

## SCHEDULE A: Applications with Recommendation

18/1058

Item No: 05

Date of Committee: 15/02/2019

**Appn Ref No:**  
18/1058

**Applicant:**  
Ms L Carson & Mr D  
McIlwraith

**Parish:**  
Wetheral

**Agent:**  
Jock Gordon Architectural  
SVS Ltd

**Ward:**  
Wetheral

**Location:** Land between Wetheral Methodist Church and Redcroft, Wetheral, Carlisle

**Proposal:** Erection Of 1no. Detached Dwelling (Plot 4) (Revised Application)

**Date of Receipt:**  
27/11/2018

**Statutory Expiry Date**  
22/01/2019

**26 Week Determination**  
30/01/2019

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### REPORT

**Case Officer:** Suzanne Osborne

#### 1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

#### 2. Main Issues

- 2.1 Whether the principle of development is acceptable
- 2.2 Whether the scale and design of the dwelling is acceptable and the impact on the character and appearance of the area
- 2.3 The impact of the proposal on the living conditions of neighbouring residents
- 2.4 Impact of the proposal on highway safety
- 2.5 Whether the method of disposal of foul and surface water are appropriate
- 2.6 Impact of the proposal on biodiversity
- 2.7 Impact of the proposal on existing trees and hedgerows
- 2.8 Other matters

#### 3. Application Details

##### The Site

- 3.1 The site is located on land between Wetheral Methodist Church and Redcroft to the north of Scotby Road, Wetheral. The land occupies a parcel of land that measures approximately 0.12 hectares in area and is currently in agricultural use.
- 3.2 The land rises noticeably from west to east and to a lesser extent from south to north and there are residential properties to the east and further to the south on the opposite side of the County highway. The site is bounded by a mature hedgerow to the frontage.

## **Background**

- 3.3 The application site forms part of a wider parcel of land between Wetheral Methodist Church and Redcroft which was granted outline planning permission for residential development in 2014 with a further revised application approved in 2015 (application references 14/0316 and 15/0943 respectively). A reserved matters application for the erection of a two storey dwelling on plot 4 (the land subject of this application) was granted in 2017 (application reference 16/0628) with a subsequent variation and removal of condition application and a discharge of conditions application approved in 2017 ( application references 16/1089 and 17/0852 respectively).
- 3.4 Members will recall that the dwelling approved under the reserved matters application for plot 4 (reference 16/0628) was to be largely two storey in height (a maximum ridge height of 7.5 metres) with a single storey garage to the east elevation and single storey off-shoot to the front elevation. The property was to be served by a new vehicular access that would be positioned adjacent to the south-west corner.

## **The Proposal**

- 3.5 The application seeks full planning permission for the erection of a single dwelling to Plot 4 which is located adjacent to the eastern boundary.
- 3.6 The building would be two storey in height with a third floor contained within the roof space. A single storey utility and kitchen will be located on the west elevation with a single storey off-shoot to the front elevation to provide a double garage. The property would be served by a new vehicular access that would be positioned almost centrally along the site frontage.
- 3.7 The scheme will provide a four bedroom property with in-curtilage parking and a large garden area.
- 3.8 The dwelling would be constructed from a red coloured multi facing textured brick under an natural slate roof. It would feature white UPVC windows, grey doors, art stone cills and black PVC rainwater goods.

## **4. Summary of Representations**

- 4.1 This application has been advertised by means of notification letters sent to 27 neighbouring properties and the posting of a site notice. In response to the consultation undertaken four formal objections and two anonymous objections have been received.
- 4.2 The objections are summarised as follows:
1. increase in vehicular access and impact on highway safety;
  2. loss of parking provision for the Methodist Church;
  3. there should be one access to serve all four plots;
  4. accuracy of Design and Access Statement in relation to the description of site boundaries;
  5. loss of habitat through creation of access;
  6. existing field access should be utilised to serve plot;
  7. over-dominant by virtue of its height and scale;
  8. no other nearby property is 3 storeys in height;
  9. scale is larger than the dwelling approved in 2017;
  10. loss of privacy to the neighbouring property;
  11. opposed to third party suggestions that existing field entrance should serve the plot;
  12. revised design is too big for the site and its location;
  13. impact upon character of the area due to scale.

## 5. Summary of Consultation Responses

**Cumbria County Council - (Highways & Lead Local Flood Authority):** - no objections subject to the imposition of relevant conditions regarding visibility splays, specification for vehicle crossing over the footway, details showing that vehicles can enter and leave the site in a forward direction, surfacing of the access drive and a construction phase traffic management plan.

**Wetheral Parish Council:** - resolved - observations; reiterating comments made planning app. 16/0628, members wish to see an access road to the proposed properties which would allow one entrance and exit to the site. Four individual access roads would cause a similar problem experienced at Alders Edge, Scotby, making access along the road difficult. The traffic problem is exacerbated with new access created at Croft Villa, on the opposite side of the road. Members have serious concerns regarding the onsite sewage treatment plant; at other locations, it has been shown that these works can fail and if that happens the natural route for the contaminated effluent will be directly onto the allotment site and to the ditch flowing to the Pow Maughan. The plans do not include a robust contingency to prevent this.

**Northern Gas Networks:** - no objection, standing advice received regarding apparatus that maybe in the area.

**United Utilities:** - no objections subject to conditions ensuring foul and

surface water are drained on separate systems and that the surface water drainage scheme be implemented in accordance with the submitted details.

## **6. Officer's Report**

### **Assessment**

- 6.1 Section 70(2) of the Town and Country Planning Act 1990/Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application for planning permission is determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise.
- 6.2 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF), the Planning Practice Guidance (PPG) together with Policies SP2, SP6, HO2, IP3, IP4, IP6, CC5, GI1, GI3 and GI6 of the Carlisle District Local Plan 2015-2030. The City Council's Supplementary Planning Documents (SPD) 'Achieving Well Designed Housing' and 'Trees and Development' are also material planning considerations.
- 6.3 The proposal raises the following planning issues.

#### **1. Whether The Principle of Development Is Acceptable**

- 6.4 Outline planning permission for residential development was granted in 2014 with a further revised application approved in 2015 (application references 14/0316 and 15/0943 respectively). A reserved matters application for the erection of a two storey dwelling on plot 4 (the land subject of this application) was granted in 2017 (application reference 16/0628).
- 6.5 Since the previous planning approvals the revised NPPF has been published. The revised NPPF still advocates that within rural areas housing should be located where it will enhance or maintain the vitality of rural communities. The site is well related to the village of Wetheral which contains a number of services. In light of the foregoing, the site for housing is still consistent with the policies in the NPPF and the principle of development, which has already been established via the previous planning approvals, still remains acceptable.

#### **2. Whether The Scale And Design Of The Dwelling Is Acceptable And The Impact On The Character And Appearance Of The Area**

- 6.6 The NPPF attaches great importance to the design of the built environment recognising that good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. The NPPF states that planning decisions should ensure developments function well and add to the overall quality of the area; are visually attractive; are sympathetic to local character and history whilst not preventing or discouraging appropriate innovation or change; establish or maintain a strong sense of place; and, optimise the potential of the site to

accommodate and sustain the appropriate mix of development. Paragraph 130 of the NPPF states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions, taking into account any local design standards or style guides in plans or supplementary planning documents. Paragraph 131 goes on to confirm that in determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings.

- 6.7 The relevant design policies of the CDLP seek to ensure that proposals respond to the local context in terms of height, scale and massing and by using appropriate materials and detailing. Local landscape character should be respected and development should be fully integrated into its surroundings.
- 6.8 When travelling along the road towards Scotby, there are a number of large two storey properties set back from the front boundary on the north side of Scotby Road. On the opposite side of the road are single storey bungalows with two storey properties on the junction with Goose Garth and Croft Villa that is opposite to the south-east corner of the site.
- 6.9 The proposed dwelling will be two storey with a third floor contained within the roof space. The dwelling will be constructed from brick walls under a slate roof. All windows will be white UPVC with art stone cills. Doors will be grey UPVC with all rainwater goods black UPVC.
- 6.10 Whilst the proposed dwelling is unquestionably large it is appreciated that there are some large two storey properties along the northern side of Scotby Road set within similar sized plots. The proposed dwelling will be larger in scale than the dwelling approved under application 16/0628 however the overall footprint and size of the development is commensurate to the size of the plot with sufficient space retained to the front and rear of the site for parking and amenity space. The dwelling will have a ridge height of 9.3 metres (1.8 metres higher than the dwelling house previously approved) however the two storey element of the proposal will be set back approximately 14 metres into the plot and further back from the front elevation of the neighbouring property to the east (Redcroft). Furthermore as the topography of the landscape rises west to east, the floor level of the dwelling will also be set lower than the adjacent property. In such a context the overall dominance of the development within the existing street scene will be reduced.
- 6.11 The design and access statement confirms that the dwelling will be of a traditional character and construction complementing the existing dwellings along Scotby Road, having brick walls with art stone cills, a slate roof, white UPVC windows and grey external doors. The dwellings along Scotby Road are varied in terms of their design and materials therefore it is not considered that the design of the dwelling itself or materials would form a discordant feature within the existing street scene.

- 6.12 When approaching from the west, the gables of the property would be visible in the context of the topography of the land but this would be no different to the elevations of the existing properties of Redcroft and Croft Villa. The property would also be viewed within the context of the dwellings approved on plots 1-3.
- 6.13 The building would be appropriately positioned within the site and would be well-designed using materials that would be appropriate. In addition, the proposal would achieve adequate amenity space and off-street parking. On balance, the character and appearance of the dwelling would not be disproportionate or obtrusive within the character or appearance of the area to warrant refusal of the application on this basis.

### **3. Impact Of The Proposal On The Living Conditions Of Neighbouring Residents**

- 6.14 The development will be visible from the neighbouring properties. The preceding paragraphs have dealt with the scale and design of the development. Given the orientation of the application site with adjacent properties, it is not considered that the living conditions of the occupiers would suffer from loss of privacy or unacceptable levels of noise or disturbance. The development would not result in an overall loss of daylight or sunlight due to the distances involved between the application site and the residential properties.
- 6.15 The proposed scheme has been designed to take account of the Supplementary Planning Document (SPD) "Achieving Well Designed Housing". It requires that a distance of 21 metres is provided between primary windows and 12 metres between primary windows and blank elevations. The building would be approximately 22 metres from the west elevation of Redcroft and thus be compliant with the SPD.

### **4. Impact Of The Proposal On Highway Safety**

- 6.16 The proposal would form a new access onto the County highway. The objections that have been received make reference to concerns over highway safety and specifically that the proposal involves the formation of a single access to serve plot 4 only. The Parish Council and objectors reiterate previous views in that it would be preferable that a single access road should serve each of the properties subject of the previous outline approval.
- 6.17 The formation of the access includes the provision of visibility splays of at least 2.4 metres by 90 metres to the west and 75 metres to the east. A single access for plot 4 has already been approved under the reserved matters application for the site (application reference 16/0628) albeit the access was located more towards the south-western corner of the plot. Single accesses have also been approved for plots 1, 2 and 3 under applications 18/1006, 17/0784 and 17/0783 respectively. Cumbria County Council as the Highway Authority has raised no objection to the proposal subject to the imposition of relevant conditions regarding visibility splays, specification for vehicle

crossing over the footway, details showing that vehicles can enter and leave the site in a forward direction, surfacing of the access drive and a construction phase traffic management plan.

- 6.18 It is further stated in the objection letters that the development of the site would lead to a loss of roadside parking for the church. This area is not specifically designated for the church and forms part of the public highway. The matter of any perceived loss reverts back to the principle of development which has already been established by earlier permissions.
- 6.19 The concerns of the third parties and Parish Council are noted; however, in light of the views of the Highway Authority together with previous planning approvals it would be difficult to substantiate a refusal of the application on highway safety grounds.

## **5. Whether The Method of Disposal of Foul And Surface Water Are Appropriate**

- 6.20 Policies IP6 and CC5 of the local plan seek to ensure that development proposals have adequate provision for the disposal of foul and surface water.
- 6.21 The supporting documents details that the foul drainage would be dealt with by means of a new treatment plant with the outflow discharging into a tributary of Pow Maughan Beck. The surface water drainage would have an attenuated flow into the roadside ditch alongside Scotby Road whilst the channel drain across the driveway, to prevent surface water discharging onto the highway, would enter the site's surface water system. The principle of these drainage methods have already been considered and established as acceptable under discharge of conditions application 17/0852.
- 6.22 Cumbria County Council as Lead Local Flood Authority have raised no objections to the drainage methods proposed noting that they have been previously approved under discharge of conditions application 17/0852. United Utilities has also raised no objections subject to the imposition of two conditions ensuring foul and surface water are drained on separate systems and that the surface water drainage scheme be implemented in accordance with the submitted details. Given that the drainage methods for the site have already been approved under previous applications there is no policy conflict.

## **6. Impact Of The Proposal On Biodiversity**

- 6.23 The Councils GIS Layer has identified that there is the potential for a range of species to be present on or within the vicinity of the site. Using the guidance issued by Natural England, the development would not harm a protected species or their habitat; however, an Informative would be included within the Decision Notice ensuring that if a protected species is found all work must cease immediately and the Local Planning Authority informed.

## **7. Impact Of The Proposal On Existing Trees and Hedgerows**

- 6.24 Policy GI6 of the local plan seeks to ensure that proposals for new development should provide for the protection and integration of existing trees and hedges. Furthermore, the City Council's Supplementary Planning Document (SPD) 'Trees and Development' outlines that native large growing species are intrinsic elements in the landscape character of both rural and urban areas alike and acquire increasing environmental value as they mature. Not only should the design of the development seek to retain existing tree and hedgerow features, but sufficient space should be allocated within schemes to ensure integration of existing features and space for new planting. It is important that these issues are considered at the very start of the planning process.
- 6.25 There is an existing hedgerow along the front boundary of the site which would be retained, with the exception of the formation of the access point. The principle of the loss of the part of the hedgerow to form a new access has already been accepted under the previously approved reserved matters application. To ensure the protection of the retained hedgerow during construction works a condition has been included ensuring that hedgerow protection barriers are in place prior to construction works and remain in situ during the works. Furthermore the submitted site plan illustrates the planting of a staggered double row of hawthorn interspersed with wild rose along the site's northern and eastern boundaries which would provide biodiversity enhancement.

## **8. Other Matters**

- 6.26 The Parish Council have raised concerns regarding failure of the on-site sewage treatment plant and the potential impact upon the allotment site and to the ditch flowing to the Pow Maughan. Any failure of the treatment plant would be a civil matter. If pollution was to occur this would be dealt with by the relevant authority.

## **Conclusion**

- 6.27 In overall terms, the principle of residential development on the site has already been established by previous approvals. The site for housing is still consistent with the relevant development plan policies and the principle of development remains acceptable. The property would be well related to neighbouring residential properties and the developments approved on plots 1-3 which are yet to be constructed. Although the scale of the dwelling is large it is considered to be commensurate to the size of the plot and would not have a significant impact upon the street scene due to the typography of the land, the positioning within the plot itself and the context of its surroundings. The application proposes an appropriate design and use of vernacular materials. It is therefore considered that the development would not adversely affect the character or appearance of the area.
- 6.28 The property would not result in any demonstrable harm to the living conditions of any neighbouring residential dwellings. The combination of these elements would result in a development that would enhance its appearance within the village.



- 6.28 No highway or drainage issues have been raised by Cumbria County Council as the relevant consultee. In all other aspects the proposal is compliant with the objectives of the relevant local Plan policies. Accordingly, the application is recommended for approval.

## **7. Planning History**

- 7.1 In 2014, Outline Planning Permission was granted for residential development (application reference 14/0316);
- 7.2 In 2015, Outline Planning Permission was granted for residential development (application reference 15/0943);
- 7.3 Permission was granted for the removal of condition 6 (surface water drainage) and the variation of condition 10 (visibility splays) of Outline Planning Approval 15/0943 (application 16/1089);
- 7.4 An application to discharge of conditions 4 (materials); 5 (levels); 6 (surface water drainage); 7 (foul drainage); 8 (landscaping scheme); 11 (surface water discharge); 12 ( parking & turning details) & 15 (tree & hedge protection) of previously approved permission 16/1089 (application 17/0852).
- 7.5 Full Planning Permission has also been granted for the erection of 1no.detached dwelling on plots 2, 3 and 1 (applications 17/0784, 17/0783 and 18/1006 respectively).
- 7.6 A revised application has also been submitted for the erection of 1no.detached dwelling on plot 2 (application reference 18/1105). At the time of preparing this report application 18/1105 is undetermined.

## **8. Recommendation: Grant Permission**

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.
- Reason:** In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 ( as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).
2. The development shall be undertaken in strict accordance with the approved documents for this Planning Permission which comprise:
1. the submitted planning application form received 27th November 2018;
  2. the site location plan received 27th November 2018 (Drawing No.3211/1);
  3. the site location plan showing visibility splays received 27th November 2018 (Drawing No.3211/1A);
  4. the site plan received 3rd January 2019 (Drawing No.3211/2A);

5. the proposed floor plans received 27th November 2018 (Drawing No.3211/3);
6. the proposed elevations received 27th November 2018 (Drawing No.3211/4);
7. the proposed elevations and sections received 27th November 2018 (Drawing No.3211/5);
8. the drainage plan received 27th November 2018 (Drawing No.3023/2C);
9. the report on the proposed sewage treatment and disposal system received 27th November 2018;
10. the materials schedule and tree protection details received 27th November 2018;
11. the stage one desk top study received 27th November 2018;
12. the revised design and access statement received 3rd January 2019;
13. the Notice of Decision; and
14. any such variation as may subsequently be approved in writing by the Local Planning Authority.

**Reason:** To define the permission.

3. Development shall not commence until a Construction Phase Traffic Management Plan has been submitted to and approved in writing by the local planning authority. The CTMP shall include details of:
  - pre-construction road condition established by a detailed survey for accommodation works within the highways boundary conducted with a Highway Authority representative; with all post repairs carried out to the satisfaction of the Local Highway Authority at the applicants expense;
  - details of proposed crossings of the highway verge;
  - retained areas for vehicle parking, maneuvering, loading and unloading for their specific purpose during the development;
  - cleaning of site entrances and the adjacent public highway;
  - details of proposed wheel washing facilities;
  - the sheeting of all HGVs taking spoil to/from the site to prevent spillage or deposit of any materials on the highway;
  - construction vehicle routing;
  - the management of junctions to and crossings of the public highway and other public rights of way/footway;
  - surface water management details during the construction phase

**Reason:** In the interests of highway safety.

4. Details of the relative heights of the existing and proposed ground levels (including the height of the retaining wall) shall be submitted to and approved in writing by the local planning authority before any site works commence. The development shall then be undertaken in accordance with the approved details.

**Reason:** In order that the approved development is appropriately located within the topography of the land in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

5. Details showing the provision within the site for the parking, turning and loading and unloading of vehicles and for vehicles to enter and leave the site in a forward direction shall be submitted to the Local Planning Authority for approval. The development shall not be brought into use until any such details have been approved and the parking, loading, unloading and manoeuvring facilities constructed. The approved parking, loading, unloading and manoeuvring areas shall be kept available for those purposes at all times and shall not be used for any other purpose.

**Reason:** To ensure that all vehicles can be properly and safely accommodated clear of the highway. To support Local Transport Plan Policies LD7 and LD8.

6. The access drive shall be surfaced in bituminous or cement bound materials, or otherwise bound and shall be constructed and completed before the development is brought into use. This surfacing shall extend for a distance of at least 10 metres inside the site, as measured from the carriageway edge of the adjacent highway.

**Reason:** In the interests of highway safety. To support Local Transport Plan Policies LD5, LD7 and LD8.

7. The development shall not commence until visibility splays providing clear visibility of 2.4 metres by 90 metres to the west and 2.5 metres by 70 metres to the east measured down the centre of the access road and the nearside channel line of the major road have been provided at the junction of the access road with the county highway. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any Order revoking and re-enacting that Order) relating to permitted development, no structure, vehicle or object of any kind shall be erected, parked or placed and no trees, bushes or other plants shall be planted or be permitted to grow within the visibility splay which obstruct the visibility splays. The visibility splays shall be constructed before general development of the site commences so that construction traffic is safeguarded.

**Reason:** In the interests of highway safety. To support Local Transport Plan Policies: LD7, LD8.

8. Access gates, if provided, shall be hung to open inwards only away from the highway.

**Reason:** In the interests of highway safety. To support Local Transport Plan Policies: LD7, LD8.

9. The vehicular crossing over the footway, including the lowering of kerbs, shall be carried out to the specification of the Local Planning Authority in consultation with the Highway Authority.

**Reason:** To ensure a suitable standard of crossing for pedestrian safety. To support Local Transport Plan Policies: LD5, LD7, LD8.

10. All measures to be taken by the applicant/developer to prevent surface water discharging onto or off the highway as illustrated on Drawing No.3211/2A shall be implemented prior to the development being completed and shall be maintained operational thereafter.

**Reason:** In the interests of highway safety and environmental management. To support Local Transport Plan Policies LD7 and LD8.

11. Foul and surface water shall be drained on separate systems.

**Reason:** To secure proper drainage and to manage the risk of flooding and pollution in accordance with Policies IP6 and CC5 of the Carlisle District Local Plan 2015-2030.

12. The drainage scheme shall be implemented in strict accordance with the principles of the submitted Drainage Plan, drawing number 3023/2C and also in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards. No surface water will be permitted to drain directly or indirectly into the public sewer. The development hereby permitted shall be carried out only in accordance with the approved drainage scheme.

**Reason:** To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution in accordance with Policies IP6 and CC5 of the Carlisle District Local Plan 2015-2030.

13. A staggered double row hawthorn hedge along the northern and eastern boundary of the site, as illustrated on drawing number 3211/2A received 3rd January 2019, shall be carried out in the first planting season following occupation of the dwelling and maintained thereafter to the satisfaction of the local planning authority; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation.

**Reason:** To ensure that a satisfactory landscaping scheme is implemented in accord with Policies SP6 and GI6 of the Carlisle District Local Plan 2015-2030.

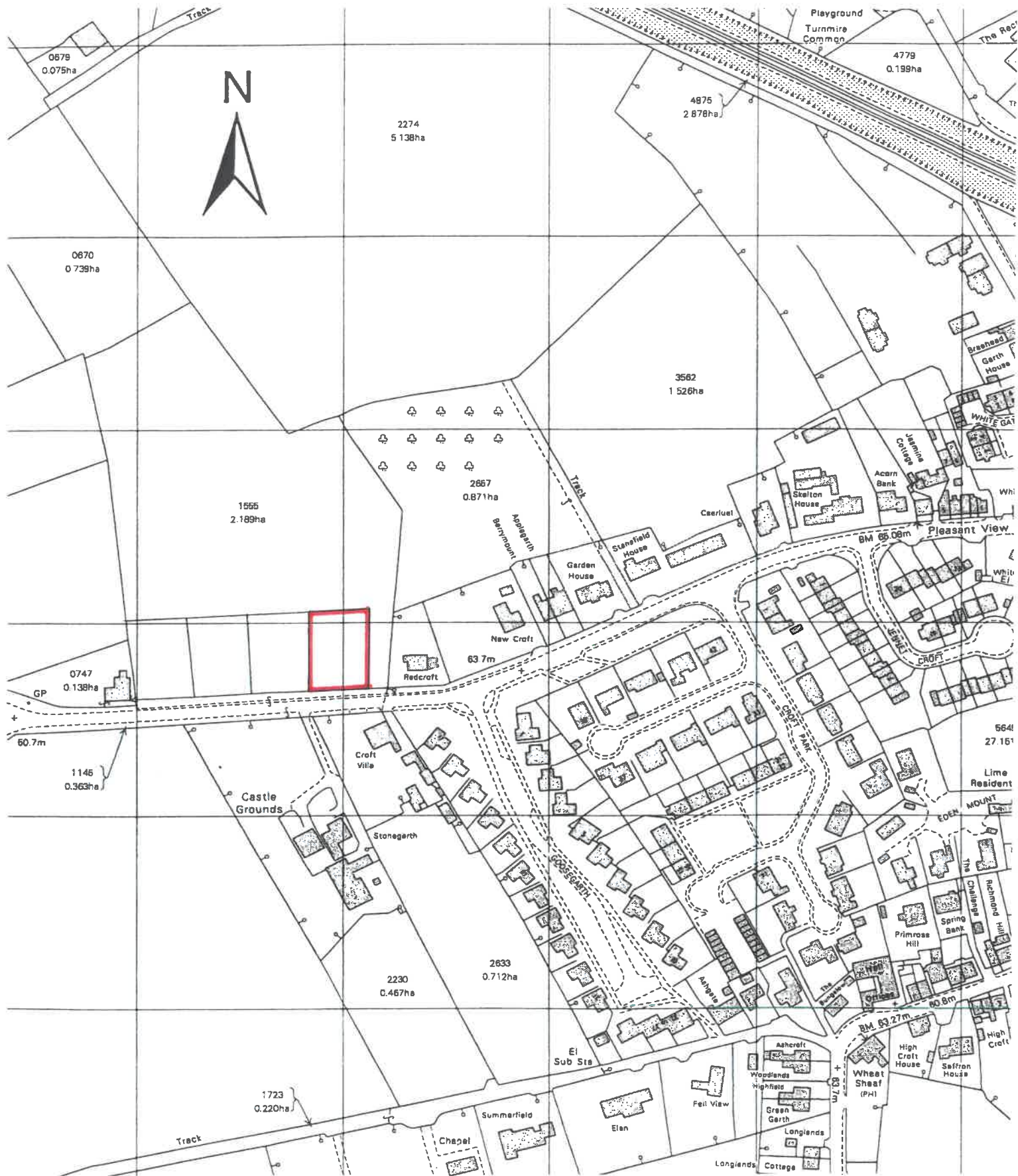
14. Before any development is commenced on the site, including site works of any description, a protective fence in accordance with the positioned shown on Drawing No.3211/2A received 3rd January 2019 shall be erected around the hedges to be retained. Within the areas fenced off no fires should be lit, the existing ground level shall be neither raised nor lowered, and no materials, temporary buildings or surplus soil of any kind shall be placed or stored thereon. The fence shall thereafter be retained at all times during construction works on the site.

**Reason:** In order to ensure that adequate protection is afforded to all trees and hedges to be retained on site in support of Policies SP6 and GI6 of the Carlisle District Local Plan 2015-2030.

15. No work associated with the construction of the residential units hereby approved shall be carried out before 07.30 hours on weekdays and Saturdays nor after 18.00 hours on weekdays and 13.00 hours on Saturdays (nor at any times on Sundays or statutory holidays).

**Reason:** To prevent disturbance to nearby occupants in accordance with Policy CM5 of the Carlisle District Local Plan 2015-2030.

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**PROPOSED DETACHED DWELLING - PLOT 4 - PART FIELD No 1553**

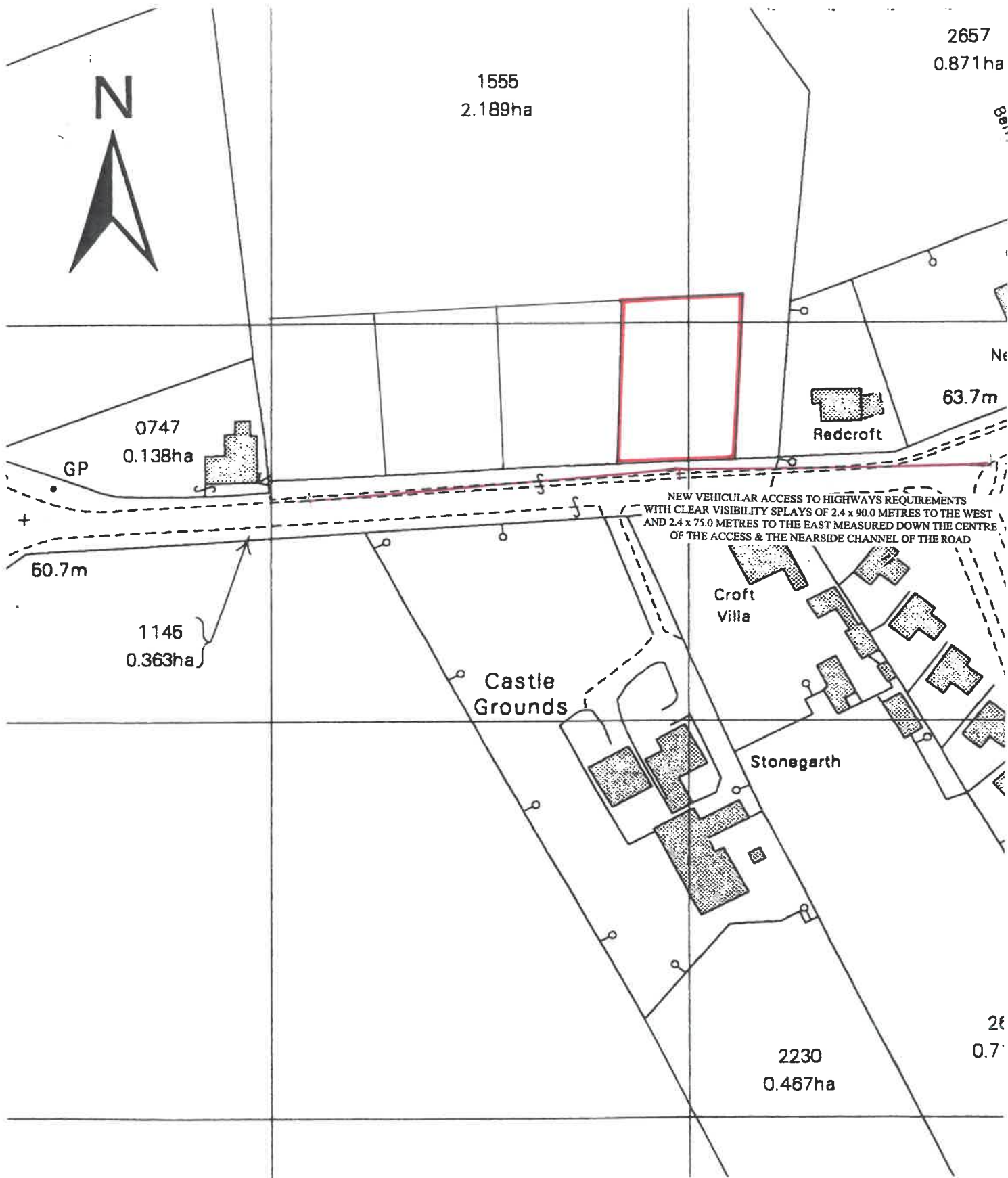
**SCOTBY ROAD - WETHERAL - CARLISLE**

**LOCATION PLAN**

**DRG. NO. 3211/1**



**SCALE : 1-2500**

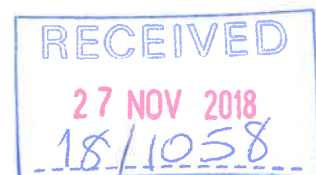


**PROPOSED DETACHED DWELLING - PLOT 4 - PART FIELD No 1553**

**SCOTBY ROAD - WETHERAL - CARLISLE**

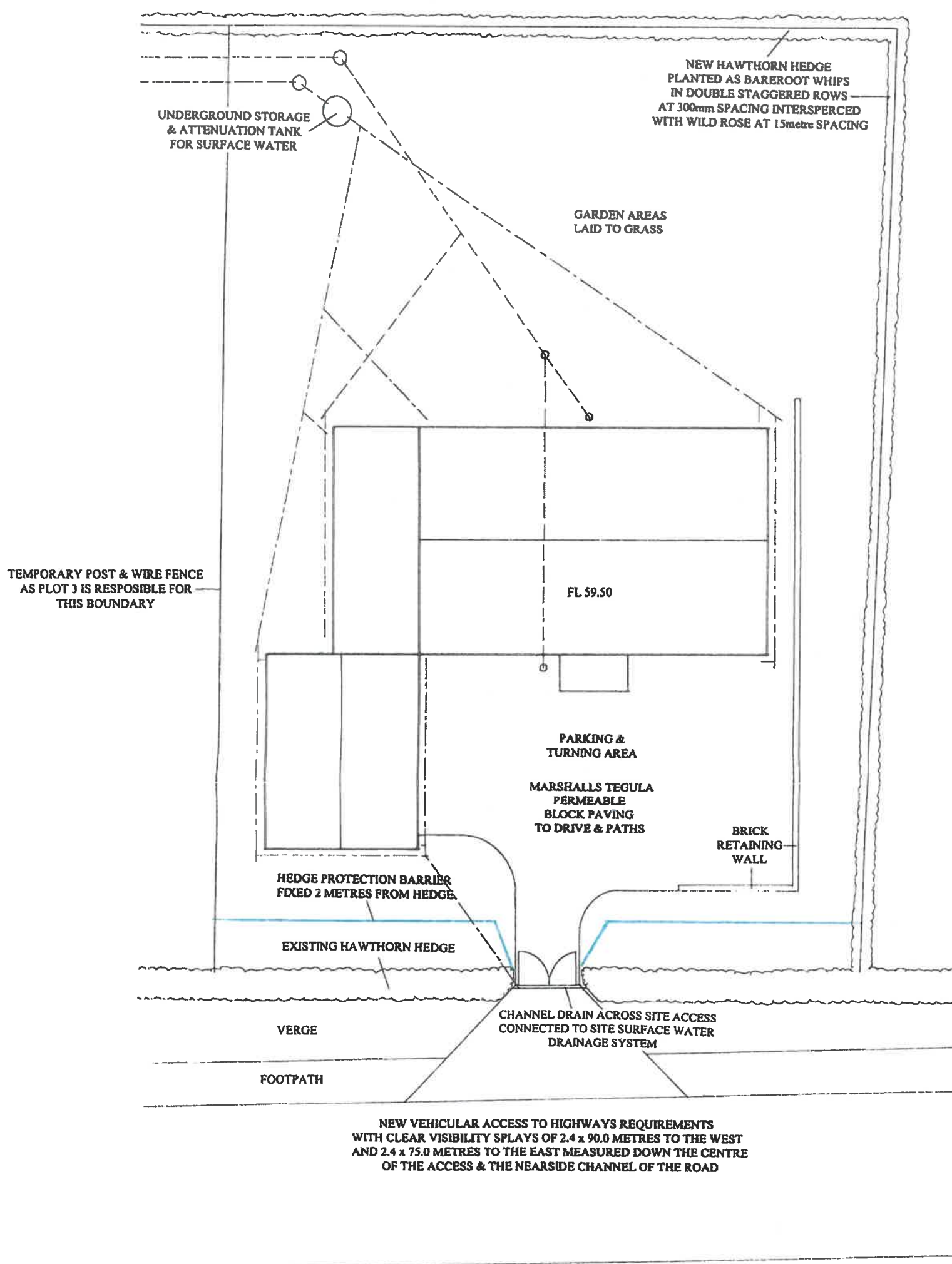
**LOCATION PLAN - VISIBILITY SPLAYS**

**DRG. NO. 3211/1A**



**SCALE : 1-1250**





**PROPOSED DETACHED DWELLING - PLOT 4 - PART FIELD No 1553**

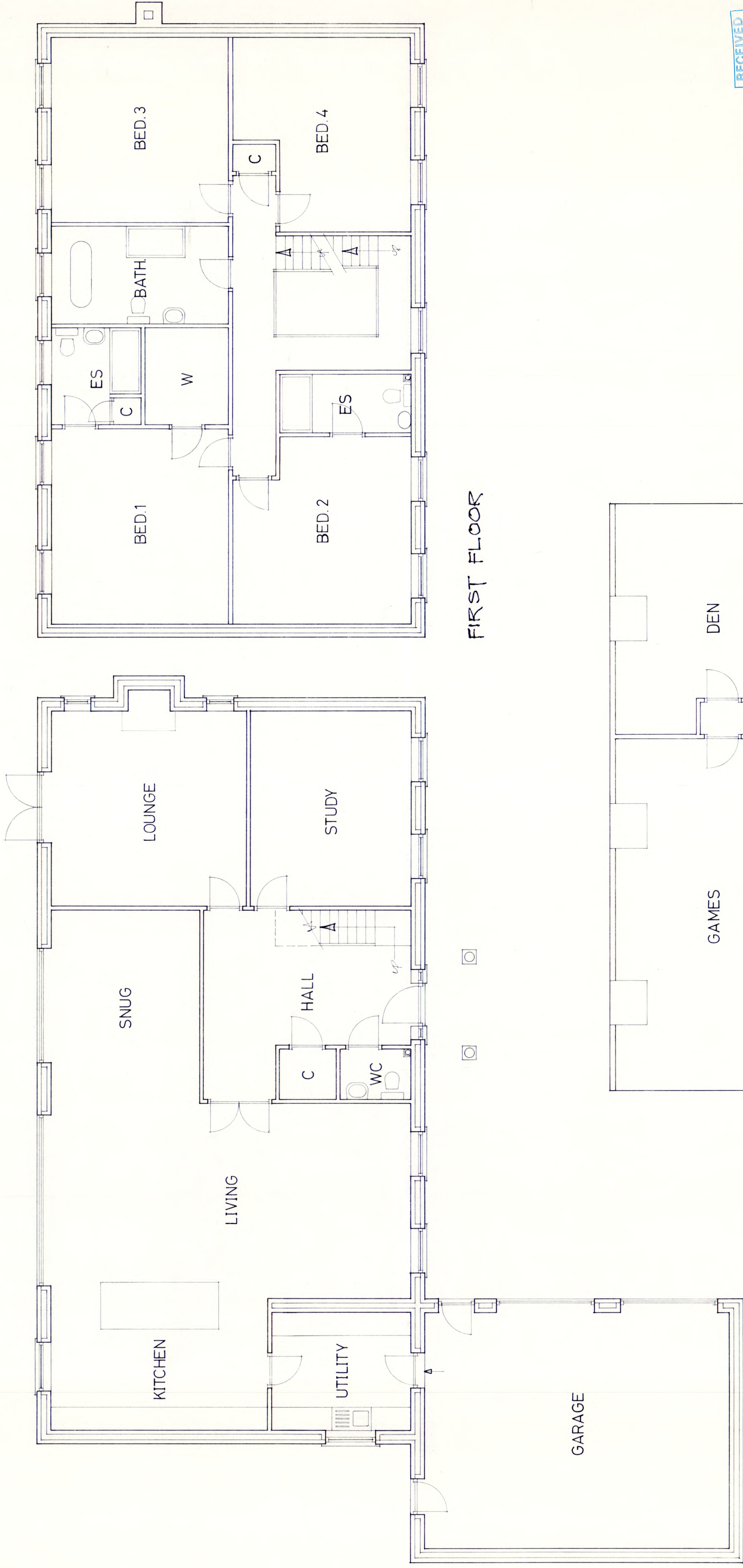
**SCOTBY ROAD - WETHERAL - CARLISLE**

**SITE PLAN**

**DRG. NO. 3211/2A**

**SCALE : 1-200**





FIRST FLOOR

GROUND FLOOR

SECOND FLOOR

RECEIVED  
27 NOV 2018  
18/11/18

## FLOOR PLANS

PROPOSED DETACHED DWELLING  
PLOT 4 - PART FIELD No 1553  
SCOTBY ROAD - WETHERAL

DRG. No. 3211/3

SCALE: 1-50

DATE: JULY 2018

JOCK GORDON

ARCHITECTURAL SERVICES

47 SCOTLAND ROAD

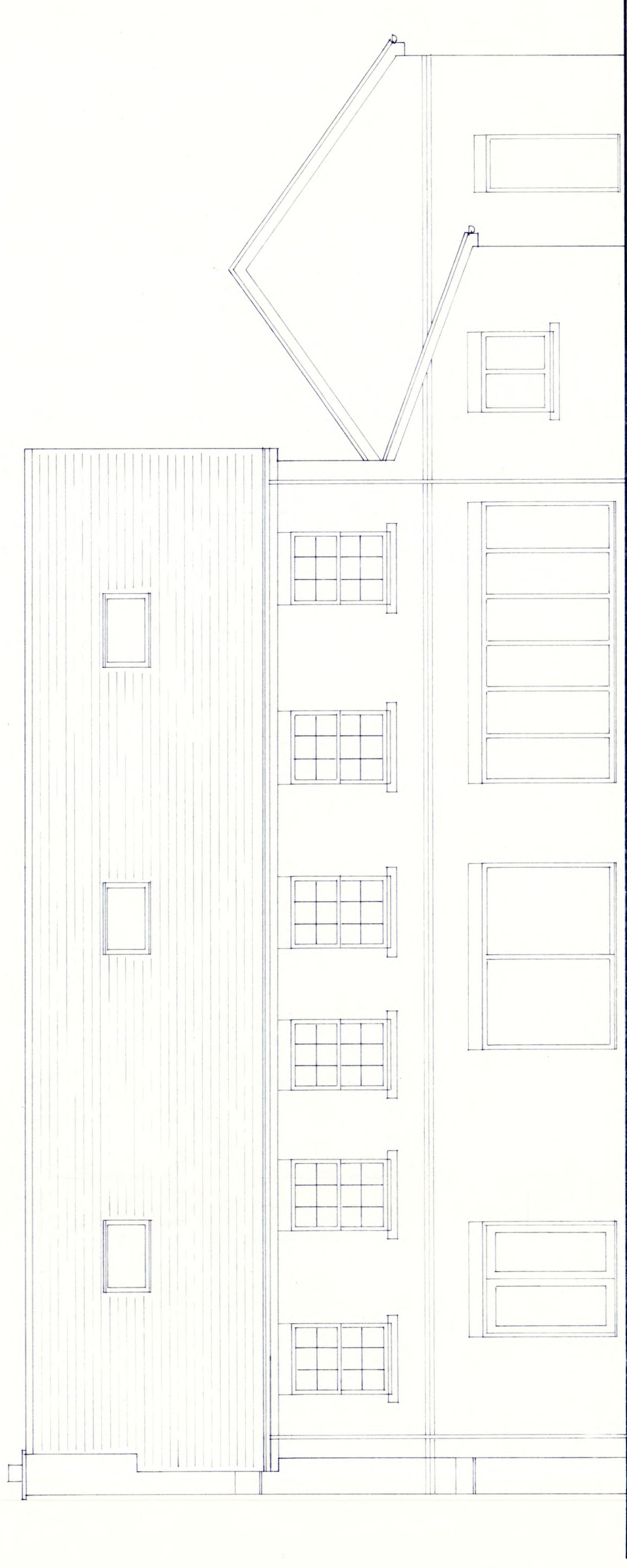
CARLISLE CA3 9HS

TEL: 01228 543289

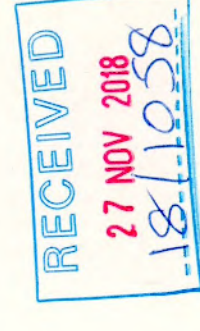




SOUTH ELEVATION



NORTH ELEVATION



## ELEVATIONS

PROPOSED DETACHED DWELLING  
PLOT 4 - PART FIELD No 1553  
SCOTBY ROAD - WETHERAL

DRG. No. 3211/4

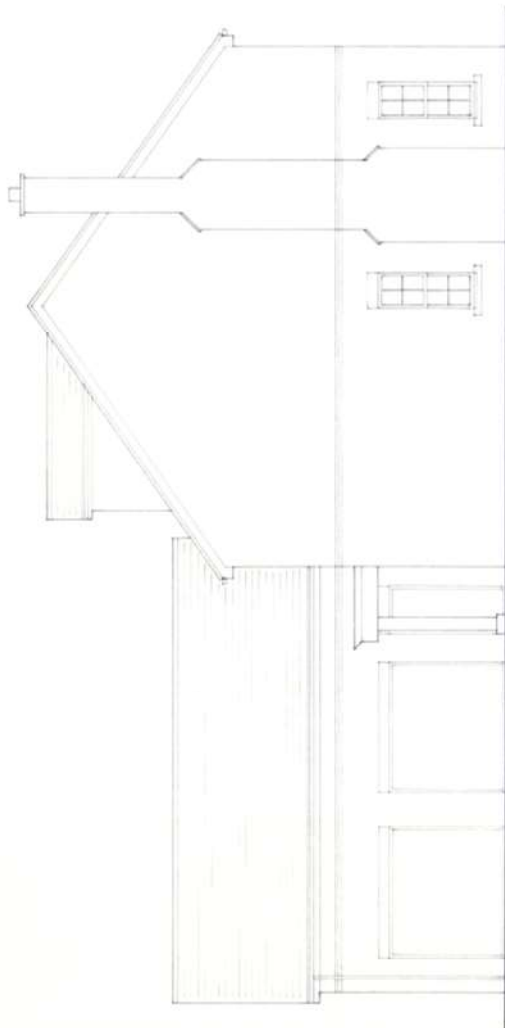
SCALE: 1-50

DATE: JULY 2018

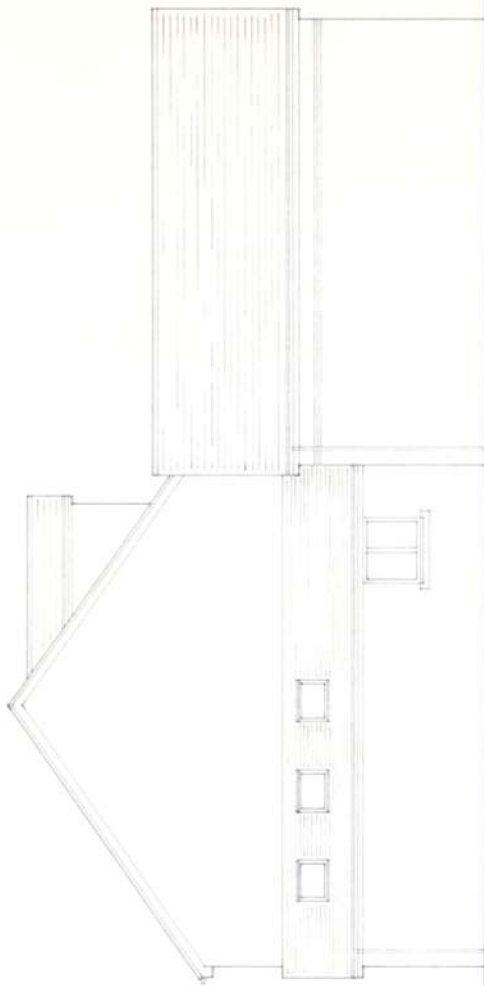
JOCK GORDON  
ARCHITECTURAL SERVICES

47 SCOTLAND ROAD  
CARLISLE CA3 9HS  
TEL: 01228 543289

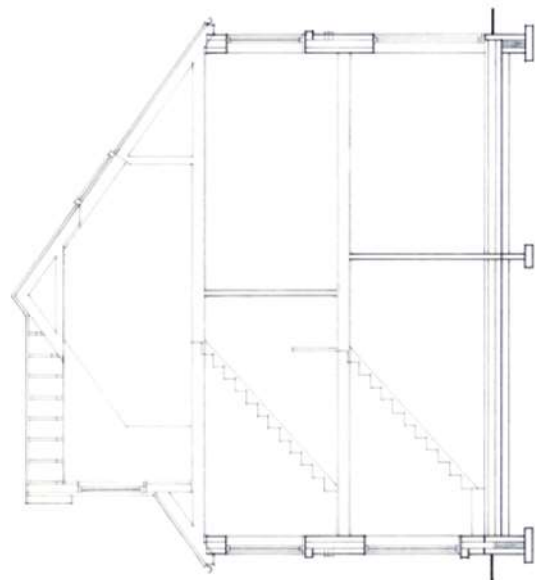




EAST ELEVATION



WEST ELEVATION



DWELLING



KITCHEN



# ELEVATIONS & SECTIONS

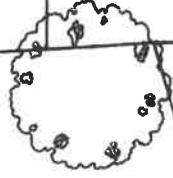
PROPOSED DETACHED DWELLING  
PLOT 4 - PART FIELD No 1553  
SCOTBY ROAD - WETHERAL

DRG. NO. 3211/5  
SCALE: 1-50  
DATE: JULY 2018

JOCK BORDON  
ARCHITECTURAL SERVICES  
47 SCOTLAND ROAD  
CARLISLE CA3 9HB  
TEL: 01228 543289

TO OUTFALL INTO  
ROADSIDE DITCH

TO OUTFALL INTO  
POW MAUGHAN BECK



FOUL DRAIN

TREATMENT  
PLANT

SW DRAIN

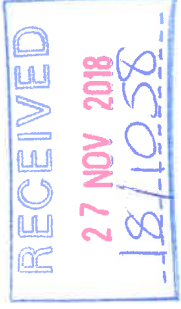
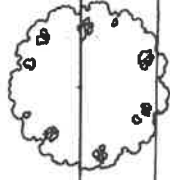
PLOT 1

PLOT 2

PLOT 3

PLOT 4

EP



PROPOSED RESIDENTIAL DEVELOPMENT

PART FIELD NO. 1553 - SCOTBY ROAD - WETHERAL

DRAINAGE PLAN

DRG. NO. 3023/2C

SCALE : 1-500