

SCHEDULE A: Applications with Recommendation

13/0795

Item No: 07

Date of Committee: 20/12/2013

Appn Ref No:
13/0795

Applicant:
Mr & Mrs S Miller

Parish:
Castle Carrock

Agent:
Taylor & Hardy

Ward:
Great Corby & Geltsdale

Location: Part OS Field No.0770, Castle Carrock, Cumbria

Proposal: Erection Of 1No. Dwelling (Reserved Matters Application Pursuant to Outline Permission 13/0034)

Date of Receipt:
14/10/2013

Statutory Expiry Date
09/12/2013

26 Week Determination

REPORT

Case Officer: Stephen Daniel

1. Recommendation

- 1.1 It is recommended that this application is approved with conditions.

2. Main Issues

- 2.1 Whether The Proposal Would Be Acceptable In Principle
- 2.2 Whether The Scale And Design Would Be Acceptable
- 2.3 Impact Of The Proposal On The Living Conditions Of The Occupiers Of Any Neighbouring Properties
- 2.4 Other Matters

3. Application Details

The Site

- 3.1 This is a Reserved Matters application which is seeking planning permission for the erection of a dwelling on part of OS field no. 0770, Castle Carrock. The application site lies in the south-east corner of a field and is enclosed by hedgerows and a number of trees. A track, which is designated as a public footpath, runs along the southern side of the site and a field gate provides access from this to the site. A field lies to the south of the track,

with a field also adjoining the site to the east, beyond which lies a large detached dwelling, which fronts onto the B6413.

Background

- 3.2 Outline planning permission for the erection of a dwelling on this site was approved by committee in April 2013. The illustrative site plan/ sketch plan which accompanied the outline application showed a large, detached dwelling with a double garage. The Design & Access Statement made reference to a two-storey family home with a ground floor footprint in the order of 152 sq m and a ridge height of between 7.5m and 8m. The site showed a dwelling with an overall footprint of 180 sq m (excluding the double garage).

The Proposal

- 3.3 This proposal is seeking permission for the erection of a dwelling with a footprint of 240 sq m and an attached double garage, which would have living space above it, of 48 sq m. The dwelling would be L-shaped and would be predominantly 1.5 storey. The main 1.5 storey section of the dwelling would measure 18m in length and would be adjoined at both ends by single-storey sections, which would measure 4m and 3.3m. A 1.5 storey section would project forward from the main dwelling and this would measure 7m in length. This would be adjoined by a double garage which would measure 6.5m in length and which would have a lower ridge height than the main dwelling. The front (east) elevation of the main section of the dwelling would have a pitched roof dormer window and a small projecting gable, which would contain the main entrance, with a gallery above. The rear elevation would contain large amounts of glazing to the ground floor and a large glazed area to the first floor, which would link to a terrace. The rear elevation would also contain three pitched roof dormer windows, with a further pitched roof dormer window being provided in the north elevation.
- 3.4 The dwelling would contain an open plan family room/ kitchen, a dining room, a play room, a home office/ study, an en-suite bedroom, a w.c., a utility room with a cellar and a plant room. The first floor would contain a living room, four bedrooms (one en-suite) and a games room over the garage.
- 3.5 The dwelling would be constructed predominantly of rough coursed random rubble natural stone, with small sections of roughcast render, under a natural slate roof. The dormer windows would have timber fascias with lead cheeks and the dwelling would incorporate timber verge runners and timber feature truss elements. Windows and doors would be light oak upvc, with rainwater goods being black upvc.
- 3.6 A block paved driveway would run along the eastern boundary of the site and would link from the existing farm track to the garage. Gardens would be provided to the sides and rear of the dwelling. Existing hedges and trees around the edge of the site would be retained and supplemented where required and new hedges would be planted along the northern and western site boundaries.

4. Summary of Representations

4.1 This application has been advertised by means of site and press notices as well as notification letters sent to four neighbouring properties. In response, five letters of support have been received, which make the following points:

- fully support the design of the dwelling;
- the size and scale are suitable for the site and the area;
- the old sandstone is in keeping with many of the properties in the village;
- the building will blend in with the local environment;
- the low roof design reduces the overall presence of the dwelling;
- the use of roofspace to optimise accommodation is well thought out;
- the property only utilises the ground area that was originally submitted;
- it is a good thing that a young local family want to build a new family home in the village and support their local community.

5. Summary of Consultation Responses

Cumbria County Council - (Highway Authority): - despite highway concerns, outline consent has been given, which takes access from a farm track, which is a public footpath. No drainage details have been submitted so don't deal with Condition 7. Generally sufficient detail has been provided to deal with Condition 10, though parts of the hedge either side of the gate need to be removed so as to provide 2.4m pedestrian visibility splays;

Castle Carrock Parish Council: - strongly objects to the proposal. The current application is a much larger footprint than the original application, thus intruding still further into the currently unspoiled countryside. The outline permission was granted in a process which was ultimately flawed since the 'site visit' never happened in any meaningful sense due to the fact that committee members didn't venture any closer to the site than the B6413 when viewing the proposed location of the dwelling. The officer's report recommended refusal, significantly because of the landscape and visual impact, particularly in the context of the Cumbria Landscape Strategy. The new application seeks to encroach much significantly into the valuable natural landscape and thus further contravenes Local Plan and Preferred Options policies. Would like to draw Members attention to an objection from County Highways to the outline permission - this is of real concern as there is very poor visibility in both directions on the B6413;

Carlisle Airport: - comments awaited;

Cumbria County Council - (Highway Authority - Footpaths): - comments awaited.

6. Officer's Report

Assessment

- 6.1 The relevant planning policies against which the application is required to be assessed are Policies DP1, DP10, H1, CP1, CP3, CP5, CP12, LC8 and T1 of the Carlisle District Local Plan 2001-2016. The proposal raises the following planning issues:
1. Whether The Proposal Would Be Acceptable In Principle
- 6.2 Outline planning permission for the erection of a dwelling on this site has previously been granted. The principle of a dwelling on this site has, therefore, been established.
2. Whether The Scale & Design Would Be Acceptable
- 6.3 The proposed dwelling would be very large and would cover a very large footprint (240 sq m excluding the double garage), which would be significantly larger than the footprint of 152 sq m referred to in the Design & Access Statement, that accompanied the outline application. Members should be aware, however, that no condition was put on the outline permission to restrict the size of the dwelling.
- 6.4 The dwelling would be sited in a very large plot (circa 1200 sq m) and a dwelling of this size would not look out of place. It would have a ridge height of 6.75m which would be achieved by utilising the roofspace and this would be lower than the dwelling referenced in the outline permission, which had a ridge height of between 7.5m and 8m. This would help to reduce the visual impact of the dwelling. The dwelling has been carefully designed so that it does not appear over dominant. The dwelling would be an L-shape which would also help to reduce its visual impact and single-storey sections would be used to reduce the buildings mass. Furthermore, existing trees and hedges would help to screen the building in views from the village and this could be supplemented by additional landscaping, which could be secured through existing conditions on the outline approval. In light of the above, the scale of the proposed dwelling is considered to be acceptable.
- 6.5 The dwelling would predominantly be constructed of rough coursed random rubble natural stone, with small sections of roughcast render, under a natural slate roof. It would incorporate small pitched roof dormer windows, which would have timber fascias and lead cheeks and timber verge runners and timber feature truss elements.
- 6.6 Gardens would be provided to the sides and rear of the dwelling. Existing hedges and trees around the edge of the site would be retained and supplemented where required and new hedges would be planted along the northern and western site boundaries.
- 6.7 In light of the above, the scale and design of the proposed dwelling would be acceptable.

3. Impact Of The Proposal On The Living Conditions Of The Occupiers On Any Neighbouring Properties

- 6.8 The nearest dwelling would be over 50m away from the main front elevation of the proposed dwelling, which would be partly screened by existing and proposed landscaping.
- 6.9 Whilst planning permission exists for the erection of two dwellings on the site of the Dutch barn that lies to the south east of the site, these would be 33m away from the nearest part of the new dwelling and further to any windows.
- 6.10 The proposal would not, therefore, have an adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance.

4. Other Matters

- 6.11 The Parish Council has raised concerns about the proposed access, which has poor visibility where it adjoins the B6413. Outline planning permission has, however, already been granted for the erection of a dwelling on this site and the access was considered to be acceptable at that time.
- 6.12 Members should be aware that a number of conditions on the outline permission still need to be discharged. These can either be discharged through the submission of additional details prior to determination of this application or through the submission of a further discharge of conditions application in the future.

Conclusion

- 6.13 In overall terms, the principle of a dwelling on this site has already been established by the granting of outline planning permission. The scale and design of the proposed dwelling are considered to be acceptable and the proposal would not have an adverse impact on the living conditions of the occupiers of any neighbouring properties through loss of light, loss of privacy or over-dominance. In all aspects, the proposal is compliant with the objectives of the relevant adopted Local Plan policies.

7. Planning History

- 7.1 In October 2012, outline planning permission was refused for the erection of a dwelling (12/0704).
- 7.2 In April 2013, outline planning permission was granted for the erection of a dwelling (13/0034).

8. Recommendation: Grant Permission

- 1. The approved documents for this reserved matters application comprise:
 - 1. the submitted planning application form, received 7 October 2013;

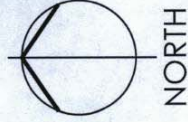
2. Location Plan, received 14 October 2013 (Dwg No. 13032-07C);
3. Site Survey, received 14 October 2013 (Dwg No. 13032-04);
4. Block Plan, received 14 October 2013 (Dwg No. 13032-03A);
5. Ground Floor Plan, received 14 October 2013 (Dwg No. 13032-01C);
6. First Floor Plan, received 14 October 2013 (Dwg No. 13032-02B);
7. Elevations 1 (West & South), received 14 October 2013 (Dwg No. 13032-05A);
8. Elevations 2 (East & North), received 14 October 2013 (Dwg No. 13032-06A);
9. Landscape Plan, received 14 October 2013 (Dwg No. 13032-08A);
10. Visual Impact Studies, received 14 October 2013 (Dwg No. 13032-09);
11. the Notice of Decision; and
12. any such variation as may subsequently be approved in writing by the Local Planning Authority.

Reason: For the avoidance of doubt.

2. In discharge of requirements for the submission of detailed particulars of the proposed development imposed by condition 1 with regard to layout, scale, appearance (part, pending discharge of condition 4 of 13/0034), access and landscaping (part, pending discharge of condition 5 of planning permission 13/0034) attached to the outline planning consent to develop the site.
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Rev.	Date	Description	Revised by
A	03.07.13	Site boundary revised	CJ
B	03.07.13	Building and landscaping removed	CJ
C	23.07.13	Drawing updated to Planning status	CJ



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Project
Proposed New Dwelling
Castle Carrock

Client
Simon Miller

Drawing
Location Plan

Scale
1:500@A3

Date
03.07.13

Drawn
CJ

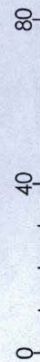
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Number
13032-07C

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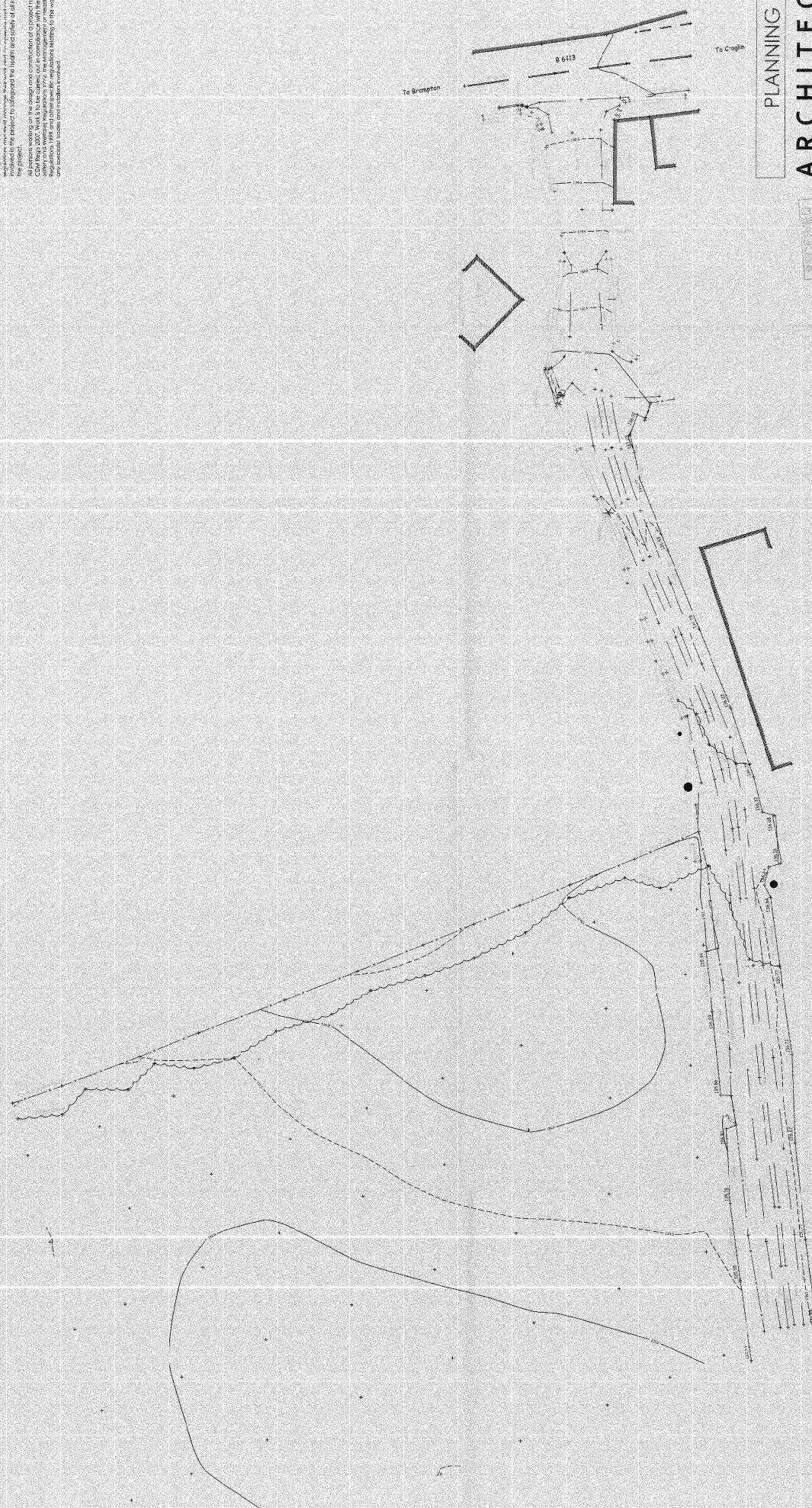


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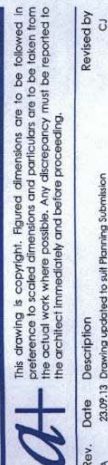
SITE PLAN 1:500

HEALTH & SAFETY
CONSTRUCTION DESIGN & MANAGEMENT REGULATIONS 2007
The CDM Regulations 2007 apply to all construction work carried out in Great Britain. The Regulations require the client to ensure that the design team, including the architect, considers health and safety from the outset of the project. The design team must ensure that the design of the proposed building takes account of the health and safety of those who will be involved in the construction and use of the building. The design team must also ensure that the design of the building takes account of the health and safety of the public. The design team must ensure that the design of the building takes account of the health and safety of the environment. The design team must ensure that the design of the building takes account of the health and safety of the community. The design team must ensure that the design of the building takes account of the health and safety of the nation. The design team must ensure that the design of the building takes account of the health and safety of the world.



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Project: Proposed New Dwelling
Client: Simon Miller
Drawing: Site Survey
Scale: 1:200
Date: 10.06.13
Drawn: CJ
Number: 13032-04



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A	23.09.13	Drawing updated to suit Planning Submission	CJ

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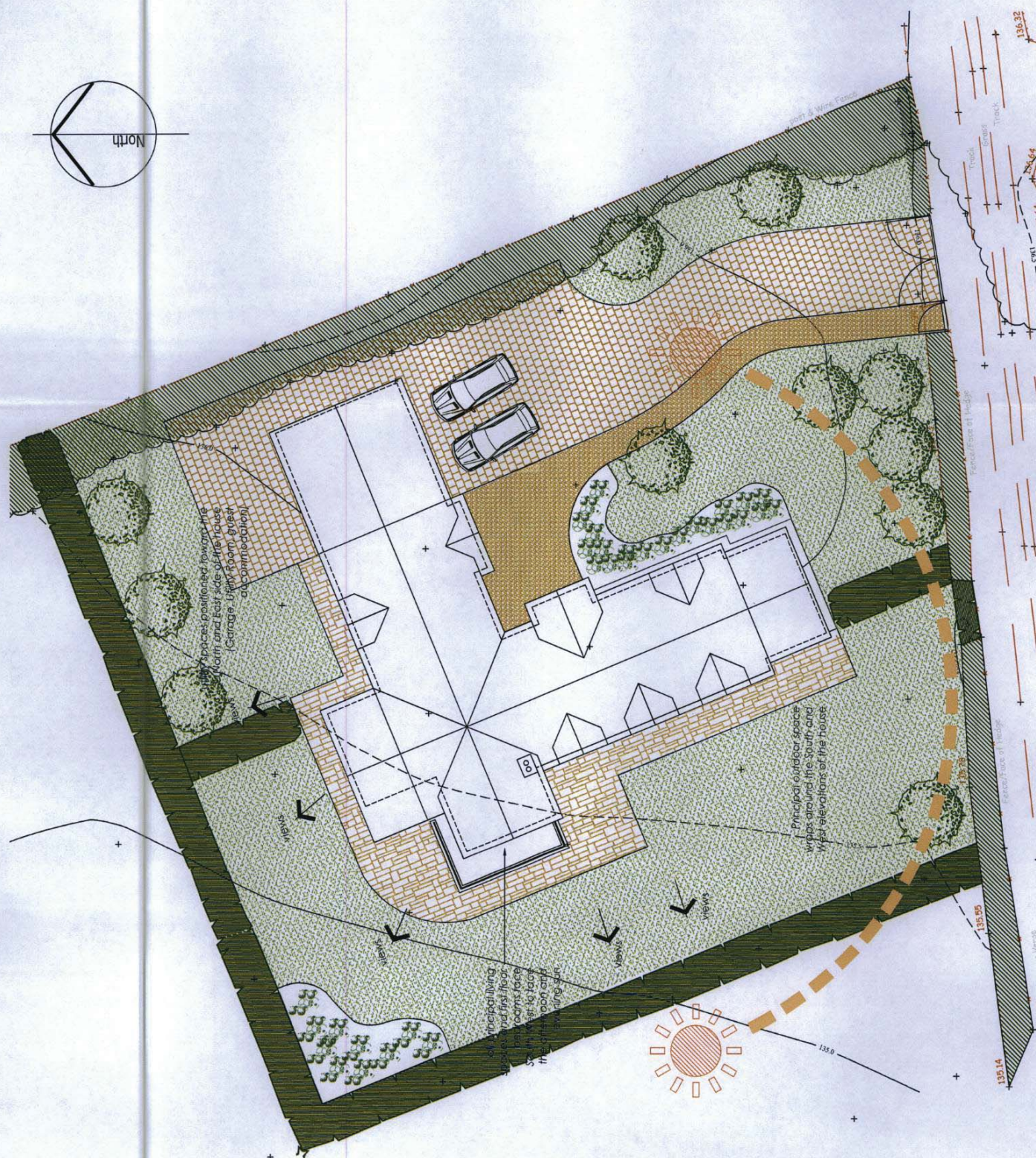
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Project	Proposed New Dwelling Castle Carrock
Client	Simon Miller
Drawing	Block Plan

Scale	Date	Drawn	Comp.No.	Number
1:200@A3	10.06.13	CJ	P01	13032-03A

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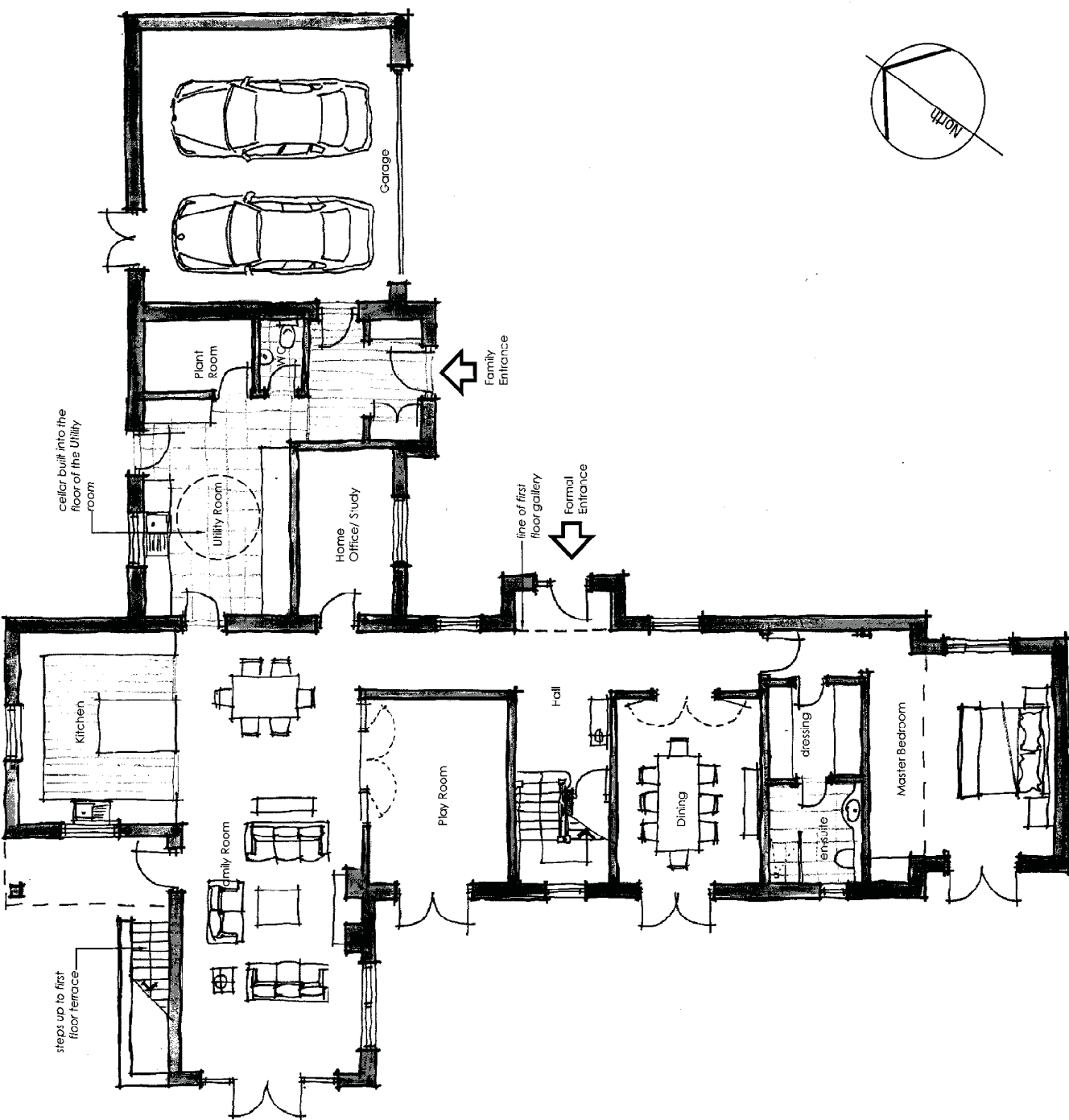


BLOCK PLAN

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Rev.	Date	Description	Revised
a	19.06.13	Comments to full client's comments	c
b	19.06.13	Further revisions to full client's comments	c
c	24.07.13	Drawing status updated to 'Planning'	c

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2013/0795



GROUND FLOOR PLAN

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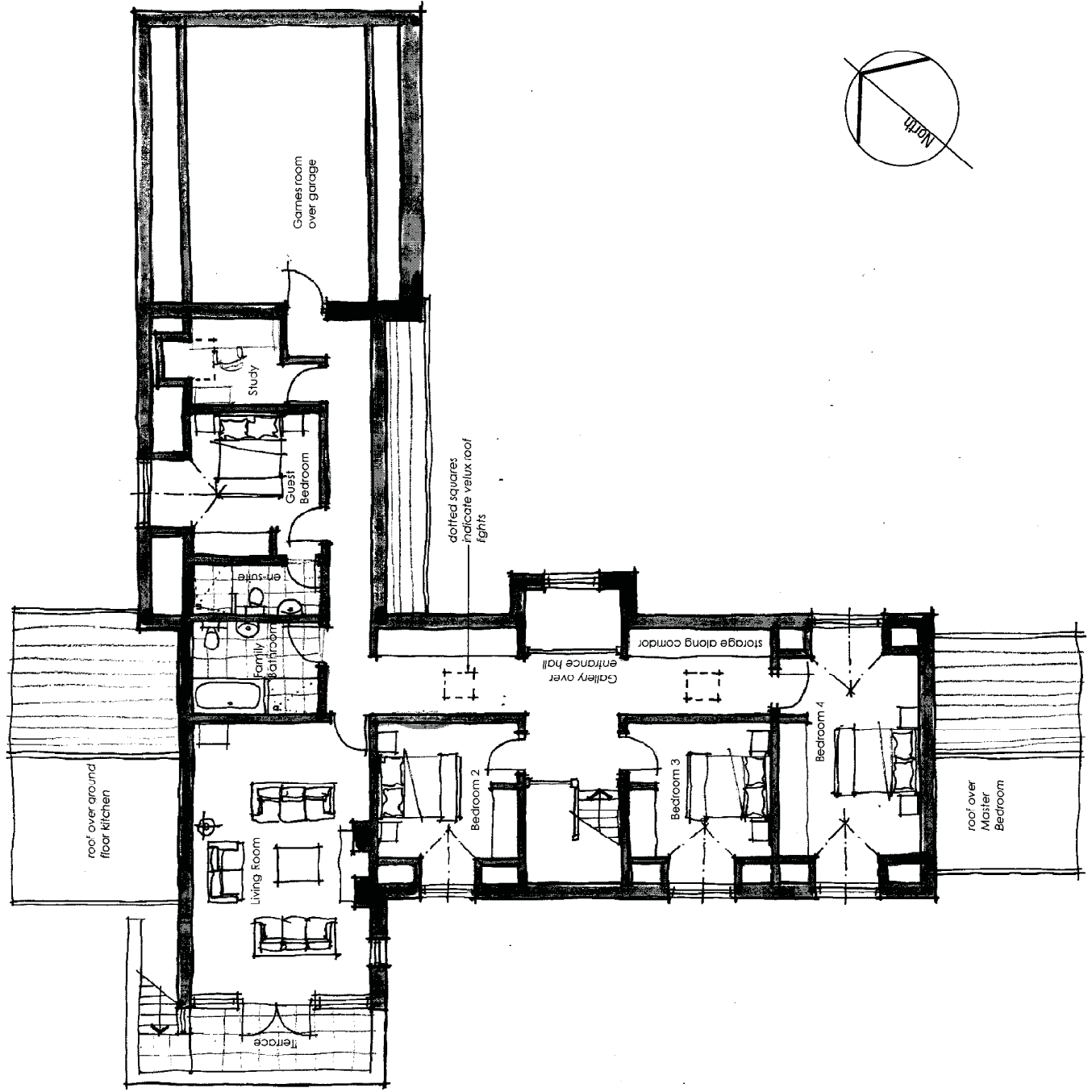
Project
Proposed New Dwelling
Castle Carrock
Client
Simon Miller
Drawing
Ground Floor Plan

Scale
1:100@A3
Date
10.06.13
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Number
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Rev.	Date	Description	Revised by
A	18.05.13	General revisions to suit client's comments	CJ
B	24.09.13	Drawing status updated to "Planning"	CJ



FIRST FLOOR PLAN

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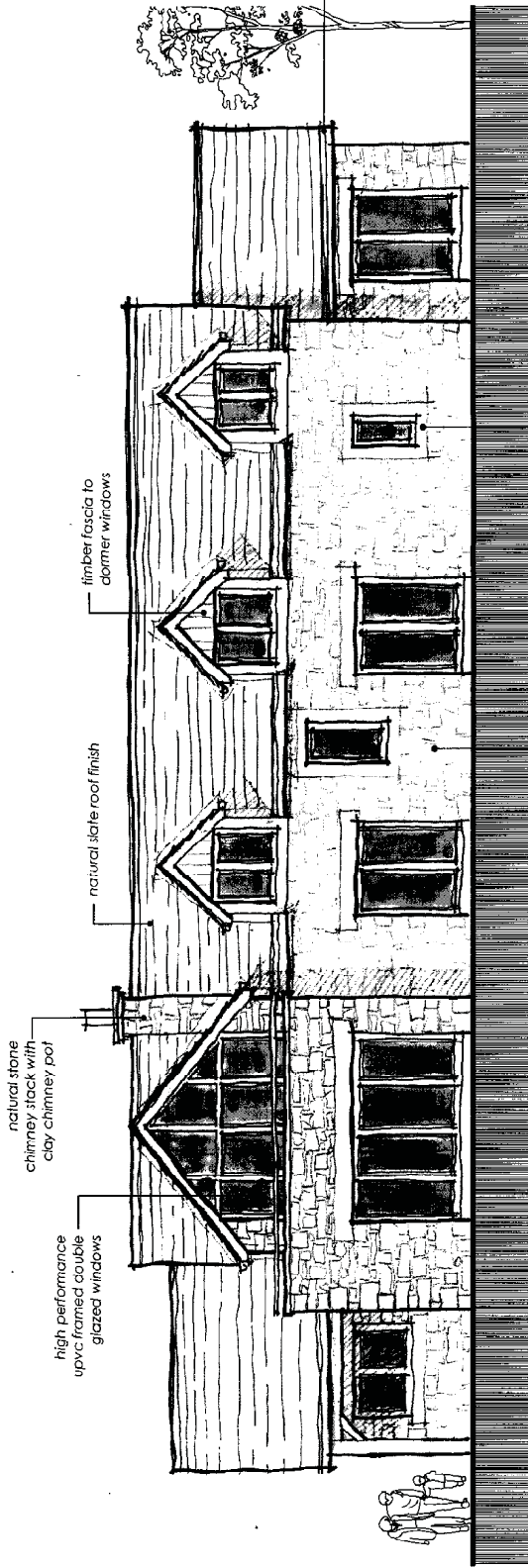
Project	Proposed New Dwelling Castle Carrock
Client	Simon Miller
Drawing	First Floor Plan
Scale	1:100@A3
Date	10.06.13
Drawn	CJ
Comp.No.	P01
Number	13032-02B

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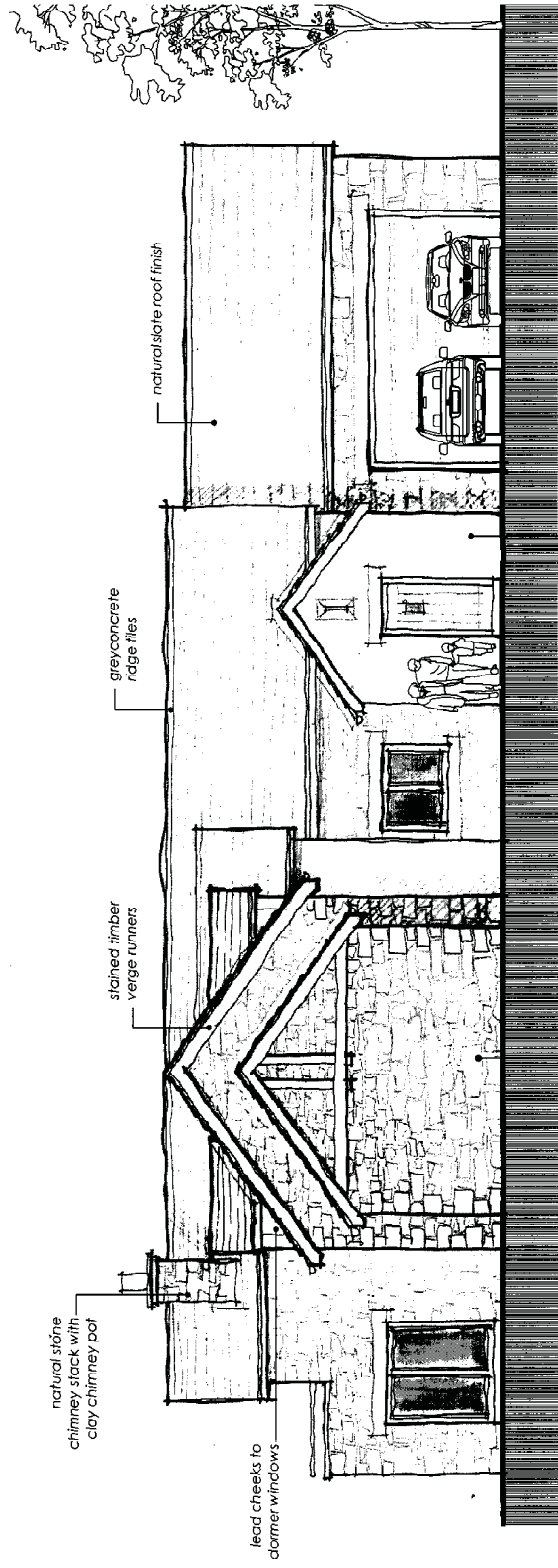
Rev.	Date	Description	Revised by
A	24.09.13	Drawing status updated to "Planning"	CJ

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WEST ELEVATION

- Materials Schedule**
- Walls**
 - Rough course random rubble stonework with corresponding window and door surrounds
 - through-coloured roughcast render
 - Roofs**
 - Blue/grey natural slate
 - Windows + Doors**
 - UPVC double glazed units, light oak external finish
 - sectional overhead garage door, light oak finish
 - Rainwater goods**
 - black upvc, circular section downpipes, oggee profile gutters



SOUTH ELEVATION

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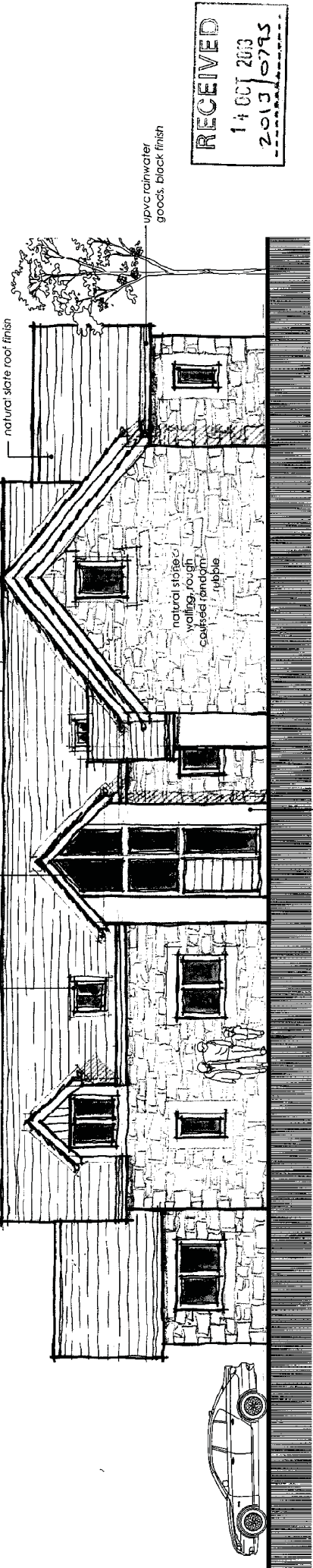
Project
Proposed New Dwelling
Castle Carrock
Client
Simon Miller
Drawing
Elevations 1

Scale	Date	Drawn	Comp.No.	Number
1:100@A3	10.06.13	CJ	P01	13032-05A

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A	24.05.13	Drawing status updated to 'Planning'	CJ



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EAST ELEVATION

Materials Schedule	
Walls	- Rough course random rubble stonework with corresponding window and door surrounds - through-coloured roughcast render
Roofs	- Blue/grey natural slate
Windows + Doors	- UPVC double glazed units, light oak external finish - Sectional overhead garage door, light oak finish
Rainwater goods	black upvc, circular section downpipes, ogee profile gutters

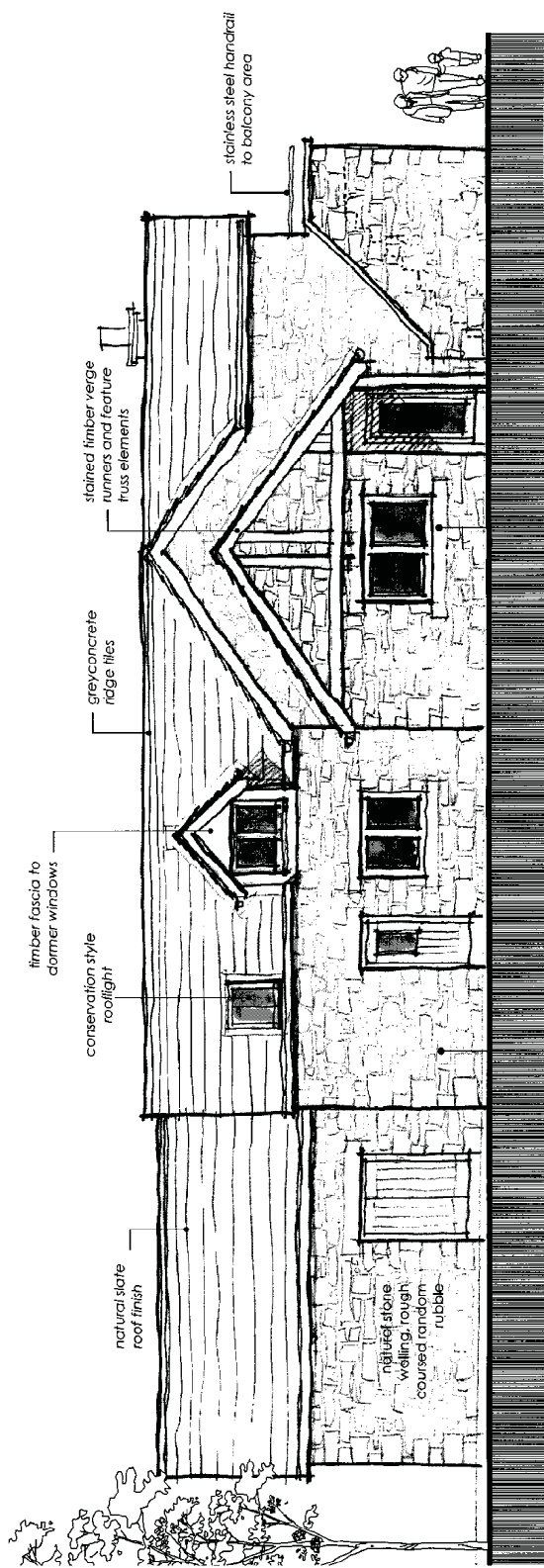
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Project	Proposed New Dwelling Castle Carrock
Client	Simon Miller
Drawing	Elevations 2

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NORTH ELEVATION



Rev.	Date	Description	Revised by
A	25.09.13	revised to suit planning application	CJ

2000

Azalea loulisa; Berberis thunbergii 'Rose glow'; Cornus alba; Cytisus scopul
'Carnish Cream'; Euonymus fortunei 'Emerald & Gold'; Hebe 'Midsummer
Beauty'; Pieris japonica little heath; Potentilla 'Abbotswood'
Potentilla 'Red Ace'; Prunus laurocerasus 'Otto Luyken'



Natural Stone Paving - 22mm calibrated, hand dressed river "Standard Indian Sandstone" slab, colour "buff multi", by Marshalls or similar approved



Driveway Paving - Drivesett Natrale, colour "Sand", 50mm replica split stone paving blocks in 4no widths by Marshalls



Pathway - loose gravel pathway, colour tbc
timber edging adjacent to grass areas
concrete kerb edging adjacent to main driveway



Boundary Hedge planting - Native species hedge planting to perimeter of property, see note on main drawing for proposed plant species



Turf Areas - Fine leaved, low maintenance turf (non-ryegrass turf)



New Trees - generally girth 8-10cm, height 2.5-3.0m, free species from the following:

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Client	Simon Miller
Drawing	Landscape

2

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LANDSCAPE PLAN



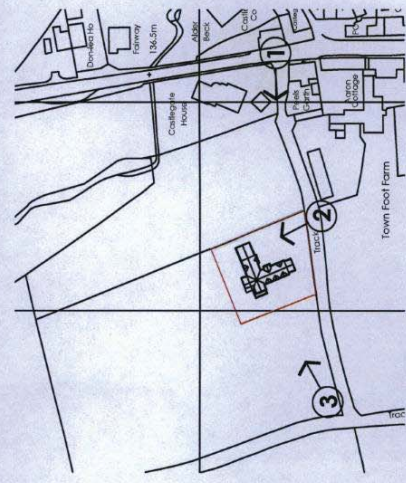
View 1



View 3



View 2



LOCATION PLAN

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Project
 Proposed New Dwelling
 Castle Carrock
 Client
 Simon Miller
 Drawing
 Visual Impact Studies

Scale	Date	Drawn	Comp.No.	Number
nts	24.09.13	CJ	P01	13032-09