proposal is based on a very similar footprint to the previous application, the applicant has completely redesigned the appearance of the properties. They are conventional two-storey three and four bedroom properties, to be constructed from a mixture of brick, stone and render, featuring slate roofs.
- 6.5 Each property features a garage and in-curtilage parking. The bin store for the flats has been redesigned and incorporated into this development, adjacent to the garage for unit 5.
- 6.6 The applicant has supplied a site section which illustrates the varying height of the site. This has been reproduced in the schedule and demonstrates the relationship between the proposal and the surrounding properties.
- 6.7 Notwithstanding the objections raised, it is the Officers view that the scale, layout and design of the building are acceptable in relation to the site.

3. The Impact Of The Proposal Upon The Conservation Area.

- 6.8 Whilst the property is located within the Wetheral Conservation Area, the proposed development is located to the rear of Lime House, on a reasonably secluded site.
- 6.9 The Conservation Area Advisory Committee (CAAC) commented that they were disappointed with the lack of design ambition in the scheme relative to the previous application. However, they have not objected to the scheme, as it is noted that the revised design has been submitted in response to concerns from the occupiers of the neighbouring properties.
- 6.10 As such, and for the reasons outlined in 'section 2' above it is not considered that this proposal would have a detrimental impact upon the Wetheral Conservation Area such as to justify refusal of the application.

4. The Impact Of The Proposal On The Neighbouring Listed Building.

- 6.11 The application site is located adjacent Eden Mount, a Grade II Listed Building, built in 1872 for a tea merchant, redecorated in the early 20th Century. It is constructed in the Victorian Gothic style from brick with stone quoin's and carvings.
- 6.12 Several objectors have raised issues regarding the impact of the proposal upon this Listed Building. However, it is the Officers opinion, that considering the offset location of the application site from the frontage of Eden Mount that the proposal would not have a detrimental impact upon the Listed Building or its setting.

5. The Impact Of The Proposal On The Living Conditions Of Neighbouring Residents.

- 6.13 The position of neighbouring properties and location of windows within those dwellings is such that the living conditions of surrounding residents are unlikely to be adversely affected by the proposal. Those properties to the north (Jennet Croft) are positioned a minimum distance of 21m away from the proposed development. Jennet Croft is also raised up from the rear elevation of units 4-6 by approximately 3.4 metres, and as such, the first floors of the Lime House development are on the same level as the ground floors of the properties on Jennet Croft.
- 6.14 The nearest neighbouring property to the west, No. 6 Eden Mount, is positioned over 27 metres away, with a canopy of trees in between, and as such is not considered to be impacted upon by the development. It is also raised up from the majority of the Lime House site.
- 6.15 Eden Mount, The Retreat and The Coach House lie to the south of the application site. These dwellings sit at a lower level than the application site by approximately a metre. The main windows of the Coach House face towards the development, at a distance of twelve metres, which meets the guidelines published in the Councils supplementary planning guidance.
- 6.16 In light of the above, it is the Officer's view there would be no significant adverse effect on the living conditions of neighbouring residents which would justify refusal of the application.

6. Highway Issues.

- 6.17 Further to concerns raised by Members during the previous application, each property has been provided with a garage. The Highways department have confirmed that they are satisfied with the parking arrangements; where each property has parking space and a garage, or in some cases two or three parking spaces and a garage. There are also two additional visitor spaces on the site. These parking facilities are completely separate to those which relate to application 12/0891 for the development of nine flats, which features eighteen parking spaces.

- 6.18 The site is located adjacent to a bus stop and Wetheral train station is located a short distance from the site. Where sites are located in close proximity to public transport links it is normally reasoned, in planning terms, that a lesser number of parking spaces is acceptable.
- 6.19 There have also been concerns raised regarding the access and egress from the site and the potential for accidents occurring, due to the increase in number of vehicles which will be using the road. However, the Highway Authority has raised no objections to the proposal subject to the imposition of a planning condition relating to the access and parking facilities being constructed in accordance with the approved plan.
- 6.20 Concerns have been raised regarding larger vehicles having to use the turning head and leave via the entrance. The applicants have since confirmed that 7.5 tonne vehicles are able to pass round the one way system. It is their intention to restrict access of any vehicles heavier than this through an agreement with the management company, which occupiers of the properties would have to sign and would relate to removal companies, deliveries etc. Large vehicles accessing the site, then having to turn around, rather than use the one-way system would therefore be infrequent, and most probably in emergencies.

7. Disposal Of Foul Sewage and Surface Water.

- 6.21 In 2012 United Utilities confirmed that there was no spare capacity at the Waste Water Treatment works at Wetheral, and therefore any future housing growth would not be acceptable. Nonetheless, as Lime House is an existing premises, it had existing load at the treatment works. As such United Utilities requested a flow and load impact assessment during the 2012 application, highlighting the flow and load (including both foul and surface water) from the proposed development against the existing site. They confirmed that they will require a non-increase or even volumetric betterment in flows from the development entering the public sewage network.
- 6.22 In conjunction with United Utilities, the applicants agreed a scheme for the betterment of the site, which includes the installation of new drainage and attenuation systems both on and off site, at a total cost of over £125,000. This drainage scheme includes the 9 flats within Lime House, and the six dwellings which are subject to this application.
- 6.23 United Utilities have confirmed that they are satisfied with the amended drainage scheme, subject to the inclusion of two conditions requiring details to be submitted prior to commencement of the development.

8. Open Space Contributions.

- 6.24 As Members will be aware it is common place for developers undertaking housing schemes to make a financial contribution towards the pressure that their developments place on existing facilities. This is a requirement that is laid down by Policy LC4 of the Carlisle District Local Plan; however, a request

for funding can only be justified if there is deficit in open space provision in the area in question (there are also other tests that need to be satisfied i.e. that the proposal is reasonable and sufficiently related to the development proposed).

- 6.25 Within the defined urban area of Carlisle an open space audit has been undertaken and, therefore, it is much easier to quantify if such a deficit exists. For the rural area as yet an audit has not been carried out. Consequently, Officers have to make a judgement on this matter.
- 6.26 In this instance, there are a number of open space facilities nearby, including the village green, the play area which borders Greenacres housing estate and the playing fields which are located adjacent to the B6263 Wetheral to Cumwhinton road. As such, it is not considered appropriate to request an open space contribution.

9. Affordable Housing.

- 6.27 The Council's Housing Strategy Officer has requested that an off-site contribution be made towards affordable housing as the predicted sale prices of the dwellings would be unachievable for many, even with the discounted sale.

- 6.28 The figure for the commuted sum is worked out as follows and would be secured by the provision of a section 106 legal agreement:

$(A \times 0.1) \times 30\%$ where 'A' is the market value of the relevant unit as at the relevant unit's practical completion date or sale.

- 6.29 Neighbours have previously raised concerns that a contribution rather than an on-site scheme for affordable housing is not in accordance with policy, however, the advice of the Council's Housing Officers has been taken and they have agreed that a commuted sum is the most appropriate way of delivering affordable housing on this site.

10. Landscaping

- 6.30 The proposal involves the removal of twelve trees from the rear garden of Lime House, six of these due to poor health. The removal of the other six has been agreed with the Council's Landscape Architect and Tree Officer.
- 6.31 The Council's Landscape Architect and Tree Officer has raised concerns that the new layout brings some of the plots closer to the trees. However, it should be noted the trees all remain outwith the root protection zones. As such, it is considered that the proposal can be accommodated, subject to the imposition of planning conditions to regulate the submission of a detailed landscaping scheme and the erection of protective fences to safeguard those trees which are to remain.

11. Other Matters

- 6.32 Several neighbours have commented about the required width of access required for a fire engine not being available at this site. This is a building regulation issue and is not a valid planning matter. However, as it has been brought up during the planning process, Members should note that a representative of Cumbria Fire Service has confirmed that an alternative is available, and this would not jeopardise the scheme. As such it is not considered to be a relevant issue to be taken into account when determining the planning application.

Conclusion

- 6.33 In overall terms, the principle of the proposed development is acceptable. The proposed dwellings could be accommodated on the site without detriment to the living conditions of the neighbouring properties or the character/setting of the Wetheral Conservation Area and adjacent Listed Building. The Highway Authority has advised that the parking/access arrangements and the anticipated level of traffic generated by the proposal would not prejudice highway safety. In all aspects the proposals are considered to be compliant with the objectives of the relevant Local Plan policies.
- 6.34 If Members are minded to grant planning approval it is requested that “authority to issue” the approval is given subject to the completion of a s106 agreement to secure the provision of a contribution towards affordable housing as outlined in paragraph 6.28 and 6.29 of this report.

7. Planning History

- 7.1 This application relates to 12/0891 for the conversion of Lime House, Wetheral into 9 flats.
- 7.2 Earlier in 2013 a planning application for the erection of 6 dwellings was refused (13/0065).

8. Recommendation: Grant Subject to S106 Agreement

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The approved documents for this planning consent comprise:
1. The planning application form;
 2. The proposed block/site roof plan received 19th July 2013;
 3. The proposed site plan received 19th July 2013;
 4. The location and existing site/block/survey plan received 19th July

- 2013;
5. The various proposed plans and elevations received 19th July 2013;
 6. The proposed site sections received 19th July 2013;
 7. The tree protection fence plan received 19th July 2013;
 8. The refuse and recycling and bin stores plan received 19th July 2013;
 9. The planning statement received 19th July 2013;
 10. The design and access statement received 19th July 2013;
 11. The desktop study for Environmental History received 19th July 2013;
 12. The letter from Open Space relating to ecology received 19th July 2013;
 13. The tree survey report received 19th July 2013;
 14. The Notice of Decision; and
 15. Any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. Samples or full details of all materials to be used on the exterior shall be submitted to and approved, in writing, by the Local Planning Authority before any work is commenced.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policies CP5 and LE19 of the Carlisle District local Plan 2001-2016.

4. No development shall commence until details of the proposed hard surface finishes to all public and private external areas within the proposed scheme have been submitted to and approved, in writing, by the Local Planning Authority.

Reason: To ensure the materials used are acceptable and to ensure compliance with Policies CP5 and LE19 of the Carlisle District local Plan 2001-2016.

5. No development shall take place until a detailed landscaping scheme, including identification of those trees/shrubs to be retained, has been submitted to and approved, in writing, by the Local Planning Authority. These works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. The landscaping plan should identify the crown spread of the trees to be retained, including the crown spread of any trees that overhang the boundary, and those trees shall be protected by a suitable barrier in accordance with details to be submitted to and approved, in writing, by the Local Planning Authority. Any trees or other plants, which die or are removed within the first five years following the implementation of the landscaping scheme, shall be replaced during the next planting season.

Reason: To ensure that an acceptable landscaping scheme is prepared and to ensure compliance with Policy CP5 of the Carlisle District Local Plan 2001-2016.

6. No development shall commence until a method statement for any work within the root protection area of those trees to be retained, including those that overhang the boundary, have been submitted to and agreed, in writing, by the Local Planning Authority. The development shall be carried out in accordance with the approved statement.

Reason: In order to ensure that adequate protection is afforded to all trees/hedges to be retained on site in support of Policy CP5 of the Carlisle District Local Plan 2001-2016.

7. No dwelling shall be occupied until its foul drainage system is connected to a public sewer.

Reason: To ensure that adequate drainage facilities are available and to ensure compliance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

8. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared in accordance with the condition above, which is subject to the approval in writing of the Local Planning Authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To protect the environment and prevent harm to human health in accordance with Policy LE29 of the Carlisle District Local Plan 2001-2016.

9. Assuming the access and refuse storage arrangements have already been provided as per consent 12/0891, no dwelling within Phase 2 shall be occupied, until its access and parking facilities have been constructed in accordance with the approved plan. These facilities shall be retained and capable of use at all times thereafter and shall not be removed or altered without the prior consent of the Local Planning Authority.

Reason: To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies LD5, LD7 and LD8.

10. No development shall commence within the site until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted by the applicant and approved by the Planning Authority.

This written scheme will include the following components:

- i) An archaeological evaluation;
- ii) An archaeological recording programme the scope of which will be

- dependant upon the results of the evaluation;
- iii) Where appropriate, a post-excavation assessment and analysis, preparation of a site archive ready for deposition at a store approved by the Planning Authority, completion of an archive report, and submission of the results for publication in a suitable journal.

Reason: To afford reasonable opportunity for an examination to be made to determine the existence of any remains of archaeological interest within the site and for the preservation, examination or recording of such remains in accordance with Policy LE10 of the Carlisle District Local Plan 2001-2016.

11. Prior to the commencement of the development, full details for the separate drainage systems for foul and surface water shall be submitted to the Local Planning Authority for approval in writing. The development shall thereafter be completed in accordance with the approved details.

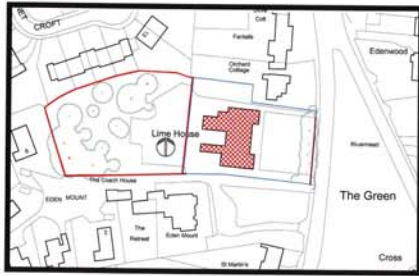
Reason: To ensure that adequate drainage facilities are available and to ensure compliance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

12. Prior to the commencement of development, a scheme for surface water and foul water drainage (inclusive of how the scheme shall be maintained and managed after completion) shall be submitted to and approved in writing by the Local Planning Authority. The drainage scheme submitted for approval shall be in accordance with the principles set out in the Drainage Assessment, ref 12-C-13339 Rev A, November 2012, proposing the attenuated surface water flow of 5 l/sec (maximum) for the whole development (including application 12/0891) discharging to the east of the village green. The development shall be completed, maintained and managed in accordance with the approved details.

Reason: To ensure that adequate drainage facilities are available and to ensure compliance with Policy CP12 of the Carlisle District Local Plan 2001-2016.

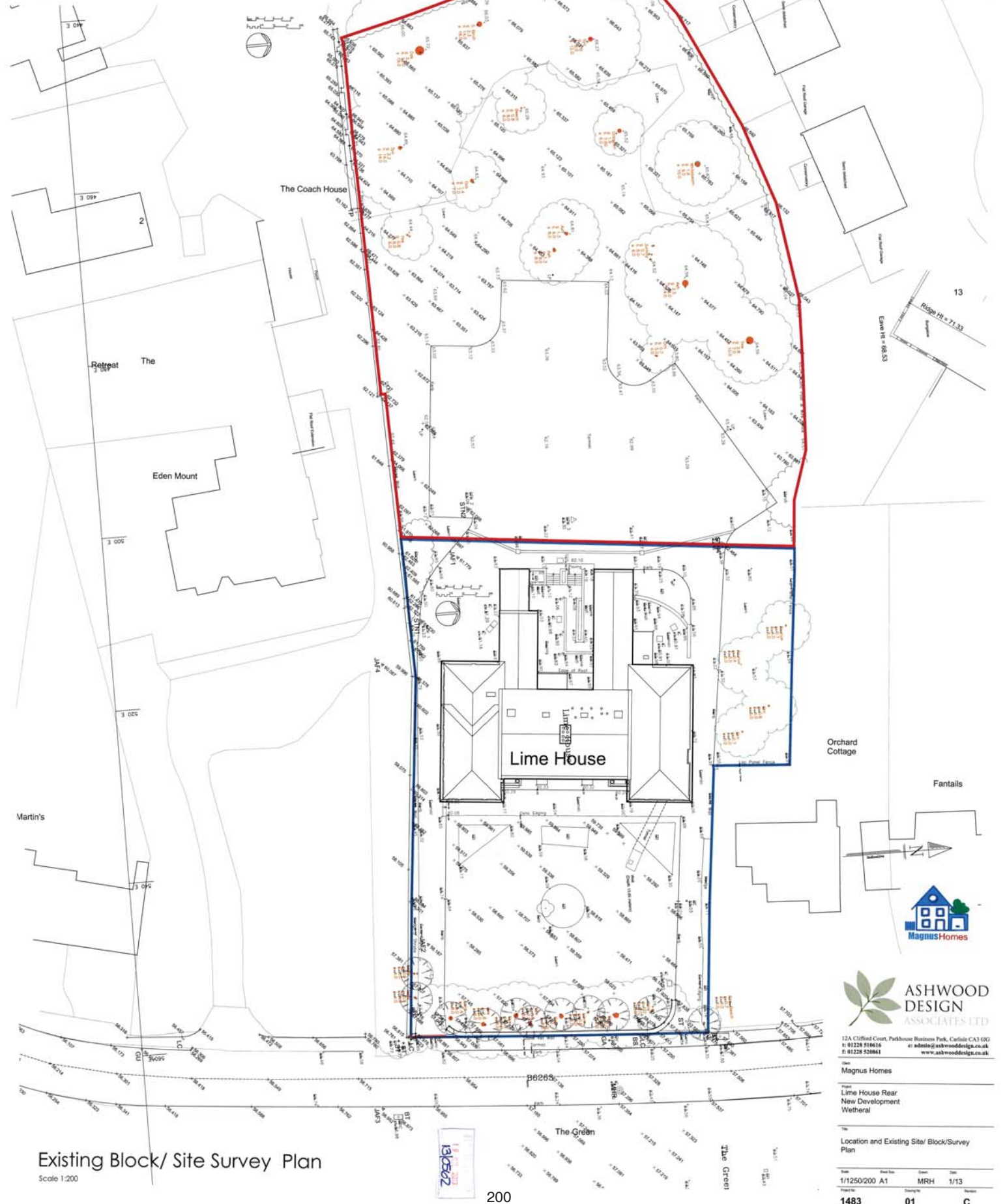
13. The development shall not be occupied until signage relating to the informal one way system, has been erected.

Reason: To ensure that the development is served by an acceptable vehicular access to the satisfaction of the Local Planning Authority in accordance with Policy CP5 of the Carlisle District Local Plan 2013.



Location Plan

Scale 1:1250



NOTES AND AMENDMENTS

The survey is a rough, approximate one to be used as a guide only. It is not intended to be used as a basis for any other survey or for any other purpose. Any discrepancy shall be reported to the client immediately on delivery.

REVISIONS

No.	Description	Drawn	Date
A	Original drawing - planning review	MRH	18.12.2013
B	Revised in accordance with committee consultation	PM	30.4.2013
C	Topographical update	PM	18.7.2013

Magnus Homes

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Client: Magnus Homes

Project: Lime House Rear New Development Wetheral

Location and Existing Site/Block/Survey Plan

Scale: 1/1250/200 A1
 Drawn: MRH
 Date: 1/13

Page: 1483
 Of: 01
 Revision: C

NOTES AND AMENDMENTS
 This drawing is copyright. Figure dimensions are to be followed in preference to scaled dimensions and particulars are to be taken from the actual work where possible. Any discrepancy must be reported to the architect immediately and before proceeding.

REVISIONS			
Rev	Description	Drawn	Date
B	Site section lines added	JEC	02/2013
C	Additional site section line added	JEC	02/2013
D	Units 5-7 redesigned Unit 8 omitted	MRH	15/3/2013
E	Revised in accordance with committee consultation	PM	30/04/2013
F	Redesign	MRH	18/07/2013

CROFT
 FS
 SNS



13

1.0 JUL 2013
 13/0562



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Client: **Magnus Homes**

Project: **Lime House Rear New Development Wetheral**

Title: **Proposed Block Site/ Roof Plan**

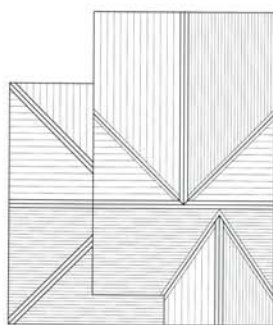
Scale	Sheet Size	Drawn	Date
1/200	A2	MRH	1/13
Project No	Drawing No	Revision	
1483	02	F	

NOTES AND AMENDMENTS

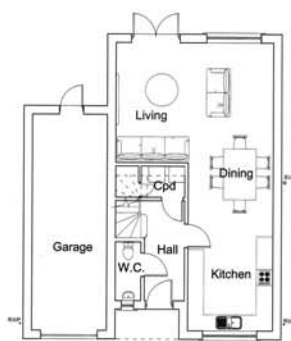
The drawings are a complete design and are to be taken as a reference to assist alterations and additions and to be used for the construction of the building. Any alterations must be reported to the architect immediately and before proceeding.

REVISIONS

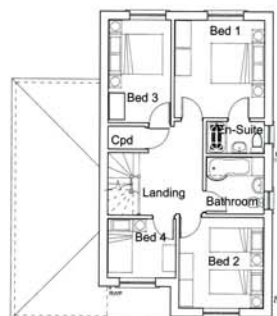
No.	Description	Drawn	Date
A	Units 5-7 revised (Unit 6 omitted)	MRH	15.3.2013
B	Revised in accordance with consultant consultation	PM	30.4.2013
C	Redesign	PM	18.7.2013



Roof Plan



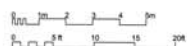
Ground Floor Plan



First Floor Plan

Units 1 Plans

Scale 1:100



Side Elevation



Side Elevation



Front Elevation



Rear Elevation

Units 1 Elevations

Scale 1:100



Front Elevation



Rear Elevation



Side Elevation



Side Elevation

Unit 4 Elevations

Scale 1:100



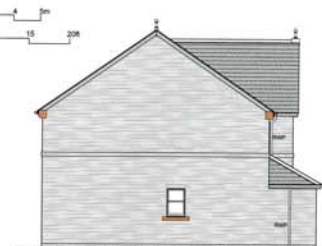
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

Units 2 Elevations

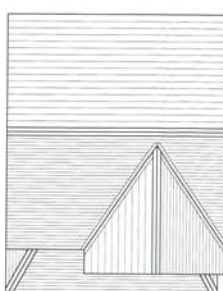
Scale 1:100



Ground Floor Plan



First Floor Plan



Roof Plan

Units 2 Plans- Unit 4 handed

Scale 1:100

Main Residences

- **Walls** - Sandstone Walling to Houses (Plots 1, 5 & 6): Tumbled Cumbrian Red Sandstone Mix.
- **Window Cills & Other Sandstone Features to Houses** : Cumbrian Red.
- **Facing Bricks** : Terca Heritage Blend Creamed Multi Facing Brick.
- **Render** : Off White.
- **Roof Coverings** : Natural Slate - Abbey Grey Spanish Slate.
- **Roof Accessories** : Ridges / Hips / Finials: Grey.
- **Eaves / Verges** : Mixture of timber verges on units 1, 3, 5 and 6 and brick sitting verges on units 2 and 4.
- **Gutters / RWP** : Brett Martin Cast Iron style round Black PVCu.
- **Windows** : White PVCu Windows.
- **Front Doors** : Composite Doors with diamond glazing, colour to be confirmed.
- **Garage Doors** : Hermann - Ref 2304 Georgian with window. Glazing to be diamond. Colour to be agreed and to match front door of each unit.
- **All other doors** : White PVCu.

House Externals

- **Pavilions** : Indian Sandstone (Multi Unit Sizes - Random Look) Pavilions.
- **Gravel** : To be agreed
- **Retaining Walls** : Facing Brick - Terca Oakwood Multi

Site Work Externals

- **Main access areas** : Tarmac
- **Pavilions** : Type to be agreed
- **Feature Boundary wall to Forecourt Area** : Tumbled Cumbrian Red Sandstone Mix.
- **Unit 5 Garage / Bin Store** : Sandstone as before described.
- **Unit 6 Garage** : Facing brick as houses.



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Client: Magnus Homes

Project: Lime House Rear New Development Wetheral

Title: Proposed Plans & Elevations

Scale	Drawn	Check	Date
1/100	A1	MRH	1/13
Project No.	1483	Drawn By	04
		Revised	C



Rear Elevation

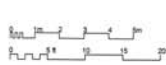


Side Elevation



Front Elevation
Units 5 & 6 Elevations

Scale 1:100



Side Elevation

NOTES AND AMENDMENTS

All drawings are subject to change without notice. The client agrees to accept the drawings as they are and not to be held responsible for any errors or omissions. The client agrees to accept the drawings as they are and not to be held responsible for any errors or omissions.

REVISIONS

No.	Description	Date	By
A	Plans amended to show all unit levels	MRH	14/2/2
B	Units 5/7 amended Unit 5 Deleted	MRH	15/3/2
C	Revised in accordance with committee recommendations	PR	30/04/2
D	Redesign	PR	18/7/20

Main Residences

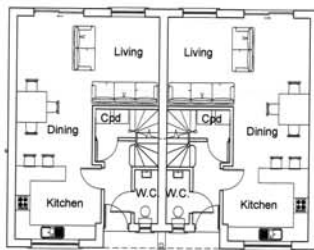
- **Walls** - Sandstone Walling to Houses (Plots 1, 5 & 6): Tumbled Cumbrian Red Sandstone Mix.
- **Window Cills & Other Sandstone Features to Houses** - Cumbrian Red.
- **Facing Bricks** - Terra Heritage Blend Creamed Multi Facing Brick.
- **Render** - Off White.
- **Roof Coverings** - Natural Slate - Abbey Grey Spanish Slate.
- **Roof Accessories** - Ridges / Hip / Finials - Grey.
- **Eaves / Verges** - Mixture of timber verges on units 1, 3, 5 and 6 and brick string verges on units 2 and 4.
- **Gutters / RWP** - Brett Martin Cast iron style round Black PVCu.
- **Windows** - White PVCu Windows.
- **Front Doors** - Composite Doors with diamond glazing, colour to be confirmed.
- **Garage Doors** - Hormann - Ref 2304 Georgian with window. Glazing to be diamond. Colour to be agreed and to match front door of each unit.
- **All other doors** - White PVCu.

House Externals

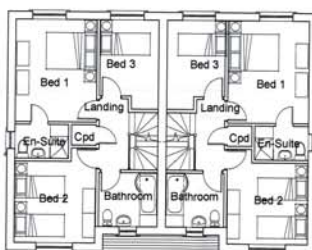
- **Pavements** - Indian Sandstone (Multi Unit Sizes - Random Look) Pavements.
- **Gravel** - To be agreed.
- **Retaining Walls** - Facing Brick - Terra Oakwood Multi.

Site Work Externals

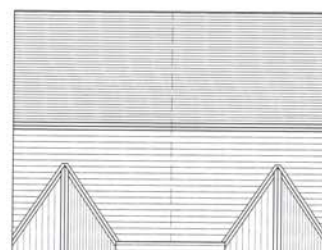
- **Main access areas** - Tarmac.
- **Pavements** - Type to be agreed.
- **Feature Boundary wall to Forecourt Area** - Tumbled Cumbrian Red Sandstone Mix.
- **Unit 5 Garage / Bin Store** - Sandstone as before described.
- **Unit 6 Garage** - Facing brick as houses.



Ground Floor Plan



First Floor Plan



Roof Plan

Units 5 & 6 Plans

Scale 1:100



Front Elevation



Rear Elevation



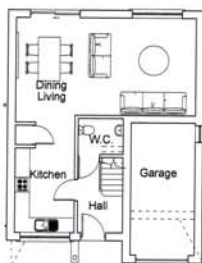
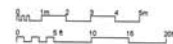
Side Elevation



Side Elevation

Unit 3 Elevations

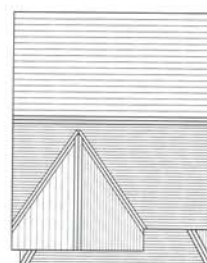
Scale 1:100



Ground Floor Plan



First Floor Plan



Roof Plan

Unit 3 Plans

Scale 1:100



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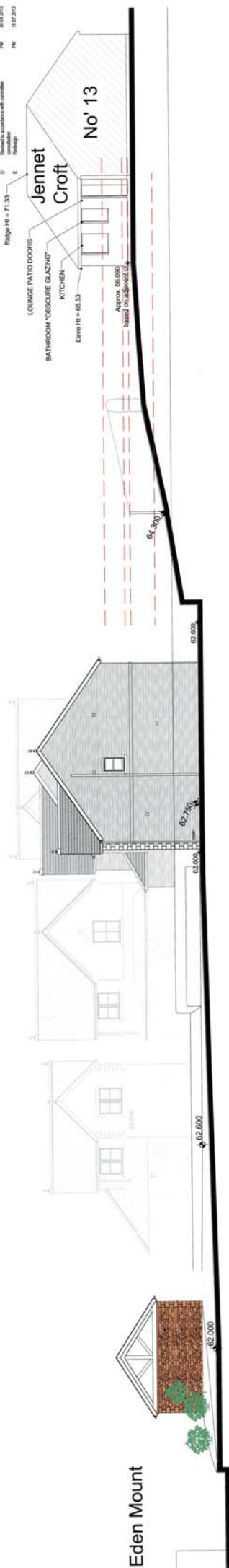
Magnus Homes

Lime House Rear
New Development
Wetheral

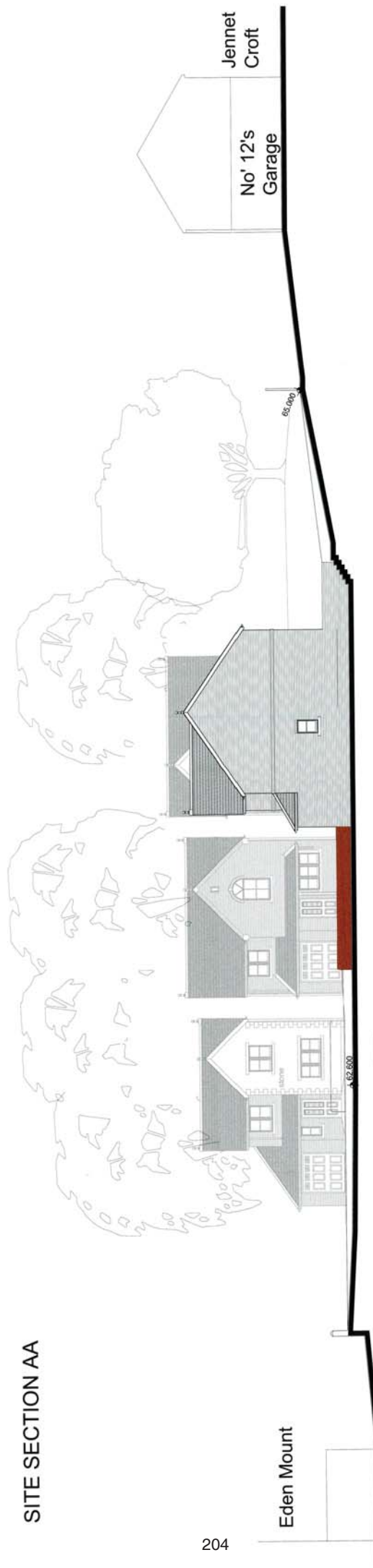
Proposed Plans & Elevations

Drawn	Checked	Drawn	Date
1/100	A1	MRH	1/13
Project No.	Sheet No.	Revision	
1483	05	D	





SITE SECTION AA



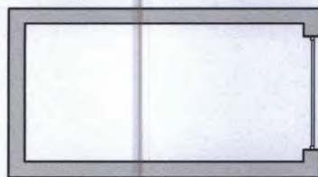
SITE SECTION BB



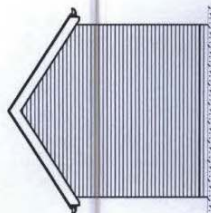
SITE SECTION CC

REVISIONS

Rev	Description	Drawn	Date
A	Revised in accordance with committee consultation	PM	30.04.2013
B	Redesign	PM	18.07.2013

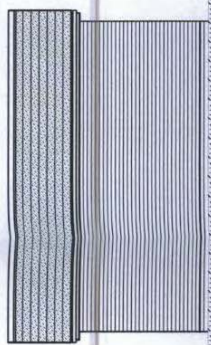


Plan

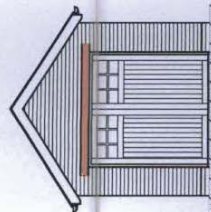


North Elevation

garage for unit 6



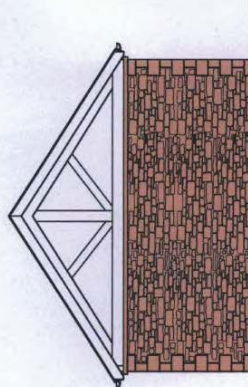
East & West Elevation



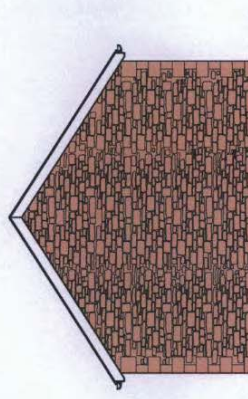
South Elevation



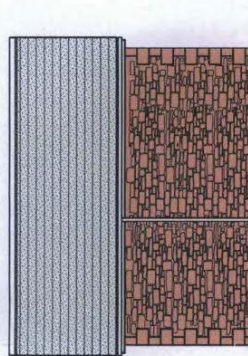
North Elevation



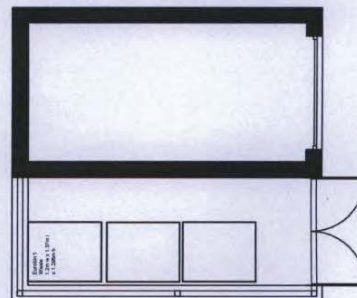
East Elevation



West Elevation



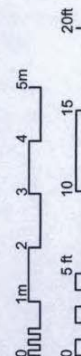
South Elevation



Plan

Refuse unit and Garage for unit 5
Plans and elevations

Scale 1:100



Main Residences

- Walls - Sandstone Walling to Houses (Plots 1, 5 & 6): Tumbled Cumbrian Red Sandstone Mix.
- Window Cills & Other Sandstone Features to Houses: Cumbrian Red.
- Facing Bricks: Tercia Heritage Blend Creamed Multi Facing Brick.
- Render: Off White.
- Roof Coverings: Natural Slate - Abbey Grey Spanish Slate.
- Roof Accessories: Ridges / Hips / Finials: Grey.
- Eaves / Verges: Mixture of timber verges on units 1, 3, 5 and 6 and brick string verges on units 2 and 4.
- Gutters / RWP: Brett Martin Cast Iron style round Black PVCu.
- Windows: White PVCu Windows.
- Front Doors: Composite Doors with diamond glazing, colour to be confirmed.
- Garage Doors: Hormann - Ref 2304 Georgian with window. Glazing to be diamond. Colour to be agreed and to match front door of each unit.
- All other doors: White PVCu.

House Externals

- Patios: Indian Sandstone (Multi Unit Sizes - Random Look) Paviors.
- Gravel: To be agreed
- Retaining Walls: Facing Brick - Tercia Oakwood Multi

Site Work Externals

- Main access areas: Tarmac
- Pavements: Type to be agreed
- Feature Boundary wall to Forecourt Area: Tumbled Cumbrian Red Sandstone Mix.
- Unit 5 Garage / Bin Store: Sandstone as before described.
- Unit 6 Garage. Facing brick as houses.



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Client
Magnus Homes

Project
Lime House Rear
New Development
Wetheral

Title
Refuse and Recycling
Bin Store

Scale	Sheet Size	Drawn	Date
1/50	A3	MRH	4/13
Project No	Drawing No	Revision	
1483	11	B	