

SCHEDULE A: Applications with Recommendation

13/0426

Item No: 13

Date of Committee: 30/08/2013

Appn Ref No:
13/0426

Applicant:
CITADEL ESTATES Ltd

Parish:
Wetheral

Date of Receipt:
03/06/2013

Agent:
Holt Planning Consultancy
Ltd

Ward:
Great Corby & Geltsdale

Location:

Land At/Adjacent Former George P.H, Warwick
Bridge, Carlisle, CA4 8RL

Proposal: Variation Of Condition 2 (Approved Documents) Of Previously Approved
Application 12/0383 (Retrospective Application)

REPORT

Case Officer: Richard Maunsell

1. Recommendation

- 1.1 It is recommended that this application is approved with planning conditions.

2. Main Issues

- 2.1 The Principle Of Development
- 2.2 Scale And Design
- 2.3 Effect On Living Conditions Of The Occupiers Of Neighbouring Properties

3. Application Details

The Site

- 3.1 The site of the former George P.H. is located on the southern side of the A69 opposite the junction with Waters Meet. To the west there is Cairn Beck and its associated weir; a terrace of 3 dwellings in the form of Beck Grange, Burnside Cottage and Jasmine House; and, 2 semi-detached houses known as Cairn Cottage and Ivy Cottage. Beck Grange and Burnside Cottage are single storey properties constructed externally with sandstone and rendered walling with slate roofs. A principal bedroom of Beck Grange has 4 windows

facing east towards the site, although the same room is also served by a 3 pane opening on the north elevation. Jasmine House, Cairn Cottage and Ivy Cottage are 2 storey houses. On the opposite side of the road there are the 2 storey houses at Waters Meet and the 3 storey block of flats at Cairn Mill. The flats at Cairn Mill have brick and rendered walls with a tiled roof. To the east there is Mill Lane, which is also a public footpath, leading to the terraced houses at Low and High Buildings, Warwick Mill (Business Village) and Longthwaite Farm. The access to the aforementioned Lane also serves the neighbouring commercial properties which includes the Co-op shop.

- 3.2 There are currently two pedestrian islands opposite Beck Grange and Troutbeck Cottage to help pedestrians cross the A69. A bus stop is also located to the immediate north of the application site. The vehicular access for Beck Grange, Burnside Cottage, Jasmine Cottage and Cairn Cottage is approximately 40 metres to the west of the application site.
- 3.3 Warwick Mill and High Buildings, located approximately 220 metres to the south of the site, are Grade II listed buildings.

The Proposal

- 3.4 Planning permission was granted subject to the imposition of condition 2 which lists the approved documents in accordance with which the development should be built. The applicant seeks consent for the variation of this condition to include the following changes:

North East Elevation

Ground Floor

- Provision for recessed shop signage across the width of the shop fronts
- Removal of recessed panel

First and second floor

- Inclusion of 2 pairs of French doors and Juliet balconies in place of 2 windows
- Reduction in the size of 2 window openings

Roof

- Installation of 6 roof lights

South East Elevation

Ground floor

- Alterations to the entrance canopy;
- Variation to the glazing and door arrangement to the flats
- Reduction in the scale of the window
- Inclusion of 3 recessed rendered panels in place of 3 windows

First and second floor

- Inclusion of 2 pairs of French doors and Juliet balconies in place of 2 windows
- Reduction in the size of 2 window openings

Roof

- Installation of 4 roof lights

South West Elevation

Ground floor

- Formation of a pair of windows in place of triple windows
- Removal of a pedestrian door
- Installation of louvered door in place of vertical panelled doors

First and second floor

- Installation of 2 additional windows
- Reduction in the size of 2 window openings

Roof

- Installation of 6 roof lights

North West Elevation

Ground floor

- Provision for recessed shop signage across the width of the shop fronts
- Deletion of 1 window

First floor

- Removal of triple window and replacement with a pair of French doors and Juliet balcony
- Alterations to the scale of the window openings

Second floor

- Removal of triple window and replacement with a pair of French doors and Juliet balcony
- Alterations to the scale of the window openings
- Insertion of 1 additional window

Roof

- Insertion of 4 roof lights.

- 3.5 In addition to the above, the sandstone has been changed from red to buff. The applicant has confirmed that the finished height of the building has not been increased in relation to the datum. The floor level has been lowered from 26.5 AOD to 26.05AOD (450mm) to make the ground levels feasible.

4. Summary of Representations

- 4.1 This application has been advertised by means of a site notice, a press notice and direct notification to the occupiers of 42 of the neighbouring properties. In response, 1 letter of objection has been received and the main issues raised are No representations have been received.

1. how is the access going to work when the lane beside the present Co-op is so narrow;
2. there will be congestion accessing the main road with the bus stop, delivery vehicles and cars trying to get on and off the A69;
3. there concerns about the traffic which should be properly investigated. Maybe traffic lights or a junction should be considered;
4. the due to the height of the new building there is significant overlooking to the neighbouring properties.

5. Summary of Consultation Responses

Cumbria Constabulary - North Area Community Safety Unit: - no comment;

Department for Transport (Highways Agency): - no objection;

Environment Agency (N Area (+ Waste Disp & Planning Liaison Team): - no objection;

Cumbria County Council - (Econ. Dir. Highways & Transportation): - comments awaited;

Cumbria County Council - (Highway Authority - Footpaths): - no comment;

Northern Gas Networks: - no objection;

Clerk to Wetheral PC: - object to the application as it appears not to be a variation of condition 2 but an amendment to the already passed plans and therefore a retrospective application with major design differences to the windows and balconies. The Parish also wish to query the late changes to this application and lack of adequate consultation.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies CP5 and CP6 of the Carlisle District Local Plan

2001-2016. The proposal raises the following issues.

1. The Principle Of Development

- 6.2 As this application seeks approval for the variation of the condition that relates to the design and appearance of the building the sole issue to consider is whether the substitution of the revised condition is acceptable. The amended condition would not significantly alter the development which would remain as a 3 storey building with retail on the ground floor with residential above. The principle is therefore acceptable.

2. Scale And Design

- 6.3 Policies seek to ensure the development is appropriate in terms of quality to that of the surrounding area and that development proposals incorporate high standards of design including siting, scale, use of materials and landscaping which respect and, where possible, enhance the distinctive character of townscape and landscape. This theme is identified in Policy CP5 of the Local Plan which requires that development proposals should also harmonise with the surrounding buildings respecting their form in relation to height, scale and massing and make use of appropriate materials and detailing. Development of this frontage site will have a significant impact on the character of the area unless it is sympathetically designed.
- 6.4 The principle of the scale and design of the approved building is largely unaltered by the proposed changes. Most significant, would be the inclusion of French doors with Juliet balconies together with the insertion of the roof lights. The scheme which was granted planning consent in 2009, included glazed balconies. Notwithstanding this, when considered in the context of the character and appearance of the surrounding area, the proposed development with the changes for which consent is now sought, would be acceptable.
- 6.5 Paragraph 4 of Circular 11/95: Use Of Conditions In Planning Permission advises that following the variation or removal of planning conditions the original planning permission will continue to subsist and, therefore, it is pertinent to impose a condition that highlights the need to comply with the remaining conditions attached to the planning consent granted in 2012.

3. Effect On Living Conditions Of The Occupiers Of Neighbouring Properties

- 6.6 When assessing the proposal with regard to the living conditions of the neighbouring residents, the potential areas of concern relate to the extent of any overshadowing/ losses in light, overlooking and the relationship to Beck Grange.
- 6.7 The footprint of the building would not be altered and the applicant has stated that the overall ridge height of the building would not increase. The height of the roof, at the top of the clock tower, would increase by 400 mm with the ridge to the rear increasing by 500 mm.

- 6.8 Consequently, the retail unit/ flats would not be over dominant. Whilst the scale of the building would have some impact on the early morning sun, particularly during the winter months, as a result of the changes the occupier would not suffer an unreasonable loss of daylight or sunlight, particularly in the context of the approved building.
- 6.9 The approved building was designed in such a manner that the only windows facing the neighbouring property to the south west, known as Beck Grange, would serve the staircase. The stairs and the associated windows serving it have been moved further to the rear of the building. In addition, 2 windows on both the first and second floors have been inserted which serve a kitchen and a living room and these would face the garden of the neighbouring property. The living room window would be a secondary window with the main aspect facing the rear of the site. The kitchen window would face the adjacent property although there is approximately 20 metres between the building and the garden area which is also partially screened by mature trees. In this context, the occupier of the neighbouring property would not suffer an unreasonable loss of privacy through overlooking.
- 6.10 Although there are windows facing the properties to the east, in particular the bed and breakfast establishment, windows formed part of the approved scheme. There remains a distance of at least 35 metres between the 2 buildings which is in excess of the Council's minimum distance of 21 metres.
- 6.11 The variation of the condition would not intensify the use or change the overall use of the site. The living conditions of the occupiers of the nearby properties would not suffer from loss of privacy or unacceptable levels of noise or disturbance.

4. Other Matters

- 6.12 The Parish Council has also raised concerns about the late changes to this application and lack of adequate consultation. Whilst it is true to say that the application is retrospective, Members will be aware that it is not unlawful to undertake such works and apply retrospectively to regularise them. The work is undertaken entirely at the applicant's own risk and the application must be considered on its merits. The fact that it is a retrospective matter, does not prejudice the consideration or determination of the application.
- 6.13 The Parish Council has also raised concerns about the lack of adequate consultation. All interested parties were notified 4 days after the application had been made valid which includes notification to the relevant consultees, 42 neighbours, a site notice and a press notice. In this respect, the Council has fully complied with the consultation requirements. The fact that the consultations were sent after the works had been completed is as a result of the retrospective nature of the application which is not a failing of the Council.
- 6.14 The traffic issues raised by the occupier of a neighbouring property would not be affected and were considered as part of the original planning application.

Conclusion

- 6.15 In overall terms, this current application seeks approval to vary the wording of Condition 2 of the approval, which relates to the appearance of the development. The changes are acceptable and the development would be appropriate to the character and appearance of the area whilst retaining appropriate security measures. In all aspects the proposal would be compliant Circular 11/95: Use of Condition in Planning Permission and with the objectives of the relevant Local Plan policies.

7. Planning History

- 7.1 In 1983, planning permission was given for an extension to the car park.
- 7.2 In 1990 and 1991, planning permission and advertisement consent were given for the erection of an extension to the public house and installation of signage.
- 7.3 In 1993 and 1994, advertisement consents were given for the installation of additional signage.
- 7.4 In 1996, planning permission was given for the enclosure of part of scrubland to form a beer garden and children's play area.
- 7.5 In 2008, planning consent was sought for mixed development comprising retail development with 24 apartments but was withdrawn prior to determination.
- 7.6 Planning permission was granted in 2009 for a revised scheme for a mixed development comprising retail development with 24 apartments.
- 7.7 In 2012, planning permission was refused for a mixed development comprising retail development for Co-Operative store with 18 houses and 10 apartments.
- 7.8 Later in 2012, planning permission was granted for a revised scheme for the provision of a mixed development comprising retail development for co-operative store with 18 houses and 10 apartments.

8. Recommendation: Grant Permission

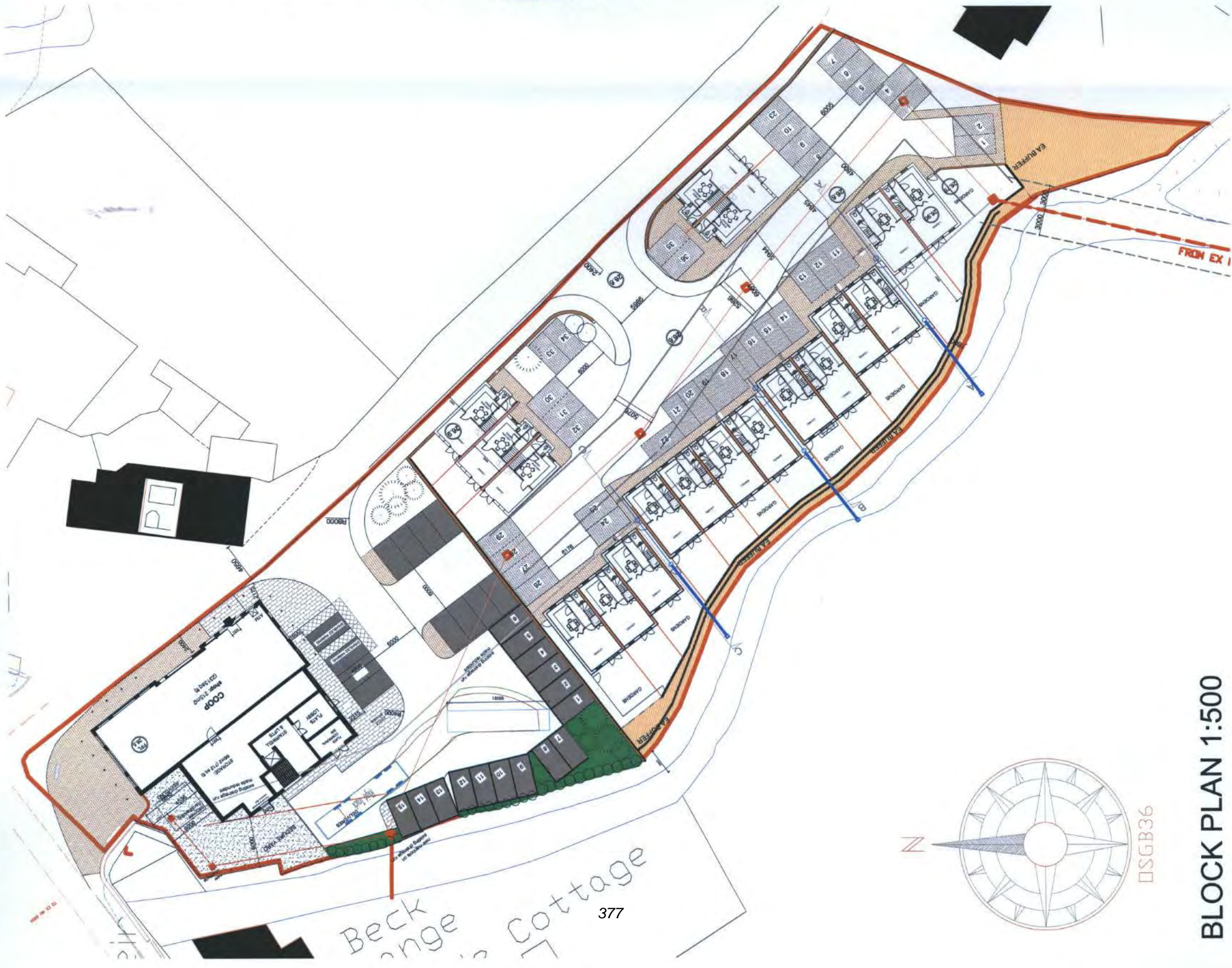
1. The approved documents for this Planning Permission comprise:
1. the Planning Application Form received 27th May 2013;
 2. the Location & Block Plans received 3rd June 2013 (Drawing no. 11/2011/00A);
 3. the Ground Floor Masonry Setting Out G.A. received 27th May 2013 (Drawing no. J2339/A101 Rev G);
 4. the First Floor Masonry Setting Out G.A. received 27th May 2013 (Drawing no. J2339/A102 Rev H);

5. the Second Floor Masonry Setting Out G.A. received 27th May 2013 (Drawing no. J2339/A103 Rev G);
6. the Proposed Elevations received 27th May 2013 (Drawing no. J2339/A202 Rev L);
7. the Notice of Decision.

Reason: To define the permission.

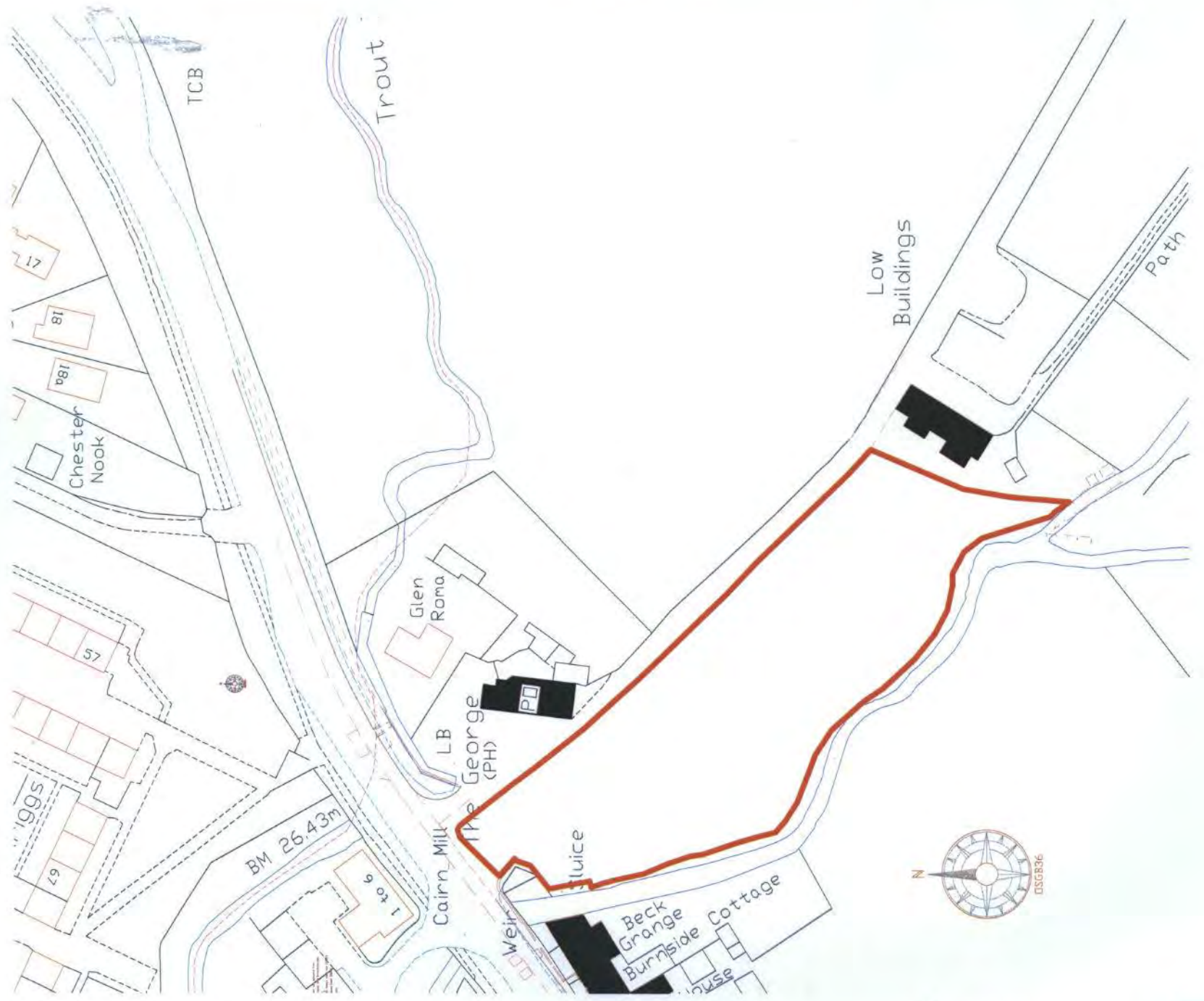
2. The development shall be carried out in accordance with the remaining conditions attached to the "Full Planning" permission approved under application 12/0383.

Reason: For the avoidance of doubt.



BLOCK PLAN 1:500

DSGB36



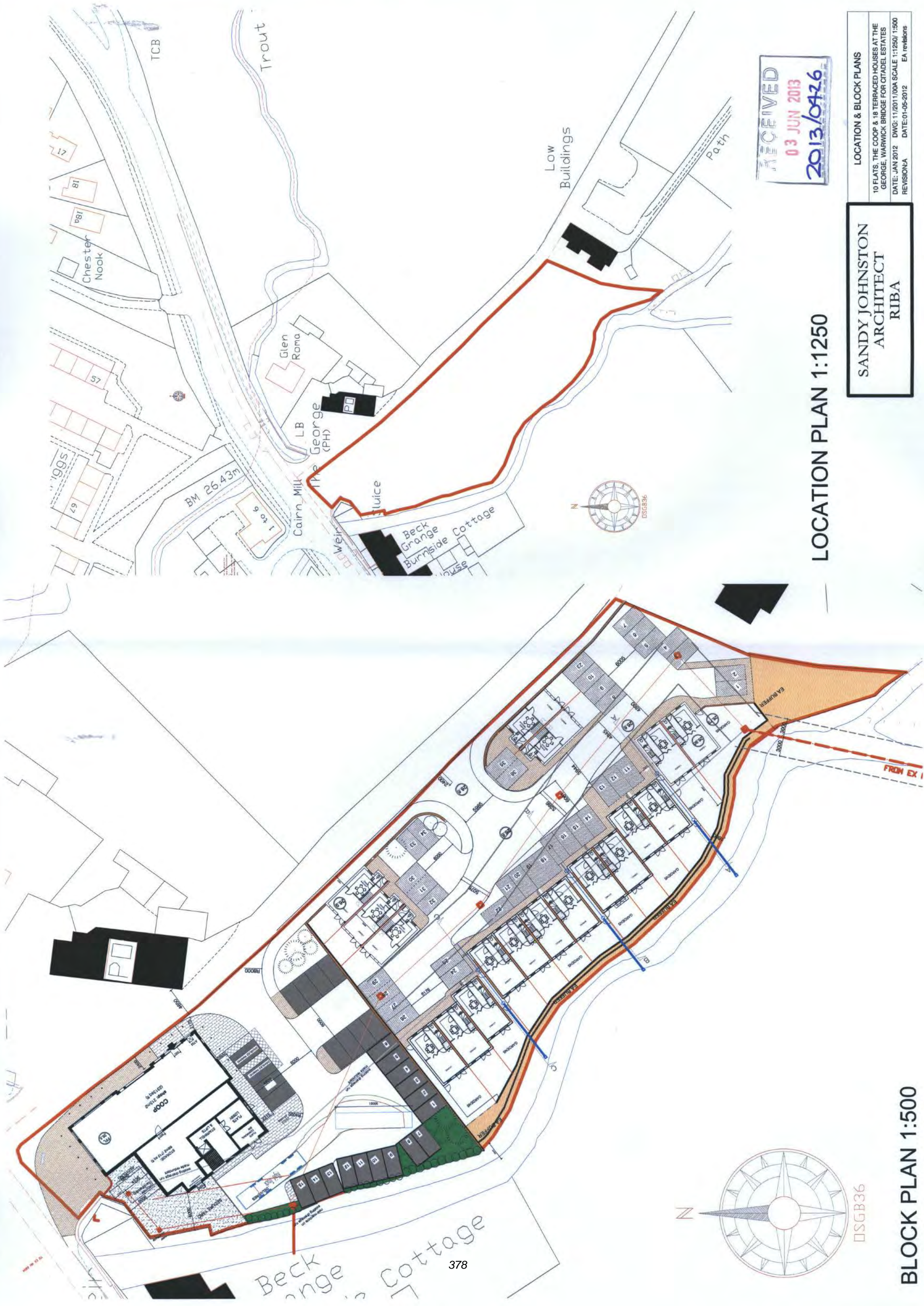
LOCATION PLAN 1:1250

RECEIVED
03 JUN 2013
2013/0426

SANDY JOHNSTON
ARCHITECT
RIBA

LOCATION & BLOCK PLANS

10 FLATS, THE COOP & 18 TERRACED HOUSES AT THE GEORGE, WARWICK BRIDGE FOR CITADEL ESTATES
DATE: JAN 2012 DWG: 11/2011/00A SCALE 1:1250/ 1:500
REVISION: A DATE: 01-05-2012 EA revisions

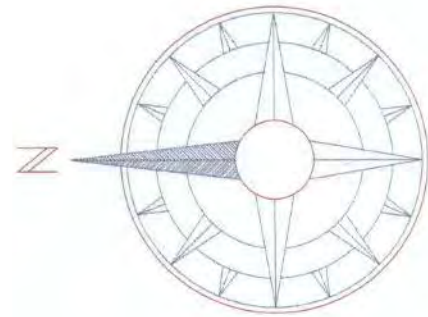


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03 JUN 2013
2013/0426

LOCATION PLAN 1:1250

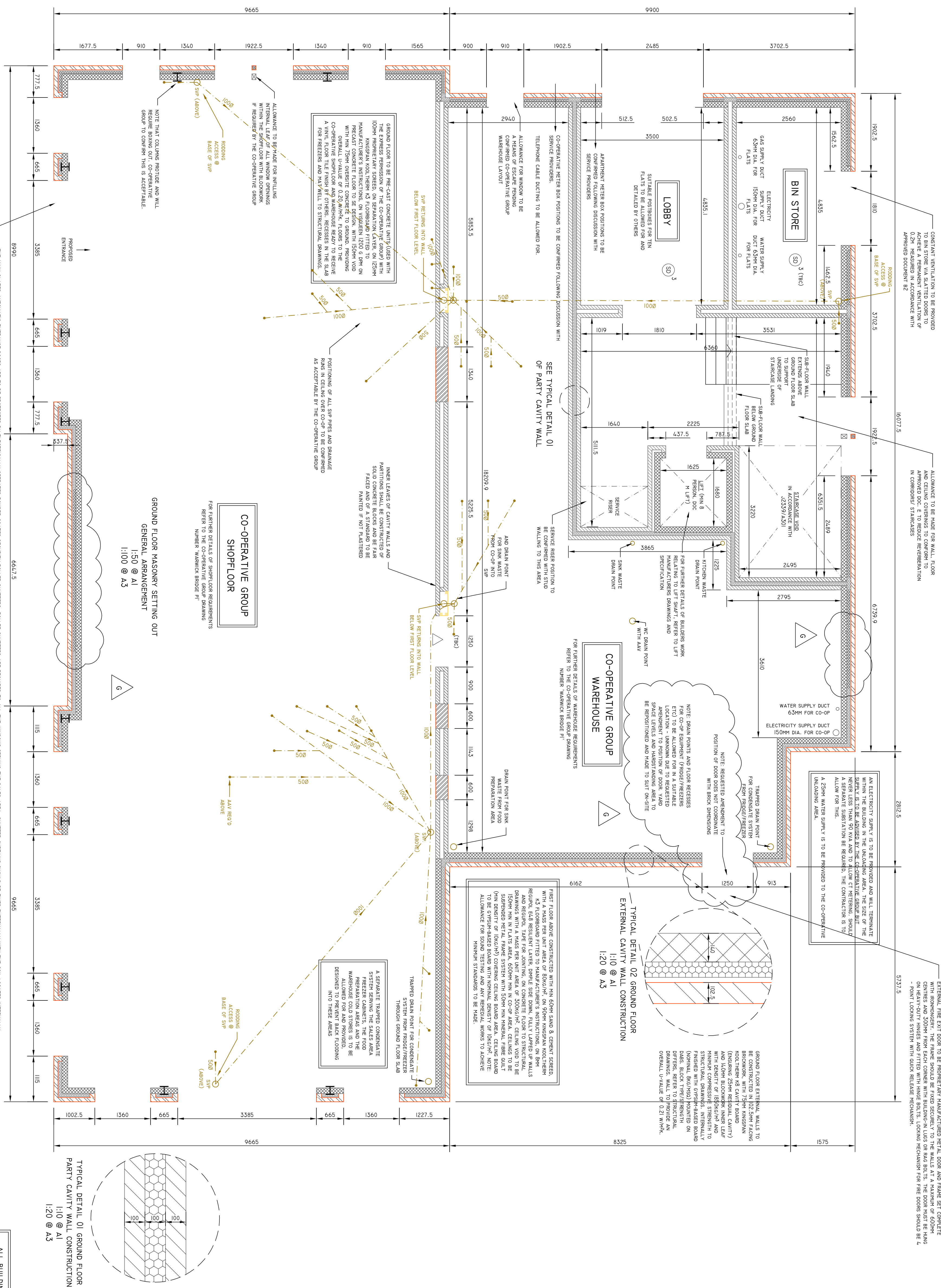
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10 FLATS, THE COOP & 18 TERRACED HOUSES AT THE GEORGE, WARWICK BRIDGE FOR CITADEL ESTATES	
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REVISION A	DATE: 01-05-2012 EA revisions



DSGB36



BLOCK PLAN 1:500








- NOTES (CONT.)

16 THE FOLLOWING SYMBOLS DENOTE:

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- SC DENOTES PD030, 30 MINUTE FIRE DOOR WITH STRENGTH SEALS ETC.
 PD030S DENOTES 30 MINUTE FIRE DOOR WITH STRENGTH SEALS ETC.
 PD030S DENOTES 30 MINUTE FIRE DOOR WITH STRENGTH SEALS ETC.
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5. WHERE NOT SPECIFIED, ALL ITEMS TO BE

- | | |
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| <p>1. ALLOWANCE TO BE MADE FOR AIR PERMEABILITY AND PRESSURE TESTING.</p> <p>2. MAXIMUM AIR PERMEABILITY VALUE TO BE SHOWN.</p> <p>3. ALLOWANCE TO BE MADE FOR AIR PERMEABILITY WORKS TO BE DONE BY THE CONTRACTOR AT HIS RESPONSIBILITY AND RISK.</p> <p>4. CONTRACTOR TO ENSURE THE BUILDING PASSES THE TESTS SET OUT IN BUILDING REGULATIONS APPROVED DOCUMENT L.</p> | <p>5. ANY VOIDS THROUGH FLOORS AND WALLS MUST BE FILLED WITH FIRE PROOFED.</p> |
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- | | |
|---|---|
| <p>6. HATCHING DENOTES THE FOLLOWING:</p> <p> 1025 MM THICK FLANG BRICK</p> <p> 1026 THICK LODGKOR (REFER TO STRUCTURAL DRAWINGS)</p> <p> 1026 THICK LODGKOR (REFER TO STRUCTURAL DRAWINGS)</p> <p> 1026 THICK LODGKOR (REFER TO STRUCTURAL DRAWINGS)</p> <p> ENGINEERING BRICK (REFER TO STRUCTURAL DRAWINGS)</p> | <p>7. ALLOWANCE TO BE MADE FOR AIR PERMEABILITY AND PRESSURE TESTING.</p> <p>8. MAXIMUM AIR PERMEABILITY VALUE TO BE SHOWN.</p> <p>9. ALLOWANCE TO BE MADE FOR AIR PERMEABILITY WORKS TO BE DONE BY THE CONTRACTOR AT HIS RESPONSIBILITY AND RISK.</p> <p>10. CONTRACTOR TO ENSURE THE BUILDING PASSES THE TESTS SET OUT IN BUILDING REGULATIONS APPROVED DOCUMENT L.</p> |
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19. ALLOWANCE TO BE MADE FOR PROVISION OF ALARM SYSTEMS, FIRE ALARM SYSTEMS, SMOKE DETECTOR SYSTEMS, AND ALL OTHER RELEVANT SYSTEMS. ALL FIRE ALARM SYSTEMS TO BE IN ACCORDANCE WITH BUILDING REGULATION APPROVED DOCUMENT B AND NOTES REFERRED TO ON ALL PLANS AND TO BE TAKEN INTO ACCOUNT. REQUIREMENTS TO BE CONFIRMED BY CLIENT.
7. DIMENSIONS ARE SHOWN TO FACE OF BRICK OR BLOCK MASONRY UNLESS NOTED OTHERWISE (U.N.O.)

20. FINISHERS TO ALL INTERNAL SPACES TO BE COMPLETED BY CLIENT.
21. EXTERNAL FINISHERS TO BE AS FOLLOWS:
- 21.1. FACING BRICK
- 21.2. RANSOM WALL "HARDWOOD MULTI"
- 21.3. SCOTCH BUFF STONE/STONE
- 21.3. WINDOWS/DOORS:
20. DOORS AND WINDOWS OUT OF SCOPE, DETAILED BY OTHERS. MINIMUM OVERALL U VALUE OF 1.3W/M²K. ALL GLAZING IN DOORS, DOOR SIDE LIGHTS, AND IN ALL APERTURES BELOW 800MM ABOVE FINISHED FLOOR TO BE DOUBLE GLAZED IN ACCORDANCE WITH BS 6266 (1981) AND PART N, WITH TOUGHENED/ LAMINATED GLASS.

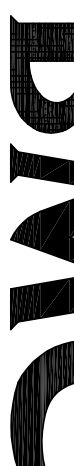
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|------------------------------------|--------------------------------------|
| POWDER-COATED ALUMINIUM : | 9. GROUND FLOOR FINISHED FLOOR LEVEL |
| 21.3.1. EXTERNAL WINDOW FRAMES AND | FFL = 26.050M U.N.O. |
| SALES ENTRANCE DOOR OPENINGS: | |
| 'WHITE RAL 9010' | |
| 21.3.2. FASCIA/BARGEBOARDS: | 10. POSITIONS OF RWPS SHOWN ON |
| 'WHITE RAL 9010' | 42339 A/D/L. |
| 21.4. RAINWATER GOODS AND EXTERNAL | 11. REFER TO STRUCTURAL DRAWING FOR |

- 'GOOSE GREY BS00 A 05'
22. ALLOWANCE TO BE MADE FOR ALL EXTERNAL WORKS IN ACCORDANCE WITH THE CO-OPERATIVE BUILDING SPECIFICATION.
12. ALL FACING BRICKS SHOULD BE DESIGNATED FL UNDER BS S921.
- REQUIREMENTS OF MASONRY WALL TIES, MOVEMENT AND CONTRACTION JOINT DETAILS.

13. STEEL TO BE COATED IN INTUMESCENT PAINT TO PROVIDE 1 HOUR FIRE PROTECTION OR SIMILAR FIRE STOPPING

15. ALLOWANCE TO BE MADE FOR SOUND TRANSMISSION TESTING AS REQUIRED BY BUILDING REGULATIONS APPROVED DOCUMENT E.

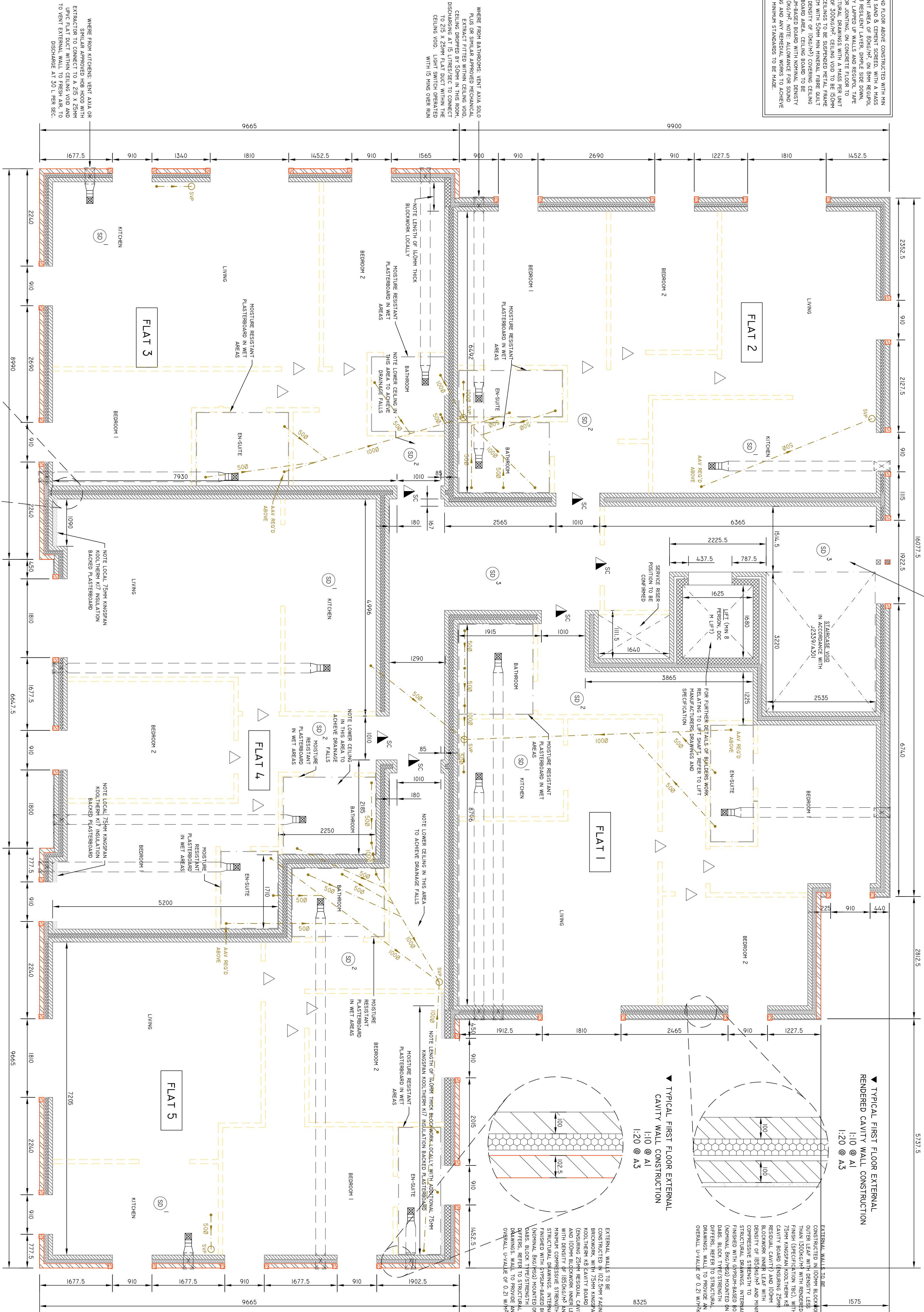
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|-------|--|----------|
| REV 5 | WALL-TOE DOOR POSITION, LARGED | 27.03.03 |
| REV 6 | CEILING DOWN 1 CM, REVERSED | 20.03.03 |
| REV 7 | SPRINT HOOKS, REVERSED | 16.02.03 |
| REV 8 | SPRINT STRIPS, REVERSED | 16.02.03 |
| REV 9 | GENERAL REVISIONS | 05.02.03 |
| REV 9 | AMENDED IN ACCORDANCE WITH CLIENT DISCUSSION | 20.03.02 |

- | | |
|-------|--|
| |  |
| | <p align="center">BELL MUNRO
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WWW.BELLMUNRO.CO.UK</p> <hr/> <p>CITADEL ESTATES</p> |
| DATE: | |
| BY: | |

- BE MADE FOR STRUCTURAL
S/ WIND POSTS SHOWN ON
TURAL DRAWINGS
- PROPOSED DEVELOPMENT AT
THE GEORGE, WARRICK BRIDGE
- GROUND FLOOR MASONRY
SETTING OUT G.A.
- | TITLE | | | |
|----------|------------|-------|------|
| DRAWN BY | CHECKED BY | SCALE | DATE |
| | | | |

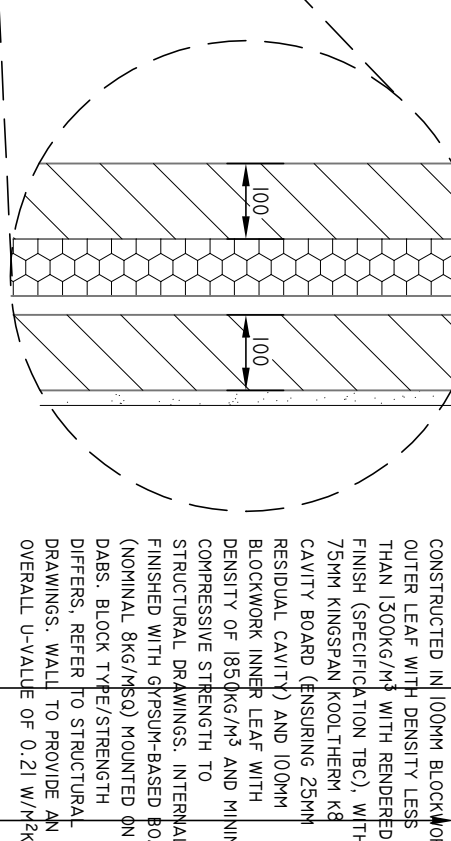
SUB	MOS	I:50	09/12
DRAWING NUMBER:			REVISION:
J2339 / A101			6

SECOND FLOOR ABOVE CONSTRUCTED WITH 10MM 75MM SAND & CEMENT SCREENED WITH A MASS FINISH AREA OF 500MM² ON BAY REQUIRED. FULLY LAPPED UP WALLS AND REQUIRED. THE FOR JOINING, ON CONCRETE FLOOR TO STRUCTURAL DRAWINGS WITH A MASS FINISH AREA OF 500MM² ON BAY REQUIRED. MIN. CEILING TO BE SUSPENDED METAL FRAME SYSTEM WITH 50MM MIN MINERAL FIBRE DULIT (MIN DENSITY OF 100KG/M³) COVERING CEILING SYSTEM BASED BOARD WITH NOMINAL DENSITY OF 100KG/M³. NOTE: ALLOWANCE FOR SOUND TESTING AND WORKS TO BE IN PLACE. MINIMUM 15 MINUTES TO BE IN PLACE.

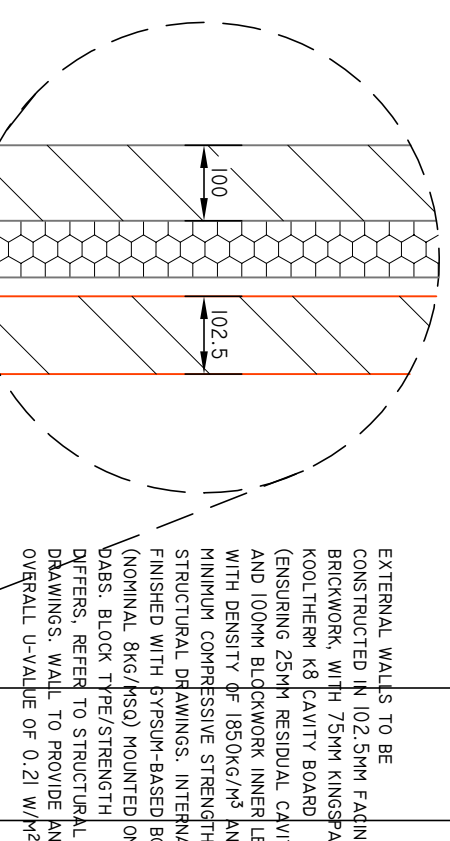


ALLOWANCE TO BE MADE FOR WALL, FLOOR AND CEILING COVERINGS TO CONFORM TO APPROVED DOC. E TO REDUCE REGENERATION IN CORRIDORS/ STAIRCASES

▼ TYPICAL FIRST FLOOR EXTERNAL RENDERED CAVITY WALL CONSTRUCTION
1:10 @ A1
1:20 @ A3



▼ TYPICAL FIRST FLOOR EXTERNAL CAVITY WALL CONSTRUCTION
1:10 @ A1
1:20 @ A3



NOTES (CONT.)
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3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE RELEVANT BHC SPECIFICATIONS TOGETHER WITH THE APPROPRIATE ARCHITECTS AND SERVICES CONSULTANTS' DRAWINGS AND SPECIFICATIONS.
4. ALL WORKS BASED ON THESE DRAWINGS MUST CONFORM WITH CURRENT BUILDING REGULATIONS AND LA APPROVALS
5. WHERE NOT SPECIFIED, ALL ITEMS TO BE IN ACCORDANCE WITH THE CO-OPERATIVE GROUP BUILDING SPECIFICATION .
5. HATCHING DENOTES THE FOLLOWING:
102.5MM THICK FACING BRICK
102.5MM THICK BLOCKWORK (REFER TO STRUCTURAL DRAWINGS)
100MM THICK BLOCKWORK (REFER TO STRUCTURAL DRAWINGS)
140MM THICK BLOCKWORK (REFER TO STRUCTURAL DRAWINGS)
STUD PARTITIONS (REFER TO STRUCTURAL ENGINEERS DRAWING FOR AREAS REQUIRING PERMEABILITY AND PRESSURE TESTING.
MAXIMUM AIR PERMEABILITY RATE TO BE 5m³/mh² - ALLOWANCE TO BE MADE FOR ANY REMEDIAL WORKS TO ACHIEVE THIS MINIMUM STANDARD. RESPONSIBILITY OF CONTRACTOR TO ENSURE THE BUILDING PASSES THE TESTS SET OUT IN BUILDING REGULATIONS APPROVED DOCUMENT L.
17. ANY VOIDS THROUGH FLOORS AND WALLS MUST BE FULLY FINE STOPPED.
18. ALLOWANCE TO BE MADE FOR PROVISION OF ALARM SYSTEMS, FIRE ALARM SYSTEMS, INTERCOM SYSTEMS, TELEPHONE, SATELLITE AND ALL OTHER RELEVANT SYSTEMS. ALL FIRE ALARM SYSTEMS TO BE IN ACCORDANCE WITH BUILDING REGULATION APPROVED DOCUMENT B AND NOTES REFERRED TO ON ALL DRAWINGS TO BE TAKEN INTO ACCOUNT. REQUIREMENTS TO BE CONFORMED BY CLIENT.
19. FINISHES TO ALL INTERNAL SPACES TO BE COMPLETED BY CLIENT.
20. EXTERNAL FINISHES TO BE AS FOLLOWS:
20.1. FACING BRICK:
'HANSON OLD TRAFFORD MULTI'
20.2. SANDSTONE:
'SCOTCH BUFF SANDSTONE'
20.3 WINDOWS/DOORS:
'POWER-COATED ALUMINIUM':
20.3.1. EXTERNAL WINDOW FRAMES AND SALES ENTRANCE DOOR OPENINGS:
WHITE RAL 9010
20.3.2. FRASCAS/BARBEGRIDS:
WHITE RAL 9010
20.4. EXTERNAL FINISHES TO BE PROVIDED TO PROTECT THE PROTECTION OR SIMILAR FIRE STOPPING
'GOOSE GREY B810 A 05'
22. INTERNAL LAYOUTS SUBJECT TO CLIENT APPRAISAL.
21. ALLOWANCE TO BE MADE FOR ALL EXTERNAL WORKS IN ACCORDANCE WITH THE CO-OPERATIVE BUILDING SPECIFICATION.
22. INTERNAL LAYOUTS SUBJECT TO CLIENT APPRAISAL.

15. THE FOLLOWING SYMBOLS DENOTE:
SVP 100MM DIA. UPVC SVP WITH 25MM INSULATION FOR SOUND ATTENUATION. RECESSED LINES INDICATE DRAINAGE RUNS.
SC DENOTES FD30S 30 MINUTE FIRE DOOR WITH SMOKE SEALS ETC.
SC INDICATES DOORS WITH OPENED SELF CLOSERS
DENOTES FD30S 30 MINUTE FIRE DOOR
MECHANICAL VENTILATION WITH EXTRACT POINT WITH RECOMMENDED COWLING ETC. ALLOW FOR ALL COMPONENTS INCLUDING FIRE DAMPERS WHERE FIRE WALLS ARE PENETRATED
SMOKE DETECTORS TO BS5446 P11 TO BE MANS OPERATED SELF CONTAINED ALARMS FOR APARTMENTS AND TO BE TO BS5539 IN COMMUNAL AREAS
SD SMOKE DETECTOR
I = INTELLIGENT (MANS CONNECTED)
Z = CONVENTIONAL (MANS CONNECTED)
3 = COMMUNAL AREAS (MANS CONNECTED)
16. ALLOWANCE TO BE MADE FOR AIR PERMEABILITY AND PRESSURE TESTING. MAXIMUM AIR PERMEABILITY RATE TO BE 5m³/mh² - ALLOWANCE TO BE MADE FOR ANY REMEDIAL WORKS TO ACHIEVE THIS MINIMUM STANDARD. RESPONSIBILITY OF CONTRACTOR TO ENSURE THE BUILDING PASSES THE TESTS SET OUT IN BUILDING REGULATIONS APPROVED DOCUMENT L.
17. ANY VOIDS THROUGH FLOORS AND WALLS MUST BE FULLY FINE STOPPED.
18. ALLOWANCE TO BE MADE FOR PROVISION OF ALARM SYSTEMS, FIRE ALARM SYSTEMS, INTERCOM SYSTEMS, TELEPHONE, SATELLITE AND ALL OTHER RELEVANT SYSTEMS. ALL FIRE ALARM SYSTEMS TO BE IN ACCORDANCE WITH BUILDING REGULATION APPROVED DOCUMENT B AND NOTES REFERRED TO ON ALL DRAWINGS TO BE TAKEN INTO ACCOUNT. REQUIREMENTS TO BE CONFORMED BY CLIENT.
19. FINISHES TO ALL INTERNAL SPACES TO BE COMPLETED BY CLIENT.
20. EXTERNAL FINISHES TO BE AS FOLLOWS:
20.1. FACING BRICK:
'HANSON OLD TRAFFORD MULTI'
20.2. SANDSTONE:
'SCOTCH BUFF SANDSTONE'
20.3 WINDOWS/DOORS:
'POWER-COATED ALUMINIUM':
20.3.1. EXTERNAL WINDOW FRAMES AND SALES ENTRANCE DOOR OPENINGS:
WHITE RAL 9010
20.3.2. FRASCAS/BARBEGRIDS:
WHITE RAL 9010
20.4. EXTERNAL FINISHES TO BE PROVIDED TO PROTECT THE PROTECTION OR SIMILAR FIRE STOPPING
'GOOSE GREY B810 A 05'
22. INTERNAL LAYOUTS SUBJECT TO CLIENT APPRAISAL.
21. ALLOWANCE TO BE MADE FOR ALL EXTERNAL WORKS IN ACCORDANCE WITH THE CO-OPERATIVE BUILDING SPECIFICATION.
22. INTERNAL LAYOUTS SUBJECT TO CLIENT APPRAISAL.

ALL BUILDING JUNCTIONS (IE GROUND FLOOR TO WALL, WINDOW CILLS, JAMBS ETC.) TO BE IN ACCORDANCE WITH ACCREDITED CONSTRUCTION DETAILS IN ORDER FOR SAP CALCULATIONS TO BE VALID

ALLOWANCE TO BE MADE FOR ADDITIONAL INSULATION. OTHER SUITABLE MEASURES TO ENSURE SAP COMPLIANCE

FOUL WATER TO DISCHARGE THROUGH FLOOR TO DRAINAGE RUNS IN THE CEILING VOIDS BELOW (SEE LEVEL BELOW FLOOR PLAN FOR DETAILS)

FIRST FLOOR MASONRY SETTING OUT
1:50 @ A1
1:100 @ A3

TYPICAL FIRST FLOOR INTERNAL CAVITY WALL CONSTRUCTION
1:10 @ A1
1:20 @ A3

BMC

BELL MUNRO CONSULTING LTD

CONSULTING CIVIL & STRUCTURAL ENGINEERS

TRADING HOUSE

MANCHESTER

TEL: 0161 259 8932

FAX: 0161 259 8933

EMAIL: info@bellmunro.co.uk

WWW.BELLMUNRO.CO.UK

CLIENT

CITADEL ESTATES

PROJECT

PROPOSED DEVELOPMENT AT THE GEORGE, WARWICK BRIDGE

TITLE

FIRST FLOOR MASONRY SETTING OUT G.A.

SCALE

1:50

DATE

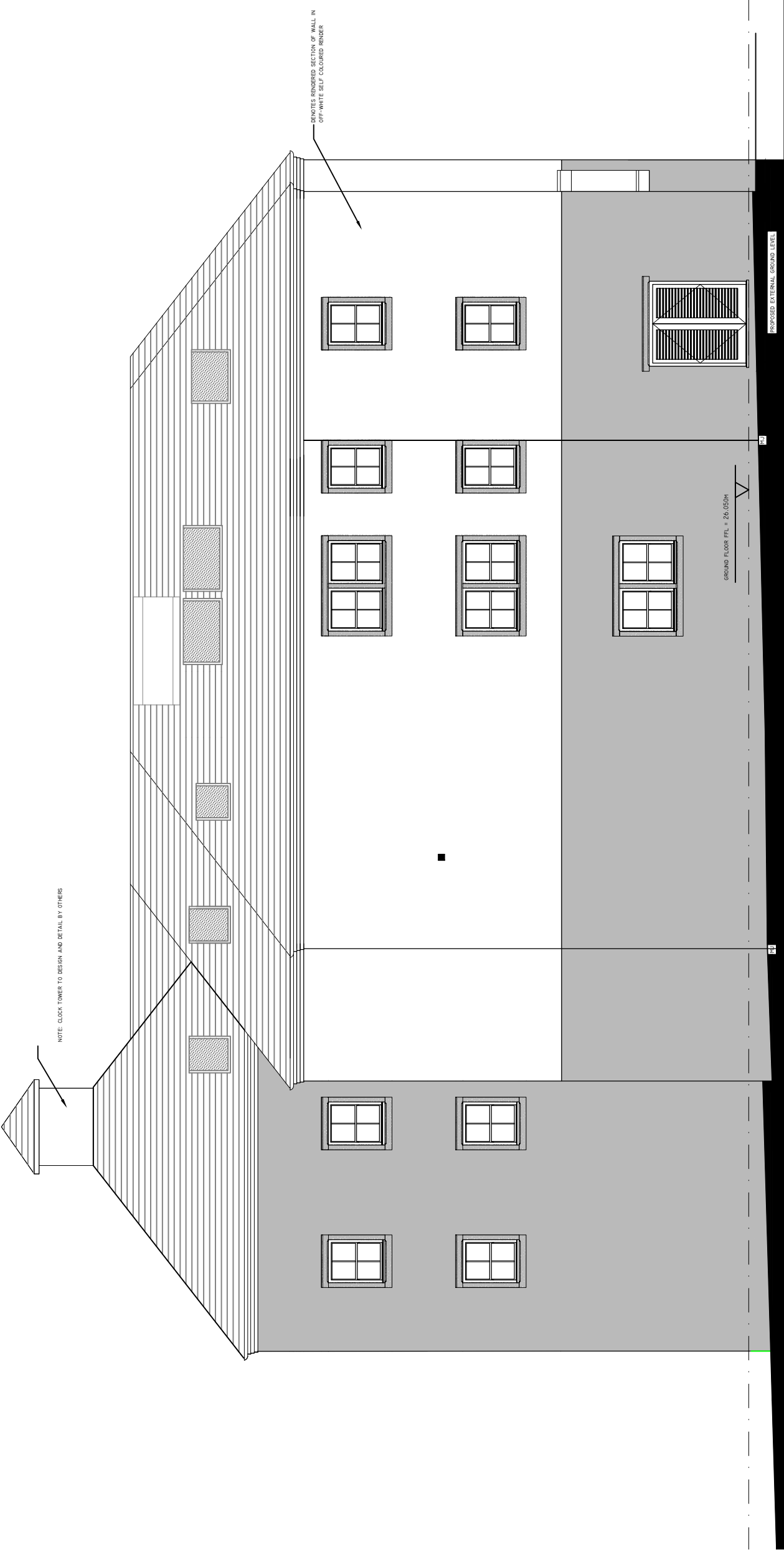
09/12

DRAWING NUMBER

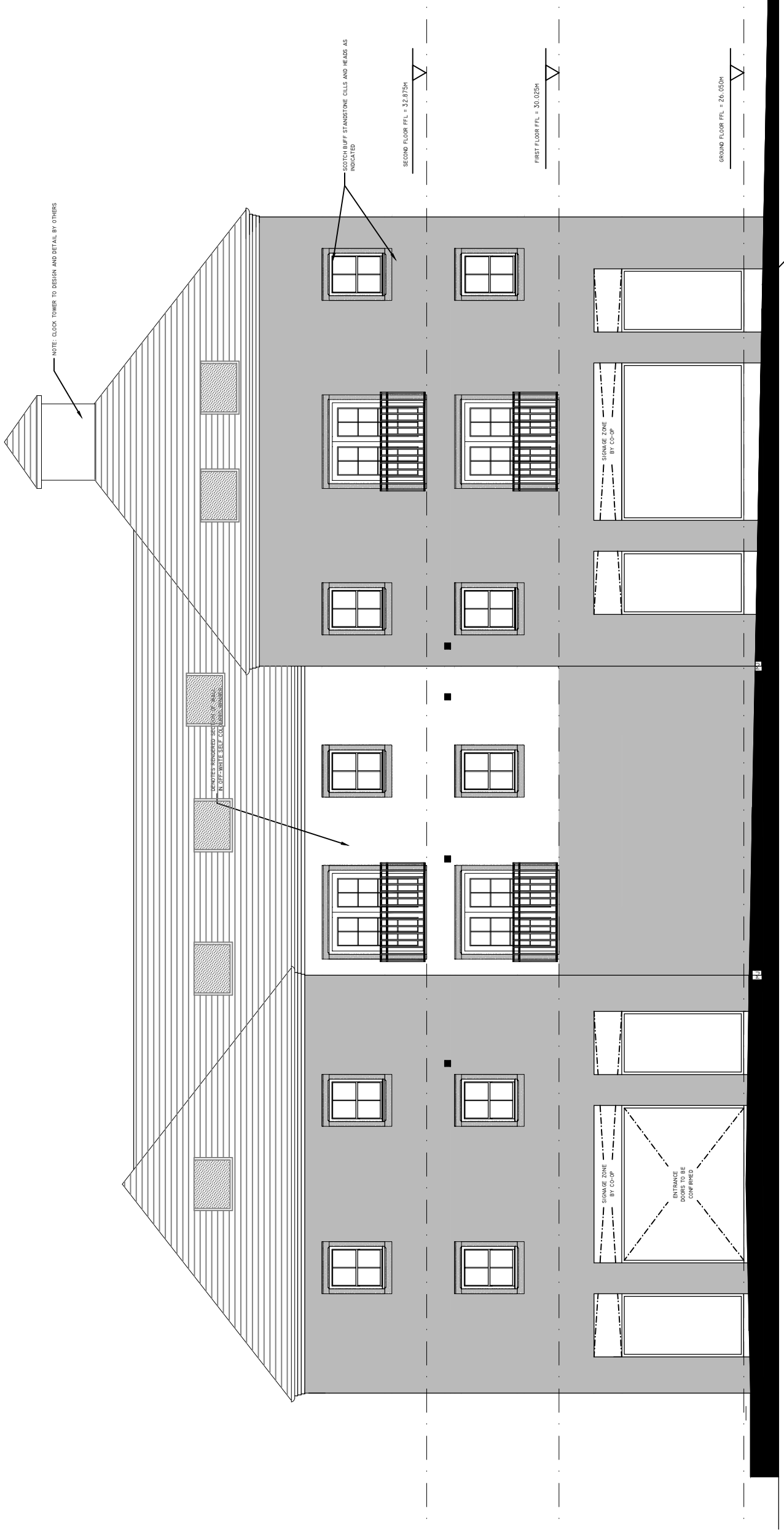
J2339/ A102

REVISION

H



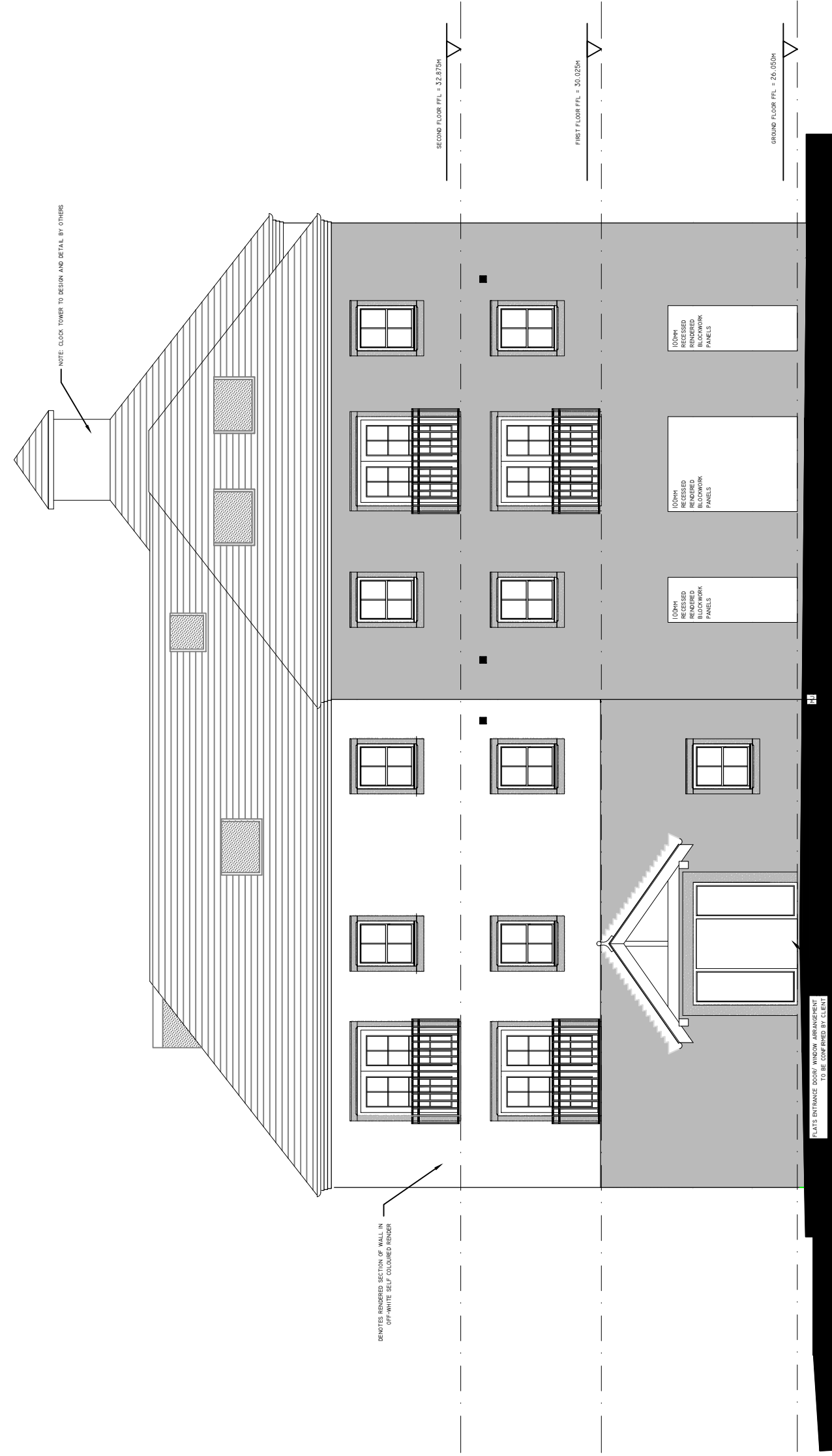
SOUTH-WEST ELEVATION
1:50 @ A1
1:100 @ A3



NORTH-EAST ELEVATION
1:50 @ A1
1:100 @ A3



NORTH WEST ELEVATION
1:50 @ A1
1:100 @ A3



SOUTH-EAST ELEVATION
1:50 @ A1
1:100 @ A3

- NOTES:
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 3. THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE RELEVANT BMC SPECIFICATIONS TOGETHER WITH THE APPROPRIATE ARCHITECTS AND SERVICES CONSULTANTS DRAWINGS AND SPECIFICATIONS.
 4. ALL WORKS BASED ON THESE DRAWINGS MUST CONFORM WITH CURRENT BUILDING REGULATIONS AND LA APPROVALS
 5. DETAILS OF DOORS AND WINDOWS BY OTHERS: SIZES SUBJECT TO CHANGE.

REV A	CHANGING DETAIL, WINDOWS	22.01.12
REV B	CHANGING DETAIL, WINDOWS	10.04.12
REV C	CHANGING DETAIL, WINDOWS	10.04.12
REV D	CHANGING DETAIL, WINDOWS	10.04.12
REV E	CHANGING DETAIL, WINDOWS	10.04.12
REV F	CHANGING DETAIL, WINDOWS	10.04.12
REV G	CHANGING DETAIL, WINDOWS	10.04.12
REV H	CHANGING DETAIL, WINDOWS	10.04.12
REV I	CHANGING DETAIL, WINDOWS	10.04.12
REV J	CHANGING DETAIL, WINDOWS	10.04.12
REV K	CHANGING DETAIL, WINDOWS	10.04.12
REV L	CHANGING DETAIL, WINDOWS	10.04.12
REV M	CHANGING DETAIL, WINDOWS	10.04.12
REV N	CHANGING DETAIL, WINDOWS	10.04.12
REV O	CHANGING DETAIL, WINDOWS	10.04.12
REV P	CHANGING DETAIL, WINDOWS	10.04.12
REV Q	CHANGING DETAIL, WINDOWS	10.04.12
REV R	CHANGING DETAIL, WINDOWS	10.04.12
REV S	CHANGING DETAIL, WINDOWS	10.04.12
REV T	CHANGING DETAIL, WINDOWS	10.04.12
REV U	CHANGING DETAIL, WINDOWS	10.04.12
REV V	CHANGING DETAIL, WINDOWS	10.04.12
REV W	CHANGING DETAIL, WINDOWS	10.04.12
REV X	CHANGING DETAIL, WINDOWS	10.04.12
REV Y	CHANGING DETAIL, WINDOWS	10.04.12
REV Z	CHANGING DETAIL, WINDOWS	10.04.12

BMC

BELL MUNRO CONSULTING LTD

CONSULTING CIVIL & STRUCTURAL ENGINEERS
TUNING FOLDS
MANCHESTER

M15 5BL
TEL: 0161 2098032
FAX: 0161 2098033
EMAIL: enquiries@bellmunro.co.uk
WWW.BELLMUNRO.CO.UK

CITADEL ESTATES

**PROPOSED DEVELOPMENT AT
THE GEORGE, WARWICK BRIDGE**

PROPOSED ELEVATIONS

DRAWN BY:	CHECKED BY:	SCALE:	DATE:
SJB	MGS	1:100	09/12

DRAWING NUMBER: **J2339/A202**

REVISION: **L**

STONWORK BY SPECIALIST
SHOWN AS FOLLOWS:
HEADS AND CILLS = 150DP
MULLIONS = 100WB (DOUBLE LIGHT)
JAMBS = 102.SWD
(THICKNESS = 115MM IN BRICKWORK,
140MM IN RENDERED BLOCKWORK)

VENTILATION EXTRACTS THROUGH ROOF
NOT SHOWN - REFER TO J2339/A103

SMOKE VENTS THROUGH ROOF NOT
SHOWN - REFER TO J2339/A103

RWPS NOT SHOWN ON ELEVATION -
REFER TO J2339/A104

ROOF VENTILATION AND RIDGE AND
EAVES LEVEL NOT SHOWN BUT TO BE
ALLOWED FOR - ALL VENTILATION TO
BE TO SPECIALIST DESIGN AND DETAIL

ALLOWANCE TO BE MADE FOR SVP
PROTRUSIONS THROUGH ROOF - NOT
SHOWN - REFER TO J2339/A103 FOR
POSITIONS

REFER TO SITE LAYOUTS AND EXTERNAL
WORKS DRAWINGS FOR LEVELS