

SCHEDULE A: Applications with Recommendation

17/0745

Item No: 11

Date of Committee: 05/01/2018

Appn Ref No:
17/0745

Applicant:
Mr Bowman

Parish:
Brampton

Agent:
Prospus Group Limited

Ward:
Brampton

Location: Land adjacent to Brampton Fell Farm, Brampton, CA8 1HN

Proposal: Installation Of Electricity Generation Equipment And Underground Connections To Substation

Date of Receipt:
04/09/2017

Statutory Expiry Date
30/10/2017

26 Week Determination

REPORT

Case Officer: Suzanne Osborne

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 The principle of development;
- 2.2 Whether the visual impact of the proposal would be acceptable;
- 2.3 Noise impacts of the proposal;
- 2.4 Emissions/air quality impacts of the proposal;
- 2.5 Highway matters;
- 2.6 Impact upon ecology;
- 2.7 Impact upon health;
- 2.8 Drainage; and
- 2.9 Other matters

3. Application Details

The Site

- 3.1 This application relates to a piece of agricultural land to the north-east of Brampton Fell Farm which is located along the road leading from Tarn Road

to the junction south of Milton (approximately 1.11km south of the market town of Brampton).

- 3.2 Brampton Fell Farm steading consists of a two storey stone farm house with a number of portal framed agricultural buildings situated parallel to the road. The land to the north, opposite the farm steading, is undulating with large scale pylons present which cross the countryside in a east to west direction. The application site, currently used for grazing, falls gradually west to east and is bounded by a mature hedgerow which delineates the southern boundary. Beyond the application site to the north the land falls then rises again towards Rowbank Wood.
- 3.3 The application site is accessed via an existing field gate which leads onto an access track which lies immediately adjacent to the mature hedgerow which forms the southern boundary of the site. The land is located within open countryside with the nearest non-associated residential property (Moss House) situated approximately 385 metres to the north-west.

The Proposal

- 3.4 The application seeks full planning permission for the installation of electricity generation equipment and underground connections to a substation on agricultural land to the north-east of Brampton Fell Farm. The plant is to be diesel powered and will produce electricity for export into the grid during periods of high demand. The plant which will be run as a STOR site (Short-Term Operating Reserve) and will be restricted to 100 hours per annum.
- 3.5 The generators will provide 4MW of power and will be housed in 4no.acoustic boxes which will also contain the exhaust system for each unit (a stack height of 8 metres from base). A fuel tank, 2no 11kv transformers, a sub station and a concrete turning/delivery yard will be provided within the site.
- 3.6 The submitted plans illustrate that a 5.6 metre high earth bund is to surround the compound which is intended to provide noise reduction and to limit the landscape/visual impact. Native tree planting to the north and west of the bund is also proposed. In such circumstances and due to the typography of the landscape (the site being situated at a lower level to the adjacent road) the equipment inside the compound will wholly be obscured by the bund except for 2-2.5 metres of the exhaust flues.
- 3.7 The existing access and track into the site will be widened as part of the proposed development. The access track will be resurfaced as well as a concrete turning and delivery yard created within the site. A temporary route for articulated lorries during the construction period is also proposed.
- 3.8 The plans illustrate an underground cable connection which will run west of the site connecting to the existing substation located south of Capon Tree Road in Brampton. If approved, the cable connection is likely to be installed by a statutory provider under their permitted development rights.

4. Summary of Representations

- 4.1 This application has been advertised by the display of a site notice. No verbal or written representations have been received in response to the consultation undertaken.

5. Summary of Consultation Responses

Cumbria County Council - (Highways & Lead Local Flood Authority): - no objection subject to the imposition of two conditions regarding surfacing of the access track and details of surface water drainage.

Clerk to Brampton PC, Unit 2 - The Old Brewery: - Object - Members are concerned that the development will cause an unacceptable impact on the nearby area, in particular Talkin Tarn. A similar scheme is situated on Quarry Road, Brampton and nearby residents feel that it is noisier than detailed in the initial application and is also used more frequently, will this happen at this location? Members feel that a greener solution should be sought.

Local Environment - Environmental Protection (former Comm Env Services-Env Quality): - no objection subject to the imposition of 6 conditions relating to noise levels, emission levels, hours of operation and unsuspected contamination.

Natural England - relating to protected species, biodiversity & landscape: - no objection, the proposal is unlikely to affect any statutorily protected sites or landscapes. Standing advice received regarding protected species, biodiversity enhancements etc.

6. Officer's Report

Assessment

- 6.1 Section 54a of the Town and Country Planning Act 1990/Section 38(6) of the Planning and Compulsory Purchase Act 2004, requires that an application for planning permission is determined in accordance with the provisions of the Development Plan unless material considerations indicate otherwise.
- 6.2 The relevant planning policies against which the application is required to be assessed are the National Planning Policy Framework (NPPF), the Planning Practice Guidance (PPG) together with Policies SP6, EC11, IP3, CC5, GI1, GI3, GI6, CM5 of the Carlisle District Local Plan (CDLP) 2015-2030. The Councils Supplementary Planning Document on "Trees and Development" and the Cumbria Landscape Character Guidance and Toolkit (CLGT) are also material planning considerations.

6.3 The proposal raises the following planning issues:

1. The Principle Of Development

- 6.4 The proposal seeks to install electricity generation equipment and underground connections to a substation at land adjacent to Brampton Fell Farm, Brampton. The plant is to be diesel powered and will produce electricity for export into the grid during periods of high demand. The plant which will be run as a STOR site (Short-Term Operating Reserve) and will be restricted to 100 hours per annum.
- 6.5 The generators will provide 4MW of power and will be housed in 4no.acoustic boxes which will also contain the exhaust system for each unit. A fuel tank, 2no, 11kv transformers, a sub station and a concrete turning/delivery yard will be provided within the site. A 5.6 metre high earth bund is to surround the proposed compound.
- 6.6 Paragraph 6 of the NPPF states that the purpose of the planning system is to contribute to the achievement of sustainable development. The NPPF recognises sustainable development as having three dimensions - economic, social and environmental. Under Environmental the NPPF states that natural resources should be used prudently. The planning system should mitigate and adapt to climate change including moving to a low carbon economy. There is a presumption in favour of sustainable development which should be seen as a golden thread through plan making and decision taking.
- 6.7 Paragraph 98 of the NPPF states that local planning authorities should not require applicants for energy development to demonstrate the overall need for renewable or low carbon energy and also recognise that even small-scale projects provide a valuable contribution to cutting greenhouse gas emissions. Local Planning Authorities should also approve applications if its impacts are (or can be made) acceptable.
- 6.8 Furthermore paragraph 2.2.20 of The Overarching National Policy Statement for Energy (EN-1) indicates that it is critical that the UK continues to have secure and reliable supplies of electricity as we make the transition to a low carbon economy. To manage the risks of the security of supply we need electricity capacity (including a greater proportion of low carbon generation) to meet demand at all times. Electricity cannot be stored so demand for it must be simultaneously and continuously met by its supply. This requires a safety margin of spare capacity to accommodate unforeseen fluctuations in supply or demand including a diverse mix of technologies and fuels, so that we do not rely on any one technology or fuel.
- 6.9 In addition, paragraph 28 of the NPPF states that in order to promote a prosperous rural economy the development and diversification of agricultural and other land based rural businesses should be supported. Policy EC11 "Rural Diversification" of the CDLP also encourages the diversification and expansion of sustainable economic activities in the rural area subject to the proposals being compatible with their rural setting, in keeping with the

surrounding landscape and buildings, adequate access and car parking arrangements, and, not leading to an increase in traffic levels beyond the capacity of the surrounding local highway network.

- 6.10 The proposed use of the site to produce electricity for export into the national grid during periods of high demand will accord with the objectives of the national planning policies of moving to a low carbon economy. The development would also form part of a diversification scheme for Brampton Fell Farm. Accordingly the principle of development is acceptable.

2. Whether The Visual Impact Of The Proposal Would Be Acceptable

- 6.11 The NPPF attaches great importance to the design of the built environment recognising that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people. The NPPF states that planning permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions. The NPPF also indicates that planning decisions should not attempt to impose architectural styles or particular tastes. It is however proper to promote or reinforce local distinctiveness.
- 6.12 The relevant design policies of the CDLP seek to ensure that proposals respond to the local context in terms of height, scale and massing and by using appropriate materials and detailing. Local landscape character should be respected and development should be fully integrated into its surroundings.
- 6.13 Policy GI1 "Landscapes" of the CDLP seeks to protect landscapes from excessive, harmful or inappropriate development particularly those areas less able to accommodate significant change. Proposals for development are to be assessed against the criteria presented within the Cumbria Landscape Character Guidance and Toolkit (LCGT).
- 6.14 The site is identified as falling with landscape sub type 7C "Sandy Knolls and Ridges" of the LCGT. The Key characteristics of this landscape is regular knolls and ridges, irregular field patterns, land cover mainly pasture and significant amounts of woodland cover. The perceptual character is a pleasant farmed landscape, generally small-medium scale, enclosed landscape which opens out on the edges. A combination of knolls and ridges with mature woodland and pasture creates an enclosed parkland appearance. Most views are framed by woodland/topography. The LCGT vision is to conserve and enhance this landscape.
- 6.15 As discussed in point 1 above, the plant will contain a number of buildings however these will be surrounded by a landscaped bund with only approximately 2-2.5 metres of the exhaust flues visible due to the typography of the land. Although the proposed electricity plant will be located within open countryside it is however well related to the existing buildings at Brampton Fell Farm as the site is on the opposite side of the road from the existing farm complex. The land around the application site is rolling with the site itself

falling gradually in a west to east direction. Beyond the site to the north the land falls and rises again towards Rowbank Wood. Large scale pylons which cross the countryside in a east-west direction are also located to the north.

- 6.16 Whilst the proposed power plant itself is a man made structure it is not considered to be at odds with the immediate landscape as there are already existing man made structures present in the form of large scale pylons to the north as well as large portal framed agricultural buildings situated to the south at Brampton Fell Farm. The impact upon the immediate landscape is mitigated via the proposed bund and native landscaping which will surround the site as well as the presence of the existing mature hedgerow which delineates the southern boundary of the site, adjacent to the road leading from Brampton Fell Farm towards Milton. There would be limited views from the wider area due to the rolling topography of the landscape and pockets of woodland/trees that are present however where views are afforded the proposal would be viewed against the backdrop of the large scale pylons, Rosebank Wood and the rolling topography of the landscape. In such circumstances it is not considered that the development would have an adverse impact upon the surrounding landscape sufficient to warrant refusal of permission.
- 6.17 In relation to the matters discussed above, the scale and design of the proposal is considered acceptable to its surroundings.

3. Noise Impacts Of The Proposal

- 6.18 The closest non-associated residential property is Moss House which is located 385 metres to the north-west of the site.
- 6.19 Paragraph 123 of The National Planning Policy Framework states that planning decisions should "avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development" and "mitigate and reduce to a minimum other adverse impacts on health and quality of life arising from noise from new development, including through the use of conditions".
- 6.20 Policy CM5 - Environmental and Amenity Protection of the Carlisle District Local Plan 2015-2030 states that the Council will only support development which would not lead to an adverse impact on the environment or health or amenity of future or existing occupiers. Development will not be permitted where it would generate or result in exposure to, either during construction or completion, unacceptable levels of pollution (including noise) which cannot be satisfactorily mitigated within the development proposal or by means of compliance with planning conditions.
- 6.21 The application is accompanied by an Environmental Noise Assessment which states that each of the four generators will be housed within acoustic enclosures with an earth bund surrounding the compound. The assessment confirms that the nature of the supply contract means that the units are only ever likely to supply power during the evening weekday period i.e. Monday to Friday between 4pm and 7pm and not otherwise.

- 6.22 The assessment takes into account existing background noise levels of the closest noise sensitive dwelling (Brampton Fell Farm which is the applicants own dwelling). The report considers that background noise levels of this location would be generally representative of properties in the area, i.e. Moss House. The average background noise level has been identified as 39LA90 during the operational hours (Monday-Friday 4pm-7pm) of the proposed plant.
- 6.23 The calculated predicted noise levels, taking into the proposed noise control measures, at the nearest non-associated noise sensitive dwelling is 34LAeq which is 5dBA below the existing background noise levels.
- 6.24 The noise levels set by the World Health Organisation (WHO) and BS8233 'Guidance on sound insulation and noise reduction for buildings' indicate that noise limits for night-time shall not exceed 45dBLaq (8hour) and for the daytime shall not exceed between 50-55dBLaq (16hours). It is clear from the submitted noise assessment that the proposed development will be well below the recommended WHO guidelines.
- 6.25 The Council's Environmental Health department have been consulted on the proposed development and have raised no objections subject to the imposition of relevant conditions. The relevant conditions would ensure that noise which may emanate from the development would be compatible with the existing noise levels in the area and would not lead to undue disturbance to any adjoining occupiers.

4. Emissions/Air Quality Impacts Of The Proposal

- 6.26 To deliver sustainable development, one of the core planning principles of the NPPF is to contribute to conserving and enhancing the natural environment and reducing pollution. Paragraph 109 of the NPPF states that the planning system should contribute to and enhance the natural and local environment by preventing both new and existing development from contributing to or being put at unacceptable risk from, or being adversely affected by unacceptable levels of soil, air, water or noise pollution. With regard to air quality paragraph 124 of the NPPF states that planning policies should sustain compliance with and contribute towards EU limit values or national objectives for pollutants, taking into account the presence of Air Quality Management Areas and the cumulative impacts on air quality from individual sites in local areas. Planning decisions should ensure that any new development in Air Quality Management Areas is consistent with the local air quality action plan.
- 6.27 As stated above Policy CM5 - Environmental and Amenity Protection of the Carlisle District Local Plan 2015-2030 states that the Council will only support development which would not lead to an adverse impact on the environment or health or amenity of future or existing occupiers. Development will not be permitted where it would generate or result in exposure to, either during construction or completion, unacceptable levels of pollution which cannot be satisfactorily mitigated within the development proposal or by means of compliance with planning conditions. The supporting text to this policy

indicates that development proposals which would compromise the environment or human health will be resisted. Developers must have regard to the air quality implications of new development. Planning applications should include mitigation measures to offset the negative impacts.

- 6.28 Policy SP6 of the Carlisle District Local Plan also seeks to ensure that there is no adverse effect on the residential amenity of existing areas or adjacent land users as a result of developments.
- 6.29 The operation of the plant would result in emissions during operation through the vent stacks associated with each of the generators and an Air Quality Assessment has, therefore, been undertaken. The main pollutant potentially affecting localised air quality is the release of Nitric Oxide which converts into Nitrogen Dioxide when mixed with oxygen and atmospheric conditions. The Air Quality Report considers the annual and hourly means of the concentrations of Nitrogen Oxide to the nearest sensitive receptors. It confirms that in all the selected receptor locations the predicted annual and hourly mean concentration levels of Nitrogen Oxide would be below the air quality objectives for Nitrogen Oxide concentrations.
- 6.30 The impact of emissions of carbon monoxide and unburned hydrocarbons have also been considered in the assessment. The report has concluded that for human health receptors the environmental assessment levels would not be exceeded and the impacts on baseline concentrations at all sensitive receptor locations will not be significant.
- 6.31 Environmental Health Officers have been consulted on the application and have raised no objections subject to conditions. Should Members approve the application it is recommended that conditions are included within the Decision Notice limiting the emissions from the plant to those set out in the Air Quality Assessment and the applicant has to submit a report on the level of emissions once the plant is operational to show compliance with the emission levels set out in the Environmental Report. Other conditions would ensure that if complaints about the level of emissions arise these are investigated by the applicant and if agreed emission levels are exceeded action would be taken by the applicant to return the emission levels to the agreed limit. A condition has also been included limiting the operation of the plant to 100 hours per year, as this is what the air quality assessment was based on.

5. Highway Matters

- 6.32 The submitted plans illustrate that the existing access into the site will be widened, the existing field access track which lies immediately adjacent to the hedgerow which delineates the southern boundary of the site will also be widened and resurfaced as well as a concrete turning and delivery yard created within the site. A temporary route for articulated lorries during the construction period is also proposed.
- 6.33 The applicant has confirmed that the likely vehicles movements will be no more than one delivery per week over a ten week period. There will be no

other staff visiting the site except for annual or biannual maintenance. A swept path analysis has also been included within the site layout to show that all deliveries and construction can occur without causing adverse impact upon the local highway network.

- 6.34 Cumbria County Council, as the relevant Highways Authority, has been consulted on the proposal and has raised no objection subject to the imposition of one condition regarding surfacing of the access road. In such circumstances it is not considered that the proposal would have an adverse impact upon existing highway conditions.

6. Impact Upon Ecology

- 6.35 The development site consists of an agricultural field used for grazing. The Council's GIS Layer identifies that the site has the potential for breeding birds to be present. The proposal seeks to retain the existing hedgerow to the south except for the widening of the existing access. Biodiversity enhancement will take place via the planting of mixed native hedging located on top of the proposed earth berm and mixed native tree planting to the north and west of the berm. Subject to the hedgerow removal taking place outside of the breeding bird season, which can be ensured by way of an informative included within the Decision Notice, there should be no adverse impact upon any breeding birds/protected species.
- 6.36 The submitted air quality assessment has also looked at predicted Nitrogen and acid gas deposition rates to receptors of ecological sensitivity (including Sites of Special Scientific Interest, Special Protection Areas, Special Areas of Conservation, National Nature Reserves, Local Nature Reserves, Local Wildlife Sites and Ancient Woodlands). The report concludes that the magnitude of exceedance is considered to be marginal and when taking account of average impacts across the 5 year meteorological it is unlikely the proposals will create significant adverse impacts or exceed EA criteria.
- 6.37 Natural England have been consulted on the application and have confirmed that the proposal will not have an adverse impact upon any statutorily protected sites or landscapes. In such circumstances and subject to the above aforementioned mitigation measures being adhered to, and the conditions imposed at the suggestion of Environmental Health controlling emissions, there should be no adverse impact as a result of the proposal upon any designated sites or any protected species or their habitat.

7. Impact Upon Health

- 6.38 It is appreciated that the levels of emissions are in accordance with the national objective levels which take into account health impacts. Although the air quality that residents currently experience will be slightly reduced it is not considered that it would be sufficiently large to result in measurable changes in health outcomes that could be regarded as significant by health care professionals.

8. Drainage

- 6.39 The submitted documentation indicates that surface water is discharge to an infiltration ditch which guides any exceedance flows to a water course or ditch. The relevant statutory consultees have raised no objections to the principle of this drainage method however full details are requested. Relevant conditions are therefore suggested within the decision notice.

9. Other Matters

- 6.40 It is appreciated that the Parish Council have raised concerns regarding the impact of the proposed development on Talkin Tarn. Talkin Tarn is situated approximately 0.50km south of the application site and is surrounded by a belt of mature trees to the north. In such circumstances and given the rolling topography of the landscape the proposal will not have an adverse visual impact upon the setting of the tarn. In terms of potential noise impacts it is acknowledged that the prevailing wind comes from the west and the tarn is situated to the south of the application site. Paragraphs 6.18-6.25 of this report confirms that the noise levels of the development will be 5db below existing background noise levels. In such circumstances there will be no adverse impacts upon users of the tarn in terms of increased noise levels.

Conclusion

- 6.41 The NPPF indicates that Local Planning Authorities should approve low carbon energy applications (unless material considerations indicate otherwise) if its impacts are, or can be made, acceptable. On balance it is considered that the siting, scale and design of the STOR site will be acceptable. The proposed noise levels and emissions produced by the plant would be within tolerable limits and would not have an adverse impact upon any surrounding residents or any designated landscapes/protected species. The proposal would also not cause a detrimental impact upon the highway network. In all aspects, the proposal is considered to be compliant with the objectives of the relevant adopted Development Plan policies and approval is recommended.

7. Planning History

- 7.1 There is no relevant planning history on this site.

8. Recommendation: Grant Permission

1. The development shall be begun not later than the expiration of 3 years beginning with the date of the grant of this permission.

Reason: In accordance with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development shall be undertaken in strict accordance with the approved

documents for this Planning Permission which comprise:

1. the submitted planning application form received 29th August 2017;
2. the site location plan received 17th November 2017 (Drawing No.A01, Rev C);
3. the existing block plan received 17th November 2017 (Drawing No, A02, Rev C);
4. the proposed block plan received 17th November 2017 (Drawing No.A03, Rev C);
5. the aerial view of the site received 17th November 2017 (Drawing No.A05 Rev C);
6. the cable laying details received 17th November 2017 (Drawing No.A07 Rev C);
7. the elevations and details of the equipment received 17th November 2017 (Drawing No.A06, Rev C);
8. the site sections received 17th November 2017 (Drawing No.A04, Rev C);
9. the planning statement and design and access statement received 11th December 2017;
10. the environmental noise assessment received 29th August 2017;
11. the dispersion modelling assessment received 9th November 2017 and addendum received 17th November 2017;
12. the Notice of Decision; and
13. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: To define the permission.

3. The combined noise emissions from the STOR development shall not exceed a level that is 5dB below the typical background noise level at the nearest noise sensitive dwelling. Within 6 months of completion of the development, a noise report shall be submitted for approval in writing by the Local Planning Authority and this will demonstrate compliance with the above requirement using on site measures.

Reason: To ensure that the proposal would not have an adverse impact on the living conditions of the occupiers of neighbouring properties, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

4. In the event a complaint is received relating to noise caused by the proposed facility: Within 28 days from the receipt of a written request from the Local Planning Authority, the operator of the proposed facility shall, at the operators expense, employ an independent consultant approved by the Local Planning Authority, to assess the level of noise emissions from the facility at the complainant's property. This should be carried out in accordance with the most appropriate current standard (such as BS4142:2014) and a suitable report prepared. The report should demonstrate compliance with the appropriate standard. If necessary the applicant shall, within 28 days, propose a scheme of noise mitigation to the Local Planning Authority, to utilise any appropriate on site measures as is

necessary, to ensure that sound levels from the site are reduced to an acceptable level. This scheme shall specify the timescales for implementation.

Reason: To ensure that the proposal would not have an adverse impact on the living conditions of the occupiers of neighbouring properties, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

5. Emissions from the generators and associated plant should not exceed the levels set out in the Air Quality Assessment. Within 6 months following the installation of the generators and associated plant, a report on the levels of emissions shall be submitted for approval in writing by the Local Planning Authority and this shall show compliance with the emission levels set out in Air Quality Assessment. Annual tests shall be performed on 50% of the installed engines, in accordance with a methodology to be agreed with the Local Planning Authority. If the results of such tests exceed the levels set out in the Air Quality Assessments an Action Plan will be developed, agreed with the Local Planning Authority and implemented.

Reason: To ensure that the proposal would not have an adverse impact on the living conditions of the occupiers of neighbouring properties, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

6. Should complaints about the level of emissions produced by the STOR plant arise, it should be the responsibility of the applicant to investigate, if required to do so by the Local Planning Authority. A report on emissions should be forwarded to the Local Planning Authority and the applicant shall take such actions as are necessary to ensure that the level of emissions returns to the levels stated in the Air Quality Assessment hereby approved.

Reason: To ensure that the proposal would not have an adverse impact on the living conditions of the occupiers of neighbouring properties, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

7. The STOR plant hereby approved shall not operate for more than 100 hours in a calendar year. The applicant shall keep a log of the hours of operation and this shall be forwarded to the Local Planning Authority on an annual basis on a date to be agreed in writing with the Local Planning Authority.

Reason: To ensure that the proposal does not have an adverse impact on the living conditions of the occupiers of neighbouring properties, in accordance with Policy SP6 of the Carlisle District Local Plan 2015-2030.

8. In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken and where remediation is necessary a

remediation scheme must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Site investigations should follow the guidance in BS10175.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

9. The access drive shall be surfaced in bituminous or cement bound materials, or otherwise bound and shall be constructed and completed before the development is brought into use. This surfacing shall extend for a distance of at least 15 metres inside the site, as measured from the carriageway edge of the adjacent highway.

Reason: In the interests of highway safety. To support Local Transport Plan Policies LD5, LD7 and LD8.

10. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions (inclusive of how the scheme shall be managed after completion) shall be submitted to and approved in writing by the Local Planning Authority.

The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards and unless otherwise agreed in writing by the Local Planning Authority, no surface water shall discharge to the public sewerage system either directly or indirectly.

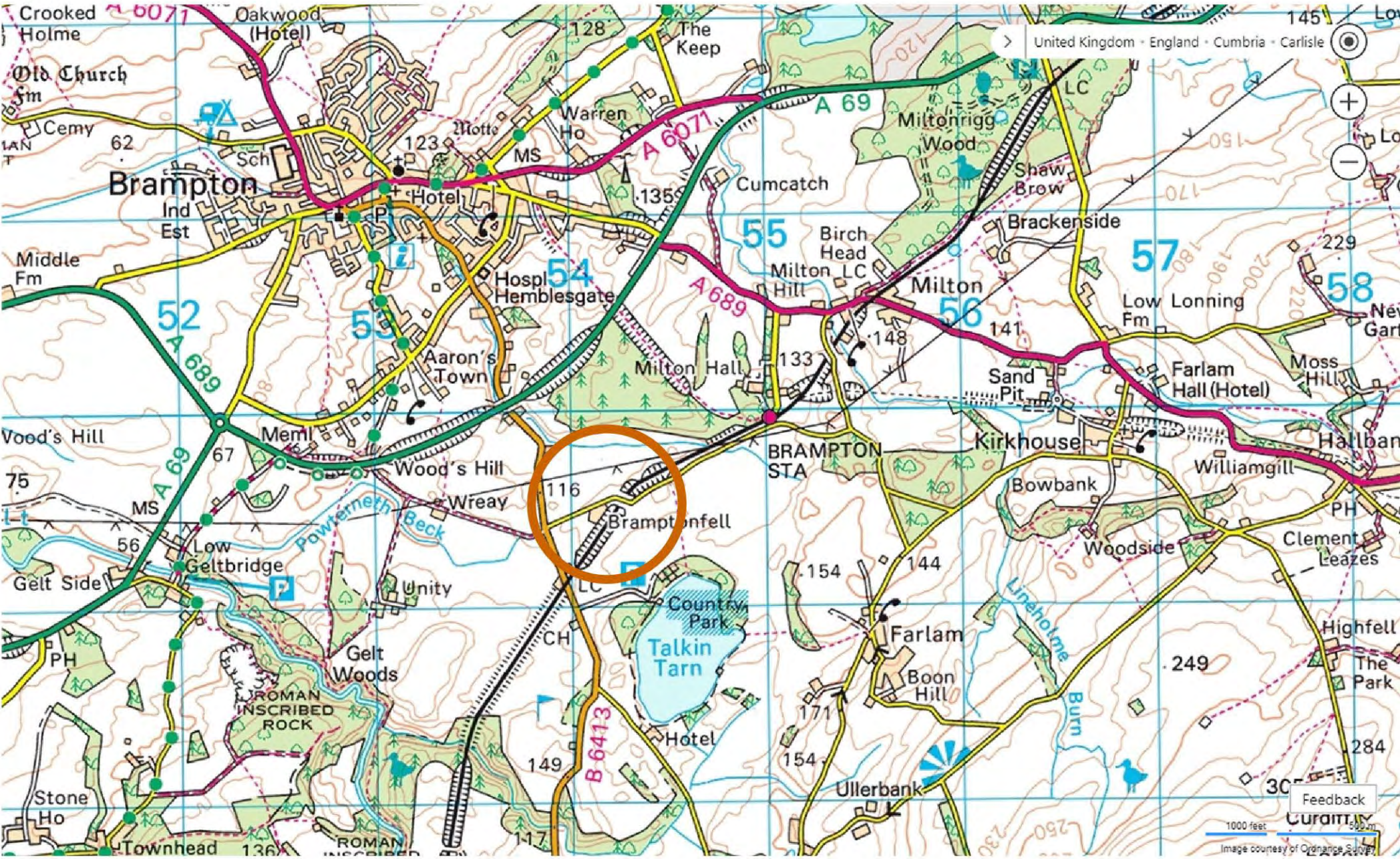
The drainage scheme submitted for approval shall also be in accordance with the principles set out in the Statement of Drainage Principles dated 18th June 2014

Reason: To promote sustainable development, secure proper drainage and to manage the risk of flooding and pollution. This condition is imposed in light of policies within the NPPF and NPPG.

11. All planting, seeding or turfing comprised in the approved details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the building or the completion of the development, whichever is the sooner, and maintained thereafter to the

satisfaction of the Council; and any trees or plants which within a period of 5 years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the Local Planning Authority gives written consent to any variation.

Reason: To ensure that a satisfactory landscaping scheme is implemented and that it fulfils the objectives of Policies GI6 and SP6 of the Carlisle District Local Plan 2015-2030.



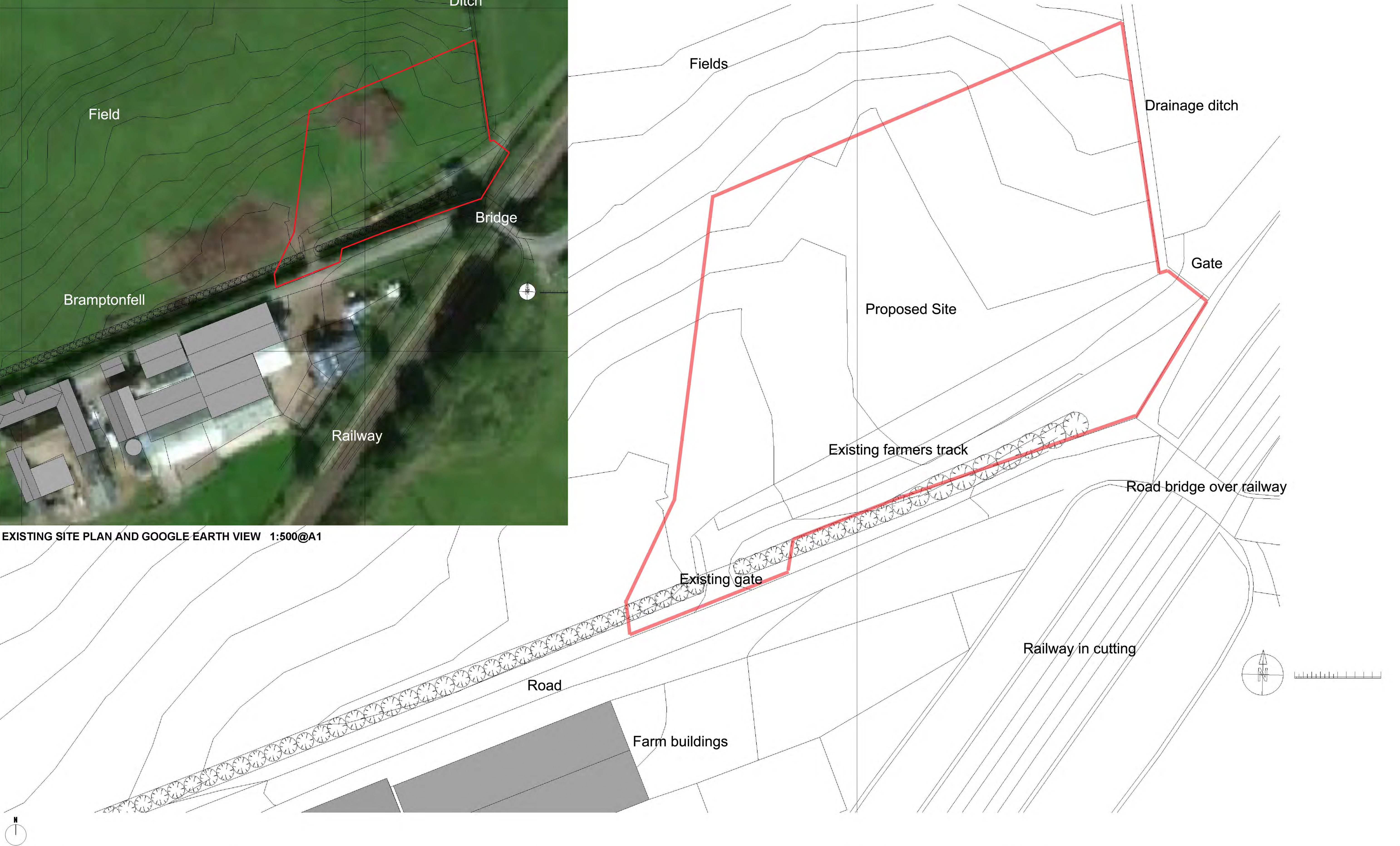
OS Map extract 1km grids



SITE LOCATION PLAN 1:2500@A1



EXISTING SITE PLAN AND GOOGLE EARTH VIEW 1:500@A1



- A

Mixed tree planting to form visual barrier consisting large trees - Oak, Ash medium sized trees - Silver Birch, Field Maple
- B

Mixed native hedging Hawthorn (Crataegus monogyna) Dog Rose (Rosa canina) Field Maple (Acer campestre) Guelder Rose (Viburnum opulus) Hornbeam (Carpinus betulus) Wild Privet (Ligustrum vulgare)
- C

Rainwater outfall from yard and gensets recessed area to flow by gravity via an interceptor to new infiltration ditch. Pipe size and technical specification to be determined.

Planting notes

Size: Mixed native trees at time of planting to be 1.5 - 2.5m high
Mix: 27% Oak, 42% Ash, 10% Silver Birch and 11% Field Maple
Density: Planted irregularly at approx 3m x 3m intervals (1,100 trees/hectare)

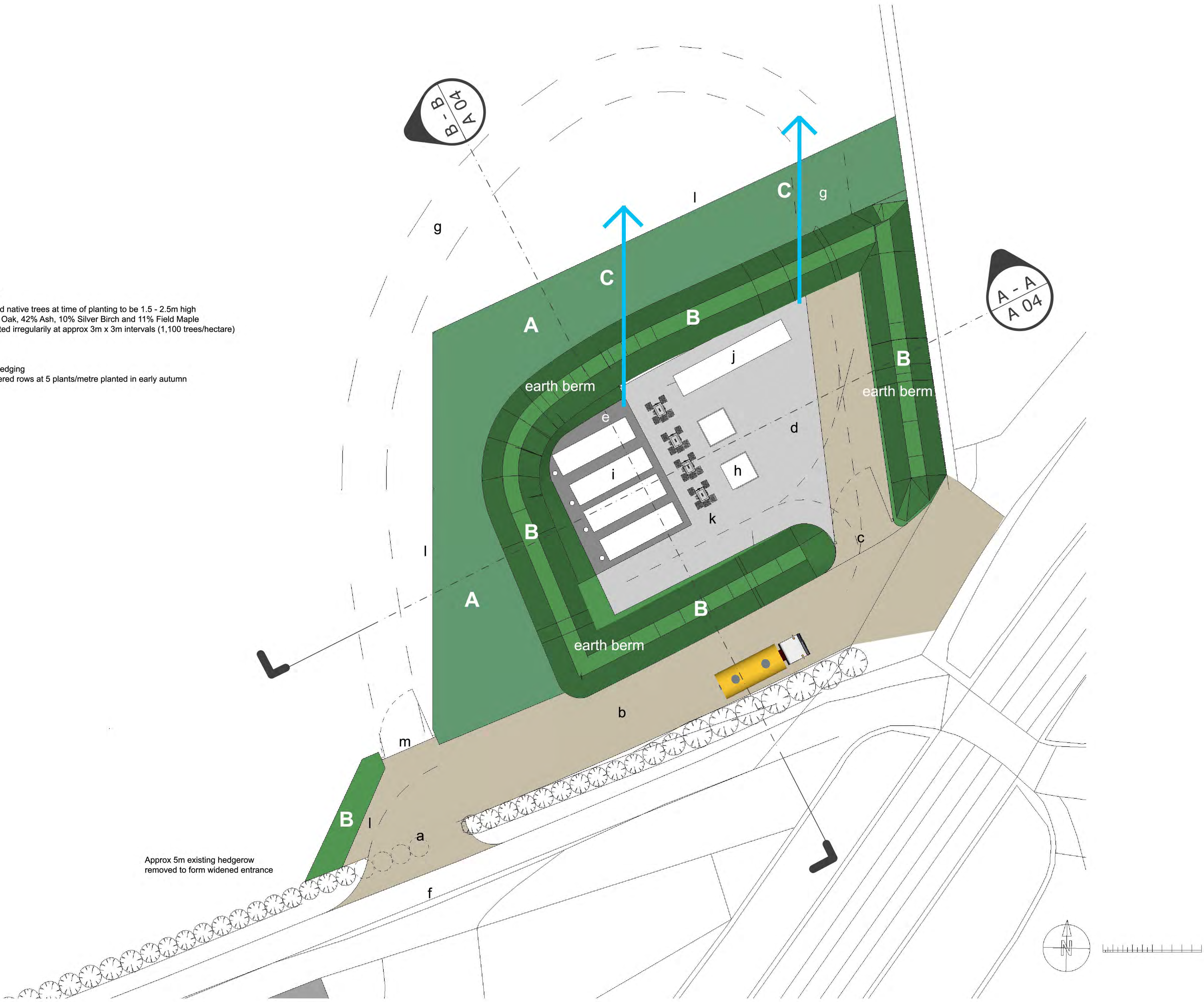
Mixed native hedging
Double staggered rows at 5 plants/metre planted in early autumn

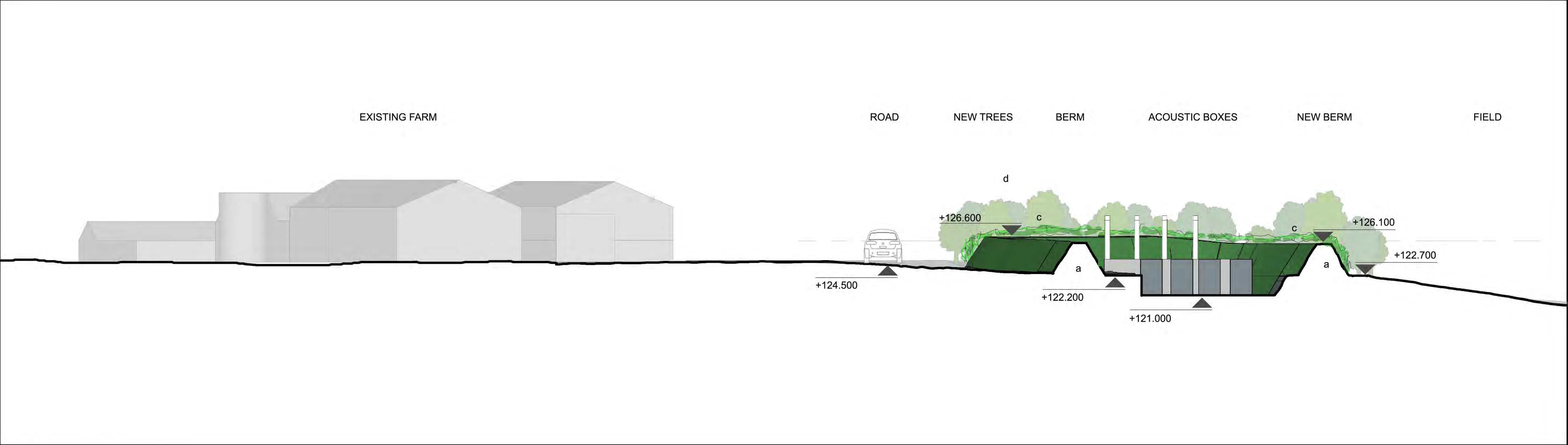


c 6ft high timber palisade double security gates on galvanised steel frame

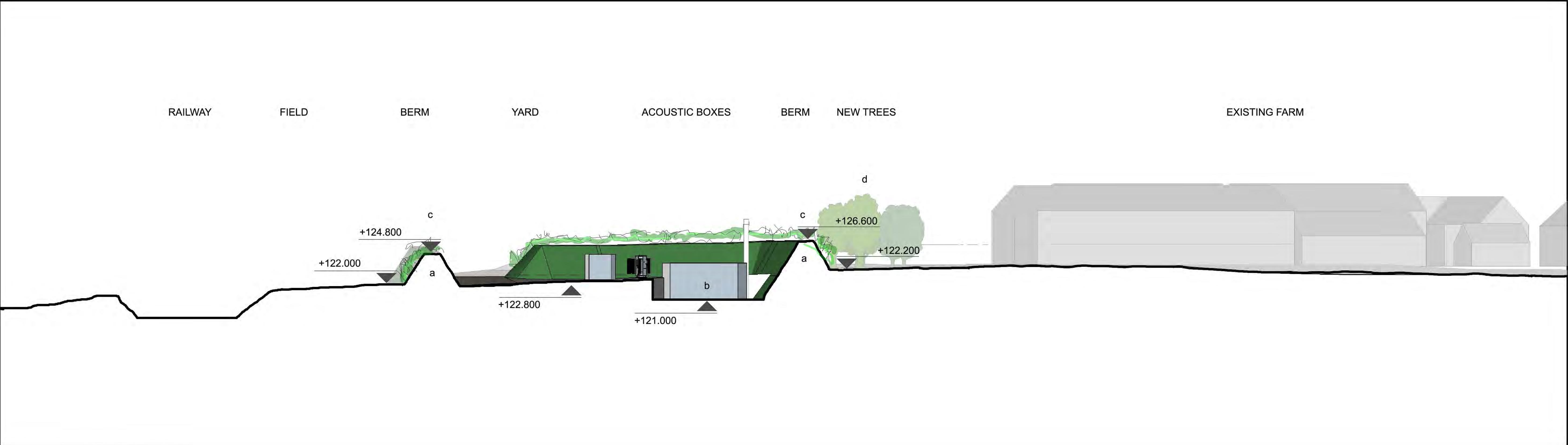


m Typical 5 bar treated timber field gate

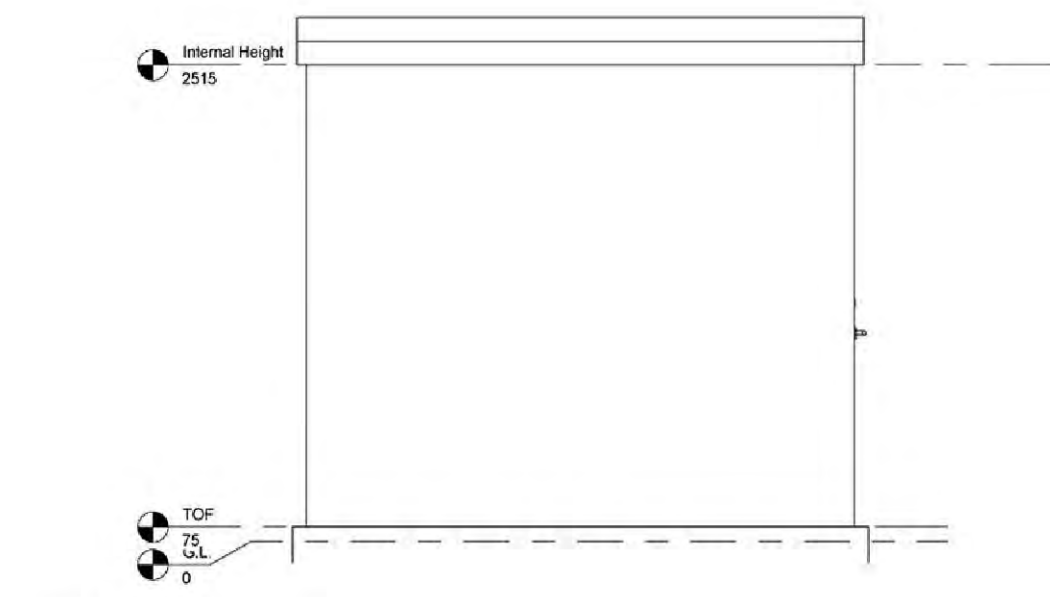




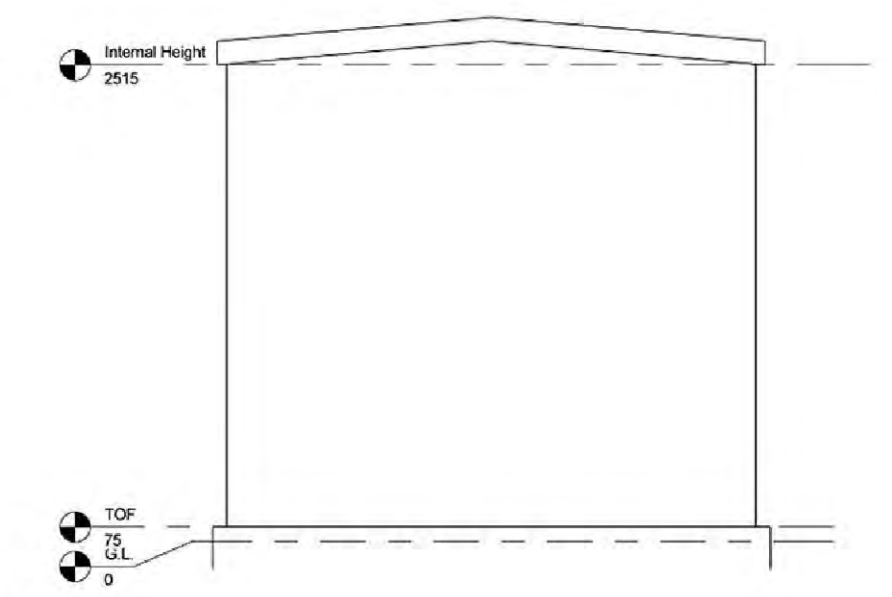
SITE SECTION A - A 1:200@A1



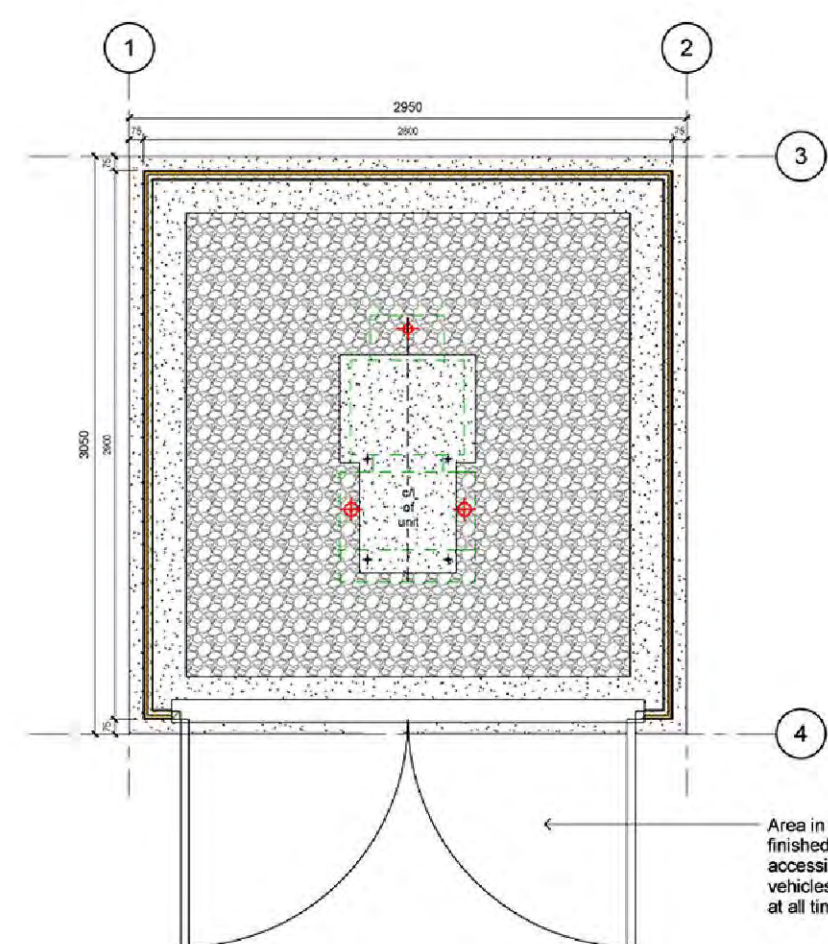
SITE SECTION B - B 1:200@A1



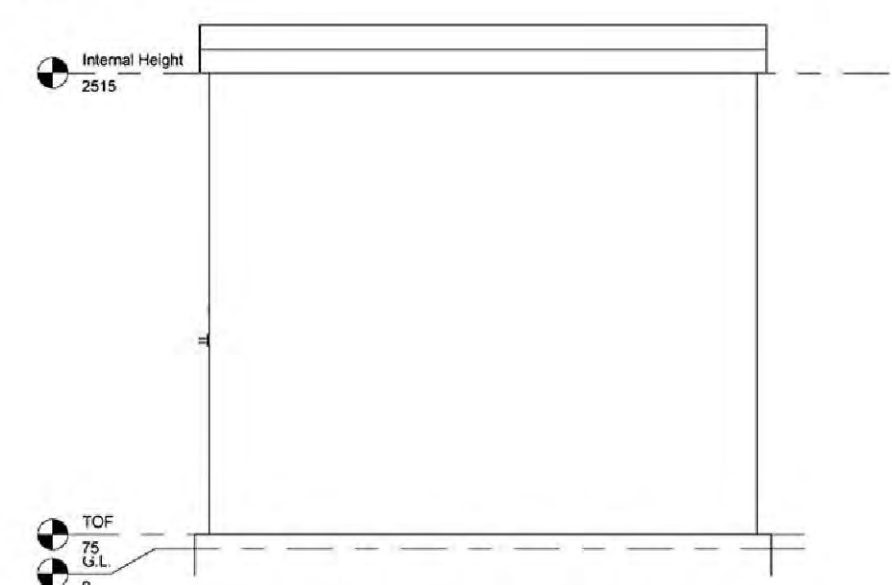
3 Left View.
1:20



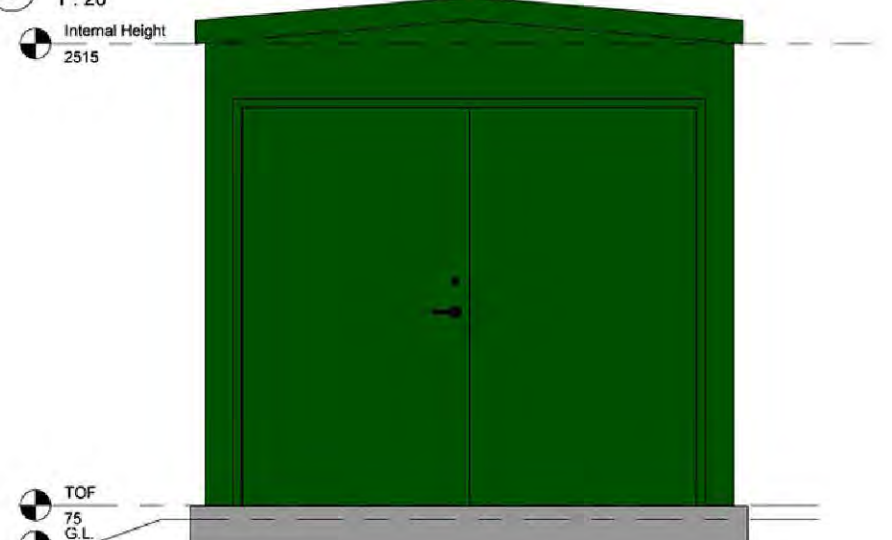
4 Rear View.
1:20



1 Plan View
1:20



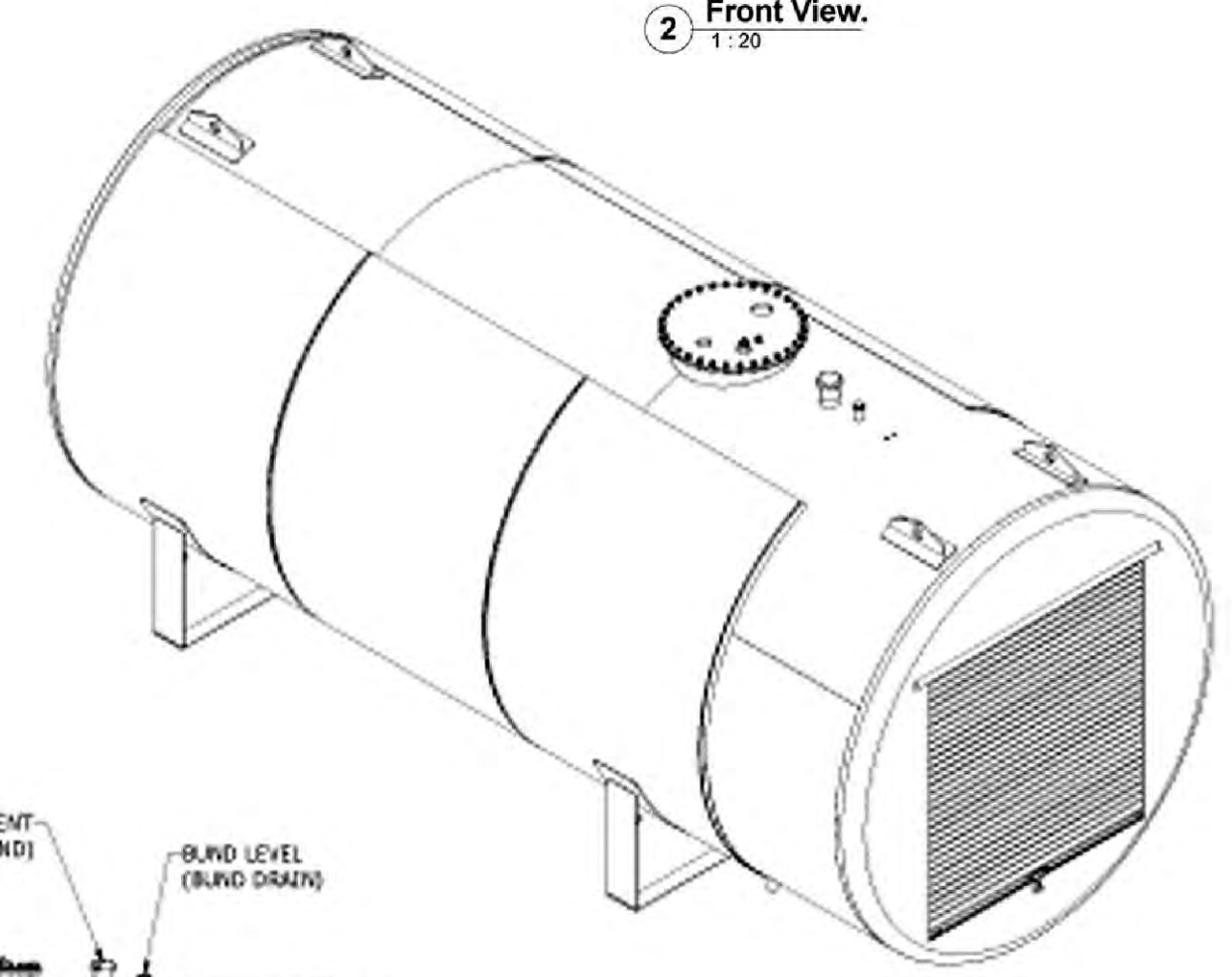
5 Right View.
1:20



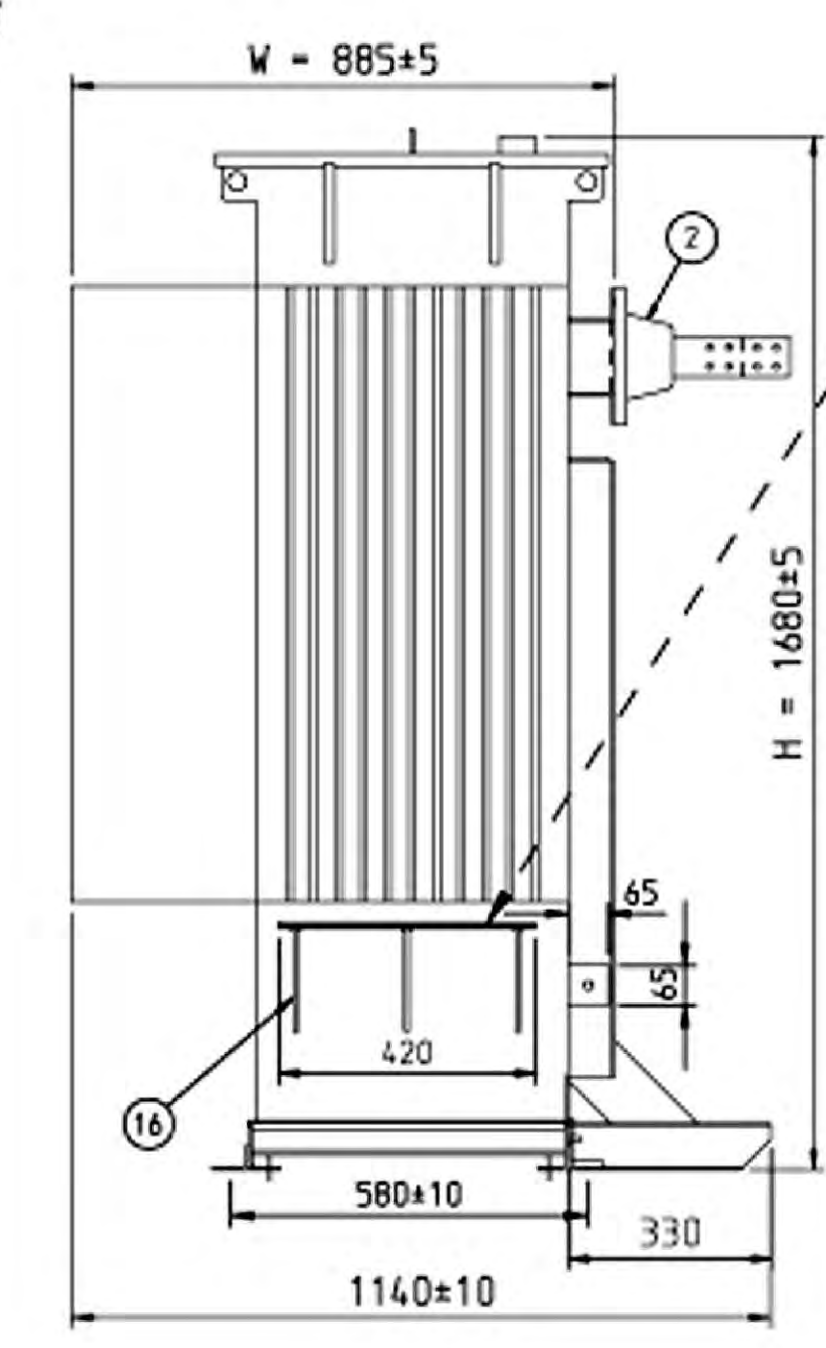
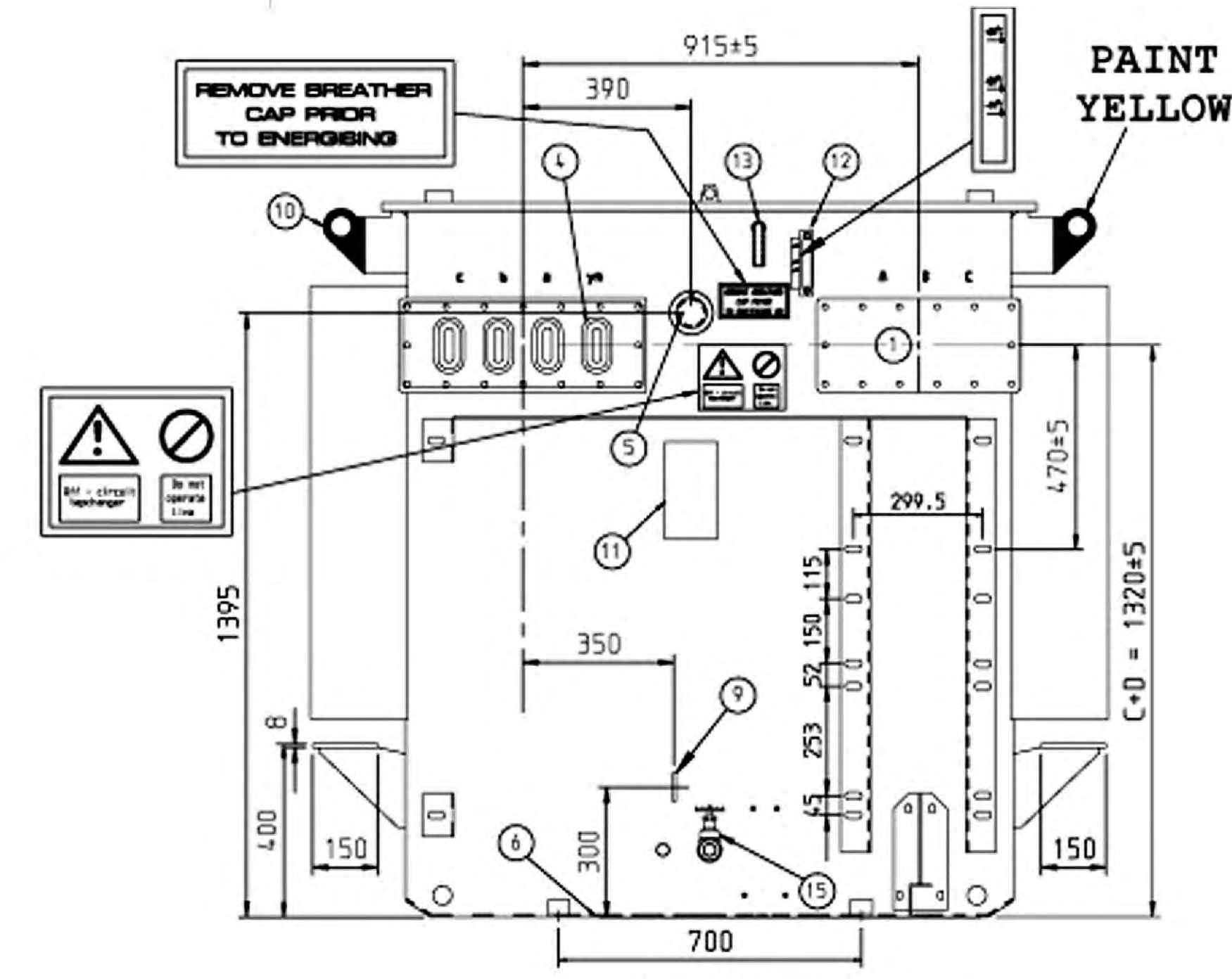
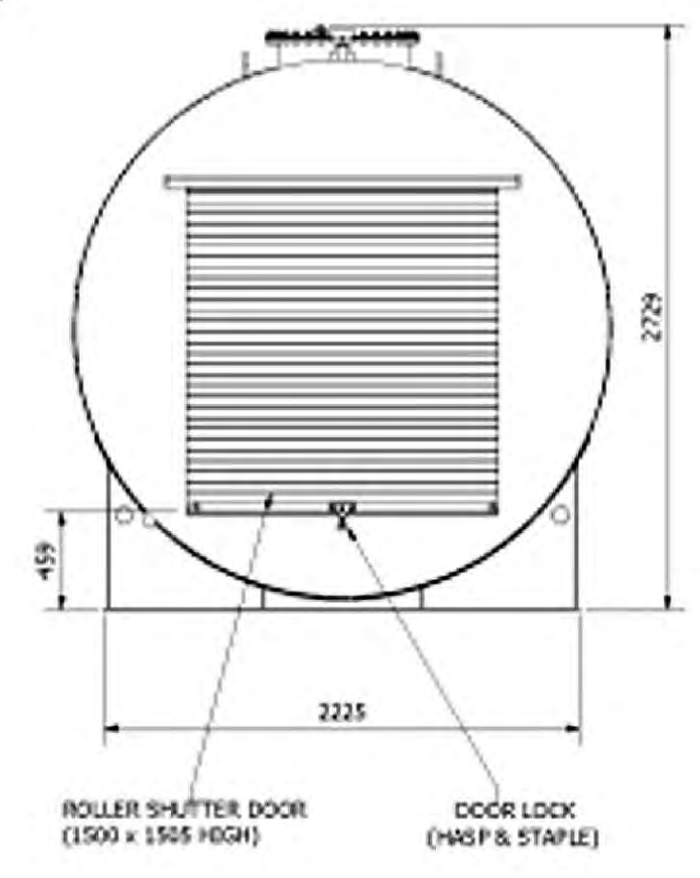
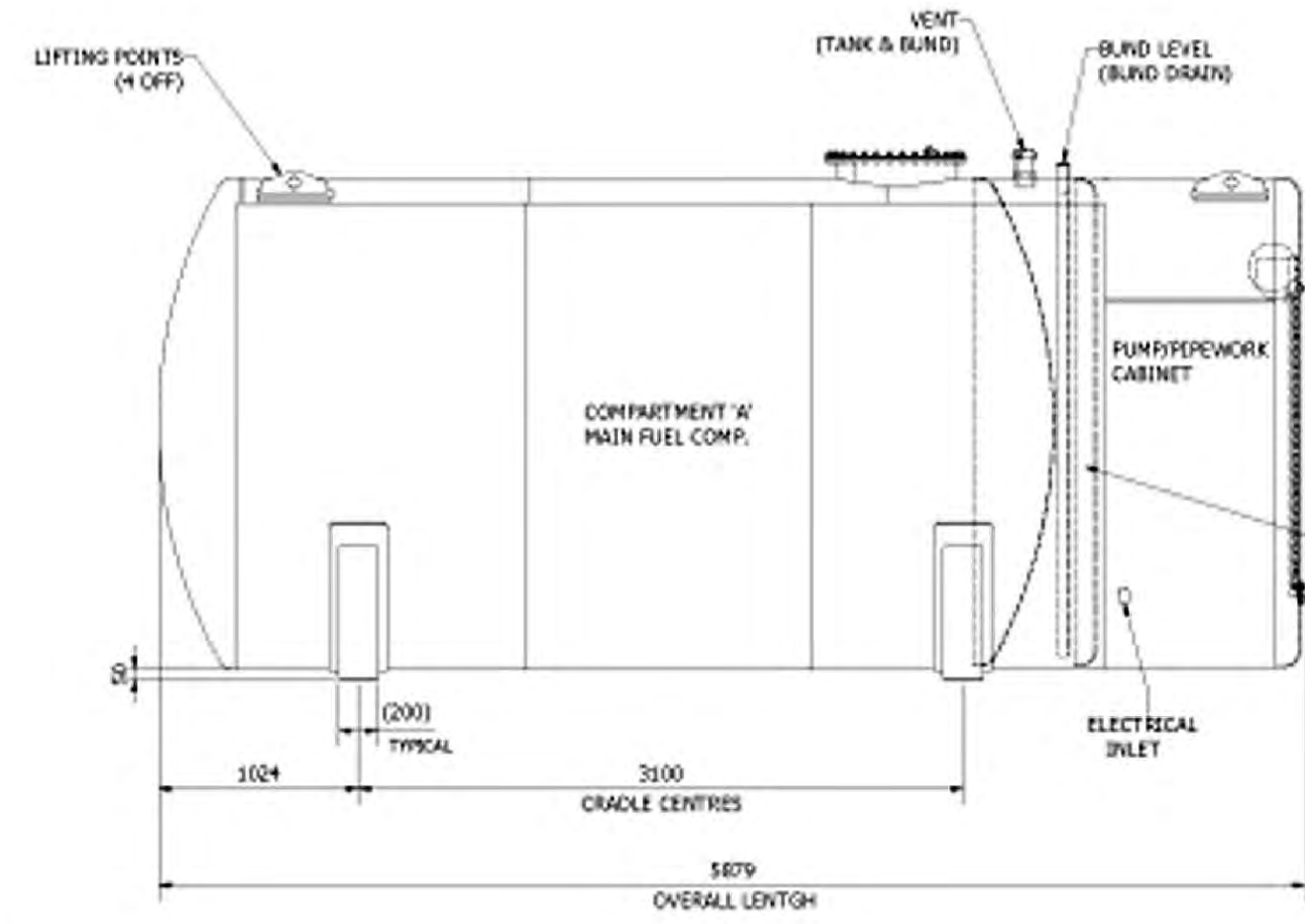
2 Front View.
1:20

Area in front of ENW Substation finished flat and level, and accessible to ENW maintenance vehicles and ENW operational staff at all times - i.e. 24 hours per day

TYPICAL SUBSTATION ENCLOSURE
Scale 1:40@A1



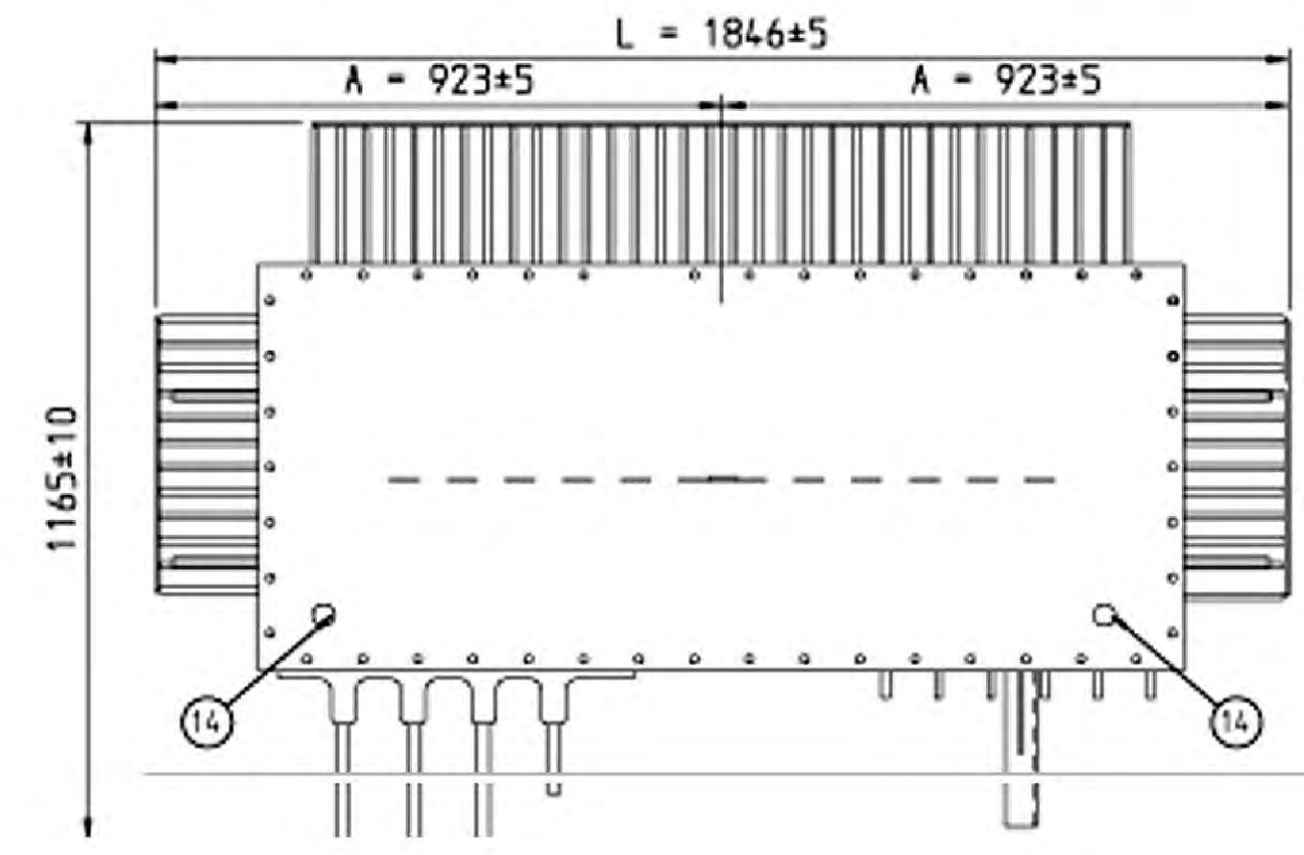
20,000 litre FUEL TANK
Scale: see dimensions for sizes



PAINT YELLOW
EDGE ONLY

kVA = 1000
HV = 11000V, LV = 433V
Frequency = 50Hz
Vector Group = Dyn 11
TOTAL WEIGHT = 3013 kg
OIL WEIGHT = 810 kg

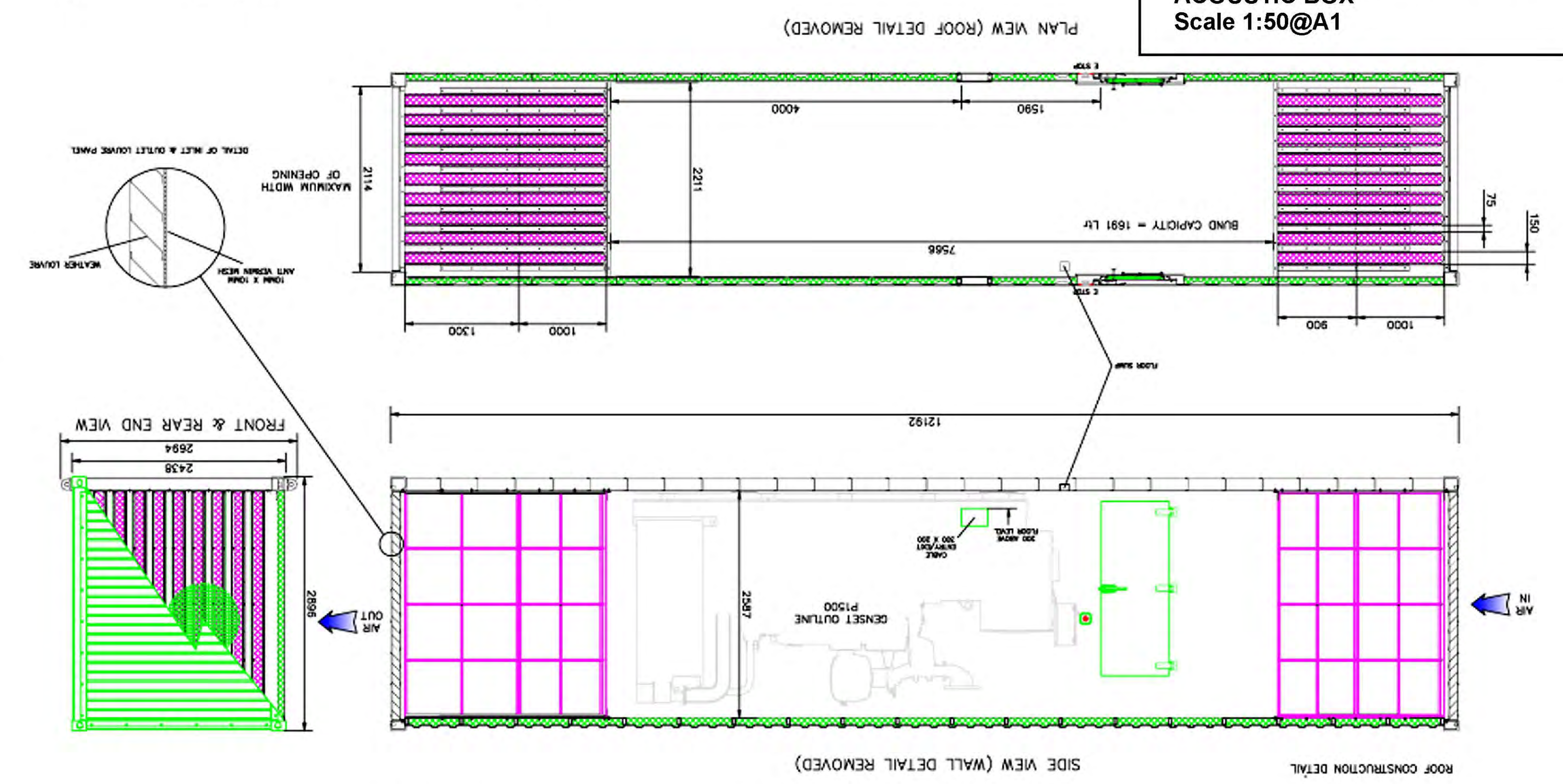
PAINT: BS632



- 1 HV BLANK PLATE
- 2 LV Monoblock
- 3 NEUTRAL BUSHING
- 4 OFF CIRCUIT TAPCHANGER - (PADLOCKABLE COVER)
- 5 ROLLER / SKID BASE
- 6 THERMOMETER POCKET
- 7 THERMOMETER
- 8 EARTH POINT - (Totally Clear of Paint)
- 9 LIFTING LUG
- 10 RATING PLATE & CONNECTION DIAGRAM PLATE
- 11 OIL LEVEL GAUGE
- 12 PLAIN BREATHER - [With Cap - Hand Tight Only]
- 13 FILLING ORIFICE - 1 BSP
- 14 BALL VALVE - C/W PLUG

TYPICAL TRANSFORMER
Scale: see dimensions for sizes

TYPICAL GEN SET CONTAINER ACOUSTIC BOX
Scale 1:50@A1



<div>SCALE</div> <div>as noted</div> <div>The Loft</div> <div>Snowhill</div> <div>WR12 7JZ</div> <div>www.prospusgroup.co.uk</div> <div>(+44) 7399 547823</div>	<div>DRAWING TITLE</div> <div>Typical equipment drawings</div>	<div>KEY</div>	<div><div><div><div></div></div></div><div>ProspusGroup</div></div> <div>For R and C Bowman, Castlerigg Farm, Armathwaite, Carlisle, Cumbria, CA4 9TS</div>	<div>DISCLAIMER</div> <div>Copyright originator and confidential. Do not scale. All dimensions must be checked on site. Read in conjunction with all supporting documentation. Originator accepts no responsibility for the accuracy of third party information contained. Users of this document are responsible for checking which revision is current.</div>	<table><tr><th></th><th>MM/DD/YY</th><th>REVISIONS</th></tr><tr><td>A</td><td>01/09/2017</td><td>Scales added to location plans drawing A01. Drawings A06 added</td></tr><tr><td>B</td><td>13/10/2017</td><td>stack height increased by 500mm, hedge to be removed indicated, drawing A07 added</td></tr><tr><td>C</td><td>15/11/2017</td><td>stack height amended to 8m from base (approx. 2.5m above berm)</td></tr><tr><td>D</td><td>--/--/--</td><td>...</td></tr><tr><td>E</td><td>--/--/--</td><td>...</td></tr><tr><td>F</td><td>--/--/--</td><td>...</td></tr><tr><td>G</td><td>--/--/--</td><td>...</td></tr></table>		MM/DD/YY	REVISIONS	A	01/09/2017	Scales added to location plans drawing A01. Drawings A06 added	B	13/10/2017	stack height increased by 500mm, hedge to be removed indicated, drawing A07 added	C	15/11/2017	stack height amended to 8m from base (approx. 2.5m above berm)	D	--/--/--	...	E	--/--/--	...	F	--/--/--	...	G	--/--/--	...
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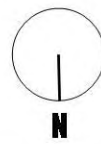
Sketch view to scale showing planting at approximately 5 years

A Mixed tree planting to form visual barrier consisting large trees - Oak, Ash medium sized trees - Silver Birch, field Maple

B Mixed native hedging Hawthorn (*Crataegus monogyna*) Dog Rose (*Rosa canina*) Field Maple (*Acer campestre*) Guelder Rose (*Viburnum opulus*) Hornbeam (*Carpinus betulus*) Wild Privet (*Ligustrum vulgare*)



PROPOSED AERIAL SITE VIEWLOOKING FROM THE NORTH



SCALE n/a

The Loft
Snowhill
WR12 7JZ

www.prospusgroup.co.uk
(+44) 7399 547823

DRAWING TITLE
Sketch View

KEY



For R and C Bowman,
Castlerigg Farm, Armathwaite,
Carlisle, Cumbria,
CA4 9TS

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