

## SCHEDULE A: Applications with Recommendation

17/0662

Item No: 03

Date of Committee: 05/01/2018

**Appn Ref No:**  
17/0662

**Applicant:**  
Riverside Housing  
Association

**Parish:**  
St Cuthberts Without

**Agent:**  
Day Cummins Limited

**Ward:**  
Wetheral

**Location:** Land Adjacent to Beverley Rise, Carlisle

**Proposal:** Erection Of 40no. Dwellings And Associated Infrastructure

**Date of Receipt:**  
27/07/2017

**Statutory Expiry Date**  
26/10/2017

**26 Week Determination**  
25/01/2018

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### REPORT

**Case Officer:** Stephen Daniel

#### 1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

#### 2. Main Issues

- 2.1 Principle of Development
- 2.2 Affordable Housing
- 2.3 Scale, Design and Layout;
- 2.4 Residential Amenity;
- 2.5 Impact on the Settle to Carlisle Railway Conservation Area
- 2.6 Highway Safety and Parking
- 2.7 Foul and Surface Water Drainage
- 2.8 Impact on Biodiversity
- 2.9 Open Space
- 2.10 Crime Prevention
- 2.11 Noise Issues
- 2.12 Waste Matters
- 2.13 Other Matters

#### 3. Application Details



## **The Site**

- 3.1 The application site is a green field extending to approx. 2.2 hectares. It is located to the rear of an existing residential area at Beverley Rise and within the Harraby area of Carlisle. The M6 motorway runs adjacent to the eastern boundary of the site while the Settle to Carlisle Railway runs along the northern boundary. To the south is farmland with the existing properties at Beverley Rise adjacent to the west.
- 3.2 Mature trees and hedging line the boundaries to the north and east.
- 3.3 The site rises from its lowest level at the boundary with Beverley Rise to the highest point along the boundary with the M6. Overall the site has a gradient of around 1:10.

## **The Proposal**

- 3.4 This application seeks full planning permission for the erection of 40 dwellings and associated infrastructure on an area of land adjacent to Beverley Rise, Carlisle.
- 3.5 The proposal amounts to a mix of 20 two-bedroom properties and 20 three-bedroom properties all of which would be available for social rent under the provision of Riverside Housing Association.
- 3.6 The site would be accessed via the existing field access off Beverley Rise. It is proposed to widen the existing access road off Beverley Rise to provide a sufficiently wide access to serve the development in accordance with guidance from the Highway Authority.
- 3.7 To manage surface water, the proposal includes the provision of a below ground attenuation tank and a pumping station.
- 3.8 A footpath link is proposed between Beverley Rise access road and Keenan Park to the rear of the existing residential properties on Beverley Rise.
- 3.9 The following detail has been submitted in support of the proposal:
  - 1. Proposed Plans & Drawings
  - 2. A Planning, Heritage, Community Involvement, Design & Access Statement
  - 3. Affordable Housing Statement
  - 4. Ecological Appraisal
  - 5. A Phase II Geoenvironmental Appraisal
  - 6. Arboricultural Survey Report
  - 7. Noise Survey & Design Statement

## **4. Summary of Representations**

- 4.1 The application has been advertised by means of site and press notices and



notification letters sent to sixty one neighbouring properties. One letter of objection has been made during the consultation period and this raises the following points:

1. The new dwellings would lead to highway safety issues, inadequate parking and access problems.
2. Young children living in the houses at the proposed access road would be a safety hazard for vehicles entering and exiting the site as visibility would be poor.
3. Noise would increase due to the additional vehicular traffic generated.
4. The proposed widening of the road would reduce the number of existing parking spaces.
5. The proposal would be detrimental to the value of surrounding properties.

## **5. Summary of Consultation Responses**

### Northern Gas Networks: -

No objections;

### Local Environment, Waste Services: -

No objections. The turning heads are sufficient to reverse waste collection vehicles into access the properties. The developer is required to contribute towards the cost of providing refuse bins to each property (£38 per unit);

### Local Environment - Environmental Protection: -

No objections subject to conditions relating to dust, noise (next to railway line), and construction management.

### St Cuthberts Without Parish Council: -

No objections.

### Cumbria Constabulary - North Area Community Safety Unit: -

No objections following receipt of amended layout;

### Network Rail: -

No objections, subject to conditions;

### Green Spaces: -

A footpath link should be provided from the site into Keenan Park;

### Natural England - relating to protected species, biodiversity & landscape: -

Does not wish to comment on the application;

### Highways England: -

No objections.

### Cumbria County Council - (Highways & Lead Local Flood Authority): -

No objections to the proposal subject to conditions (construction details of highway/ footpaths; details of widening of Beverley Rise; provision of access and parking/ turning areas);



United Utilities: -

No objections to the proposal subject to conditions (drainage in accordance with submitted details and submission of a sustainable drainage management and maintenance).

## **6. Officer's Report**

### **Assessment**

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that proposals be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 6.2 The Development Plan for the purpose of the determination of this application is the Carlisle District Local Plan 2015-2030 from which Policies SP1, SP2, SP6, HO1, HO4, IP2, IP3, IP4, IP6, CC5, HE7, CM4, GI3, GI4 and GI6 are of particular relevance. The Council's Supplementary Planning Documents (SPDs) "Achieving Well Designed Housing", "Trees and Development", and "Designing Out Crime" area also material planning considerations along with the Statutory Duty set out at Section 72 of the Planning (Listed Buildings and Conservation areas) Act 1990 and its application with regard to the Settle to Carlisle Conservation Area.
- 6.3 The requirements of the public sector equality duty under Section 149 of the Equality Act 2010; and the "Guidelines for Public Transport In Developments" (1999) and "Reducing Mobility Handicaps" (1991) both prepared by the Chartered Institution of Highways & Transport CIHT) are also material considerations. Section 149(1) of the Equality Act 2010 establishes a duty to have due regard to three identified needs in the delivery of public services and the exercise of public powers, namely:
  - a) to eliminate discrimination, harassment, victimisation etc;
  - b) advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
  - c) foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
- 6.4 The relevant protected characteristics include age, gender, disability and race.
- 6.5 At a national level, other material considerations include the National Planning Policy Framework, March 2012 (the Framework/NPPF), Planning Practice Guidance (April 2014 as updated), the Community Infrastructure Levy Regulations 2010 (as amended), and the Natural Environment and Rural Communities Act (2006).
- 6.6 The NPPF identifies 3 dimensions for the planning system to perform under sustainable development, namely, an economic role, a social role and an environmental role.
- 6.7 Paragraph 14 of the NPPF highlights the presumption in favour of sustainable development which is referred to as "a golden thread". For



decision-taking this means approving development proposals that accord with the development plan; and where the development plan is absent, silent or out of date, grant permission unless:

- any adverse impacts of doing so would significantly and demonstrably outweigh the benefits; or
- specific policies in this Framework indicate development should be restricted.

- 6.8 Paragraph 17 of the NPPF identifies 12 core planning principles including taking account of the different roles and character of different areas; supporting the transition to a low carbon future; contribute to conserving and enhancing the natural environment and reduce pollution; and conserve heritage assets.
- 6.9 The authority should consider securing measures to enhance the biodiversity of a site from the applicant, if it is minded to grant permission for an application in accordance with paragraph 118 of the NPPF. This is reflected in Section 40 of the Natural Environment and Rural Communities Act (2006) which states that every public authority must have regard to the purpose of conserving biodiversity. Local planning authorities must also have regard to the requirements of the EC Habitats Directive (92/43/EEC) when determining a planning application as prescribed by regulation 3 (4) of the Conservation (Natural Habitats, &c.) Regulations 1994 (as amended), and Article 16 of the Habitats Directive before planning permission is granted.
- 6.10 The proposals raise the following planning issues:
1. Principle of Development
- 6.11 The site is allocated under Policy HO1 (U13) of the Carlisle District Local Plan 2015-2030 (the CDLP). The proposal to develop the site for residential development would, therefore, be acceptable in principle.
2. Affordable Housing
- 6.12 The site is well located for affordable housing, as it adjoins the existing popular Riverside estate. The site is in reasonable proximity to shops, primary schools, public transport, Doctor's Surgeries, and local employment sites.
- 6.13 The Council's most recent SHMA (Strategic Housing Market Assessment) from September 2014 identified the need for 295 affordable homes per annum across Carlisle District, over the five year period of the Assessment, including 201 p.a. in the City. The housing need by property type and tenure identified in the SHMA is made up as follows:
- Tenure: 70% affordable/ social rent & 30% intermediate;
  - Property type: 70% 1-2 bed properties & 30% 3/ 3+ bed properties.
- 6.14 This application would provide 100% affordable housing - all for affordable rent (compared to the Local Plan target of 20% in Affordable Housing Zone B), supported by grant from the Homes and Communities Agency, and would



therefore be meeting a clearly identified need, as well as bringing in significant external investment in new affordable homes in Carlisle.

- 6.15 The development also provides a good opportunity to replace some of the stock which has been acquired by residents through the Right to Buy and Right to Acquire schemes. Riverside has advised that since the transfer of the Council's housing stock in December 2002, almost all of the 219 properties sold at Harraby have been two and three bedroom properties. Data from 'Cumbria Choice' (choice-based lettings scheme) also demonstrates the popularity of two and three bedroom houses in Harraby. Over recent months, Riverside has advertised 6 no. 2 bed houses for rent in Harraby receiving an average of 38 bids per property, and 2 no. 3 bed houses, attracting an average of 26 bids per property. This shows a strong demand for each property type in the Harraby area.
- 6.16 An added benefit to the development of this Council-owned site is that local apprentices and trainees from Carlisle College would be given practical onsite training and experience, through the "Demonstration Project", helping to upskill the local labour force.

### 3. Scale, Design and Layout

- 6.17 Policy SP6 of the CDLP requires development proposals to demonstrate a good standard of sustainable design that responds to, and is respectful of, the existing character and distinctiveness of the local area. This policy approach is echoed by Section 7 of the NPPF which emphasises the Government's commitment to achieving high quality design of the built environment. Indeed the NPPF advises that good design is indivisible from good planning and as such should contribute positively to making places better for people.
- 6.18 To this end planning policies seeks to ensure development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and where possible enhance the character of the surrounding area.
- 6.19 When assessing the submitted details in terms of the design, in the context of the site's allocation under Policy HO1, the main issues are considered to revolve around:
- whether the scheme integrates into its surroundings by reinforcing existing connections and creating new ones;
  - whether the proposal has a mix of dwelling types and tenures that suit local requirements;
  - does the scheme create a distinctive character which takes advantage of existing features;
  - does it create well defined streets and spaces;
  - is the scheme designed to make it easy to find your way around;
  - are streets designed to encourage low vehicle speeds;
  - is resident and visitor parking sufficient and well integrated;
  - are public and private spaces clearly defined, attractive and safe;
  - is there adequate external storage space for bins and recycling as well as



- cycles;
    - is there adequate and effective open space.
- 6.20 The site is self-contained with a single point of entry taken from Beverley Rise. It is clear that the scheme has been designed around a spine road with properties set back off this road which rises with the topography of the land from west up to east. This provides both vehicular and pedestrian access as a central movement corridor through the site and to each proposed property.
- 6.21 The layout of the scheme runs parallel to that of Beverley Rise with over 26m separating the existing rear elevations and those of the proposed properties. Each of the 40 proposed dwellings would be semi-detached with front gardens and private rear gardens with patio areas, landscaping and enclosed by 1.8m high close boarded timber fencing.
- 6.22 The scale and design of the proposed properties takes reference from existing properties in the locality with properties being semi-detached, two storeys and similar in design to those of the recently constructed properties in Harraby at St Elizabeth Close. Proposed materials are varied to add visual interest, provide a contemporary appearance and maintain continuity with architectural features found in existing properties in the immediate locality. Elements of rendering, facing brick, fibre cement wood effect boarding and coloured uPVC framed windows and doors are included in the proposed design with final colours and finishes yet to be determined.
- 6.23 Network Rail has been consulted on the proposal and originally raised a holding objection based on the proposed engineering strategy and any earthworks adjacent to Network Rails infrastructure. However, upon receipt of additional information from the agent, Network Rail confirmed the removal of the holding objection subject to the inclusion of a pre-commencement planning condition requiring an engineering statement to be submitted to and agreed in writing by the Local Planning Authority in consultation with Network Rail. A condition has been recommended accordingly.

#### 4. Residential Amenity

- 6.24 The NPPF requires the planning process to achieve a good standard of amenity for all existing and future occupiers of land and buildings. This is a core principle of the planning system and is echoed by Policy SP6 of the CDLP which seeks to ensure there is no adverse effect on the residential amenity of existing areas or adjacent land users.
- 6.25 The development has been designed to take account of the requirements set out in the Council's Supplementary Planning Document "Achieving Well Designed Housing" and is compliant with the requirement to have a minimum separation distance of 21m between primary facing windows and 12m between primary windows and blank elevations. This would ensure acceptable levels of privacy are maintained along with adequate outlook from each property.
- 6.26 Accordingly, the development would maintain an acceptable level of



residential amenity for neighbouring residential properties along with an acceptable level of amenity for future occupiers of the development.

## 5. Impact on the Settle to Carlisle Railway Conservation Area

- 6.27 The application site is located immediately adjacent to the Settle to Carlisle Conservation Area which runs adjacent to the northern boundary of the site. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 sets out the statutory duty placed upon Local Planning Authorities (LPAs) whilst exercising their powers with respect to any buildings or land within or adjacent to a conservation area. Section 72 of the Act states that:

“...special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area”.

- 6.28 This statutory requirement is reiterated by the NPPF which states that protecting and enhancing the historic environment is an important component of the NPPF’s drive to achieve sustainable development. Indeed, the appropriate conservation of heritage assets forms one of the NPPF’s “Core Planning Principles” which underpin the planning system as set out in paragraph 17 of the framework. This national policy approach is echoed by policies SP6, SP7 and HE7 of the CDLP in that together these policies require, inter alia, that development within conservation areas harmonise with the surrounding area, and is sympathetic to the setting, scale, density and physical characteristics of the conservation area while also preserving or enhancing any features which contribute positively to the area’s character or appearance.
- 6.29 In assessing this proposal for development, considerable importance and weight is given to the desirability of preserving or enhancing the setting of the Settle to Carlisle Conservation Area. The Council’s Heritage Officer has been consulted on the application and has raised no objections to the proposal on the basis that the proposed development would be seen within the context of the existing residential properties along Beverley Rise and it reflects the urban extent of this area of Carlisle. It is, therefore, considered that the proposal would have a negligible impact on the significance of the Settle to Carlisle Railway Conservation Area and is therefore compliant in this regard.

## 6. Highway Safety and Parking

- 6.30 Policies IP2 and IP3 of the CDLP require all development proposals to be assessed against their impact on the transport network and to ensure adequate levels of parking provision.
- 6.31 It is proposed that vehicular and pedestrian access would be taken from an existing field access off Beverley Rise. It is proposed to widen the access road off Beverley Rise to provide a sufficiently wide access (4.9m) to serve the development. Parking bays 2.4m wide would be created on both sides of the road to provide parking for the existing dwellings at 31 to 45 Beverley Rise and a 1.2m wide footpath would be provided on the western side of the road. In total, 67 parking spaces would be provided within the development, seven



of which would be visitor parking. Two bedroom properties would have one parking space while three bedroom properties would have two spaces.

- 6.32 A single objection has been received from a neighbouring occupier on Beverley Rise and it has raised concerns relating to highway safety by way of inadequate parking provision and poor visibility. A local councillor has also received concerns about the width of the proposed road into the site as it considers that is not wide enough to allow two cars to pass. However, the Highway Authority has been consulted on the proposal and it has confirmed that the proposed access, parking provision and internal road widths would be acceptable to accommodate the proposed development.
- 6.33 Nevertheless, a number of planning conditions have been recommended requiring further details of the proposed roads, footways, footpaths and associated construction detail.
- 6.34 As the proposal site is located adjacent to the M6 motorway, Highways England has been consulted and confirmed there is no objection to the proposal.

## 7. Foul and Surface Water Drainage

- 6.35 The drainage strategy proposes to connect to the existing combined sewer on Beverley Rise via a below ground attenuation tank, which is designed to provide attenuation for storms in excess of a 1 in 30 year return period up to a 1 in 100 year return period plus 30% for climate change.
- 6.36 The surface water discharge would be restricted to the greenfield run off rate of 6.5 l/s by a hydrobrake.
- 6.37 Two local councillors have raised concerns about the proposed drainage. This has, however, been amended following discussions with the Lead Local Flood Authority (LLFA) who have confirmed that they have no objections to the revised drainage proposals.
- 6.38 United Utilities has been consulted on the proposal and has confirmed there is no objection to the proposal in principle subject to conditions requiring the drainage to be implemented in accordance with the proposed details and requiring the submission of a sustainable drainage management and maintenance plan for approval by the LPA.

## 8. Biodiversity

- 6.39 There are no protected or priority species recorded on the site, nor are there any designated sites, important habitats or other biodiversity features on the site. The site was used for grazing and has recently been ploughed and is of low ecological value. The provision of gardens and landscaping is likely to lead to an enhancement of the site in terms of biodiversity.
- 6.40 Natural England has been consulted on the proposal and confirmed that is has no objections.



## 9. Open Space

- 6.41 No formal open space provision is included within the proposal. However, the application site is located immediately adjacent to Keenan Park and the Council's Green Spaces Manager has requested that a footpath link should be provided from the site into Keenan Park. The plans have been amended to include this link.

## 10. Crime Prevention

- 6.42 The Council's Crime Prevention Officer has been consulted on the proposal and confirmed the layout has been designed so that the dwellings overlook one another. However, originally the designated access off Beverley Rise lacked natural surveillance as the closest dwellings presented only blank gable walls towards the access. As such, side windows have been introduced on Plot 1 and Plot 3 to provide natural surveillance towards the access.
- 6.43 Furthermore, the Council's Crime Prevention Officer originally advised that the proposed visitor parking lacked natural surveillance being placed between blank gables. Similarly, side windows have been introduced on Plot 28, Plot 30, Plot 35 and Plot 37. The associated boundary treatments have also been amended so as to avoid compromising the natural surveillance.
- 6.44 The proposed landscaping has also been amended to avoid compromising the natural surveillance by locating tree planting in appropriate locations including taking account of street lighting.
- 6.45 In addition, the Council's Crime Prevention Officer advised that soft and hard landscaping could be utilised to improve the definition and delineation of front garden curtilages and parking provision, thereby enhancing separation of public and private spaces and promoting the concept of ownership.
- 6.46 A planning condition is, therefore, considered appropriate to require the submission of hard and soft landscaping details for approval by the LPA.
- 6.47 A number of other recommendations including the specification of windows and doors have been proposed and these have been forwarded to the applicant.

## 11. Noise Issues

- 6.48 The proposal site is located in close proximity to the Carlisle to Settle Railway and the M6 motorway. It is, therefore, considered there is potential for noise to adversely affect the living conditions of future occupiers.
- 6.49 A Noise Assessment has been submitted in support of the proposal and Environmental Health has been consulted on this. It has recommended that a condition should be added to the permission to require the mitigation measures as set out in the Noise Assessment to be completed prior to occupation of any of the dwellings.



- 6.50 In addition, the Council's Environmental Health Service has recommended conditions be imposed relating to the construction management of the development to mitigate any potential nuisance in terms of noise, dust and vibration.

## 12. Waste Matters

- 6.51 The proposal includes the provision for bin storage facilities for each dwelling. In addition, the layout has been designed so that refuse vehicles can turn within the development and leave the site in a forwards gear.
- 6.52 The Council's Waste Services team has been consulted on the proposal and confirmed that it has no objections as the turning heads are sufficient to reverse the refuse vehicles into access the properties.
- 6.53 The Council's Waste Services team also advised the Developer is required to contribute towards the cost of providing refuse bins to each property and a condition has been added to cover this issue.

## 13. Other Matters

- 6.54 A local councillor considers that a one-way route should be established for construction traffic, with Beverley Rise being used together with a temporary road through Keenan Park, which would exit onto Pennine Way between numbers 327 and 329. The Highway Authority would not support this proposal and considers that the road would be too narrow to serve as a construction access where it passes between the dwellings on Pennine Way. There are also safety concerns about taking a temporary road through a park.

## Conclusion

- 6.55 In overall terms, the proposal, which is for 100% affordable housing, would be acceptable in principle. The layout, scale and design of the development would be acceptable and the proposed development would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties. Subject to conditions, the proposed access, parking and drainage would be acceptable. In all aspects, the proposal is compliant with policies in the CDLP.

## 7. Planning History

- 7.1 There is no planning history relating to this site.

## 8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.



**Reason:** In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 ( as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprises:
  1. the submitted planning application form received 24th July 2017;
  2. the Location Plan (drawing ref 01) received 24th July 2017;
  3. the Proposed Block Plan (drawing ref 02 rev C) received 18th December 2017;
  4. the Proposed Site Plans (drawing ref 03 rev G) received 18th December 2017;
  5. the Proposed Floor Plans and Elevations (drawing ref 04 rev B) received 24th July 2017;
  6. the Proposed Site Section (drawing ref 06) received 24th July 2017;
  7. the Proposed Site Access Plan (drawing ref 08 rev A) received 18th December 2017;
  8. the Constraints Plan (drawing ref 96002 rev P1) received 24th July 2017;
  9. the Proposed Road and Sewer Layout Sheet 1 of 2 (drawing ref 90701 rev P3) received 14th December 2017;
  10. the Proposed Road and Sewer Layout Sheet 2 of 2 (drawing ref 90702 rev P3) received 14th December 2017;
  11. the Road and Sewer Longitudinal Sections Sheet 1 (drawing ref 90710 rev P1) received 7th November 2017;
  12. the Road and Sewer Longitudinal Sections Sheet 2 (drawing ref 90711 rev P1) received 7th November 2017;
  13. the Topographic Survey (drawing ref ABEL-048-015) received 24th July 2017;
  14. the Storm Sewer Design report received 7th November 2017;
  15. the Foul Sewerage Design report received 7th November 2017;
  16. the Planning, Heritage, Community Involvement, Design and Statement received 24th July 2017;
  17. the Affordable Housing Statement received 24th July 2017
  18. the Preliminary Ecological Appraisal received 24th July 2017;
  19. the Arboricultural Survey Report received 24th July 2017;
  20. the Noise Survey and Facade Acoustic Design report received 24th July 2017;
  21. the Phase 2 Geoenvironmental Appraisal received 24th July 2017;
  22. the Notice of Decision; and
  23. any such variation as may subsequently be approved in writing by the Local Planning Authority.

**Reason:** To define the permission.

3. The materials (and finishes) to be used in the construction of the proposed development shall be in accordance with the details contained in the submitted application, unless otherwise agreed in writing by the Local Planning Authority.



**Reason:** To ensure the objectives of Policy SP6 of the Carlisle District Local Plan 2015-2030 are met and to ensure a satisfactory external appearance for the completed development.

4. No development shall take place until full details of hard and soft landscape works, including a phased programme of works, have been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved prior to the occupation of any part of the development or in accordance with the programme agreed by the Local Planning Authority. Any trees or other plants which die or are removed within the first five years following the implementation of the landscaping scheme shall be replaced during the next planting season.

**Reason:** To ensure that a satisfactory landscaping scheme is prepared and to ensure hard surface details are acceptable, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

5. No development shall commence until details of any walls, gates, fences and other means of permanent enclosure and/or boundary treatment to be erected have been submitted to and approved, in writing, by the Local Planning Authority.

**Reason:** To ensure the design and materials to be used are appropriate and to ensure compliance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

6. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

**Reason:** To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

7. Prior to the occupation of the first dwelling, the applicant shall provide suitable receptacles shall be provided for the collection of waste and recycling for each unit in line with the schemes available in the Carlisle district.



**Reason:** To ensure that bins are provided for the development, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

8. The dwellings hereby approved shall be let in accordance with the details contained within the Affordable Housing Statement, produced by The Riverside Group Ltd and received on 24 July 2017.

**Reason:** To ensure that the dwellings remain affordable in perpetuity, in accordance with Policy HO4 of the Carlisle District Local Plan 2015-2030.

9. Prior to the commencement of development, the applicant shall undertake (a) Ground Investigations in support of (b) an Engineering Statement. The investigations and statement shall be undertaken by a competent Geotechnical Engineer. The Engineering Statement shall be submitted to and agreed in writing by the Local Planning Authority in consultation with Network Rail.

**Reason:** To ensure works on site do not impact the existing railway boundary and infrastructure.

10. Prior to the occupation of the dwellings hereby approved, broadband shall be installed in accordance with the details to be agreed beforehand in writing by the Local Planning Authority.

**Reason:** To ensure that the dwellings have access to broadband, in accordance with Policy IP4 of the Carlisle District Local Plan 2015-2030.

11. No construction work associated with the development hereby approved shall be carried out before 07.30 hours or after 18.00 hours Monday to Friday, before 07.30 hours or after 13.00 hours on Saturdays, nor at any times on Sundays or Bank Holidays.

**Reason:** To prevent disturbance to nearby occupants.

12. No clearance of vegetation shall take place during the bird breeding season from 1st March to 31st August unless the absence of nesting birds has been established through a survey and such survey has been agreed in writing beforehand by the Local Planning Authority.

**Reason:** To protect features of recognised nature conservation importance, in accordance with Policy GI3 of the Carlisle District Local Plan 2015-2030.

13. No development shall commence until full details of the wildlife enhancement measures to be undertaken at the site, together with the timing of these works, have been submitted to and approved, in writing, by the Local Planning Authority. The development shall then be carried out in



strict accordance with the agreed details.

**Reason:** In order to enhance the habitat for wildlife in accordance with Policy GI3 of the Carlisle District Local Plan 2015-2030.

14. Before the occupancy of any residential unit, noise level measurements must be undertaken in at least 2 residential units overlooking the railway line, to verify that the internal noise levels do not exceed 35dB LAeq 16hr 07.00 to 23.00 (day time) and that they do not exceed 30dB LAeq 8 hour 23.00 to 07.00 (night time). Additionally for the night time period, measurements must include LAmax levels to ensure that instantaneous internal noise levels, due to external events, do not exceed 45dB LAmax fast. In order to determine how regular the occurrence of LAmax events in excess of 45dB may be, they should be determined over at-least 1 minute intervals during the 8 hour period.

The noise levels are to be measured with windows closed and all ventilators open in the room in which the measurements are carried out. Day time noise levels are to be measured in living rooms and the night time levels are to be measured in bedrooms. The rooms chosen must overlook the railway line. Before the measurements are undertaken, a schedule of the properties and rooms to be used must be submitted in writing to the LPA and the work must not be undertaken before the schedule is agreed in writing.

The measured noise levels are to be reported to and approved in writing by the LPA.

**Reason:** To protect the living conditions of the future occupiers of the proposed residential units, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

15. No development shall take place until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the duration of the development. The statement shall provide for:

- (a) the parking of vehicles of the site operatives and visitors;
- (b) loading and unloading of plant and materials;
- (c) storage of plant and materials used in constructing the development;
- (d) the erection and maintenance of security hoardings/ fences including decorative displays and facilities for public viewing where appropriate;
- (e) wheel washing facilities;
- (f) measures to control the emission of dust and dirt during construction;
- (g) a scheme for the recycling/ disposing of waste;
- (h) hours of working;
- (i) deliveries.

The works shall thereafter be undertaken solely in accordance with the approved Construction Method Statement.

**Reason:** In the interests of highway safety and to ensure the works on



site minimise the impact of the development on the residential amenity of properties in the locality of the site, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

16. The drainage for the development hereby approved, shall be carried out in accordance with principles set out in the submitted Drainage Strategy designed by Curtins proposing surface water (max 6.5 l/s) discharging into the surface water sewer for any storm event. For the avoidance of doubt and unless otherwise agreed in writing by the Local Planning Authority, surface water must drain to the surface water at the restricted rate of 6.5 l/s for any storm event. The development shall be completed in accordance with the approved details.

**Reason:** To ensure a satisfactory form of development and to prevent an undue increase in surface water run-off and to reduce the risk of flooding.

17. Prior to occupation of the development a sustainable drainage management and maintenance plan for the lifetime of the development shall be submitted to the Local Planning Authority and agreed in writing. The sustainable drainage management and maintenance plan shall include as a minimum:
- a. Arrangements for adoption by an appropriate public body or statutory undertaker, or, management and maintenance by a resident's management company; and
  - b. Arrangements for inspection and ongoing maintenance of all elements of the sustainable drainage system to secure the operation of the surface water drainage scheme throughout its lifetime.

The development shall subsequently be completed, maintained and managed in accordance with the approved plan.

**Reason:** To ensure that management arrangements are in place for the sustainable drainage system in order to manage the risk of flooding and pollution during the lifetime of the development.

18. The carriageway, footways, footpaths etc shall be designed, constructed, drained and lit to a standard suitable for adoption and in this respect further details, including longitudinal/cross sections, shall be submitted to the Local Planning Authority for approval before work commences on site. No work shall be commenced until a full specification has been approved. These details shall be in accordance with the standards laid down in the current Cumbria Design Guide. Any works so approved shall be constructed before the final dwelling hereby permitted is occupied.

**Reason:** To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

19. The widening of Beverley Rise as shown on the Proposed Site Access Plan (Dwg. No. 08, received on 22 November 2017) shall be designed,



constructed, drained to the satisfaction of the Local Planning Authority and in this respect further details, including longitudinal/cross sections, shall be submitted to the Local Planning Authority for approval before work commences on site. No work shall be commenced until a full specification has been approved. Any works so approved shall be constructed before the plastering of the first dwelling hereby permitted.

**Reason:** To ensure a minimum standard of construction in the interests of highway safety and to support Local Transport Plan Policies LD5, LD7 and LD8.

20. The use shall not be commenced until the access and parking requirements have been constructed in accordance with the approved plan. Any such access and or parking provision shall be retained and be capable of use when the development is completed and shall not be removed or altered without the prior consent of the Local Planning Authority.

**Reason:** To ensure a minimum standard of access provision when the development is brought into use and to support Local Transport Plan Policies LD5 and LD7.

21. The access and parking/turning requirements shall be substantially met before any building work commences on site so that constructional traffic can park and turn clear of the highway.

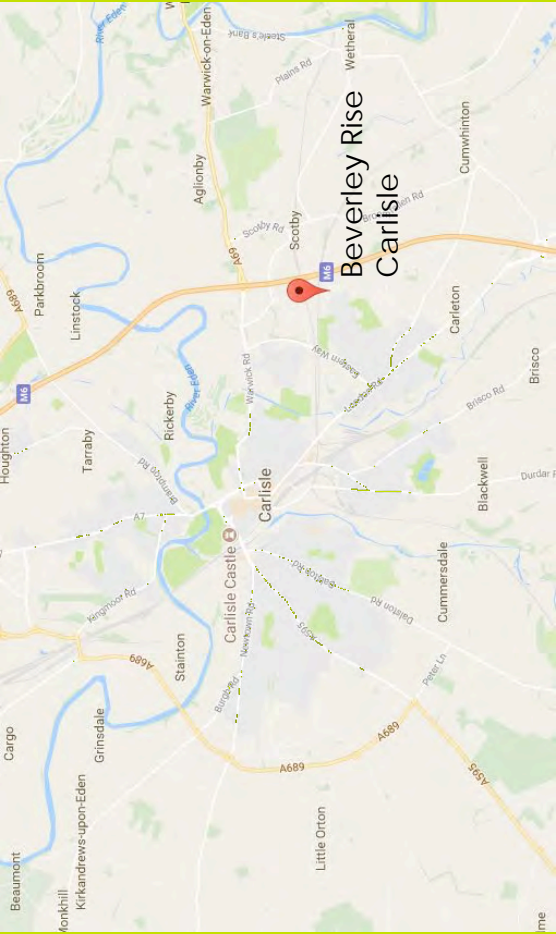
**Reason:** The carrying out of this development without the provision of these facilities during the construction work is likely to lead to inconvenience and danger to road users and to support Local Transport Policy LD8.

22. Details of proposed highway, verge and footway shall be submitted to the Local Planning Authority for approval. The development shall not be commenced until the details have been approved and the crossings have been constructed.

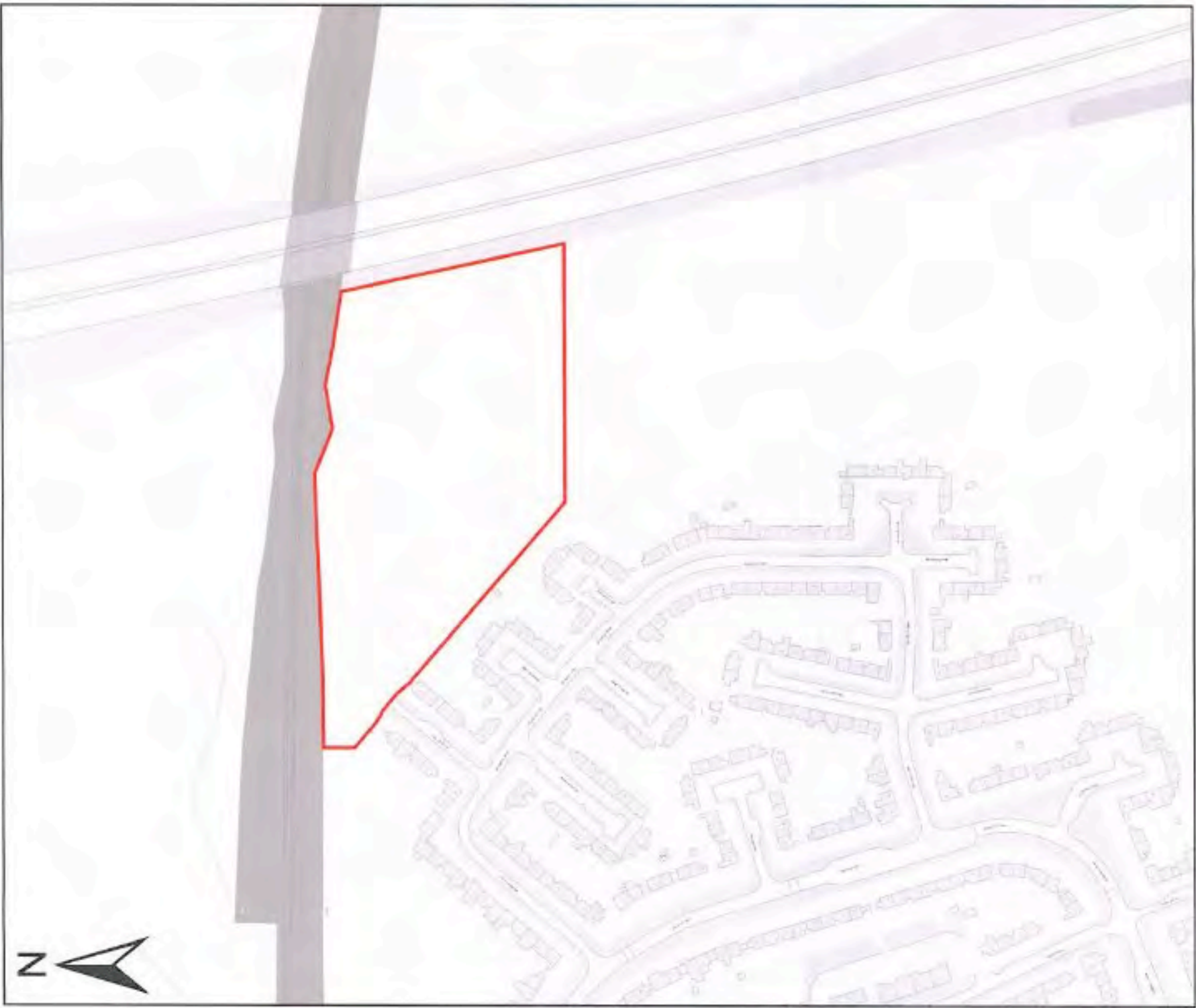
**Reason:** To ensure a suitable standard of crossing for pedestrian safety. To support Local Transport Plan Policies LD5, LD7 & LD8.

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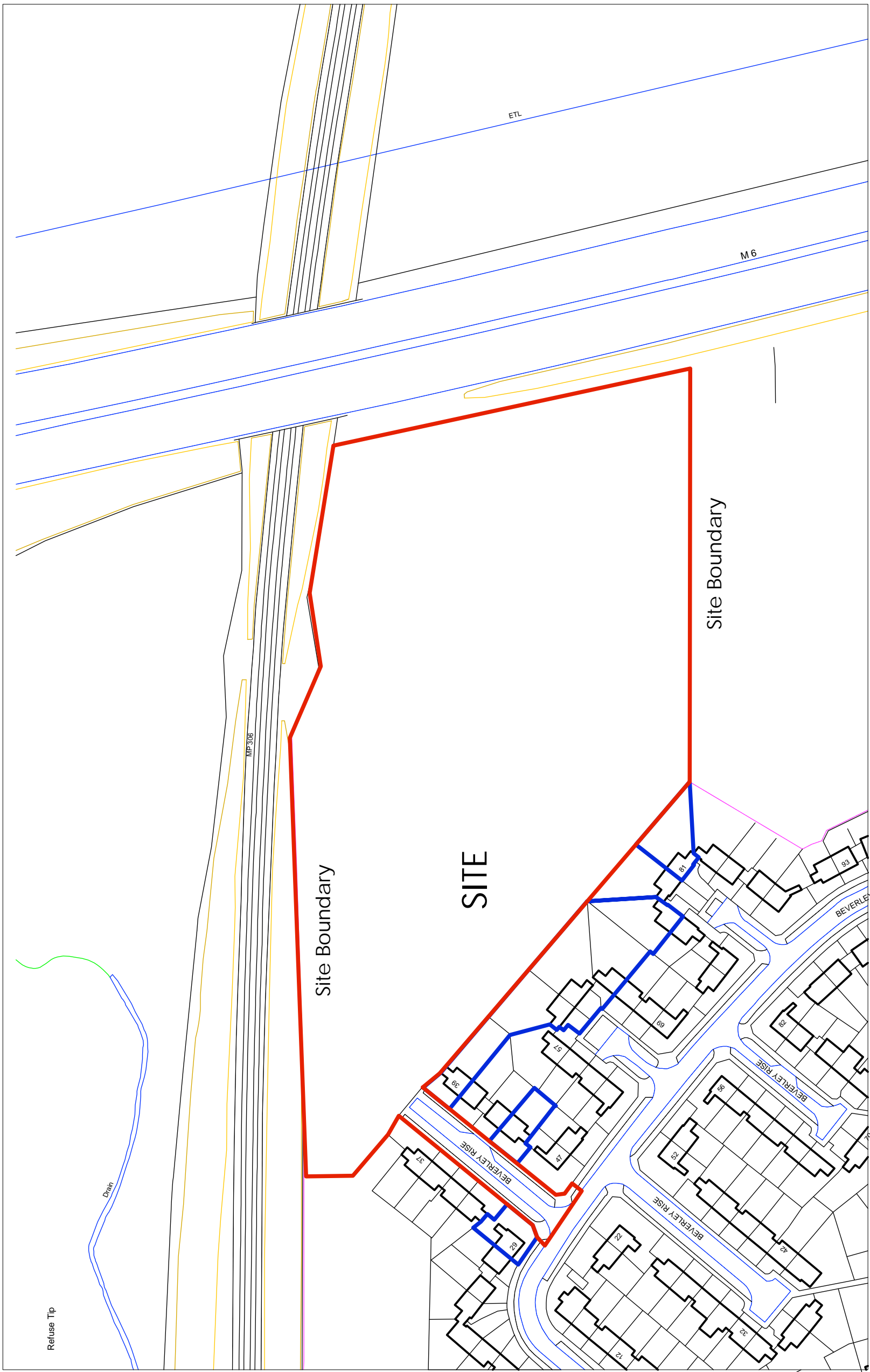
City of Carlisle



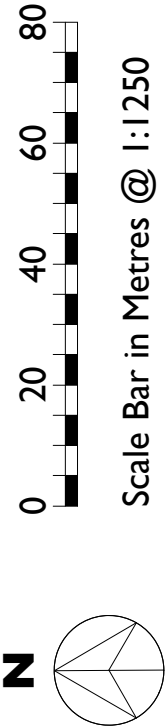
Disposal of land at Beverley Rise, Harraby , Carlisle  
to Riverside Housing Association

Scale: 1:2,500      Date: 23/05/2017  
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Carlisle City Council    LA 0100024459. 2005.

CARLISLE  
CITY COUNCIL  
Civic Centre  
Rickergate  
Carlisle  
CA3 8QG  
www.carlisle.gov.uk



Location Plan



City of Carlisle - Harraby - Beverley Rise

A	Rev	Date	Comments	By
1	1	23/05/2017	Initial Issue	DC



DAY CUMMINS LIMITED

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Proposed Housing, Beverley Rise  
Carlisle

Drawing Title: Proposed Plans, Elevations,  
Block Plan --

Drawn:	AB	Checked:	MD	Signed:	
Scale:	1 : 1250 @ A2	Date:	29/06/17	Paper Size:	A2
ALL DIMENSIONS TO BE CHECKED ON SITE FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS THIS DRAWING IS COPYRIGHT					
Project No:	4463	Drawing No:	01	Rev:	0



KEY

- 1.8M HIGH TIMBER CLOSE BOARD PANELS TO: 1 - DIVIDE REAR GARDENS BOUNDARY 2 - DIVIDE THE REAR AND FRONT GARDENS INCLUDING GATE 3 - ON RETAINING WALLS DIVIDING REAR GARDENS 4 - SEPERATE REAR GARDENS
- 1.1M HIGH TIMBER CLOSE BOARD PANELS ON RETAINING WALLS DIVIDING FRONT GARDEN
- 0.6M HIGH TIMBER KNEE RAIL - SEPERATING FRONT GARDENS
- 0.9M HIGH BRICK FEATURE WALL TO FT 1, 2, 28 & 30 FRONT GARDENS
- 900MM WIDE FOOTPATH
- 300MM DEEP PATIO

3 BED HOUSE  
SEMI-DETACHED  
HOUSE TYPE

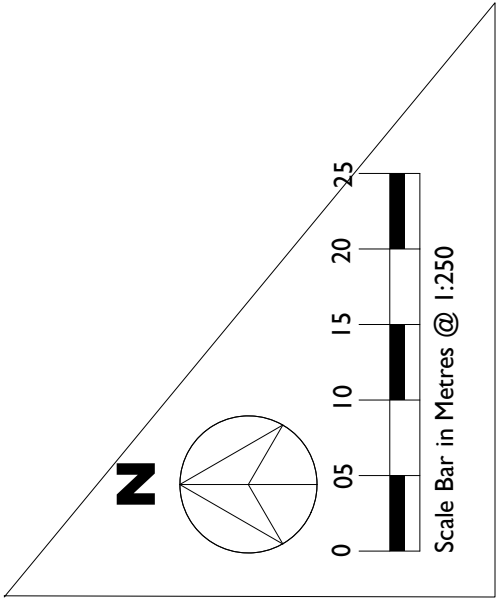
2 BED HOUSE  
SEMI-DETACHED  
HOUSE TYPE



A	Rev	Date	Comments	AB	By
Client					

**DAY CUMMINS LIMITED**  
Architects & Surveyors  
Carlisle House, 100  
Cockermouth Cumbria CA13 0QT  
Tel: 01 900 820700  
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email: dc@day-cummins.co.uk  
[www.day-cummins.co.uk](http://www.day-cummins.co.uk)

Proposed Housing Beverley Rise Carlisle		
Drawing Title: Proposed Block Plans, Additional 20 Houses		
Drawn: AB	Checked: MD	Signed:
Scale: 1 : 500 @ A1	Date: 05/10/17	Page Size: A1
ALL DIMENSIONS TO BE CHECKED ON SITE FIGURES AND DIMENSIONS TO BE CONFIRMED BY THE CLIENT		
Project No: 4463 - 17	Drawing No: 02	Rev: C





CARLISLE TO SETTLE RAILWAY

MP 306

G	10/10/17	Drainage amended. Site walls added to plot 1, 2, 3, 8 & 37	MD
E	20/11/17	Road amended	MD
C	20/09/17	Modifications to plots 1 and 3, new levels and closer to road	AB
C	19/09/17	Modifications to plots 1, 2, 3, 8 & 37, new levels and closer to road	AB
B	14/07/17	Modifications to retaining wall lengths	AB
A	10/07/17	Modifications to house layout and drainage removed for planning	AB
Rev	Date	Comments	By
Client:			



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[www.day-cummins.co.uk](http://www.day-cummins.co.uk)

Proposed Housing, Beverley Rise  
Carlisle

Proposed Site Plans,			
Drawn:	AB	Checked:	MD
Scale:	1:250	Date:	10/07/17
Project No:	4463	Drawing No:	03
Rev:			G

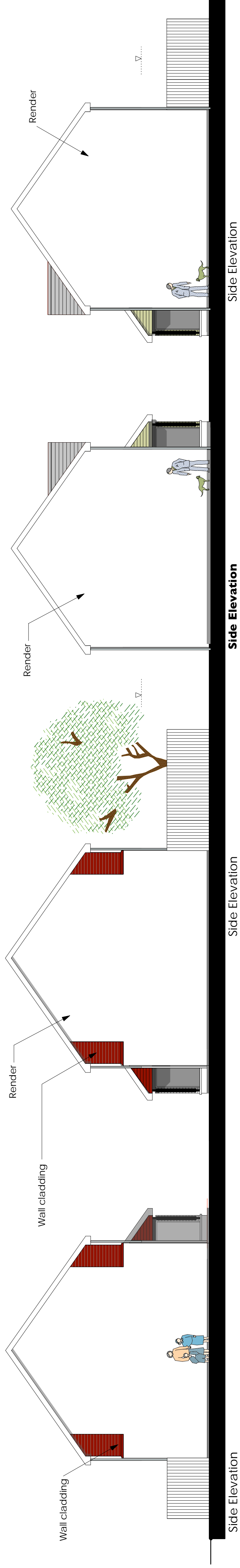
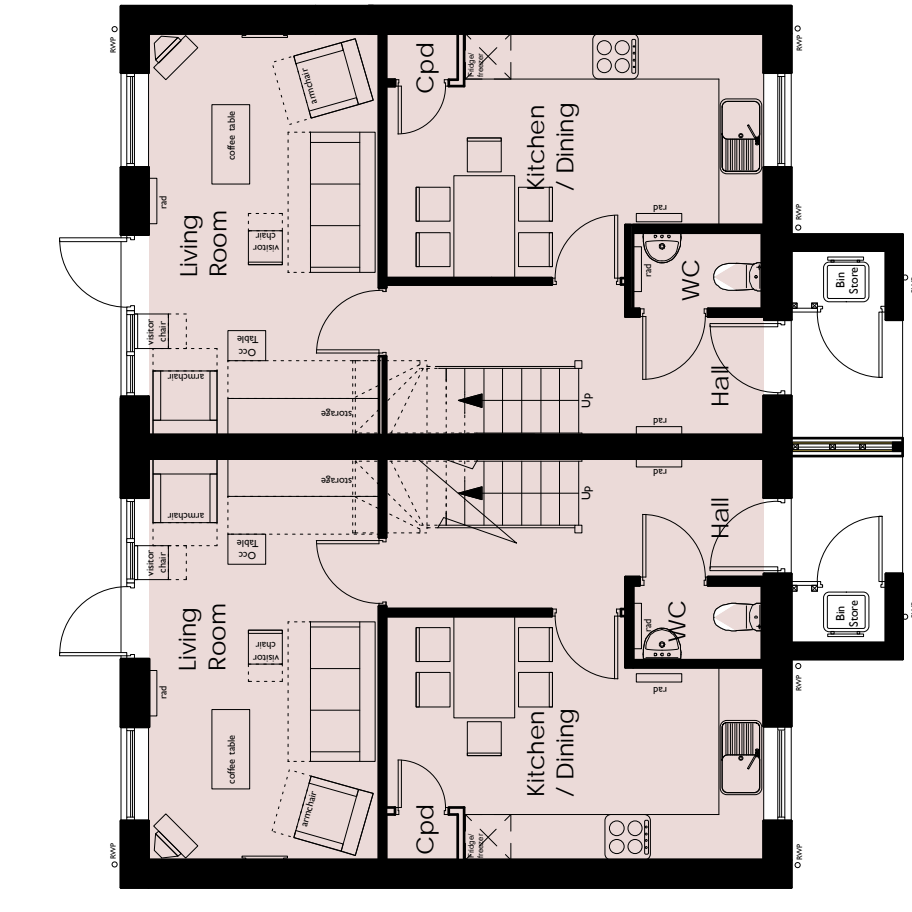
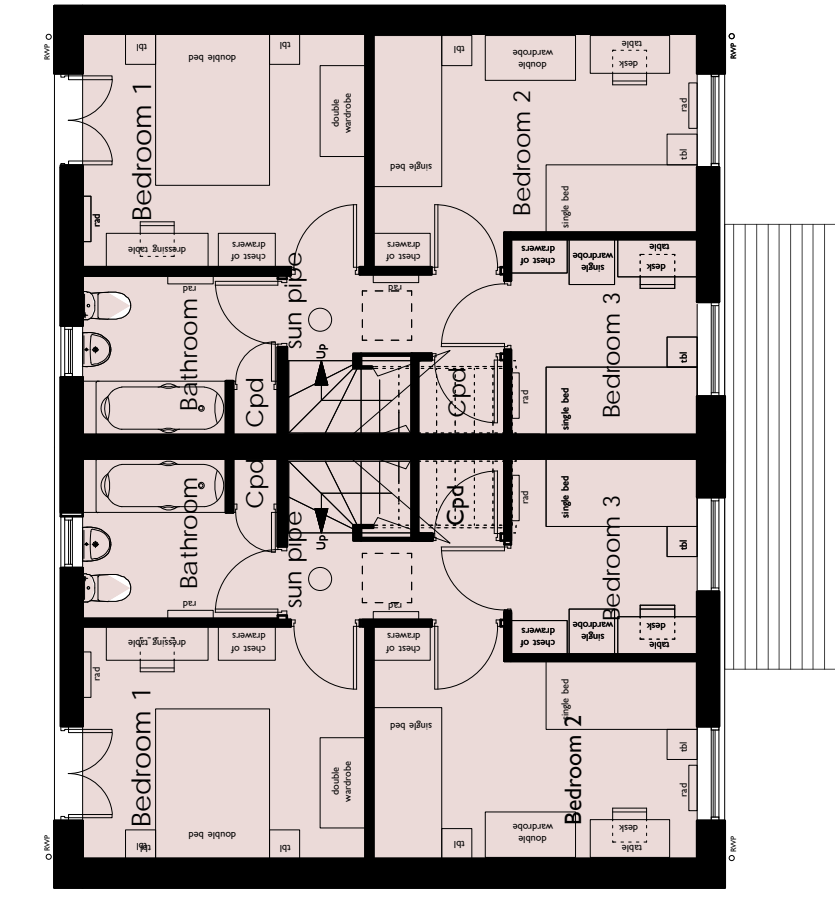
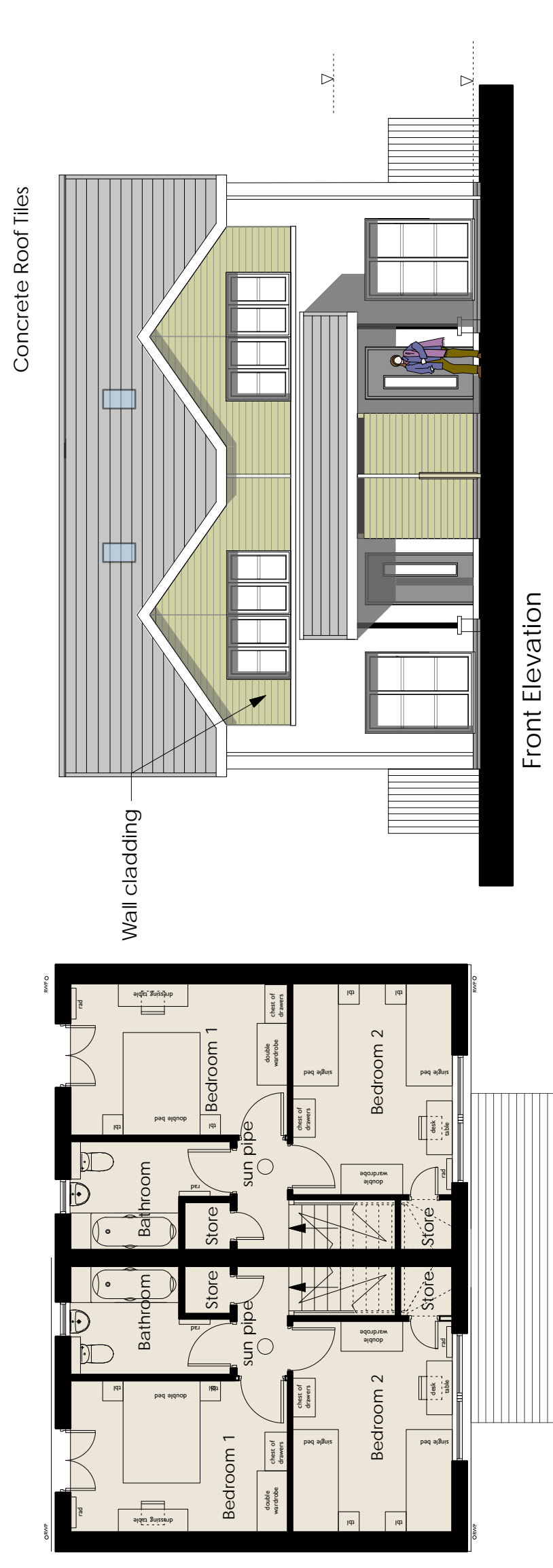
- 1.8M HIGH TIMBER CLOSE BOARD PANELS TO GARDEN BOUNDARY
- 2 - DIVIDE THE REAR AND FRONT GARDENS INCLUDING GATE
- 3 - ON RETAINING WALLS DIVIDING
- 4 - SEPARATE REAR GARDENS
- 1.1M HIGH TIMBER CLOSE BOARD PANELS ON RETAINING WALLS DIVIDING FRONT GARDEN
- 0.6M HIGH TIMBER KNEE RAIL - SEPARATING FRONT GARDENS
- 0.9M HIGH BRICK FEATURE WALL - SEPARATING FRONT GARDENS
- 900MM WIDE FOOTPATH
- 3600MM DEEP PATIO



SITE BOUNDARY  
LAND IN PRIVATE OWNERSHIP

Scale Bar in Metres @ 1:250





B	13/07/17	General minor amendments to notes	AB
A	01/07/17	Sun pipes added	AB
Rev:	Date:	Comments:	By:









Rev:	Date:	Comments:	By:
Client:			
			
			
<b>DAY CUMMINS LIMITED</b>			
Architects & Surveyors Lakeland Business Park Cockermouth Cumbria CA13 0QT Tel: 01900 820700 Fax: 01900 820701 email: dc@day-cummins.co.uk <a href="http://www.day-cummins.co.uk">www.day-cummins.co.uk</a>			
Proposed Housing, Beverley Rise Carlisle			
Drawing Title: Proposed Site Access Plan			
Drawn:	AB	Checked:	MD
Scale:	1 : 250	Date:	10/07/17
ALL DIMENSIONS TO BE CHECKED ON SITE FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS THIS DRAWING IS COPYRIGHT		Signed:	A2
Project No:	4463	Drawing No:	08
Rev:	A		



GENERAL NOTES:

1.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.

2.

DO NOT SCALE THIS DRAWING. ANY AMBIGUITIES, OMISSIONS AND ERRORS ON DRAWINGS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IMMEDIATELY. ALL DIMENSIONS MUST BE CHECKED / VERIFIED ON SITE.

3.

THIS DRAWING IS BASED ON 'ABEL-048-015 & FAK11124M'.

LEGEND:

SITE BOUNDARY

EXISTING UNITED UTILITIES SURFACE WATER SEWER

EXISTING UNITED UTILITIES FOUL WATER SEWER

EXISTING ELECTRICITY NORTHWEST UTILITIES

EXISTING HIGHWAYS SURFACE WATER SEWER

EXISTING NORTHERN GAS NETWORKS GAS MAIN

EXISTING BT UNDERGROUND PLANT

EXISTING BT OVERHEAD PLANT

EXISTING BT POLE

EXISTING BT DISTRIBUTION POINT

EXISTING BT JOINT BOX

PI

INITIAL ISSUE

04.05.17

BA

CW

CHdL

Rec:

Date:

By:

Description:

Curtins

281 Leazes St  
Kendal, Cumbria, LA16 0JH  
01539 724823  
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PRELIMINARY

Client:

ESH GROUP LTD

Project:

BEVERLEY RISE, CARLISLE

Dwg Title:

CONSTRAINTS PLAN

Project No:

0639005

Scale:

1:500

Level:

BA

Checked By:

CW

Project Code:

0639005 - CUR - 00 - ZZ - DR - C - 96002

Originator:

Rev:

The main site plan is a detailed technical drawing showing the layout of a proposed development. It features a grid system with coordinates ranging from 343100E to 343350E and 554800N to 554950N. The plan includes several key elements: a thick red line representing the site boundary; blue lines for existing water and sewerage infrastructure; orange lines for existing electricity and gas networks; and dashed lines for proposed roads and footpaths. Various symbols and labels indicate specific features such as 'Electricity Pole', 'Post and wire fence', 'Security fence', and 'MH (LID NOT LIFTED)'. The plan also shows existing buildings and structures, including a large building labeled 'M13.1.34p' and a smaller one labeled 'M13.1.34p'. The drawing is oriented with North at the top, as indicated by the grid lines and the 'Electricity Pole' label.

The scale bar is located at the bottom right of the drawing. It consists of a horizontal line with vertical tick marks, indicating distances in meters. The scale is 1:500, with a maximum length of 100 meters. The north arrow is a simple line with an arrowhead pointing towards the top of the drawing, labeled 'N'.